

GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

330 Forest Ave.  
Cincinnati, OH 45229

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NOTE:  
1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.  
2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.  
3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.  
4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.  
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6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES. LOCATIONS OR CODED REQUIREMENTS, THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION HIGHLY DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

# BEECHWOOD APARTMENTS

330 Forest Ave.  
Cincinnati, OH 45229  
FHA NUMBER : 046-35781

## BID SET



### deduct alternate list

THE FOLLOWING ITEMS WILL BE DEDUCT ALTERNATES TO THE BID PACKAGE AND ARE LISTED IN THE ORDER THEY WOULD BE TAKEN, IF NEEDED:

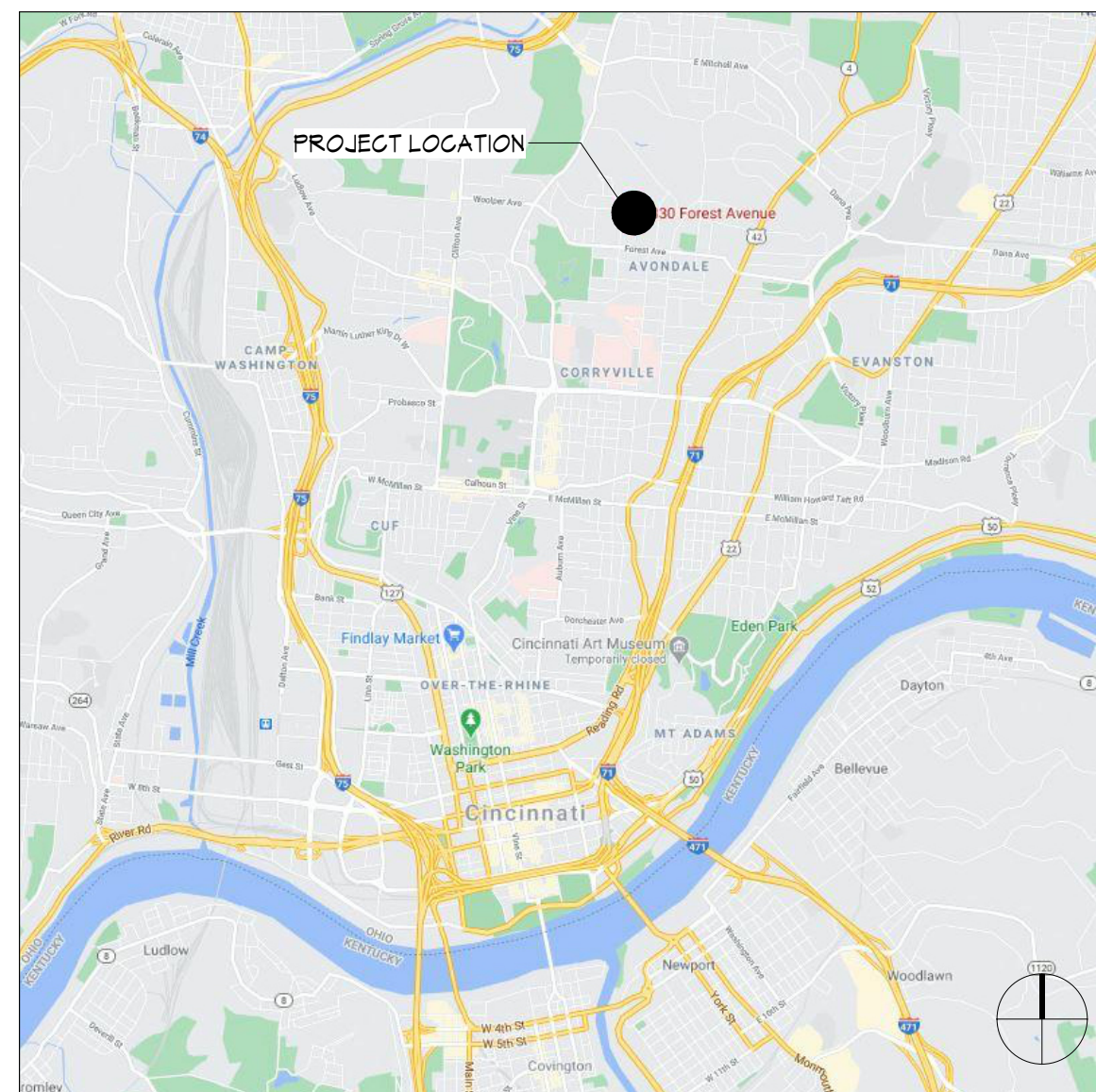
- 1. REMOVE BOLLARD LIGHTING
- 2. PAINTING OF THE BUILDING EXTERIOR
- 3. REMOVE EXISTING CEILING TEXTURE THROUGHOUT UNITS

### delegated design list

deferred submittals by certified designers:

- 1. fire suppression and protection systems
- 2. fire alarm systems and off site monitoring
- 3. radon mitigation systems

### location map



### drawing set log

01.05.2024 BID SET

solicitation number  
2024-3004

FHA number  
046-35784

### drawing index

Sheet #	Sheet Name
GENERAL	
G.001	COVER SHEET
G.002	BOMA AREA SCHEDULES
CIVIL	
C.100	OVERALL SITE PLAN
C.101	DEMO PLAN
C.200	NORTH SITE & GRADING PLAN
C.201	TRASH SITE & GRADING PLAN
C.202	ACCESSIBLE SITE & GRADING PLAN
C.203	SOUTH SITE & GRADING PLAN
C.300	UTILITY PLAN
C.400	SITE DETAILS
LANDSCAPE	
L.1	PRELIMINARY LANDSCAPE PLAN
ARCHITECTURAL SITE DEMO	
DS.101	DEMO SITE PLAN
ARCHITECTURAL SITE	
AS.101	SITE PLAN
AS.102	SITE DETAILS
ARCHITECTURAL	
A.001.a	ABBREVIATIONS SYMBOLS & NOTES
A.001.b	LIFE SAFETY PLANS
A.001.c	OCCUPANCY SCHEDULES
A.002.a	CONSTRUCTION TYPE DETAILS
A.003.a	GENERAL ACCESSIBILITY
A.003.b	ACCESSIBLE ROUTES
A.003.c	CURB RAMPS
A.003.d	ELEVATOR ACCESSIBILITY
A.003.e	STAIR ACCESSIBILITY
A.003.f	PLUMBING ACCESSIBILITY
A.003.g	PLUMBING ACCESSIBILITY
A.003.h	SIGNAGE & KITCHEN ACCESSIBILITY
A.004.a	TYPE A UNIT ACCESSIBILITY
A.004.b	TYPE B UNIT ACCESSIBILITY

Sheet #	Sheet Name
ARCHITECTURAL DEMO	
D.001	DEMOLITION NOTES
D.101	FIRST & SECOND FLOOR DEMO PLANS
D.102	THIRD & FOURTH FLOOR DEMO PLANS
D.103	FIFTH & SIXTH FLOOR DEMO PLANS
D.104	SEVENTH & EIGHTH FLOOR DEMO PLANS
D.105	NINTH & TENTH FLOOR DEMO PLANS
D.106	ELEVENTH & TWELFTH FLOOR DEMO PLANS
D.107	THIRTEENTH FLOOR & ROOF DEMO PLANS
D.201	DEMO ELEVATIONS
D.202	DEMO ELEVATIONS
D.203	DEMO ELEVATIONS
ARCHITECTURAL	
A.101	FIRST & SECOND FLOOR PLANS
A.102	THIRD & FOURTH FLOOR PLANS
A.103	FIFTH & SIXTH FLOOR PLANS
A.104	SEVENTH & EIGHTH FLOOR PLANS
A.105	NINTH & TENTH FLOOR PLANS
A.106	ELEVENTH & TWELFTH FLOOR PLANS
A.107	THIRTEENTH & ROOF FLOOR PLANS
ARCHITECTURAL	
A.201	EXTERIOR ELEVATIONS
A.202	EXTERIOR ELEVATIONS
A.203	EXTERIOR ELEVATIONS
ARCHITECTURAL	
A.301	ENLARGED PLANS
A.351	ENLARGED UNIT PLANS - 0 BR & 1 BR TYPE B UNITS
A.352	ENLARGED UNIT PLANS - 2 BR TYPE B UNIT
A.353	ENLARGED UNIT PLANS - 1 BR-A
A.354	ENLARGED UNIT PLANS - 1 BR-A-2
ARCHITECTURAL	
A.401	INTERIOR ELEVATIONS
A.402	INTERIOR ELEVATIONS
A.450	INTERIOR DETAILS

Sheet #	Sheet Name
EXTERIOR DETAILS	
A.650	EXTERIOR DETAILS
ARCHITECTURAL	
A.701	DOOR SCHEDULE & DETAILS
ARCHITECTURAL	
A.801	1ST & 2ND FLOOR REFLECTED CEILING PLANS
A.802	3RD & 4TH FLOOR REFLECTED CEILING PLANS
A.803	5TH & 6TH FLOOR REFLECTED CEILING PLANS
A.804	7TH & 8TH FLOOR REFLECTED CEILING PLANS
A.805	9TH & 10TH FLOOR REFLECTED CEILING PLANS
A.806	11TH & 12TH FLOOR REFLECTED CEILING PLANS
A.807	13TH FLOOR REFLECTED CEILING PLAN
A.850	CEILING DETAILS
INTERIORS	
I.001	FINISH SCHEDULE & DETAILS
I.002	FINISH SCHEDULE & DETAILS
I.101	FIRST & SECOND FLOOR FINISH PLAN
I.102	THIRD & FOURTH FLOOR FINISH PLAN
I.103	FIFTH & SIXTH FLOOR FINISH PLAN
I.104	SEVENTH & EIGHTH FLOOR FINISH PLAN
I.105	NINTH & TENTH FLOOR FINISH PLAN
I.106	ELEVENTH & TWELFTH FLOOR FINISH PLAN
I.107	THIRTEENTH FLOOR FINISH PLAN
I.201	FIRST AND SECOND FLOOR FURNITURE PLAN
I.301	ENLARGED FINISH PLANS
I.350	UNIT FLOOR FINISH PLANS
I.351	UNIT FLOOR FINISH PLANS
I.401	INTERIOR FINISH ELEVATIONS
I.500	SIGNAGE SCHEDULE
I.501	FIRST & SECOND FLOOR SIGNAGE PLAN
I.502	THIRD & FOURTH FLOOR SIGNAGE PLAN
I.503	FIFTH & SIXTH FLOOR SIGNAGE PLAN
I.504	SEVENTH & EIGHTH FLOOR SIGNAGE PLAN
I.505	NINTH & TENTH FLOOR SIGNAGE PLAN
I.506	ELEVENTH & TWELFTH FLOOR SIGNAGE PLAN
I.507	THIRTEENTH FLOOR SIGNAGE PLAN

Sheet #	Sheet Name
PLUMBING	
P.001	PLUMBING GENERAL INFORMATION
P.101	PLUMBING DEMO PLAN
P.200	PLUMBING UNDERGROUND PLAN
P.201	1ST FLOOR - PLUMBING PLANS
P.202	2ND FLOOR - PLUMBING PLANS
P.203	3RD FLOOR - PLUMBING PLANS
P.204	4TH FLOOR - PLUMBING PLANS
P.205	5TH FLOOR - PLUMBING PLANS
P.206	6TH FLOOR - PLUMBING PLANS
P.207	7TH FLOOR - PLUMBING PLANS
P.208	8TH FLOOR - PLUMBING PLANS
P.209	9TH FLOOR - PLUMBING PLANS
P.210	10TH FLOOR - PLUMBING PLANS
P.211	11TH FLOOR - PLUMBING PLANS
P.212	12TH FLOOR - PLUMBING PLANS
P.213	13TH FLOOR - PLUMBING PLANS
P.214	ROOF PLUMBING PLAN
P.301	ENLARGED PLUMBING PLANS
P.302	ENLARGED PLUMBING PLANS
P.303	ENLARGED PLUMBING PLANS
F.401	SANITARY ISOMETRIC
F.402	SANITARY ISOMETRIC
F.403	DOMESTIC WATER ISOMETRIC
F.404	DOMESTIC WATER ISOMETRIC
F.405	DOMESTIC WATER ISOMETRIC
F.406	DOMESTIC WATER ISOMETRIC
F.501	SCHEDULES AND DETAILS
F.502	SCHEDULES AND DETAILS

Sheet #	Sheet Name
MECHANICAL	
M.001	GENERAL INFORMATION
M.002	GENERAL INFORMATION
M.201	1ST FLOOR - HVAC & PIPING PLANS
M.202	2ND FLOOR - HVAC & PIPING PLANS
M.203	3RD FLOOR - HVAC & PIPING PLANS
M.204	4TH FLOOR - HVAC & PIPING PLANS
M.205	5TH FLOOR - HVAC & PIPING PLANS
M.206	6TH FLOOR - HVAC & PIPING PLANS
M.207	7TH FLOOR - HVAC & PIPING PLANS
M.208	8TH FLOOR - HVAC & PIPING PLANS
M.209	9TH FLOOR - HVAC & PIPING PLANS
M.210	10TH FLOOR - HVAC & PIPING PLANS
M.211	11TH FLOOR - HVAC & PIPING PLANS
M.212	12TH FLOOR - HVAC & PIPING PLANS
M.213	13TH FLOOR - HVAC & PIPING PLANS
M.214	ROOF - HVAC & PIPING PLANS
M.215	PENTHOUSE - HVAC & PIPING PLANS
M.301	MECHANICAL EQUIPMENT SCHEDULES
M.302	MECHANICAL EQUIPMENT SCHEDULES
M.303	MECHANICAL EQUIPMENT PIPING DETAILS
M.304	MECHANICAL EQUIPMENT INSTALLATION DETAILS
M.305	MECHANICAL EQUIPMENT INSTALLATION DETAILS
M.306	MECHANICAL EQUIPMENT CONTROL DETAILS
M.307	ENLARGED 1ST FLOOR MECHANICAL ROOM PLANS

Sheet #	Sheet Name
ELECTRICAL	
E.001	SITE PLAN
E.101	1ST FLOOR - ELECTRICAL PLANS
E.101a	1ST FLOOR - ELECTRICAL PLANS
E.101b	1ST FLOOR - ENLARGED PLANS
E.102	2ND FLOOR - ELECTRICAL PLANS
E.103	3RD FLOOR - ELECTRICAL PLANS
E.104	4TH FLOOR - ELECTRICAL PLANS
E.105	5TH FLOOR - ELECTRICAL PLANS
E.106	6TH FLOOR - ELECTRICAL PLANS
E.107	7TH FLOOR - ELECTRICAL PLANS
E.108	8TH FLOOR - ELECTRICAL PLANS
E.109	9TH FLOOR - ELECTRICAL PLANS
E.110	10TH FLOOR - ELECTRICAL PLANS
E.111	11TH FLOOR - ELECTRICAL PLANS
E.112	12TH FLOOR - ELECTRICAL PLANS
E.113	13TH FLOOR - ELECTRICAL PLANS
E.114	LOWER PH AND ROOF - ELECTRICAL PLANS
E.115	UPPER PH - ELEVATOR MACHINE RM PLANS
E.201	1ST FLOOR UNIT - ELECTRICAL PLANS
E.202	TYPICAL 0 BDR UNIT - ELECTRICAL PLANS
E.203	TYPICAL 1 BDR UNIT - ELECTRICAL PLANS
E.204	TYPICAL 1 BDR ADA UNITS - ELECTRICAL PLANS
E.301	DISTRIBUTION DIAGRAM - DEMOLITION
E.302	DISTRIBUTION DIAGRAM - NEW WORK
E.303	LOAD CENTER RISER DIAGRAM
E.401	PANELBOARD SCHEDULES (1 OF 2)
E.402	PANELBOARD SCHEDULES (2 OF 2)
E.403	LOAD CENTER SCHEDULES
E.404	MECHANICAL EQUIPMENT SCHEDULE
E.501	FIRE ALARM RISER DIAGRAM
E.502	LOW-VOLTAGE RISER & DETAILS
E.601	FIXTURE SCHEDULES
E.701	SYMBOL SCHEDULE

### BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

### COVER SHEET

# G.001

**BERARDI+**  
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owner:  
Cincinnati Metropolitan  
Housing Authority  
Cincinnati, Ohio

civil engineer:  
Guider Winkle  
Partners  
Marysville, Ohio

structural engineer:  
Derwacter &  
Associates, LLC  
Zanesville, Ohio

architect:  
Berardi + Partners, Inc.  
Columbus, Ohio

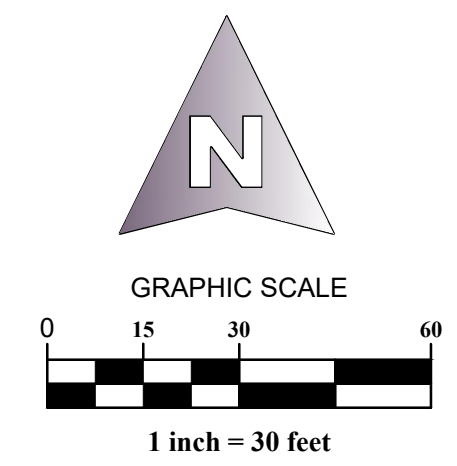
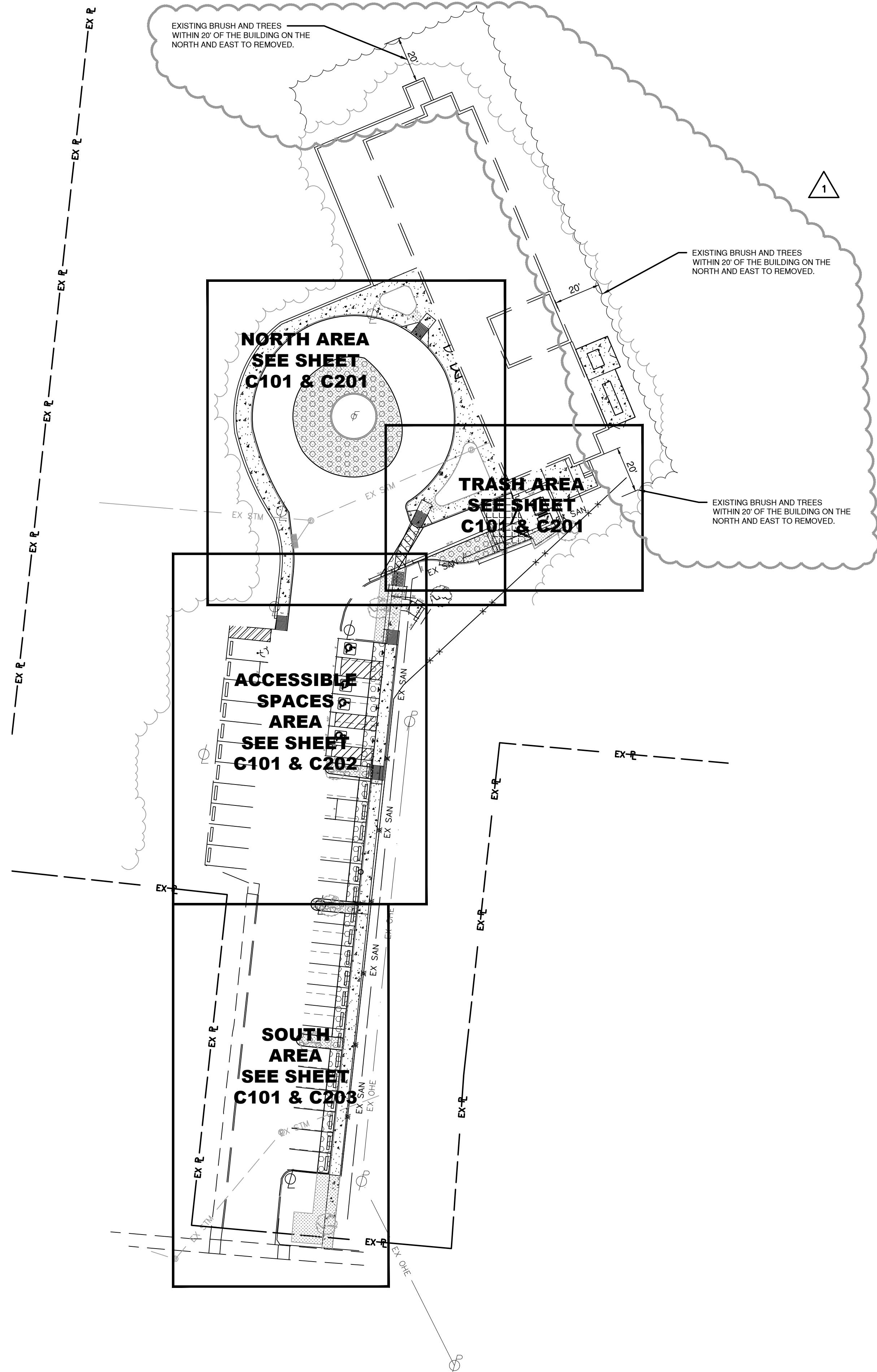
systems engineer:  
PTA Engineering  
Akron, OH

contractor:

