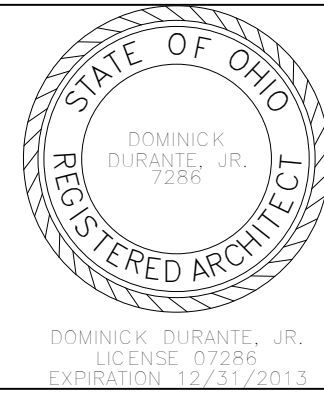


DATE	DESCRIPTION
10.23.2013	Issued for 60% Owner Review
11.06.2013	Issued for 100% Owner Review
12.09.2013	Issued for Permit and Bidding

FLOOR PLAN LEGEND	
	HATCH INDICATES NEW STUD WALL. PROVIDE 2X4 STUD WALLS AT 16" O.C. WITH 5/8" GYP. BOARD FINISH. PLUMBING WALLS TO BE 2X6 STUD WALLS AT 16" O.C. PROVIDE MOLD AND MOISTURE RESISTANT 5/8" DRYWALL AT ALL BATHROOMS.
	EXISTING WALL SKIM-COAT ALL EXISTING WALLS AND PREP FOR NEW PAINT
	SMOKE DETECTOR LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS. PATCH AND REPAIR ALL WALLS AND CEILINGS TO MATCH EXISTING AFTER WIRING HAS BEEN PATHED

- GENERAL NOTES - FLOOR PLANS**
- WHERE NEW WALLS ALIGN WITH EXISTING, PATCH TO CREATE A SMOOTH SEAMLESS SURFACE.
 - DIMENSIONS FOR NEW INTERIOR CONSTRUCTION ARE TO THE FACE OF FINISH. AT THE EXTERIOR, DIMENSIONS ARE TO FACE OF FINISHED BRICK.
 - PROVIDE SOFFITS FOR ALL EXPOSED PIPING AND DUCTWORK AT CEILINGS. SYSTEM WALL BOARD SOFFITS SHALL BE MADE READY FOR PAINTING. SEE FINISH SCHEDULE.
 - REPAIR ALL DAMAGED DRYWALL FOR NEW FINISH. PROVIDE LEVEL 4 FINISH FOR ALL NEW DRYWALL.
 - SKIM-COAT AND PAINT ALL EXISTING WALLS AND CEILINGS, REFER TO FINISH SCHEDULE.
 - CABINET MANUFACTURER TO SUBMIT SHOP DRAWINGS AND MATERIAL SAMPLES FOR EACH FINISH AND DOOR STYLE.
 - SLOPE ALL EXTERIOR SLABS AWAY FROM BUILDING AT 1/8" PER FOOT.
 - TO PROVIDE NEW ELECTRICAL WIRING, CUT AND OPEN ALL EXISTING INTERIOR WALLS UP 18" STARTING CUT FROM TOP OF BASE BOARDS. COORDINATE WITH ELECTRICAL DRAWING LOCATIONS THAT MAY REQUIRE HIGHER REMOVAL.
 - PROVIDE ALL NEW WHITE OUTLETS, SWITCHES, AND COVER PLATES TO REPLACE EXISTING.
 - ALL WINDOW LOCATIONS TO RECEIVE NEW VINYL BLINDS AND DOUBLE CURTAIN ROD.
 - NEW COAXIAL CABLES TO BE ROUTED FROM ALL BEDROOMS AND LIVING ROOMS TO A CENTRALIZED DEMARGINATION POINT IN THE BASEMENT UTILITY AREAS. PATCH AND REPAIR ALL PATHWAYS AFTER WIRING HAS BEEN INSTALLED.
 - ALL EXPOSED HYDRONIC PIPING TO RECEIVE NEW INSULATION AND PVC COVER. VERIFY LOCATIONS IN FIELD. REFER TO PLUMBING DRAWINGS.
 - ALL CONCRETE FLOORS IN BASEMENT AND STORAGE UNITS TO BE CLEANED AND SEALED.
 - ALL STAIR HANDRAILS IN RESIDENTIAL UNITS AND COMMON STAIRWELLS ARE TO BE REPLACED.

