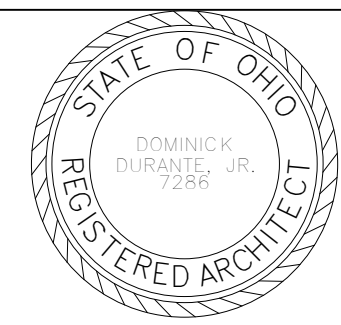


DATE	DESCRIPTION
10.23.2013	Issued for 60% Owner Review
11.06.2013	Issued for 100% Owner Review
12.09.2013	Issued for Permit and Bidding

FLOOR PLAN LEGEND	
	HATCH INDICATES NEW STUD WALL; PROVIDE 2X4 STUD WALLS AT 16" O.C. WITH 5/8" GYP BOARD FINISH. PLUMBING WALLS TO BE 2X6 STUD WALLS AT 16" O.C. PROVIDE MOLD AND MOISTURE RESISTANT 5/8" DRYWALL AT ALL BATHROOMS.
	EXISTING WALL, SKIM-COAT ALL EXISTING WALLS AND PREP FOR NEW PAINT.

- GENERAL NOTES - FLOOR PLANS
- WHERE NEW WALLS ALIGN WITH EXISTING, PATCH TO CREATE A SMOOTH SEAMLESS SURFACE.
 - DIMENSIONS FOR NEW INTERIOR CONSTRUCTION ARE TO THE FACE OF FINISH. AT THE EXTERIOR, DIMENSIONS ARE TO FACE OF FINISHED BRICK.
 - PROVIDE SOFFITS FOR ALL EXPOSED PIPING AND DUCTWORKS AT CEILING. SYSTEM WALL BOARD SOFFITS SHALL BE MADE READY FOR PAINTING. SEE FINISH SCHEDULE.
 - REPAIR ALL DAMAGED DRYWALL FOR NEW FINISH. PROVIDE LEVEL 4 FINISH FOR ALL NEW DRYWALL.
 - SKIM-COAT AND PAINT ALL EXISTING WALLS AND CEILINGS. REFER TO FINISH SCHEDULE.
 - CABINET MANUFACTURER TO SUBMIT SHOP DRAWINGS AND MATERIAL SAMPLES FOR EACH FINISH AND DOOR STYLE.
 - SLOPE ALL EXTERIOR SLABS AWAY FROM BUILDING AT 1/8" PER FOOT.
 - TO PROVIDE NEW ELECTRICAL WIRING, CUT AND OPEN ALL EXISTING INTERIOR WALLS UP 18" STARTING CUT FROM TOP OF BASE BOARDS. COORDINATE WITH ELECTRICAL DRAWING LOCATIONS THAT MAY REQUIRE HIGHER REMOVAL.
 - PROVIDE ALL NEW WHITE OUTLETS, SWITCHES, AND COVER PLATES TO REPLACE EXISTING.
 - ALL WINDOW LOCATIONS TO RECEIVE NEW VINYL BLINDS AND DOUBLE CURTAIN RODS.
 - NEW COAXIAL CABLES TO BE ROUTED FROM ALL BEDROOMS AND LIVING ROOMS TO A CENTRALIZED DEMARCATION POINT IN THE BASEMENT UTILITY AREAS. PATCH AND REPAIR ALL PATHWAYS AFTER WIRING HAS BEEN INSTALLED.
 - ALL EXPOSED HYDRONIC PIPING TO RECEIVE NEW INSULATION AND P.V.C. COVER. VERIFY LOCATIONS IN FIELD. REFER TO PLUMBING DRAWINGS.
 - ALL CONCRETE FLOORS IN BASEMENT AND STORAGE UNITS TO BE CLEANED AND SEALED.
 - ALL STAIR HANDRAILS IN RESIDENTIAL UNITS AND COMMON STAIRWELLS ARE TO BE REPLACED.

- KEYED NOTES SPECIFIC TO THIS SHEET
- | | |
|----|--|
| 21 | REPLACE ALL MAILBOXES. |
| 37 | TYPICAL AT ALL GARAGE BAYS -
CONTRACTOR SHALL INCLUDE IN BASE BID TO PATCH AND REPAIR 20% OF CEILINGS AND PROVIDE A UNIT COST FOR ANY WORK OVER 20% CLEAN AND SEAL CONCRETE CONCRETE FLOOR. PREPARE WALLS AND CEILING TO RECEIVE NEW FINISH AND PAINT. REFER TO FINISH SCHEDULE FOR COLORS. |
| 38 | DASHED LINE INDICATES INSULATED HYDRONIC PIPING ABOVE. PROVIDE NEW INSULATION WITH P.V.C. COVER. REFER TO MECHANICAL AND PLUMBING DRAWINGS. |
| 43 | TYPICAL AT ALL BASEMENT LOCATIONS - PROVIDE NEW CEILING LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS. |