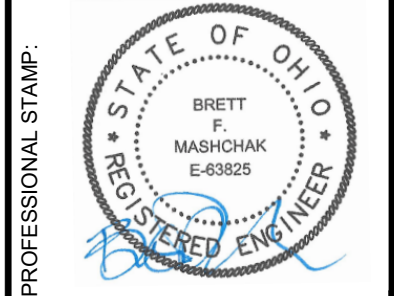
lender:

bonding agent:

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PREPARED BY:  
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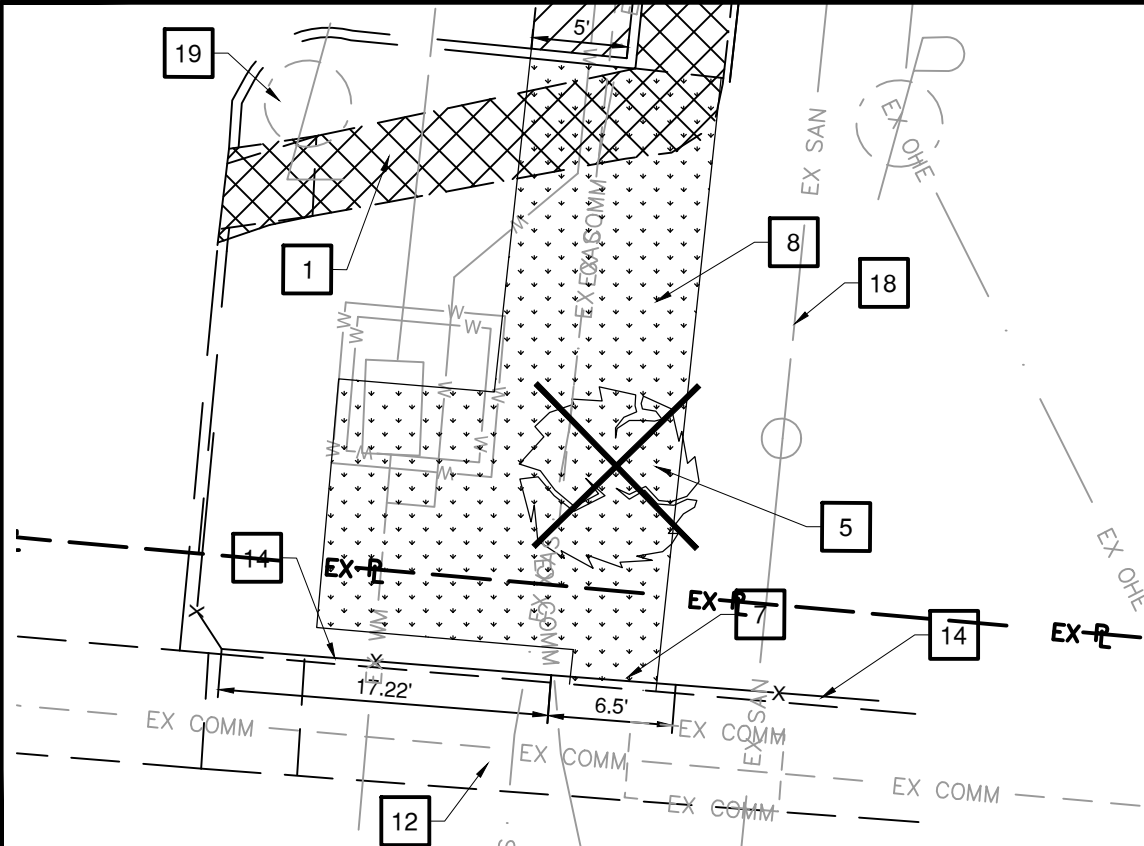
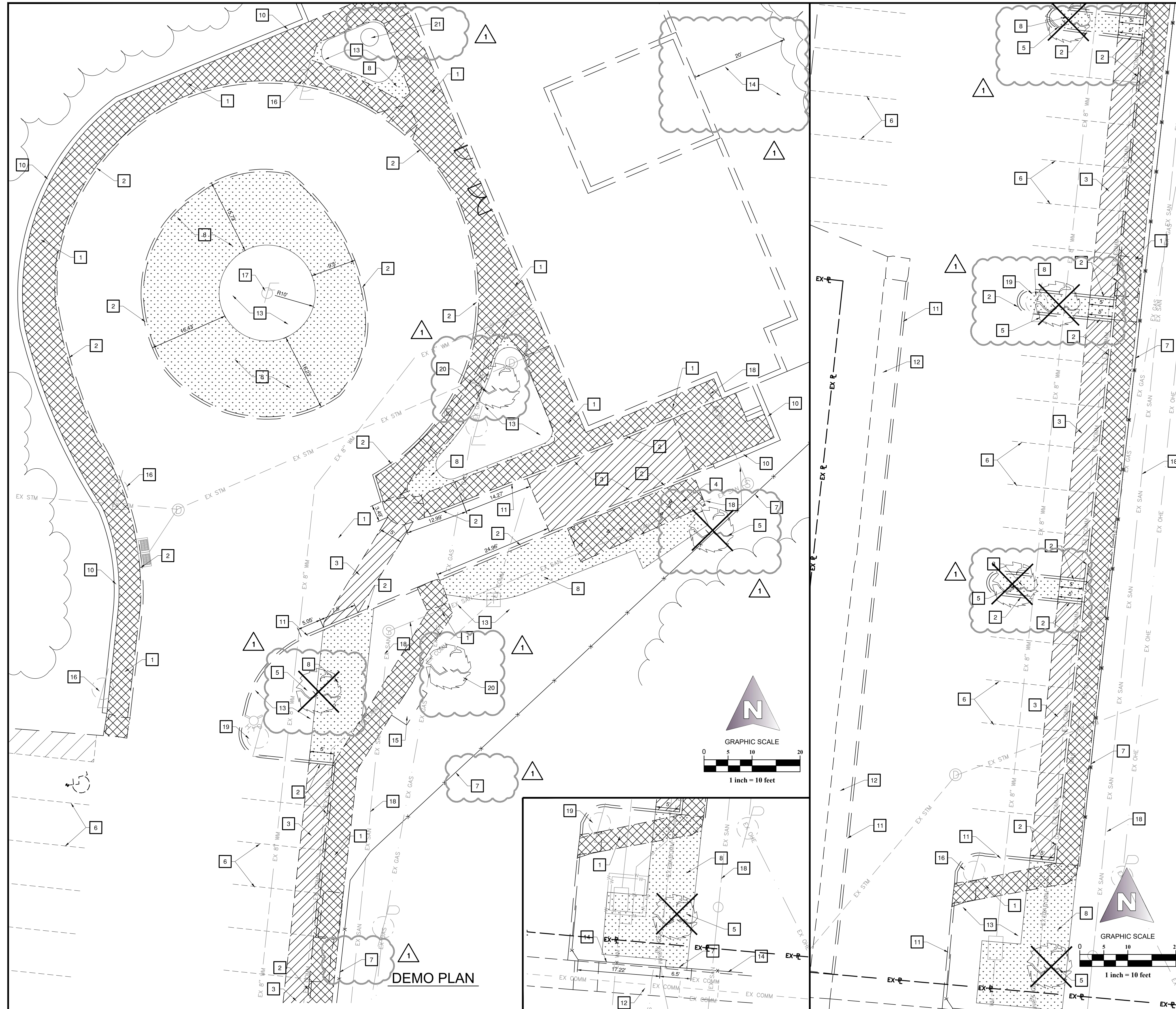


PROFESSIONAL STAMP:

NO.	DATE	DESCRIPTION	REVISIONS
1	12/29/2023	BID SET	
	1/22/2024	ADDENDUM #1	

**BEECHWOOD APARTMENTS**  
SITE IMPROVEMENT PLANS  
330 FOREST AVE., CINCINNATI, OH 45229

SHEET NAME:  
DATE: 9/20/2021  
DRAWN BY: CAW  
SHEET:  
**C100 OVERALL SITE PLAN**  
JOB # 21180



**DEMOLITION NOTES**

- BUILDING AND APPURTENANCES DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL FURNISHED WITH NOTICE OF POSSESSION AND APPROVAL TO PROCEED FROM OWNER. THE CONTRACTOR SHALL COORDINATE THE SCHEDULE WITH EXISTING TENANTS AND ADJACENT PROPERTY OWNERS.
- FOUNDATIONS, SLABS, ALL UNDERGROUND STRUCTURES, AND UTILITIES DESIGNATED FOR REMOVAL SHALL BE REMOVED ENTIRELY. AREAS TO BE BACKFILLED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO PROVIDE SERVICE WHETHER SHOWN ON THE PLANS OR NOT.
- CONTRACTOR SHALL VERIFY THAT ALL UTILITIES HAVE BEEN ABANDONED OR PROPERLY SHUTOFF PRIOR TO EXCAVATION.
- EXISTING UTILITIES AND TOPO LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATION WHETHER SHOWN ON PLANS OR NOT.
- ALL DEBRIS FROM DEMOLITION, NOT BEING REUSED, SHALL BE HAULED OFF SITE AND DISPOSED OF BY LEGAL MEANS.
- UPON CLIENT DIRECTION, CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY FENCE, 6 FOOT MINIMUM HEIGHT, FOR THE DURATION OF ALL DEMOLITION PHASES. UPON COMPLETION OF DEMOLITION PHASES, FENCE MAINTENANCE SHALL BE RESPONSIBILITY OF THE SITE CONTRACTOR.
- CONTRACTOR SHALL NOT RESTRICT ACCESS TO ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. ACCESS SHALL BE MAINTAINED SO AS NOT TO INTERRUPT NORMAL OPERATIONS OF ADJACENT FACILITIES.
- CONTRACTOR SHALL NOT ALLOW ANY UTILITY OR SERVICES TO THE NEIGHBORING PROPERTY(S) TO BE INTERRUPTED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE RESPECTIVE OWNERS. CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE NEIGHBORING BUILDINGS. IF IT IS NECESSARY FOR CONNECTIONS TO BE INTERRUPTED, CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES (I.E. GENERATORS, PORTABLE GAS TANKS, ETC.), CONTRACTOR SHALL COORDINATE ALL UTILITY ABANDONMENT AND REMOVAL WITH THE RESPECTIVE UTILITY COMPANIES.
- ANY EXISTING UTILITIES COMPLETELY EXCAVATED AND REMOVED SHALL BE BACKFILLED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- WORK CANNOT OCCUR OUTSIDE OF THE DEMOLITION LIMITS WITHOUT PRIOR CONSENT OF OWNER, ADJACENT OWNER, AND LOCAL JURISDICTION. ANY TEMPORARY EASEMENTS REQUIRED WHICH ARE NOT DEPICTED IN THE DRAWINGS SHALL BE THE CONTRACTORS RESPONSIBILITY.
- EROSION CONTROL PRACTICES MUST BE IN PLACE AND MAINTAINED DURING DEMOLITION.
- GENERAL CONTRACTOR SHALL PRESENT LICENSING INFORMATION TO THE STATE ENVIRONMENTAL PROTECTION AGENCY THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION.

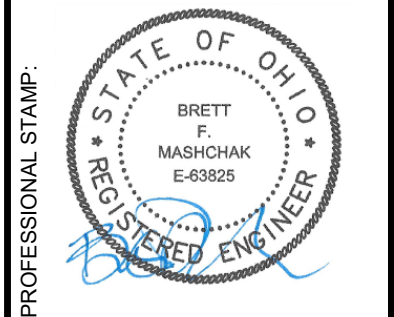
**KEYED NOTES**

- 1 EXISTING CONCRETE SIDEWALK TO BE REMOVED. SAW CUT AT NEAREST JOINT.
- 2 EXISTING CONCRETE CURB TO BE REMOVED. SAW CUT ASPHALT NEAR CURB PRIOR TO REMOVING.
- 3 EXISTING ASPHALT PAVEMENT TO BE REMOVED. SAW CUT BEFORE REMOVING.
- 4 EXISTING CONCRETE PATIO TO BE REMOVED.
- 5 EXISTING TREE TO BE REMOVED.
- 6 EXISTING PARKING LINES TO BE REMOVED
- 7 EXISTING FENCE TO BE REMOVED.
- 8 EXISTING LANDSCAPE BED TO BE REMOVED.
- 10 EXISTING RETAINING WALL TO REMAIN.
- 11 EXISTING CURB TO REMAIN.
- 12 EXISTING SIDEWALK TO REMAIN.
- 13 EXISTING LANDSCAPING TO REMAIN. SEE LANDSCAPE PLANS FOR UPGRADES
- 14 EXISTING BRUSH AND TREES WITHIN 20' OF THE BUILDING ON THE NORTH AND EAST TO BE REMOVED. SEE ADDITIONAL LAYOUT ON C100.
- 15 EXISTING BUS SHELTER TO REMAIN.
- 16 EXISTING LIGHT POLE TO BASE REMAIN. FIXTURE AND POLE TO BE REPLACED. SEE ELECTRICAL DRAWINGS
- 17 EXISTING FLAG POLE TO REMAIN.
- 18 EXISTING SANITARY SEWER TO BE REPLACED FROM THE BUILDING TO THE CLEANOUT AT THE STREET. CONTRACTOR TO INSPECT MANHOLES FOR INTEGRITY IF THEY ARE STILL IN GOOD CONDITION THEY SHALL REMAIN. SEE UTILITY PLAN FOR DETAILS.
- 19 EXISTING LIGHT POLE TO BE REMOVED.
- 20 EXISTING TREE TO REMAIN.
- 21 EXISTING CONCRETE PLANTER TO BE REMOVED

**PLAN LEGEND / QUANTITIES**

	CONC. WALK TO BE REMOVED = 4,320 SF
	ASPHALT AREA REMOVED = 1,590 SF
	CURB REMOVED = 752 LF
	FENCE REMOVE = 347 LF
	LANDSCAPE AREA REMOVED = 2,900 SF

PREPARED BY:  
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 P: (740) 666-8902



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2	1/22/2024	ADDENDUM #1	

**BEECHWOOD APARTMENTS**  
 SITE IMPROVEMENT PLANS  
 330 FOREST AVE., CINCINNATI, OH 45229

SHEET NAME:  
 DATE: 9/20/2021  
 DRAWN BY: CAW  
 SHEET: **C101**  
**DEMO PLAN**  
 JOB # 21180

**KEYED NOTES**

- 1 PROPOSED CONCRETE SIDEWALK. INSTALL CONCRETE JOINT SEALANT AT CONTROL JOINTS, CRACKS AND ABUTMENTS AT SIDEWALKS/ PATIOS.
- 2 PROPOSED ASPHALT PAVEMENT. SEE DETAIL ON SHEET C400.
- 3 PROPOSED PAVEMENT MARKINGS TO BE ALKYD-READY MIX (YELLOW) PAVEMENT STRIPING PER DOT SPECIFICATIONS.
- 4 (3) HC PARKING SPACES TO BE PROVIDED, INCLUDING 2 VAN ACCESSIBLE SPACE. AREA SHALL MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- 5 PROPOSED HANDICAP PARKING BOLLARD SIGNS; SIGNAGE SHALL MEET ALL LOCAL REQUIREMENTS. SEE DETAIL SHEET C400.

**KEYED NOTES**

- 6 PROPOSED 6" CONCRETE CURB. SEE DETAIL SHEET C400
- 7 PROPOSED ACCESSIBLE RAMP. SEE DETAIL SHEET C400
- 8 EXISTING LANDSCAPING TO BE REPAIRED AT THE COMPLETION OF CONSTRUCTION.
- 9 EXISTING ASPHALT PAVEMENT TO BE 1.5" MILLED & 1.5" OVERLAY AND RE-STRIPED. STRIPING TO BE PER KEYED NOTE 3.
- 10 EXISTING FLAG POLE TO REMAIN.
- 11 EXISTING DOOR TO BE RELOCATED. SEE ARCHITECTURAL PLANS FOR LOCATION.

**PLAN LEGEND / QUANTITIES**

	NEW CONCRETE WALK = 952 SF
	NEW CONCRETE CURB = 435LF
	ASPHALT FULL DEPTH PAVEMENT = 1,650 SF
	ASPHALT MILL & 1.5" OVERLAY PAVEMENT = 6,076 SF

**GRADING PLAN LEGEND**

	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED SPOT ELEVATION AT CURB
	PROPOSED SPOT ELEVATION
	PROPOSED SLOPE

**GENERAL NOTES**

ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND LOCAL REQUIREMENTS. CONTRACTORS MUST COMPLY WITH CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES. ALL REQUIRED CITY / COUNTY / STATE PERMITS SHALL BE ACQUIRED AND PAID FOR BY NOAHS; ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR.

DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS, DRAWINGS, AND SPECIFICATIONS ARE NOT INTENDED. STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. THE CONTRACTOR SHALL CLARIFY ANY SUCH DISCREPANCIES WITH THE ENGINEER PRIOR TO COMMENCING WORK.

CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC RIGHT OF WAY OR ADJOINING PROPERTIES. ALL SIGNAGE AND TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH ODOT REQUIREMENTS. IF A MAINTENANCE OF TRAFFIC PLAN IS NECESSARY, THE PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED WITH THE LOCALE OF THE PROJECT. MAINTENANCE OF TRAFFIC PLANS WHICH ARE NOT INCLUDED IN THIS SET OF DRAWINGS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

ALL SITE WORK AND PAVING SHALL BE IN ACCORDANCE WITH OR SURPASS RECOMMENDATIONS OF ODOT. IF THE ODOT CONFLICTS WITH DRAWINGS AND SPECIFICATIONS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE AND BE CONSIDERED THE INTENT OF THE BID DOCUMENTS. CONTACT THE GEOTECHNICAL ENGINEER FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING OR FOUNDATION CONSTRUCTION.

**SITE NOTES**

- A ACCESSIBLE PARKING SHALL MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- B ALL RADII ARE 5.0' OR HALF THE ISLAND WIDTH UNLESS OTHERWISE NOTED.
- C ALL DIMENSIONS ARE TO FACE OF CURB AND BUILDING EDGE OF SLAB UNLESS OTHERWISE NOTED.
- D ALL SIGNAGE SHALL COMPLY WITH LOCAL REQUIREMENTS. VERIFY STYLE WITH OWNER'S REPRESENTATIVE.
- E VERIFY ALL PROPOSED UTILITY CROSSINGS WITH EXISTING UTILITIES. TEST PITS SHOULD BE MADE PRIOR TO CONSTRUCTION. FAILURE TO VERIFY UTILITIES PRIOR TO INITIATING CONSTRUCTION SHALL RESULT IN ALL APPLICABLE CHANGE ORDERS BEING THE CONTRACTOR'S RESPONSIBILITY.
- F MATERIALS AND INSTALLATION TO BE IN ACCORDANCE WITH STATE AND LOCAL CODES, N.F.P.A. AND N.E.C. STANDARDS AND SERVICE PROVIDER REQUIREMENTS.
- G ALL WORK WITHIN THE RIGHT-OF-WAY OR PUBLIC EASEMENTS FOR PRIVATE UTILITIES (GAS, ELECTRIC, DATA, ETC.) SHALL REQUIRE SEPARATE RIGHT OF WAY PERMITS.

**GRADING NOTES**

THE INFORMATION DEPICTED ON THESE CONSTRUCTION DOCUMENTS IS AS ACCURATE AS POSSIBLE WITH REGARD TO THE INFORMATION PROVIDED BY THE SURVEYOR. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE AND THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCY FOUND BETWEEN THE FIELD CONDITIONS AND THESE PLANS.

ALL PROPOSED SPOT ELEVATIONS AND CONTOURS SHOWN ON THE PLAN ARE PROPOSED FINISHED GRADES. THE GENERAL CONTRACTOR SHALL ADJUST SUBGRADE ELEVATIONS ACCORDINGLY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. SEE THE BUILDING PLANS FOR FURTHER DETAILS. GENERAL CONTRACTOR SHALL ALSO ADJUST SUBGRADE ELEVATION IN ALL LANDSCAPED ISLANDS TO ACCOUNT FOR TOPSOIL AND MULCH. SEE LANDSCAPE PLANS FOR FURTHER DETAIL.

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ON ACCESSIBLE ROUTES, WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 20H:1V, IT SHALL COMPLY WITH THE PROVISIONS OF A PEDESTRIAN RAMP.

PER ADA STANDARDS FOR ACCESSIBLE DESIGN 4.5.2: ON ACCESSIBLE ROUTES, CHANGES IN ELEVATION UP TO 1/4" ARE ALLOWED. CHANGES GREATER THAN 1/4" MUST BE BEVELED NO GREATER THAN 2H:1V AND CHANGES GREATER THAN 1/4" SHALL COMPLY WITH REQUIREMENTS FOR CURB RAMPS.

NO SLOPE SHALL BE GREATER THAN 2H:1V. SLOPES GREATER THAN 2H:1V MUST BE AN ENGINEERED SLOPE OR CONTOURED UTILIZING A RETAINING WALL OR OTHER APPROVED STRUCTURAL MEANS. THE GENERAL CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD IF A DISCREPANCY IS FOUND IN THE FIELD WHICH CREATES A SCOPE CONDITION THAT EXCEEDS 2H:1V. FAILURE TO CONTACT THE ENGINEER PRIOR TO COMMENCING WORK WILL RESULT IN CORRECTIVE MEASURES AT THE CONTRACTOR'S EXPENSE.

ALL WALKS WITH CONTINUOUS SLOPE GREATER THAN 5% SHALL HAVE LEVEL AREAS AT LEAST 5 FEET IN LENGTH AT INTERVALS OF AT LEAST EVERY 30 FEET.

ASPHALT ELEVATION ADJACENT TO CATCH BASINS SHALL BE 1/4" ABOVE RIM ELEVATION SHOWN FOR CATCH BASIN (TYPICAL).

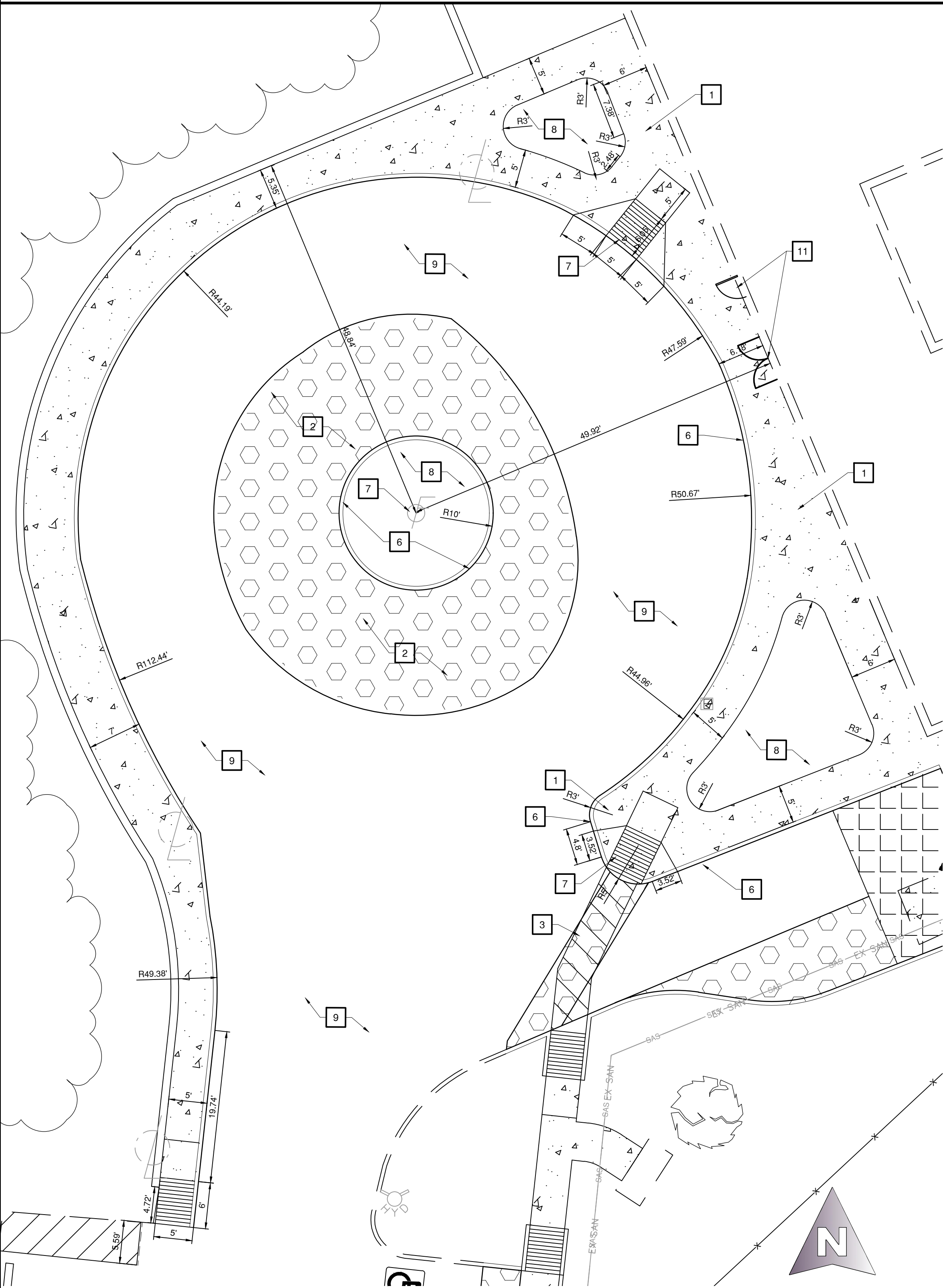
INSTALL ALL NECESSARY EROSION CONTROL MEASURES PRIOR TO THE START OF ANY GRADING ACTIVITIES. REFER TO THE EROSION CONTROL PLAN FOR DETAILS AND PROCEDURES.

NO GRADING ACTIVITIES SHALL BE PERFORMED OFF-SITE WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER AND LOCAL JURISDICTION.

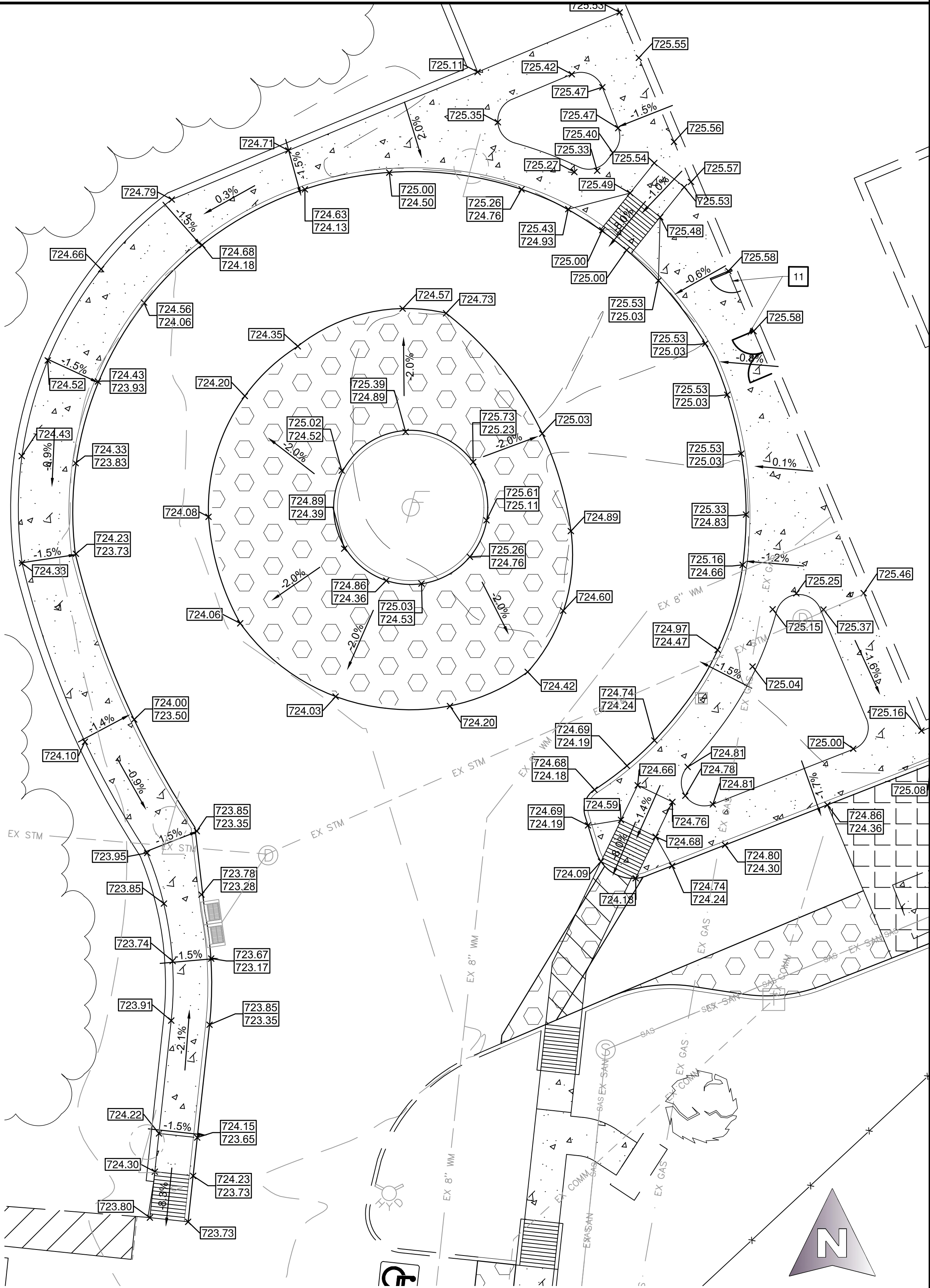
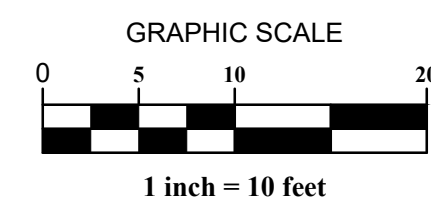
EXISTING GRADES SHALL BE MATCHED WITHIN THE LEGAL BOUNDARY UNLESS OTHER PROVISIONS HAVE BEEN MADE.

SOILS IMPORTED INTO THE SITE FOR STRUCTURAL FILL SHALL BE CLEAN AND FREE OF ORGANIC MATERIALS.

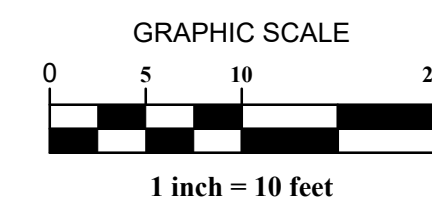
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**NORTH AREA  
SITE PLAN**

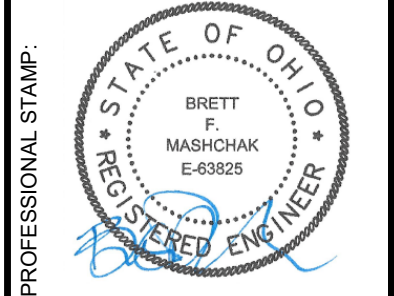


**NORTH AREA  
GRADING PLAN**



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REVISIONS		NO.	DATE	DESCRIPTION
		1	12/29/2023	BID SET
		2	1/22/2024	ADDENDUM #1

**BEECHWOOD APARTMENTS**  
SITE IMPROVEMENT PLANS

330 FOREST AVE., CINCINNATI, OH 45229

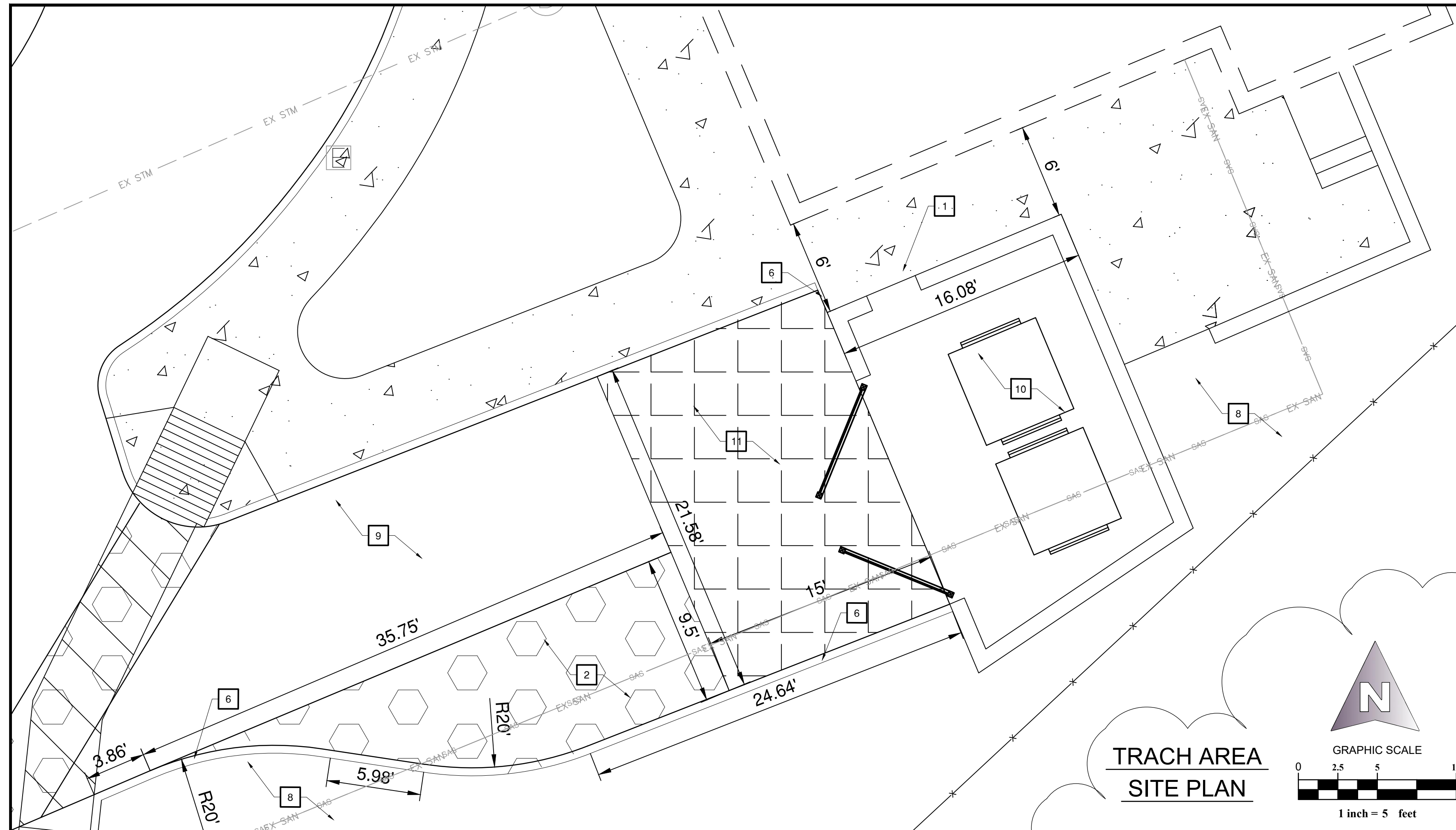
SHEET NAME: **C200 NORTH SITE & GRADING PLAN**