- KEYED NOTES SPECIFIC TO THIS SHEET**
- REPLACE ALL MAILBOXES.
 - TYPICAL AT ALL GARAGE BAYS - CONTRACTOR SHALL INCLUDE IN BASE BID TO PATCH AND REPAIR 20% OF CEILINGS AND PROVIDE A UNIT COST FOR ANY WORK OVER 20%. CLEAN AND SEAL CONCRETE CONCRETE FLOOR. PREPARE WALLS AND CEILING TO RECEIVE NEW FINISH AND PAINT. REFER TO FINISH SCHEDULE FOR COLORS.
 - DASHED LINE INDICATES INSULATED HYDRONIC PIPING ABOVE. PROVIDE NEW INSULATION WITH PVC COVER. REFER TO MECHANICAL AND PLUMBING DRAWINGS.
 - TYPICAL AT ALL BASEMENT LOCATIONS - PROVIDE NEW CEILING LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS.
 - TYPICAL AT ALL BASEMENT CORRIDORS - CONTRACTOR SHALL INCLUDE IN BASE BID TO PATCH AND REPAIR 20% OF CEILINGS AND PROVIDE A UNIT COST FOR ANY WORK OVER 20%. PREPARE WALLS AND CEILING TO RECEIVE NEW FINISH AND PAINT. CLEAN AND SEAL CONCRETE FLOOR AND PREP TO RECEIVE NEW STAINED FINISH. REFER TO FINISH SCHEDULE FOR COLORS.