a 3109 Mayfield Road, Suite 201
Cleveland, OH 44118
w www.LDAarchitecture.com

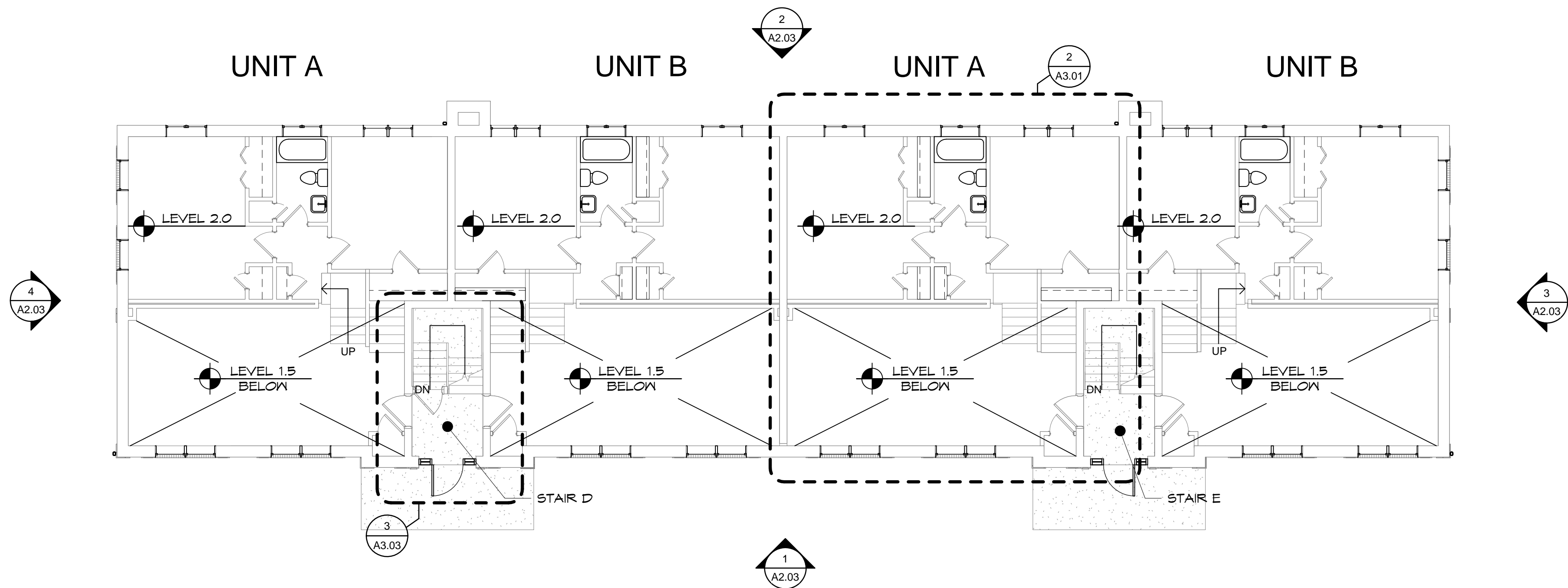
p 216.932.1890
f 216.932.1891

Horizon Hills
Cincinnati Metropolitan Housing Authority
Intersection at Grand and Warsaw Avenue,
Cincinnati, OH 45204