DATE: 9/20/2021

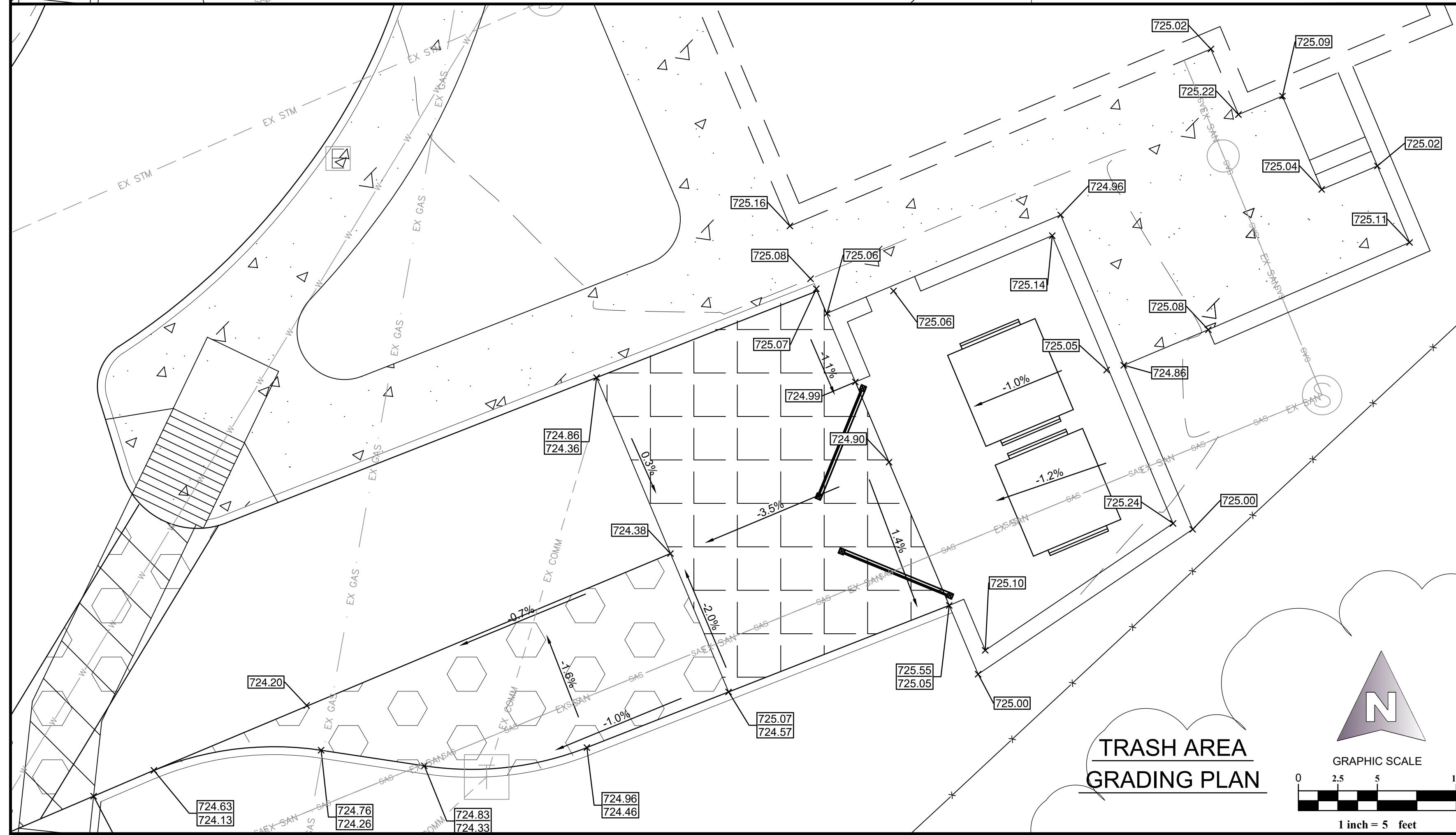
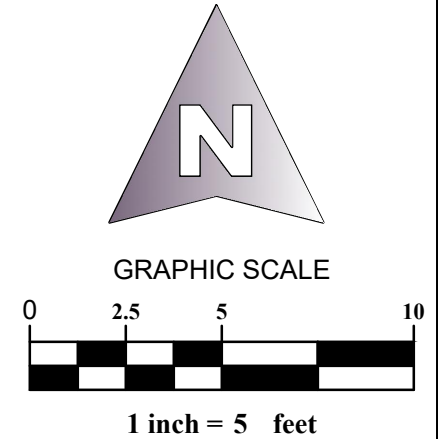
DRAWN BY: CAW

SHEET: **C200 NORTH SITE & GRADING PLAN**

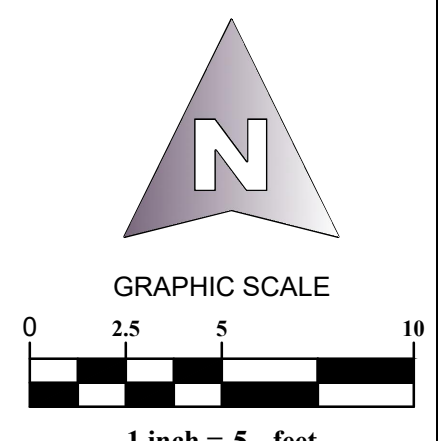
JOB # 21180



**TRACH AREA  
SITE PLAN**



**TRASH AREA  
GRADING PLAN**



**KEYED NOTES**

- 1 PROPOSED CONCRETE SIDEWALK. INSTALL CONCRETE JOINT SEALANT AT CONTROL JOINTS, CRACKS AND ABUTMENTS AT SIDEWALKS/ PATIOS.
- 2 PROPOSED ASPHALT PAVEMENT. SEE DETAIL ON SHEET C400.
- 3 PROPOSED PAVEMENT MARKINGS TO BE ALKYD-READY MIX (YELLOW) PAVEMENT STRIPING PER DOT SPECIFICATIONS.
- 4 (3) HC PARKING SPACES TO BE PROVIDED, INCLUDING 1 VAN ACCESSIBLE SPACE. AREA SHALL MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- 5 PROPOSED HANDICAP PARKING BOLLARD SIGNS; SIGNAGE SHALL MEET ALL LOCAL REQUIREMENTS. SEE DETAIL SHEET C400.
- 6 PROPOSED 6" CONCRETE CURB. SEE DETAIL SHEET C400
- 7 PROPOSED ACCESSIBLE RAMP. SEE DETAIL SHEET C400
- 8 EXISTING LANDSCAPING TO BE REPAIRED AT THE COMPLETION OF CONSTRUCTION.
- 9 EXISTING ASPHALT PAVEMENT TO BE 1.5" MILLED & 1.5" OVERLAY AND RE-STRIPED. STRIPING TO BE PER KEYED NOTE 3.
- 10 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11 PROPOSED CONCRETE TURN DOWN EDGE FOR TRASH PAD. SEE DETAIL ON SHEET C400.

**GRADING PLAN LEGEND**

	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED SPOT ELEVATION AT CURB
	PROPOSED SPOT ELEVATION
	PROPOSED SLOPE

**PLAN LEGEND / QUANTITIES**

	NEW CONCRETE WALK = 340 SF
	NEW CONCRETE CURB = 63 LF
	CONCRETE TURN DOWN = 525 SF
	ASPHALT FULL DEPTH PAVEMENT = 211 SF
	ASPHALT MILL & 1.5" OVERLAY PAVEMENT = 430 SF

**GENERAL NOTES**

ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND LOCAL REQUIREMENTS. CONTRACTORS MUST COMPLY WITH CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES. ALL REQUIRED CITY / COUNTY / STATE PERMITS SHALL BE ACQUIRED AND PAID FOR BY NOAHS; ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR.

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**SITE NOTES**

- A ACCESSIBLE PARKING SHALL MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- B ALL RADII ARE 5.0' OR HALF THE ISLAND WIDTH UNLESS OTHERWISE NOTED.
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- D ALL SIGNAGE SHALL COMPLY WITH LOCAL REQUIREMENTS. VERIFY STYLE WITH OWNER'S REPRESENTATIVE.
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- F MATERIALS AND INSTALLATION TO BE IN ACCORDANCE WITH STATE AND LOCAL CODES, N.F.P.A. AND N.E.C. STANDARDS AND SERVICE PROVIDER REQUIREMENTS.
- G ALL WORK WITHIN THE RIGHT-OF-WAY OR PUBLIC EASEMENTS FOR PRIVATE UTILITIES (GAS, ELECTRIC, DATA, ETC.) SHALL REQUIRE SEPARATE RIGHT OF WAY PERMITS.

**GRADING NOTES**

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WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/4".

WALKING SURFACE CROSS SLOPES SHALL NOT EXCEED 2%.

WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN THE GRATINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAFFIC FLOW.

ON ACCESSIBLE ROUTES, WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 2H:1V, IT SHALL COMPLY WITH THE PROVISIONS OF A PEDESTRIAN RAMP.

PER ADA STANDARDS FOR ACCESSIBLE DESIGN 4.5.2: ON ACCESSIBLE ROUTES, CHANGES IN ELEVATION UP TO 1/4" ARE ALLOWED. CHANGES GREATER THAN 1/4" MUST BE BEVELED NO GREATER THAN 2H:1V AND CHANGES GREATER THAN 1/4" SHALL COMPLY WITH REQUIREMENTS FOR CURB RAMPS.

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ALL WALKS WITH CONTINUOUS SLOPE GREATER THAN 5% SHALL HAVE LEVEL AREAS AT LEAST 5 FEET IN LENGTH AT INTERVALS OF AT LEAST EVERY 30 FEET.

ASPHALT ELEVATION ADJACENT TO CATCH BASINS SHALL BE 1/4" ABOVE RIM ELEVATION SHOWN FOR CATCH BASIN (TYPICAL).

INSTALL ALL NECESSARY EROSION CONTROL MEASURES PRIOR TO THE START OF ANY GRADING ACTIVITIES. REFER TO THE EROSION CONTROL PLAN FOR DETAILS AND PROCEDURES.

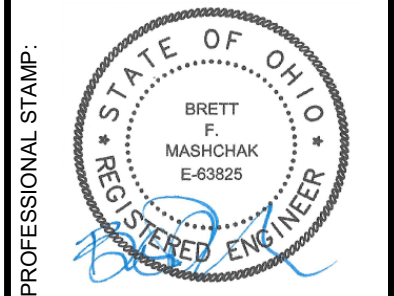
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EXISTING GRADES SHALL BE MATCHED WITHIN THE LEGAL BOUNDARY UNLESS OTHER PROVISIONS HAVE BEEN MADE.

SOILS IMPORTED INTO THE SITE FOR STRUCTURAL FILL SHALL BE CLEAN AND FREE OF ORGANIC MATERIALS.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT TO PROPOSED GRADE ALL MANHOLES, CLEANOUTS, VALVES, VAULTS, GREASE TRAPS, AND ALL OTHER UTILITY APPURTENANCES AS NEEDED. SEE THE GRADING PLAN FOR PROPOSED GRADING INFORMATION.

PREPARED BY:  
**GW GUIDER WINKLE PARTNERS**  
SURVEYING & ENGINEERING  
19541 DELAWARE COUNTY LINE ROAD  
MARYSVILLE, OH 43040  
WWW.GUIDERWINKLE.COM  
P: (740) 666-8902



PROFESSIONAL STAMP:

NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY
	12/29/2023	BID SET				
	12/22/2024	ADDENDUM #1				

**BEECHWOOD APARTMENTS**  
SITE IMPROVEMENT PLANS  
330 FOREST AVE., CINCINNATI, OH 45229

SHEET NAME:  
**C201 TRASH SITE & GRADING PLAN**

DATE: 9/20/2021  
DRAWN BY: CAW  
SHEET: C201  
JOB # 21180

**KEYED NOTES**

- 1 PROPOSED CONCRETE SIDEWALK. INSTALL CONCRETE JOINT SEALANT AT CONTROL JOINTS, CRACKS AND ABUTMENTS AT SIDEWALKS/PATIOS.
- 2 PROPOSED ASPHALT PAVEMENT. SEE DETAIL ON SHEET C400.
- 3 PROPOSED PAVEMENT MARKINGS TO BE ALKYD-READY MIX (YELLOW) PAVEMENT STRIPING PER DOT SPECIFICATIONS.
- 4 (4) HC PARKING SPACES TO BE PROVIDED, INCLUDING 2 VAN ACCESSIBLE SPACE. AREA SHALL MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- 5 PROPOSED HANDICAP PARKING BOLLARD SIGNS; SIGNAGE SHALL MEET ALL LOCAL REQUIREMENTS. SEE DETAIL SHEET C400.

**KEYED NOTES**

- 6 PROPOSED 6" CONCRETE CURB. SEE DETAIL SHEET C400
- 7 PROPOSED ACCESSIBLE RAMP. SEE DETAIL SHEET C400
- 8 EXISTING LANDSCAPING TO BE REPAIRED AT THE COMPLETION OF CONSTRUCTION.
- 9 EXISTING ASPHALT PAVEMENT TO BE 1.5" MILLED & 1.5" OVERLAY AND RE-STRIPED. STRIPING TO BE PER KEYED NOTE 3.
- 10 PROPOSED PARKING BLOCKS.
- 11 PROPOSED 347 L.F. 6' HIGH ALUMINUM FENCE. TO BE INSTALLED IN THE SAME LOCATION AS THE EXISTING FENCE.

**PLAN LEGEND / QUANTITIES**

	NEW CONCRETE WALK = 758 SF
	NEW CONCRETE CURB = 135LF
	ASPHALT FULL DEPTH PAVEMENT = 738 SF
	ASPHALT MILL & 1.5" OVERLAY PAVEMENT = 6,900 SF

**GRADING PLAN LEGEND**

	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED SPOT ELEVATION AT CURB
	PROPOSED SPOT ELEVATION
	PROPOSED SLOPE

**GENERAL NOTES**

ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND LOCAL REQUIREMENTS. CONTRACTORS MUST COMPLY WITH CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES. ALL REQUIRED CITY / COUNTY / STATE PERMITS SHALL BE ACQUIRED AND PAID FOR BY NOAHS; ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR.