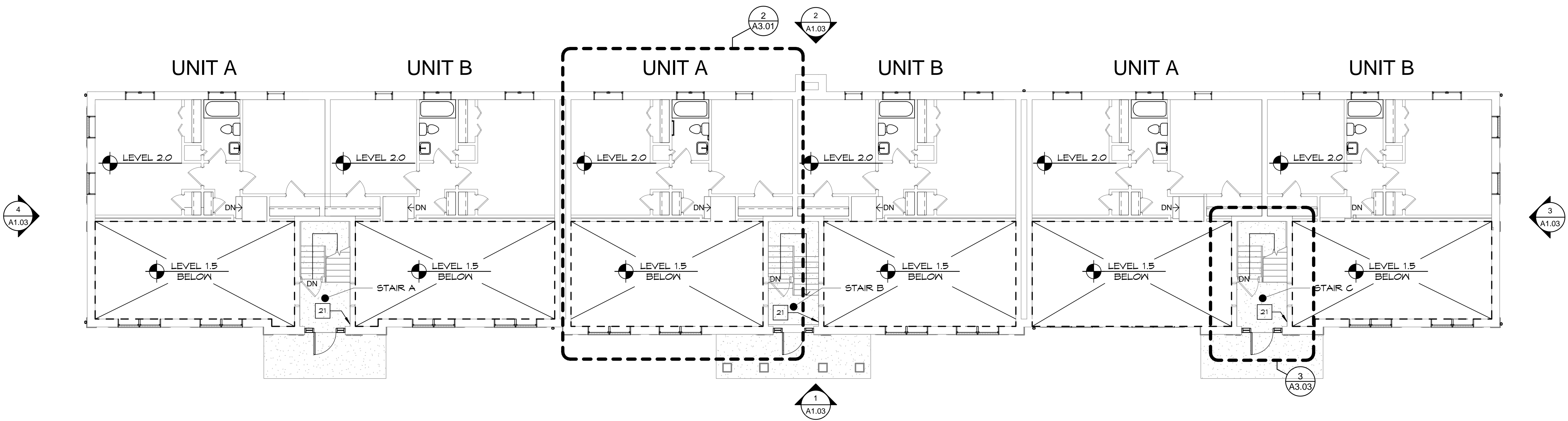


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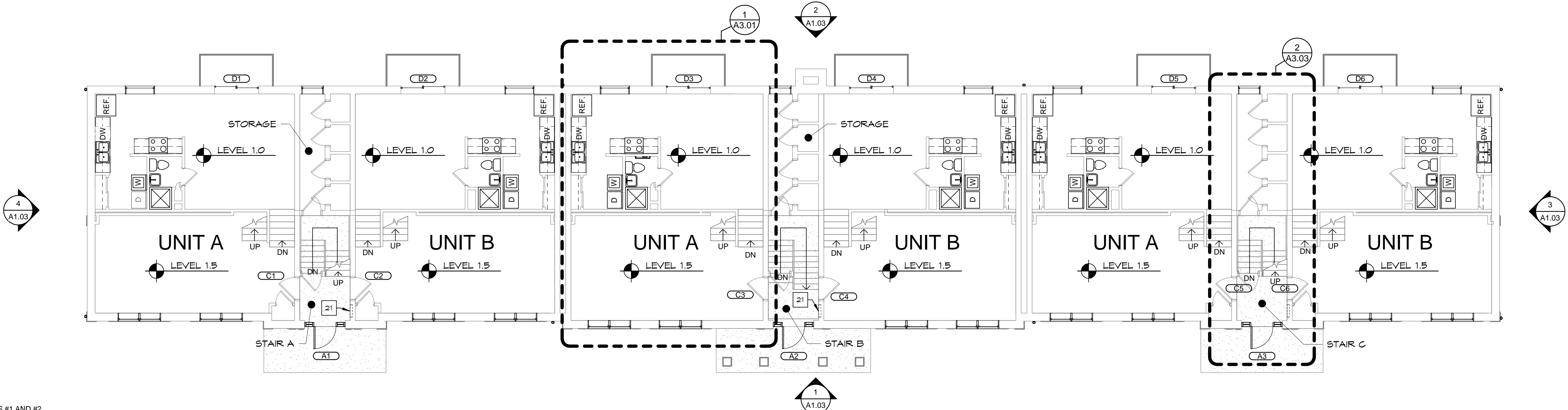
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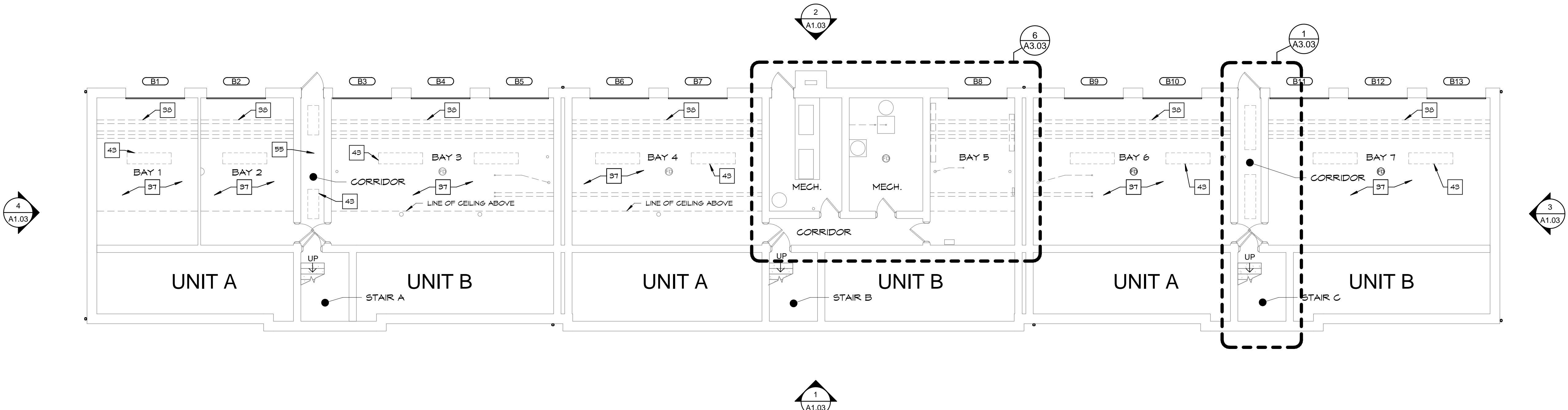
LDA Project No. 13.25
OVERALL FLOOR PLANS - BUILDINGS #1 AND #2
A1.01



BUILDINGS #1 AND #2
3 OVERALL FLOOR PLAN - LEVEL 2.0
SCALE: 1/8" = 1'-0"



BUILDINGS #1 AND #2
2 OVERALL FLOOR PLAN - LEVEL 1.0 AND 1.5
SCALE: 1/8" = 1'-0"



BUILDINGS #1 AND #2
1 OVERALL FLOOR PLAN - LEVEL 0.0
SCALE: 1/8" = 1'-0"