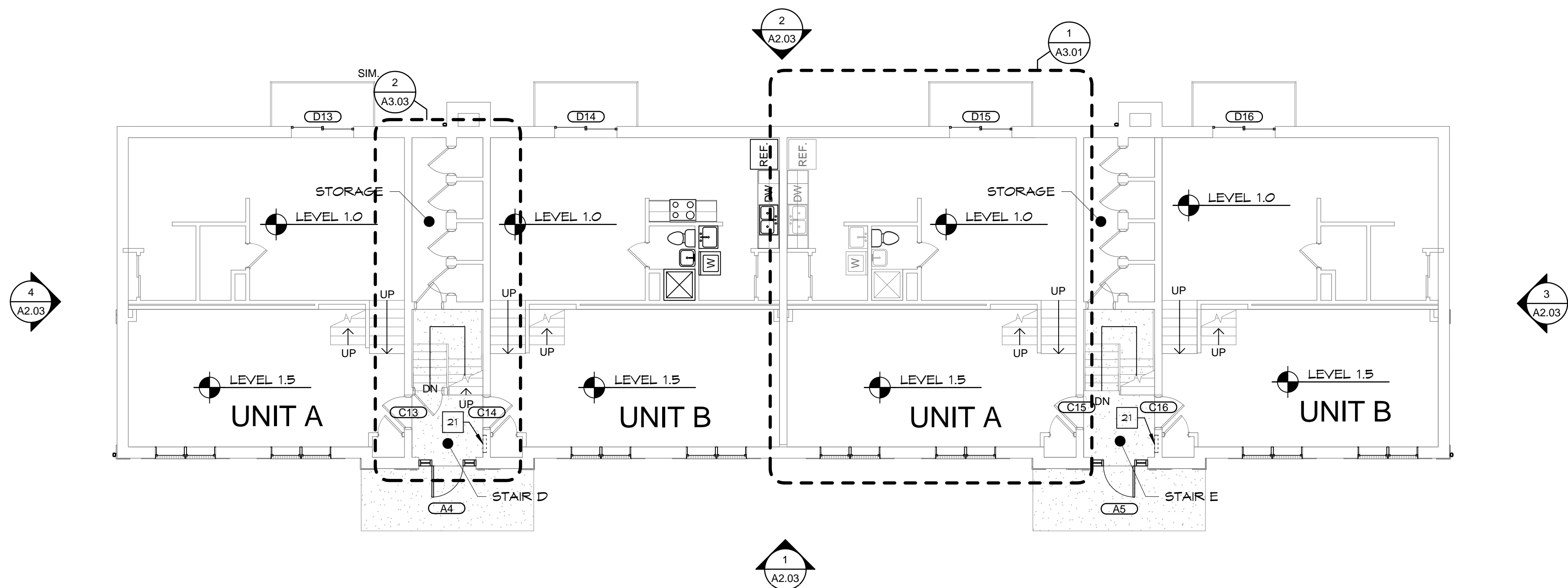
LDA Project No. 13.25

OVERALL FLOOR PLANS -
BUILDING #3

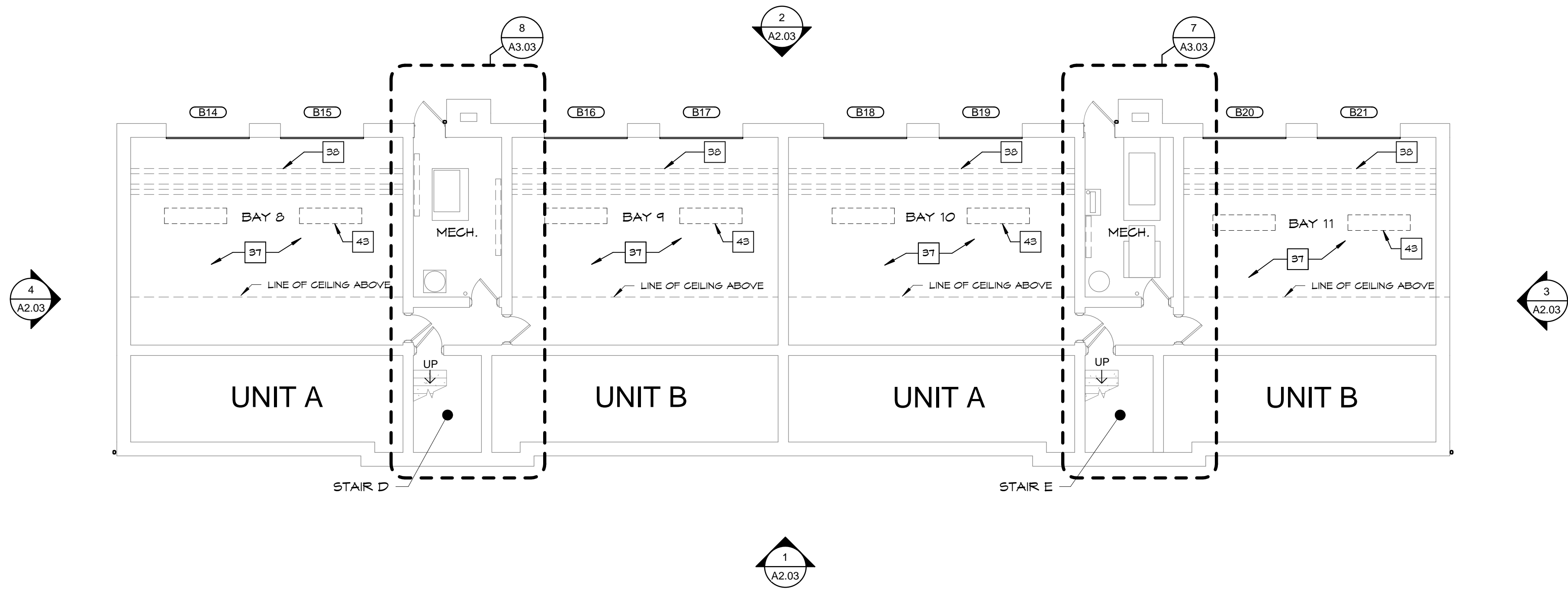
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BUILDING #3
3
A2.01
OVERALL FLOOR PLAN - LEVEL 2.0
SCALE: 1/8" = 1'-0"



BUILDING #3
2
A2.01
OVERALL FLOOR PLAN - LEVEL 1.0 AND 1.5
SCALE: 1/8" = 1'-0"



BUILDING #3
1
A2.01
OVERALL FLOOR PLAN - LEVEL 0.0
SCALE: 1/8" = 1'-0"