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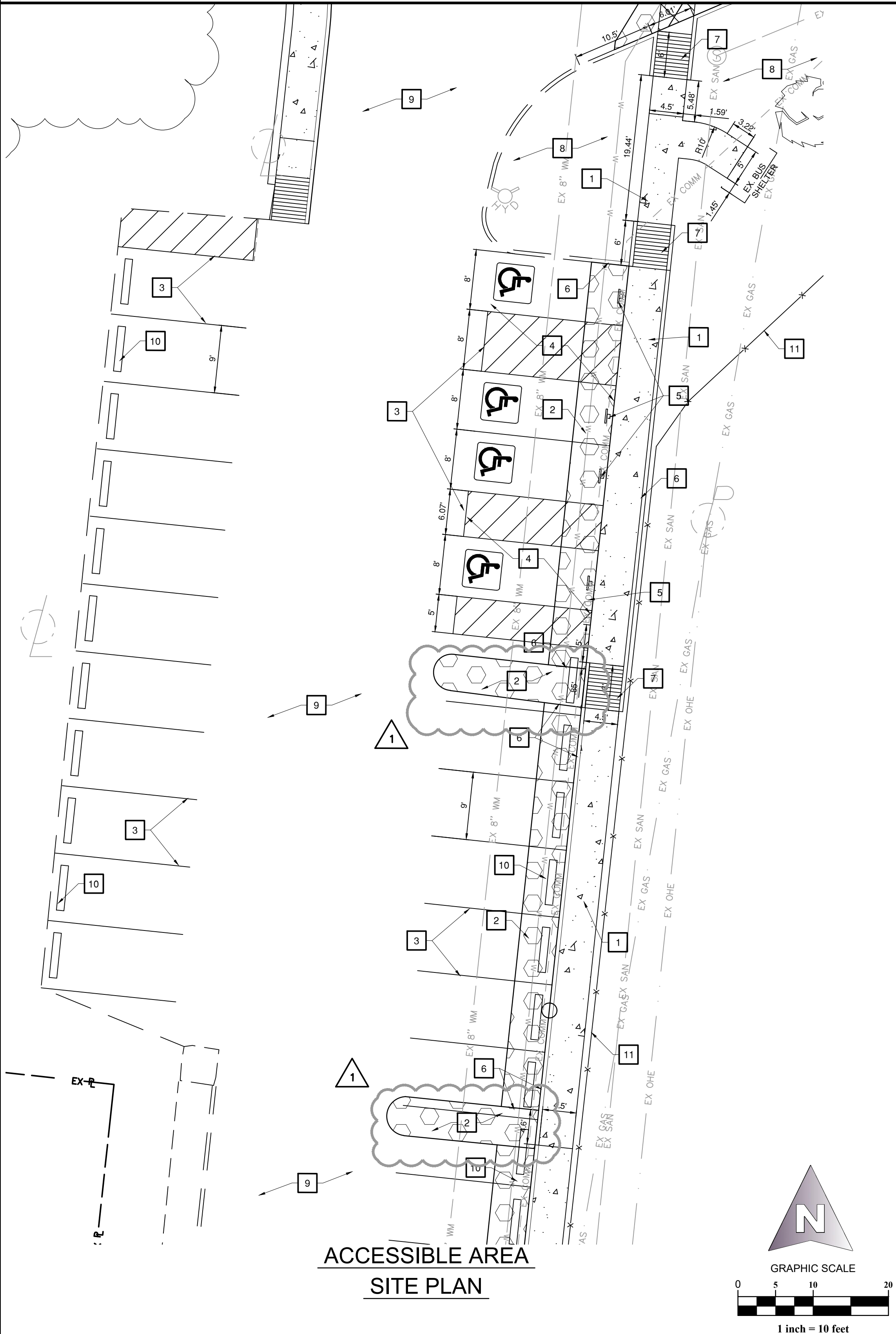
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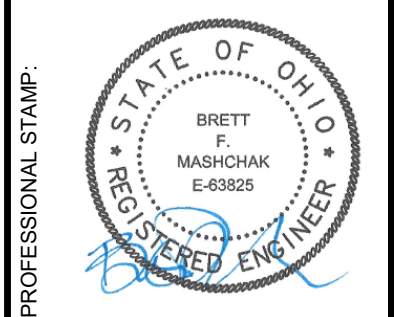
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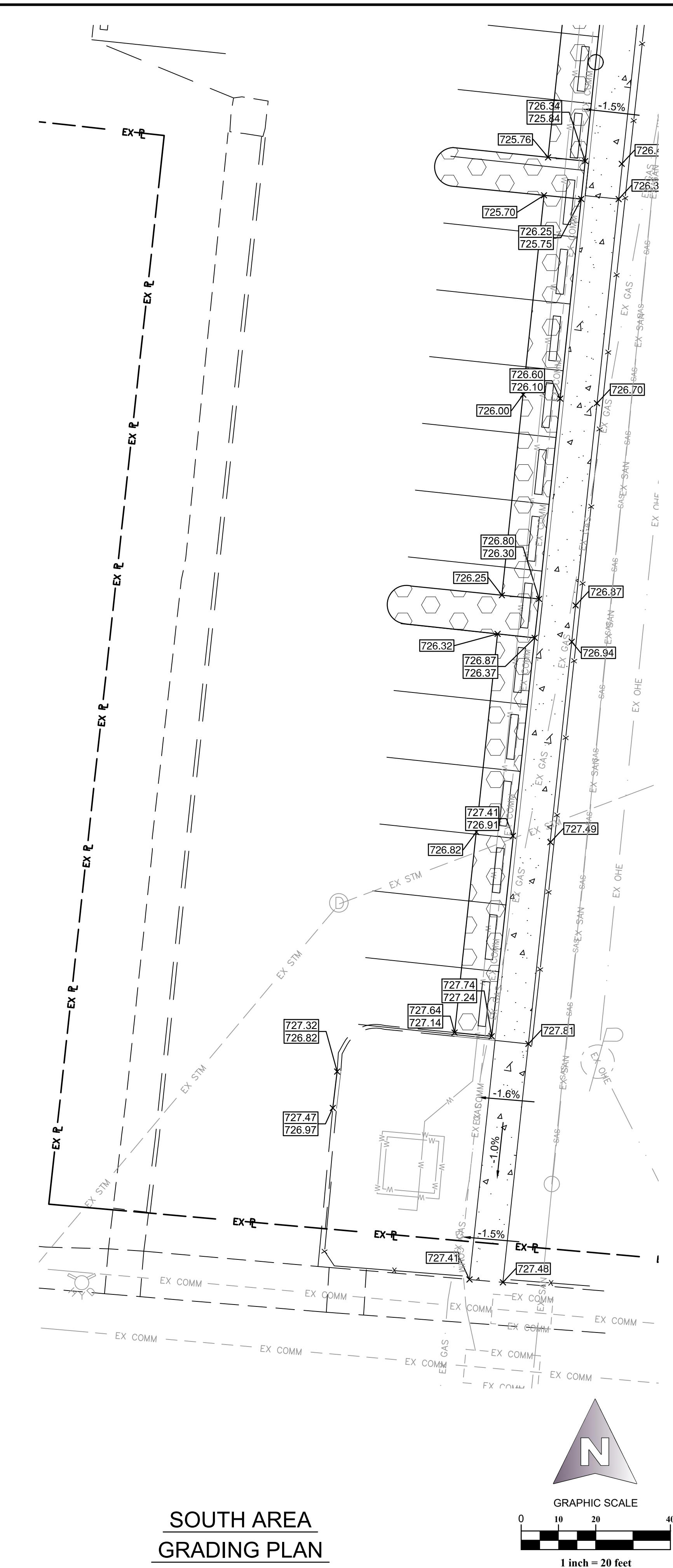
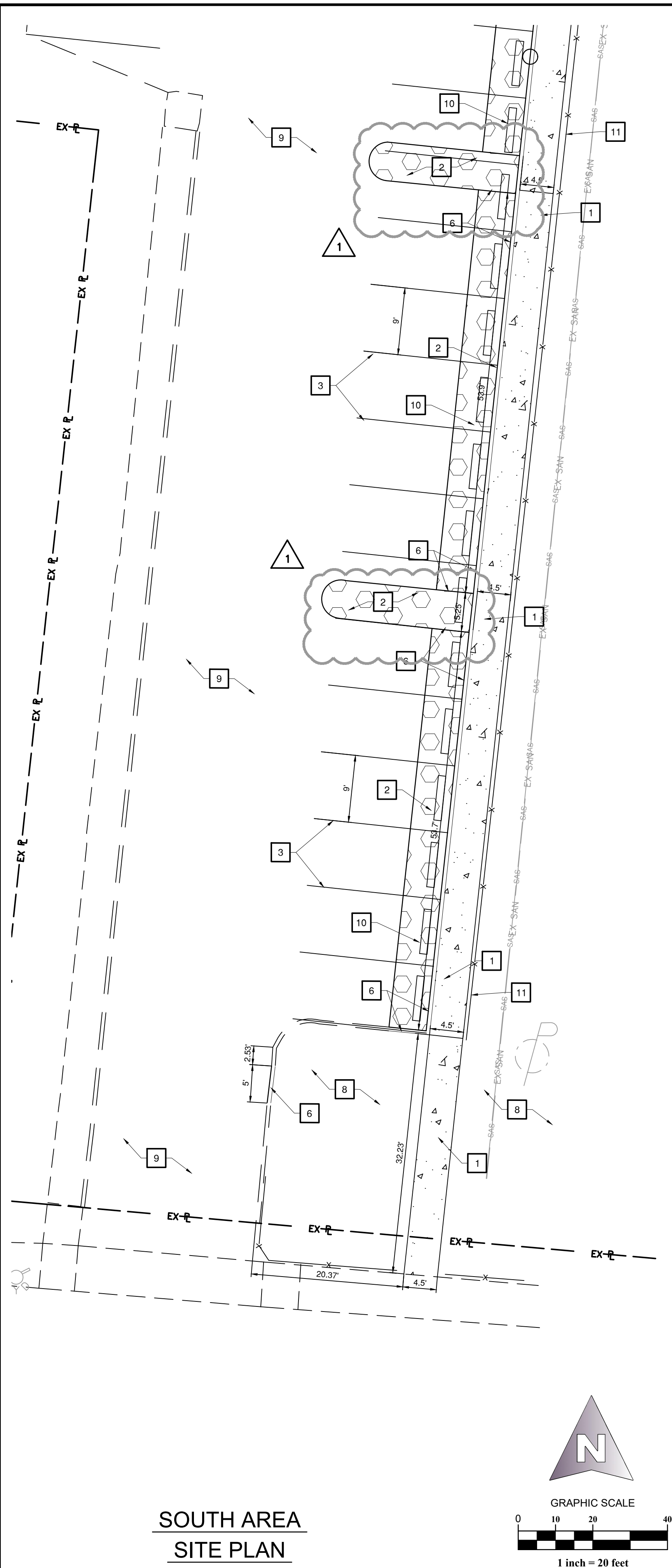
**BEECHWOOD APARTMENTS**  
SITE IMPROVEMENT PLANS

330 FOREST AVE., CINCINNATI, OH 45229

SHEET NAME: **C202 ACCESSIBLE SITE & GRADING PLAN**

DATE: 9/20/2021  
DRAWN BY: CAW

JOB # 21180



**KEYED NOTES**

- 1 PROPOSED CONCRETE SIDEWALK. INSTALL CONCRETE JOINT SEALANT AT CONTROL JOINTS, CRACKS AND ABUTMENTS AT SIDEWALKS/ PATIOS.
- 2 PROPOSED ASPHALT PAVEMENT. SEE DETAIL ON SHEET C400.
- 3 PROPOSED PAVEMENT MARKINGS TO BE ALKYD-READY MIX (YELLOW) PAVEMENT STRIPING PER DOT SPECIFICATIONS.
- 4 (4) HC PARKING SPACES TO BE PROVIDED, INCLUDING 2 VAN ACCESSIBLE SPACE. AREA SHALL MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- 5 PROPOSED HANDICAP PARKING BOLLARD SIGNS; SIGNAGE SHALL MEET ALL LOCAL REQUIREMENTS. SEE DETAIL SHEET C400.
- 6 PROPOSED 6" CONCRETE CURB. SEE DETAIL SHEET C400
- 7 PROPOSED ACCESSIBLE RAMP. SEE DETAIL SHEET C400
- 8 EXISTING LANDSCAPING TO BE REPAIRED AT THE COMPLETION OF CONSTRUCTION.
- 9 EXISTING ASPHALT PAVEMENT TO BE 1.5" MILLED & 1.5" OVERLAY AND RE-STRIPED. STRIPING TO BE PER KEYED NOTE 3.
- 10 PROPOSED PARKING BLOCKS.
- 11 PROPOSED 347 L.F. 6" HIGH ALUMINUM FENCE. TO BE INSTALLED IN THE SAME LOCATION AS THE EXISTING FENCE.

**GRADING PLAN LEGEND**

	795	EXISTING CONTOURS
	850	PROPOSED CONTOURS
	XXXXXX	PROPOSED SPOT ELEVATION AT CURB
	XXXXXX	PROPOSED SPOT ELEVATION
	1.32%	PROPOSED SLOPE

**PLAN LEGEND / QUANTITIES**

	NEW CONCRETE WALK = 657 SF
	NEW CONCRETE CURB = 108LF
	ASPHALT FULL DEPTH PAVEMENT = 638 SF
	ASPHALT MILL & 1.5" OVERLAY PAVEMENT = 5,110 SF

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND LOCAL REQUIREMENTS. CONTRACTORS MUST COMPLY WITH CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES. ALL REQUIRED CITY / COUNTY / STATE PERMITS SHALL BE ACQUIRED AND PAID FOR BY NOAHS; ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS, DRAWINGS, AND SPECIFICATIONS ARE NOT INTENDED. STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. THE CONTRACTOR SHALL CLARIFY ANY SUCH DISCREPANCIES WITH THE ENGINEER PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC RIGHT OF WAY OR ADJOINING PROPERTIES. ALL SIGNAGE AND TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH ODOT REQUIREMENTS. IF A MAINTENANCE OF TRAFFIC PLAN IS NECESSARY, THE PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED WITH THE LOCALITY OF THE PROJECT. MAINTENANCE OF TRAFFIC PLANS WHICH ARE NOT INCLUDED IN THIS SET OF DRAWINGS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SITE WORK AND PAVING SHALL BE IN ACCORDANCE WITH OR SURPASS RECOMMENDATIONS OF ODOT. IF THE ODOT CONFLICTS WITH DRAWINGS AND SPECIFICATIONS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE AND BE CONSIDERED THE INTENT OF THE BID DOCUMENTS. CONTACT THE GEOTECHNICAL ENGINEER FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING OR FOUNDATION CONSTRUCTION.

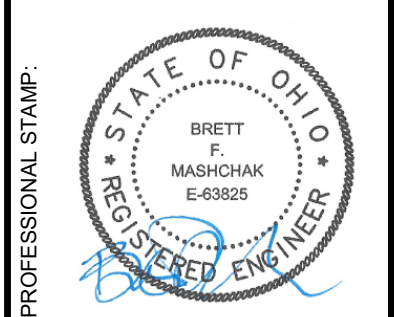
**SITE NOTES**

- A ACCESSIBLE PARKING SHALL MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- B ALL RADII ARE 5.0' OR HALF THE ISLAND WIDTH UNLESS OTHERWISE NOTED.
- C ALL DIMENSIONS ARE TO FACE OF CURB AND BUILDING EDGE OF SLAB UNLESS OTHERWISE NOTED.
- D ALL SIGNAGE SHALL COMPLY WITH LOCAL REQUIREMENTS. VERIFY STYLE WITH OWNER'S REPRESENTATIVE.
- E VERIFY ALL PROPOSED UTILITY CROSSINGS WITH EXISTING UTILITIES. TEST PITS SHOULD BE MADE PRIOR TO CONSTRUCTION. FAILURE TO VERIFY UTILITIES PRIOR TO INITIATING CONSTRUCTION SHALL RESULT IN ALL APPLICABLE CHANGE ORDERS BEING THE CONTRACTOR'S RESPONSIBILITY.
- F MATERIALS AND INSTALLATION TO BE IN ACCORDANCE WITH STATE AND LOCAL CODES, N.F.P.A. AND N.E.C. STANDARDS AND SERVICE PROVIDER REQUIREMENTS.
- G ALL WORK WITHIN THE RIGHT-OF-WAY OR PUBLIC EASEMENTS FOR PRIVATE UTILITIES (GAS, ELECTRIC, DATA, ETC.) SHALL REQUIRE SEPARATE RIGHT OF WAY PERMITS.

**GRADING NOTES**

- THE INFORMATION DEPICTED ON THESE CONSTRUCTION DOCUMENTS IS AS ACCURATE AS POSSIBLE WITH REGARD TO THE INFORMATION PROVIDED BY THE SURVEYOR. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE AND THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCY FOUND BETWEEN THE FIELD CONDITIONS AND THESE PLANS.
- ALL PROPOSED SPOT ELEVATIONS AND CONTOURS SHOWN ON THE PLAN ARE PROPOSED FINISHED GRADES. THE GENERAL CONTRACTOR SHALL ADJUST SUBGRADE ELEVATIONS ACCORDINGLY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. SEE THE BUILDING PLANS FOR FURTHER DETAILS. GENERAL CONTRACTOR SHALL ALSO ADJUST SUBGRADE ELEVATION IN ALL LANDSCAPED ISLANDS TO ACCOUNT FOR TOPSOIL AND MULCH. SEE LANDSCAPE PLANS FOR FURTHER DETAIL.
- WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/4".
- WALKING SURFACE CROSS SLOPES SHALL NOT EXCEED 2%.
- WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN THE GRATINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAFFIC FLOW.
- ON ACCESSIBLE ROUTES, WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 20H:1V, IT SHALL COMPLY WITH THE PROVISIONS OF A PEDESTRIAN RAMP.
- PER ADA STANDARDS FOR ACCESSIBLE DESIGN 4.5.2: ON ACCESSIBLE ROUTES, CHANGES IN ELEVATION UP TO 1/4" ARE ALLOWED. CHANGES GREATER THAN 1/4" MUST BE BEVELED NO GREATER THAN 2H:1V AND CHANGES GREATER THAN 1/4" SHALL COMPLY WITH REQUIREMENTS FOR CURB RAMPS.
- NO SLOPE SHALL BE GREATER THAN 2H:1V. SLOPES GREATER THAN 2H:1V MUST BE AN ENGINEERED SLOPE OR CONTOURED UTILIZING A RETAINING WALL OR OTHER APPROVED STRUCTURAL MEANS. THE GENERAL CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD IF A DISCREPANCY IS FOUND IN THE FIELD WHICH CREATES A SCOPE CONDITION THAT EXCEEDS 2H:1V. FAILURE TO CONTACT THE ENGINEER PRIOR TO COMMENCING WORK WILL RESULT IN CORRECTIVE MEASURES AT THE CONTRACTOR'S EXPENSE.
- ALL WALKS WITH CONTINUOUS SLOPE GREATER THAN 5% SHALL HAVE LEVEL AREAS AT LEAST 5 FEET IN LENGTH AT INTERVALS OF AT LEAST EVERY 30 FEET.
- ASPHALT ELEVATION ADJACENT TO CATCH BASINS SHALL BE 1/4" ABOVE RIM ELEVATION SHOWN FOR CATCH BASIN (TYPICAL).
- INSTALL ALL NECESSARY EROSION CONTROL MEASURES PRIOR TO THE START OF ANY GRADING ACTIVITIES. REFER TO THE EROSION CONTROL PLAN FOR DETAILS AND PROCEDURES.
- NO GRADING ACTIVITIES SHALL BE PERFORMED OFF-SITE WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER AND LOCAL JURISDICTION.
- EXISTING GRADES SHALL BE MATCHED WITHIN THE LEGAL BOUNDARY UNLESS OTHER PROVISIONS HAVE BEEN MADE.
- SOILS IMPORTED INTO THE SITE FOR STRUCTURAL FILL SHALL BE CLEAN AND FREE OF ORGANIC MATERIALS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT TO PROPOSED GRADE ALL MANHOLES, CLEANOUTS, VALVES, VAULTS, GREASE TRAPS, AND ALL OTHER UTILITY APPURTENANCES AS NEEDED. SEE THE GRADING PLAN FOR PROPOSED GRADING INFORMATION.

PREPARED BY:  
**GW GUIDER WINKLE PARTNERS**  
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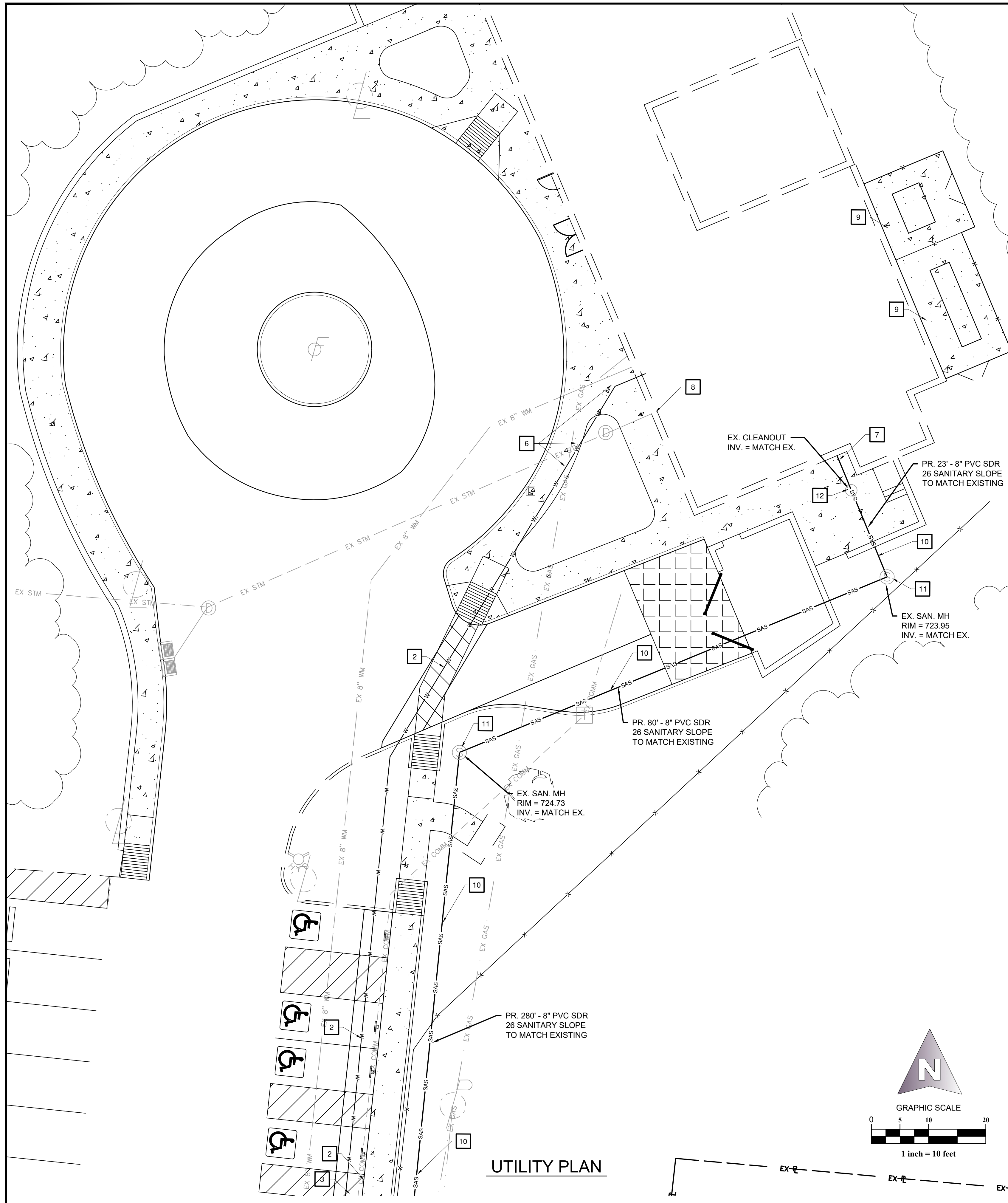
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NO.	DATE	DESCRIPTION	BID SET	ADDRESS #1
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2	1/22/2024			

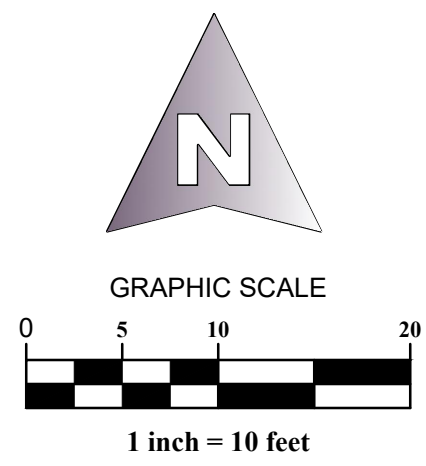
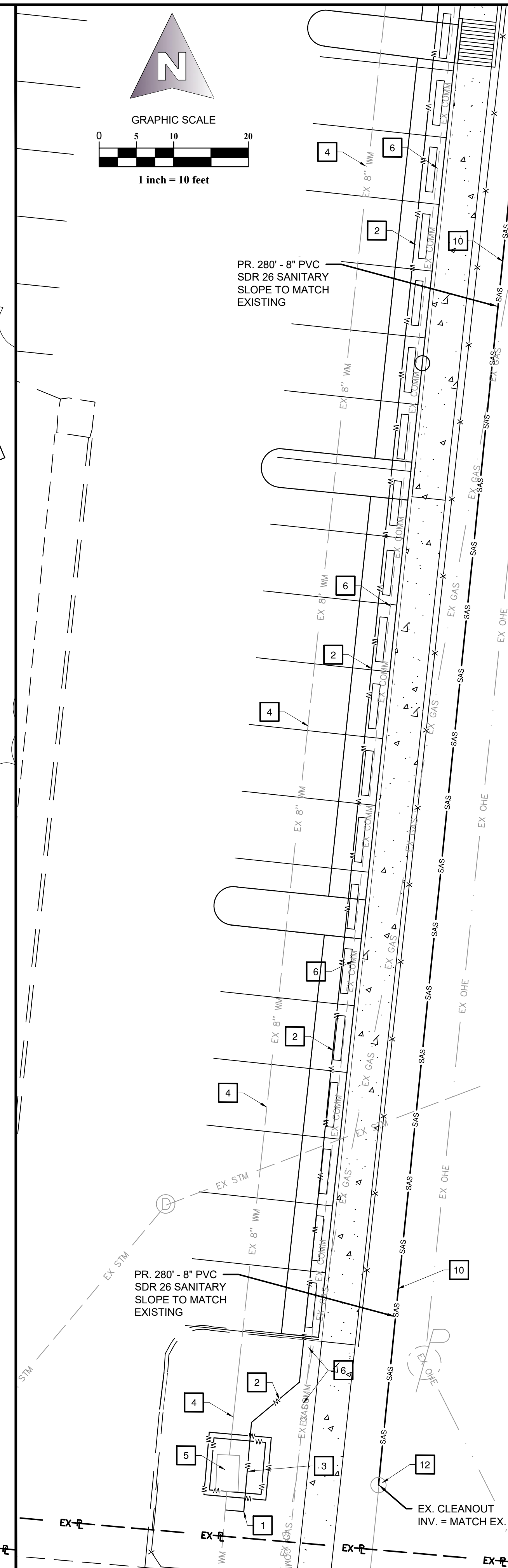
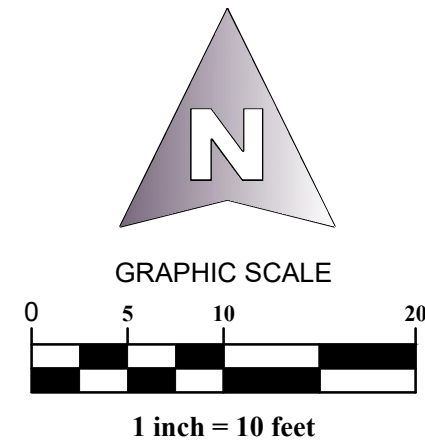
**BEECHWOOD APARTMENTS**  
SITE IMPROVEMENT PLANS  
330 FOREST AVE., CINCINNATI, OH 45229

SHEET NAME: **C203 SOUTH SITE & GRADING PLAN**

DATE: 9/20/2021  
DRAWN BY: CAW  
SHEET: **C203 SOUTH SITE & GRADING PLAN**  
JOB # 21180



UTILITY PLAN



**KEYED NOTES**

- 1 4" DOMESTIC WATER SERVICE. PIPING SHALL BE DUCTILE IRON PIPE FROM THE MAIN TO THE METER SETTING OUTLET VALVE. DUCTILE IRON PIPE SHALL CONFORM TO CINCINNATI WATER WORKS #40-110-11 (CLASS 55) OR LATEST REVISION THEREOF AND SHALL BE INSPECTED BY THE CINCINNATI WATER WORKS ENGINEERING DIVISION. INCLUDE IN BASE BID ALL VALVES, PIPING STRUCTURES, ETC. REQUIRED FOR APPROVED CONNECTION. SITE UTILITY CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, BACKFILL, TAP AND PIPING FROM THE TAP TO THE VAULT.
- 2 4" DOMESTIC WATER SERVICE. PIPING SHALL BE C-909 PVC. INCLUDE IN BASE BID ALL VALVES, PIPING STRUCTURES, ETC. REQUIRED FOR APPROVED CONNECTION. SITE UTILITY CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, BACKFILL AND PIPING FROM THE VAULT TO THE BUILDING.
- 3 4" DOMESTIC METER AND BACKFLOW PREVENTION IN VAULT. SEE GREATER CINCINNATI WATER WORKS DETAIL 108-14B FOR LAYOUT. SERVICE PROVIDER IS RESPONSIBLE FOR SETTING THE METER. PLUMBING CONTRACTOR IS RESPONSIBLE FOR SETTING THE BACKFLOW DEVICE INSIDE THE VAULT.
- 4 EXISTING 8" WATER LINE TO REMAIN IN SERVICE AS THE FIRE SERVICE LINE. LOCATION APPROXIMATE BASED ON INFORMATION SEEN IN THE FIELD. CONTRACTOR TO VERIFY LOCATION.
- 5 EXISTING WATER VAULT TO BE REPLACED WITH A NEW DUAL SERVICE VAULT. SEE GREATER CINCINNATI WATER WORKS DETAIL 108-14B FOR VAULT DETAIL.
- 6 EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO USE CAUTION IN THIS AREA.
- 7 EXISTING SANITARY TO REMAIN. CONTRACTOR TO POWER FLUSH TO CLEAR MAINS AND CAMERA FOR CONDITION ASSESSMENT.
- 8 STORM DOWNSPOUTS. CONTRACTOR TO INSPECT AND CLEAR ALL UNDERGROUND ROOF DRAINAGE CONDUITS.
- 9 PROPOSED 4" THICK CONCRETE PAD FOR CHILLER & GENERATOR.. SEE ARCHITECTURAL DRAWINGS FOR SIZE AND DETAILS.
- 10 SANITARY SEWER LATERALS/PIPE SHALL BE P.V.C. ASTM D-3034 SDR 35, SEE PLAN FOR LENGTH, SIZE AND SLOPE. JOINTS SHALL CONFORM TO ASTM D-3212. PROVIDE A CLEANOUT AT EVERY 100' O.C. AS INDICATED. COORDINATE LOCATION OF SANITARY SEWER LATERAL THROUGH FOUNDATION WITH STRUCTURAL PLANS. MAINTAIN A MINIMUM OF 10' HORIZONTAL AND 18" VERTICAL SEPARATION FROM WATER. EXISTING INVERTS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- 11 SANITARY MANHOLE TO BE REUSED. CLEAN MANHOLE AND REFORM FLOW LINE AFTER INSTALLING NEW PIPES.
- 12 SANITARY CLEANOUT. SEE DETAIL ON SHEET C400.

**SANITARY NOTE**

SANITARY LATERAL INFORMATION WAS TAKEN FROM THE SURVEY FOR LOCATION BUT WAS NOT FIELD VERIFIED FOR INVERTS AND SIZE OF PIPE. CONTRACTOR TO FIELD VERIFY THE LOCATIONS, SIZE AND ELEVATIONS PRIOR TO CONSTRUCTION START. IF THERE ARE ANY DISCREPANCIES THEY SHOULD BE REPORTED TO THE ENGINEER FOR DISCUSSION ON SOLUTIONS.

**LEGEND**

— EX USE —	EX. ELECTRIC
— EX GAS —	EX. GAS
— EX STM —	EX. STORM
— EX SAN —	EX. SANITARY
— EX COMM —	EX. TELEPHONE
— EX WM —	EX. WATER
— EX COMM —	EX. CABLE
— E —	PROP. ELECTRIC
— G —	PROP. GAS
— ST —	PROP. STORM
— SAS —	PROP. SANITARY
— TE —	PROP. TELEPHONE
— W —	PROP. WATER
— C —	PROP. CABLE

**STANDARD DRAWINGS**

THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE A PART THEREOF.

GREATER CINCINNATI WATER WORKS		
108-1A	108-1D	108-1H
108-1B	108-1E	108-8A
108-1C	108-1F	108-14B

**BASIS OF INFORMATION**

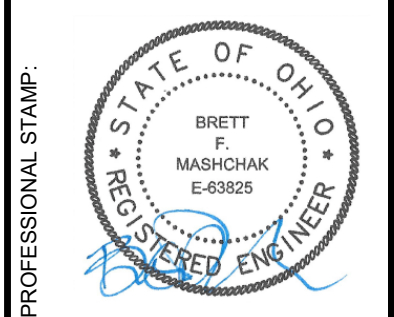
A. ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES, & EASEMENTS ARE AS TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF CINCINNATI, HAMILTON COUNTY, OHIO. PERFORMED BY: BERDING SURVEYING, INC. 741 MILFORD STREET MILFORD, OH 45150 PH: 513-831-5505 DATED 5/28/2021

**UTILITY DISCLAIMER**

UTILITY DATA PROVIDED BY THE BERDING SURVEYING SURVEY DATED 5/28/21. GUIDER WINKLE PARTNERS, INC. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR DAMAGE TO OR INJURY FROM, UNDER AND/OR ABOVE GROUND UTILITIES. ALWAYS CALL OHIO UTILITY PROTECTION SERVICE (OUPS) AT 811 BEFORE DIGGING.



PREPARED BY:  
**GW GUIDER WINKLE PARTNERS**  
 SURVEYING & ENGINEERING  
 19541 DELAWARE COUNTY LINE ROAD  
 MARYSVILLE, OH 43040  
 WWW.GUIDERWINKLE.COM  
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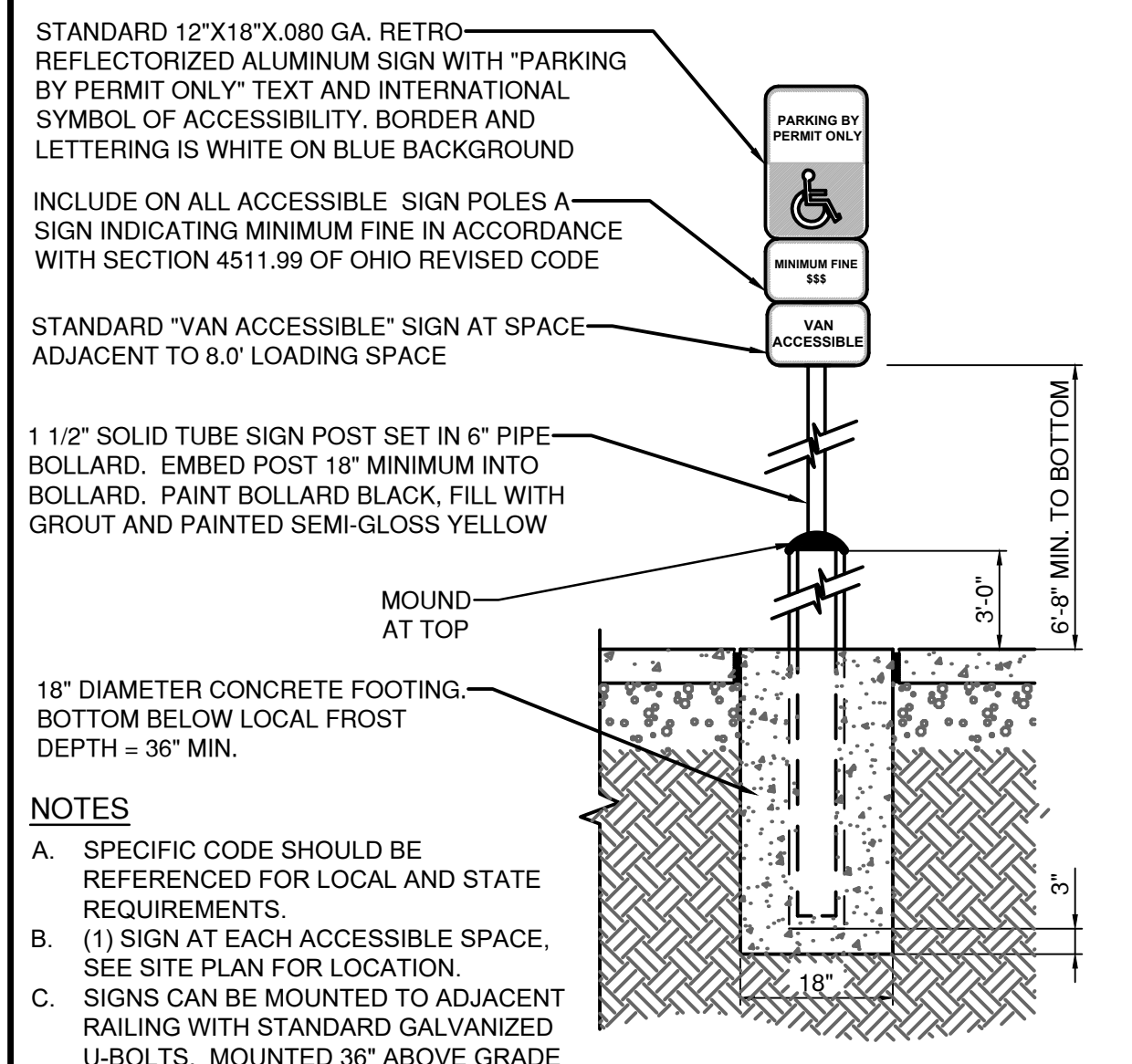
NO.	DATE	DESCRIPTION
1	12/29/2023	BID SET
2	1/22/2024	ADDENDUM #1

**BEECHWOOD APARTMENTS**  
 SITE IMPROVEMENT PLANS  
 330 FOREST AVE., CINCINNATI, OH 45229

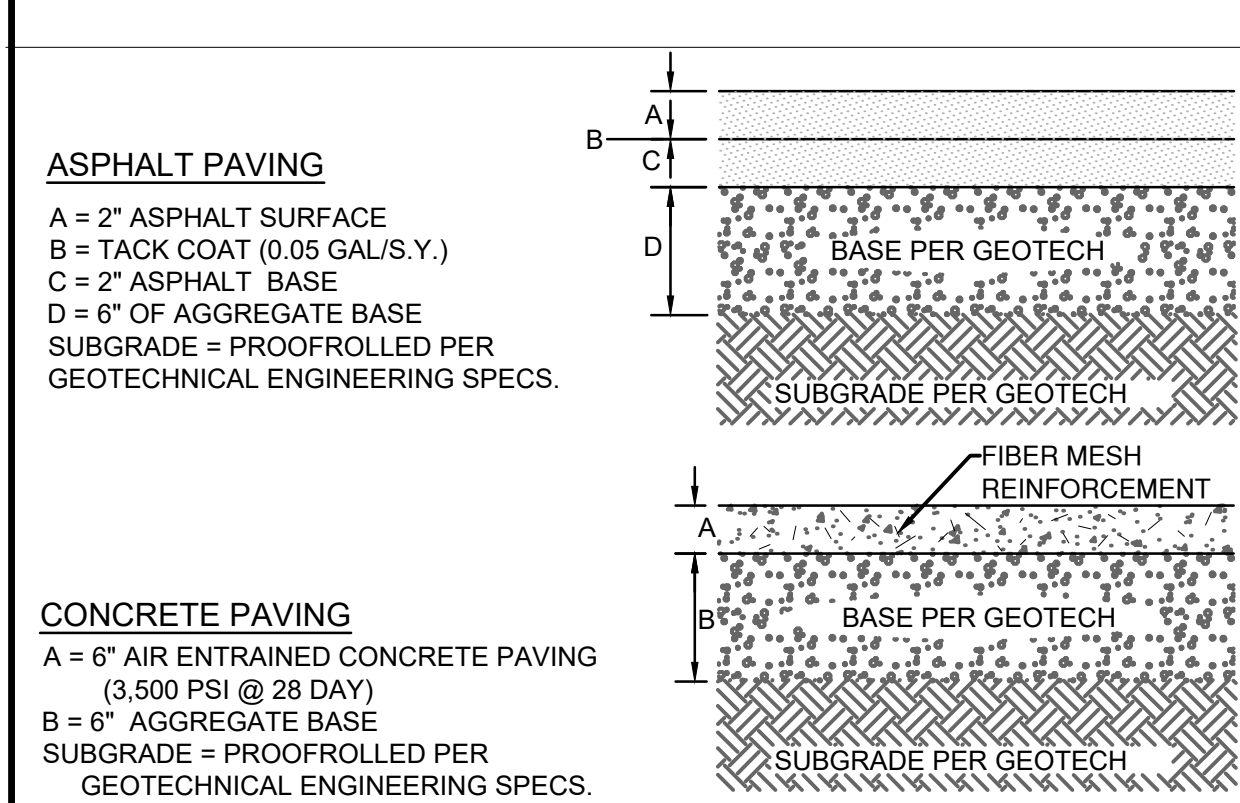
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DATE: 9/20/2021  
 DRAWN BY: CAW  
 SHEET: **C300 UTILITY PLAN**  
 JOB # 21180

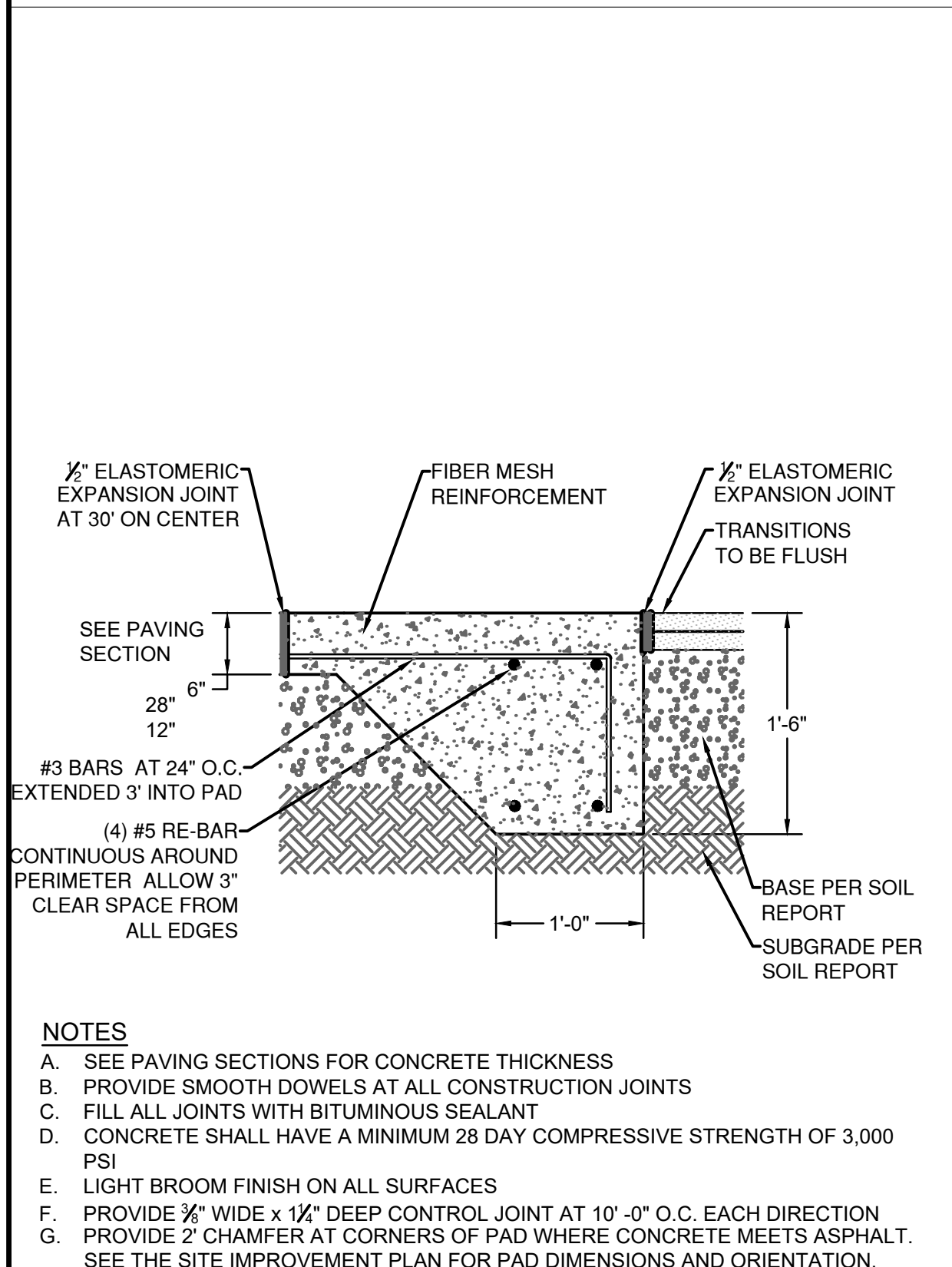




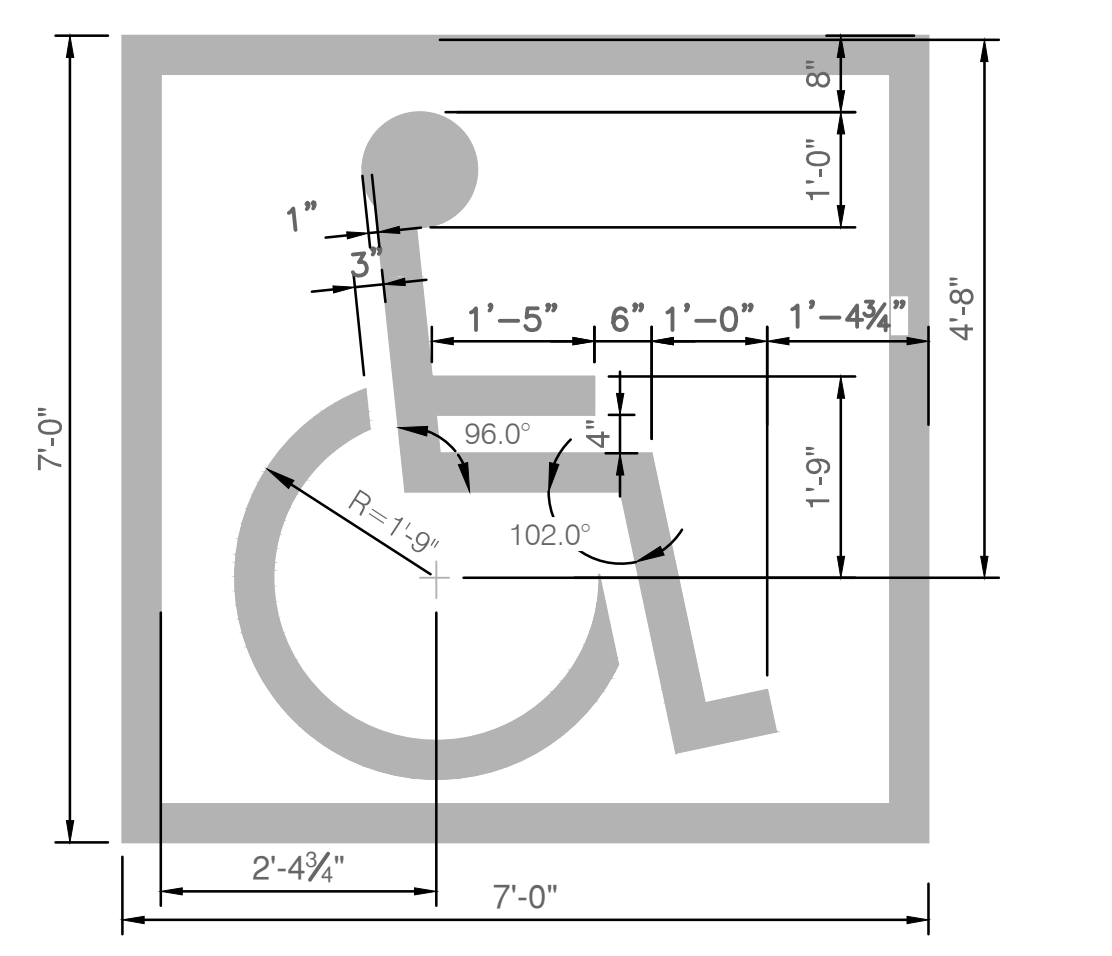
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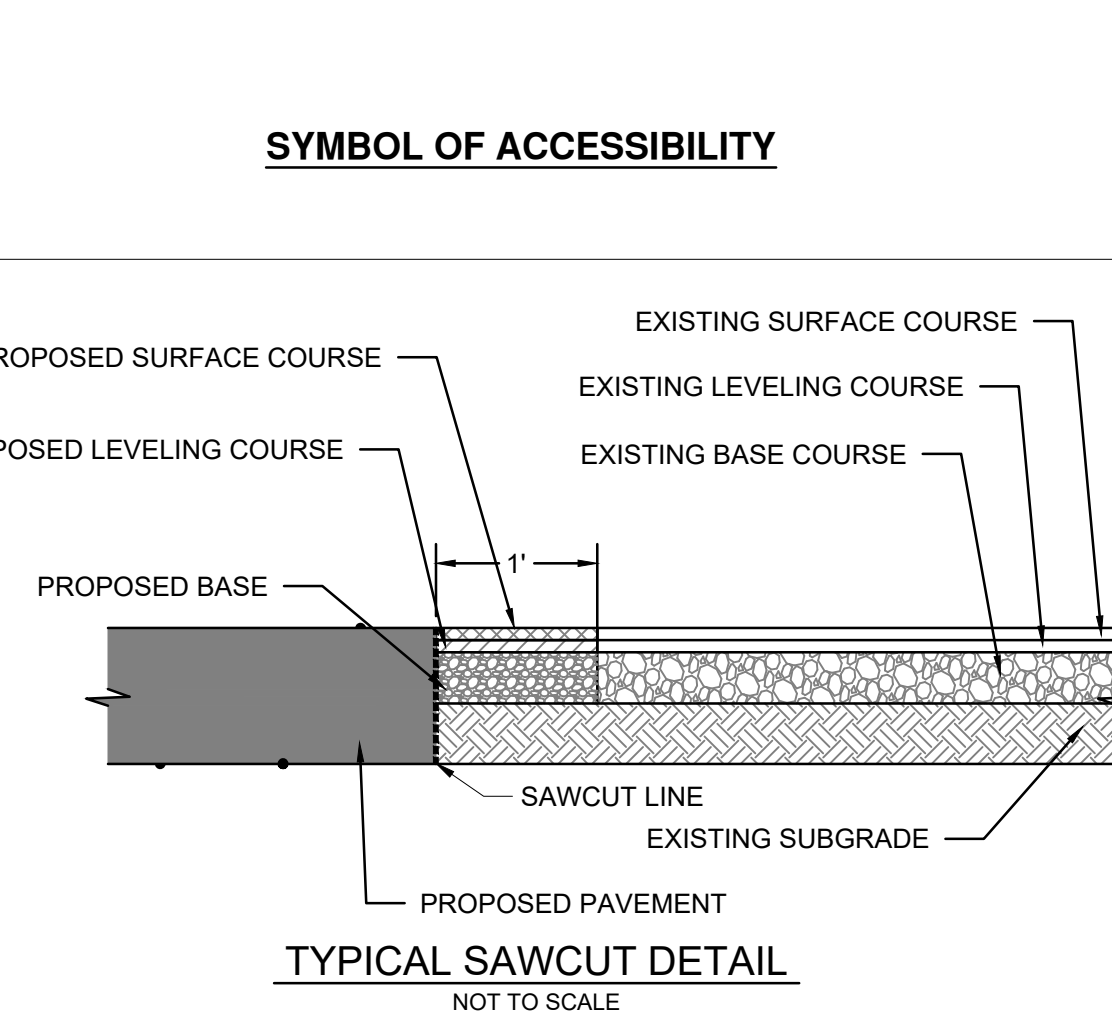
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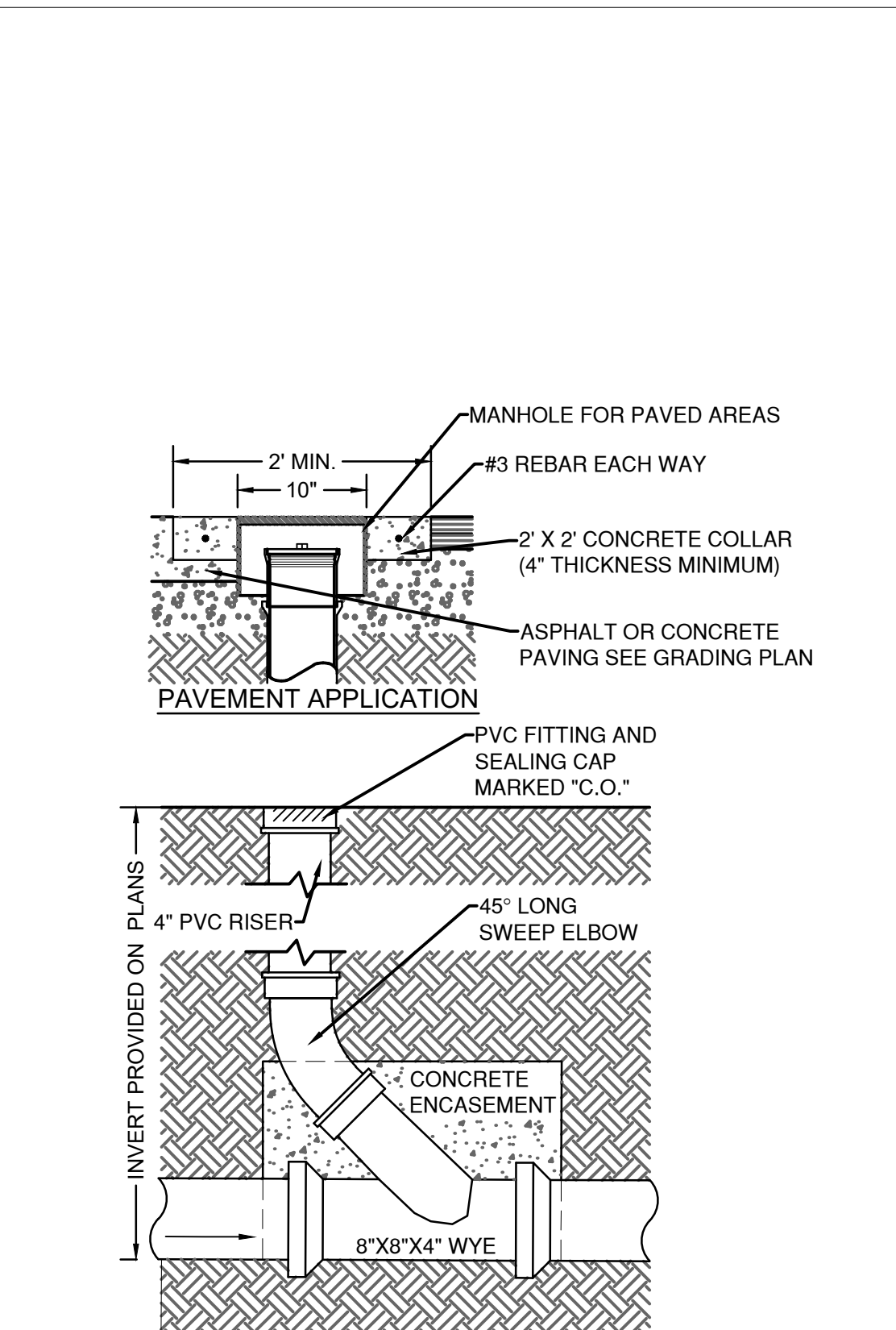
**CONCRETE TURN DOWN EDGE**



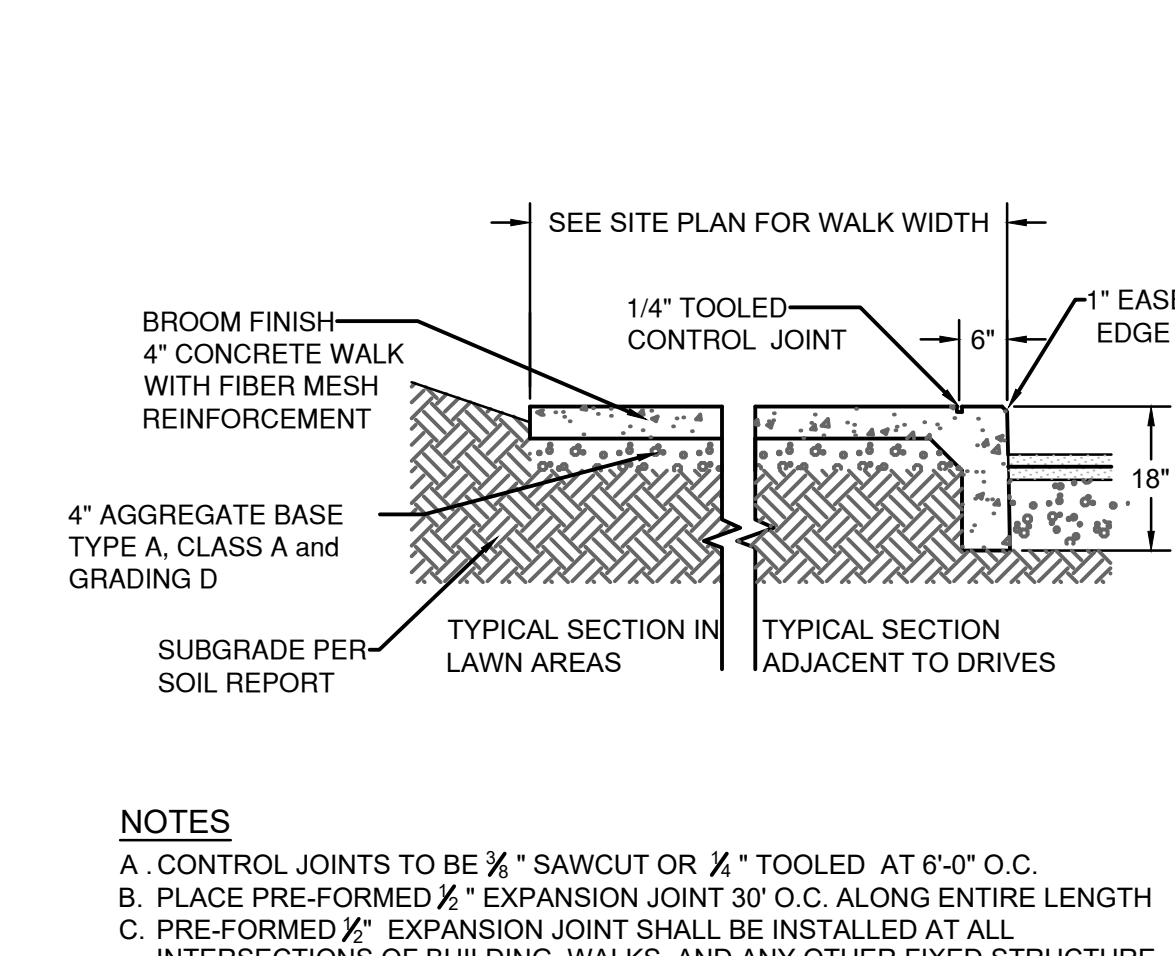
**SYMBOL OF ACCESSIBILITY**



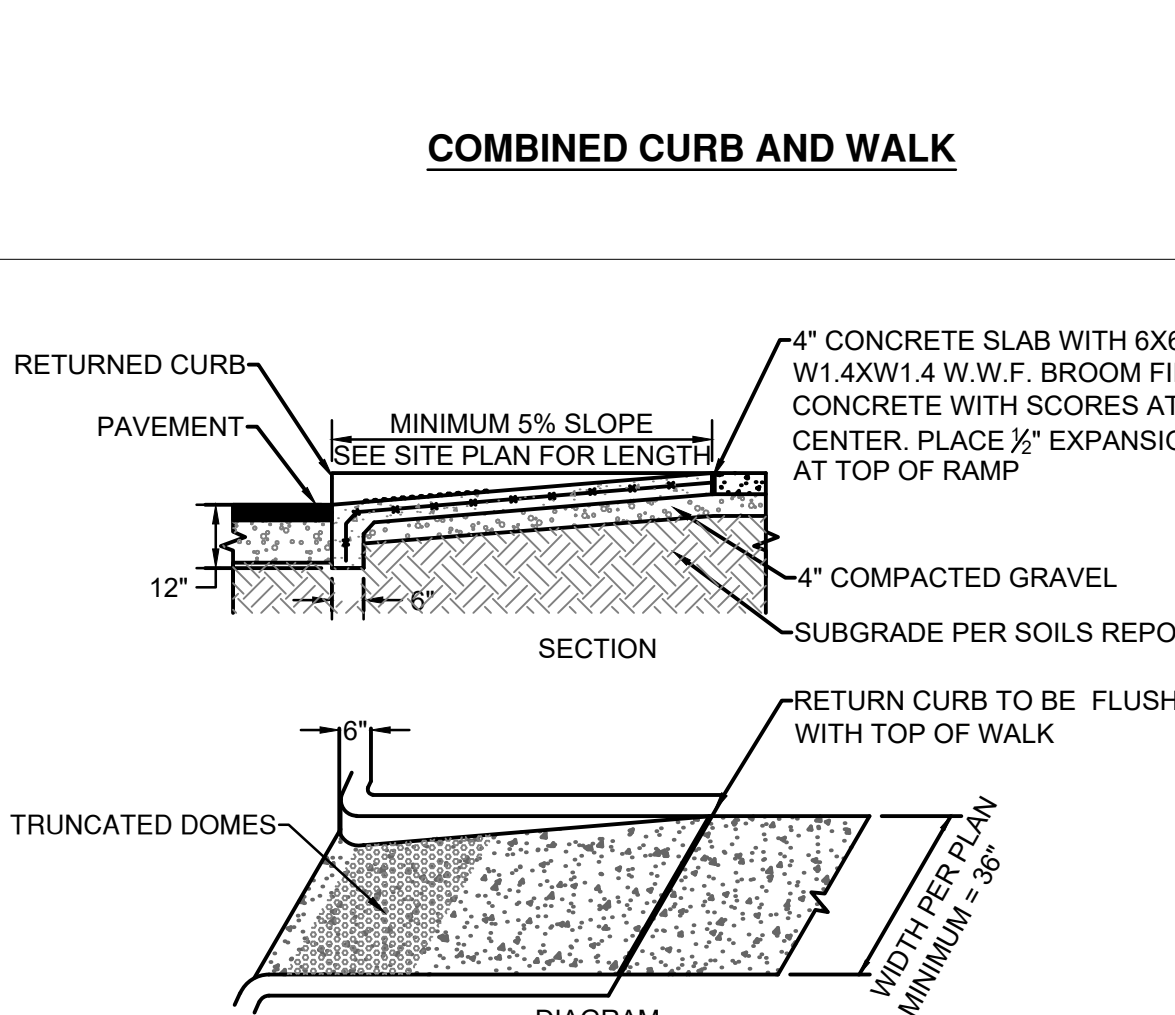
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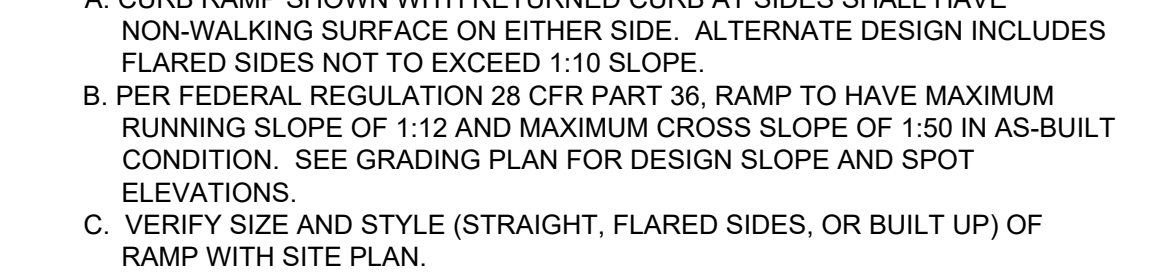
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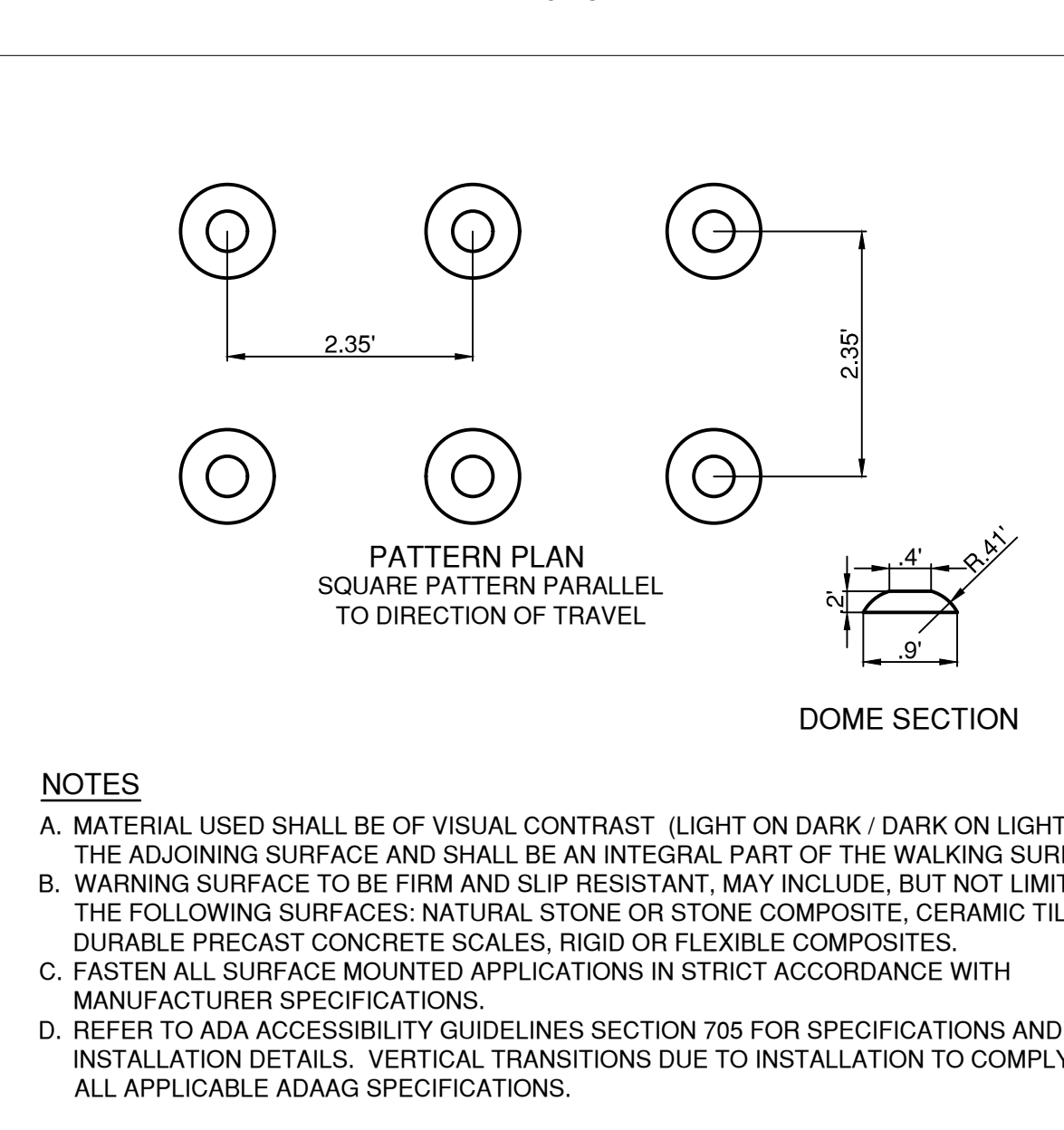
**COMBINED CURB AND WALK**



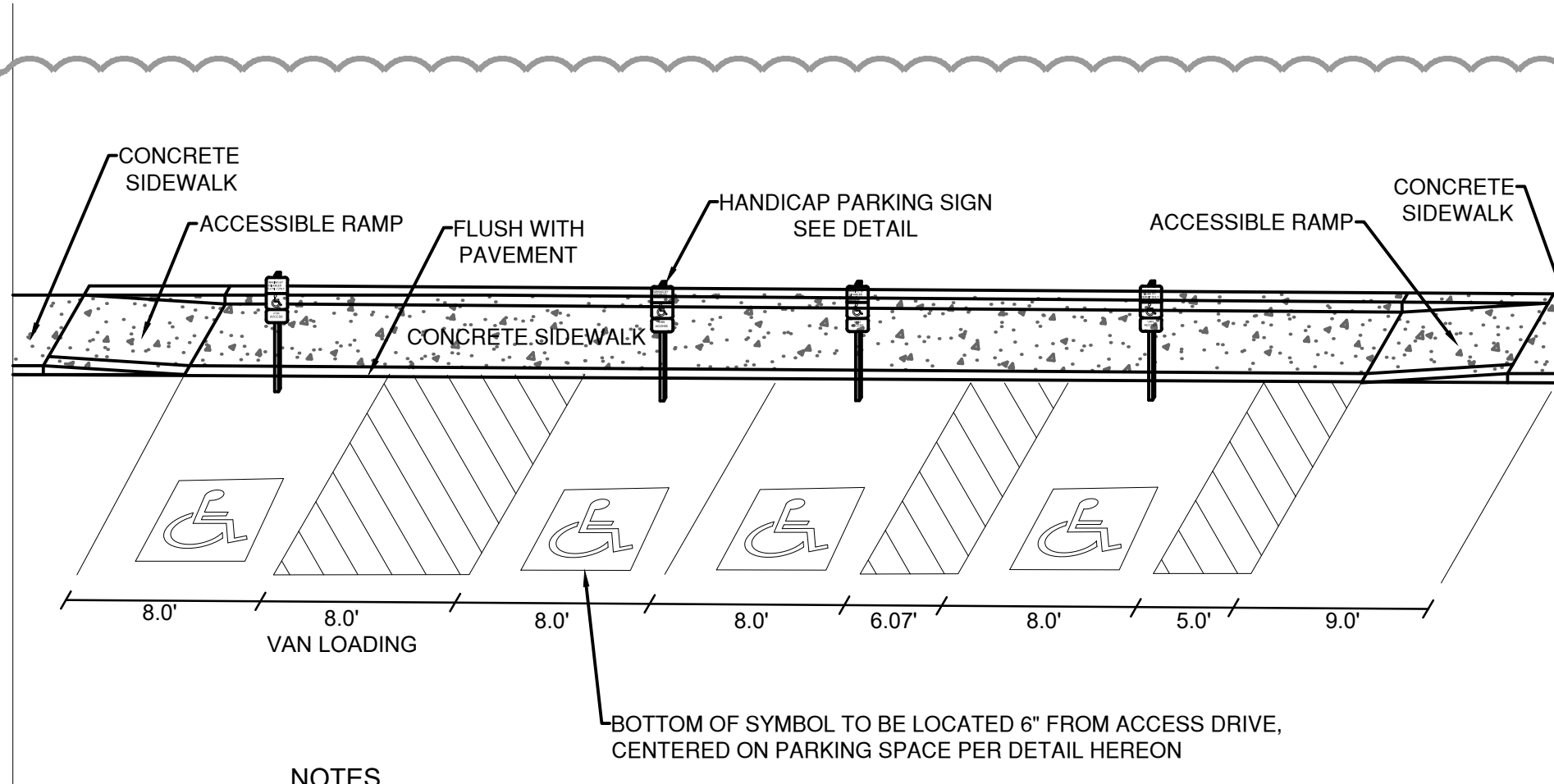
**ACCESSIBLE CURB RAMP**



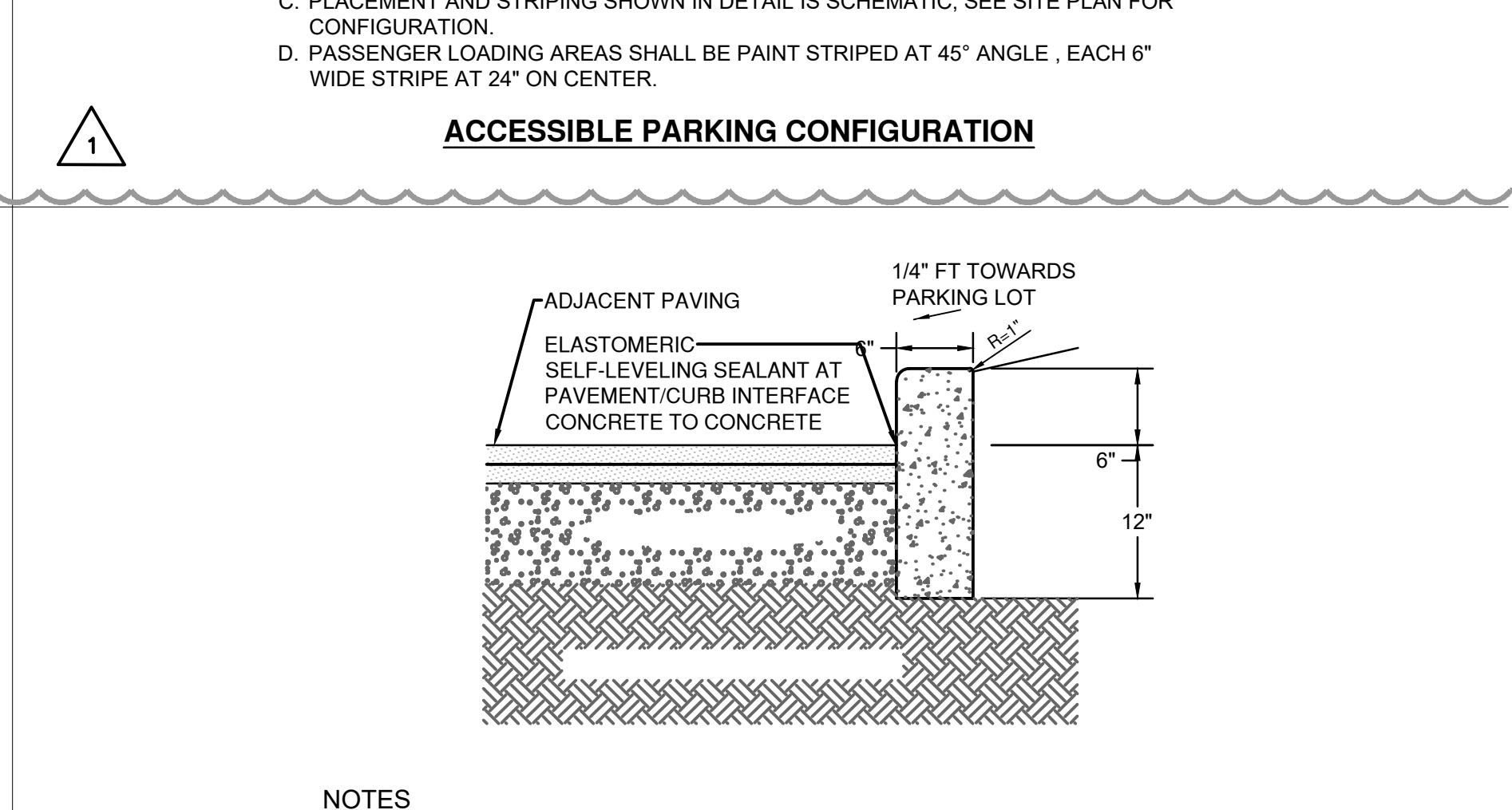
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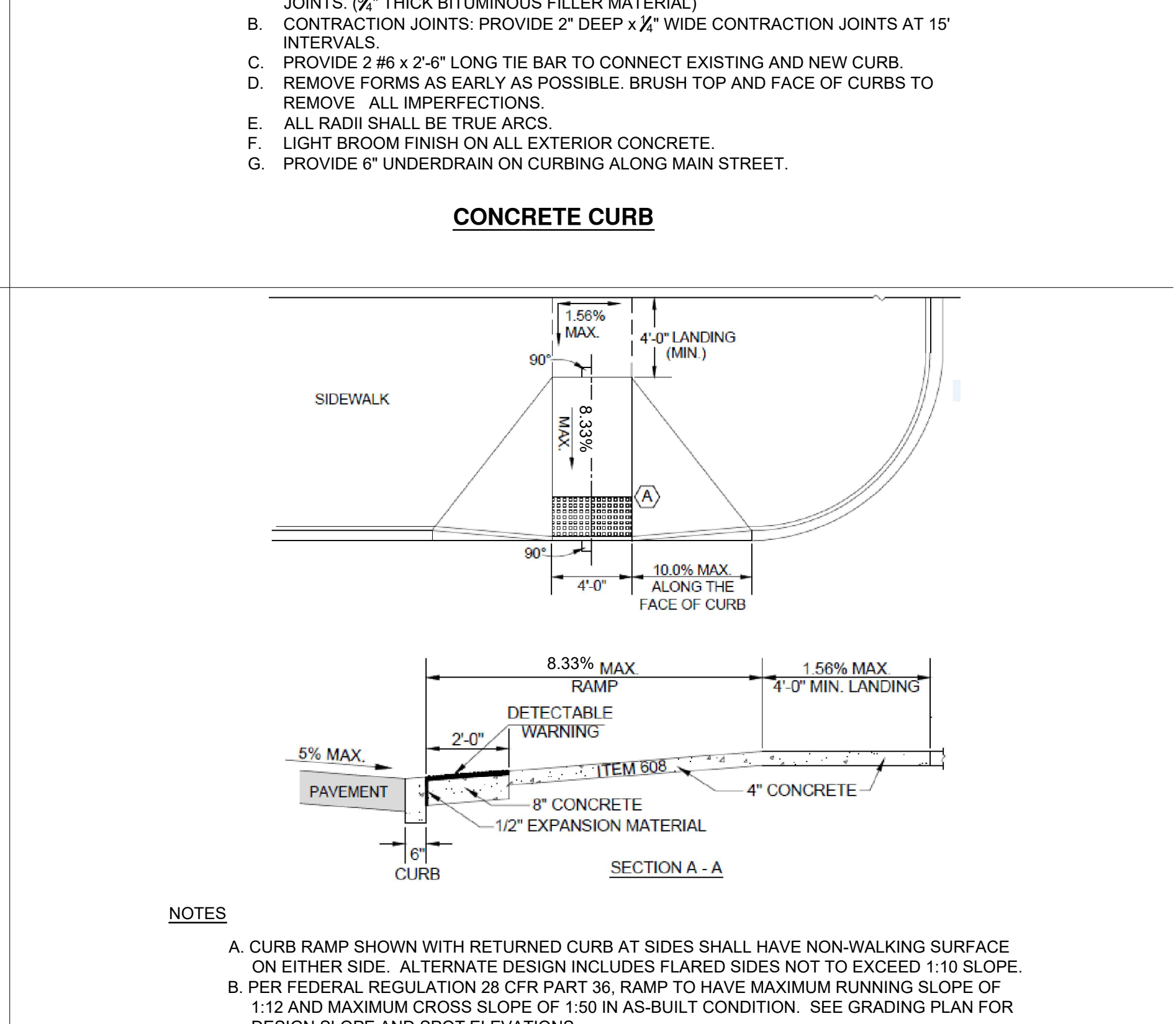
**ACCESSIBLE CURB RAMP**



**ACCESSIBLE PARKING CONFIGURATION**



**CONCRETE CURB**



**ACCESSIBLE CURB RAMP**

PREPARED BY:

**GW GUIDER WINKLE PARTNERS**

SURVEYING & ENGINEERING

19541 DELAWARE COUNTY LINE ROAD  
 MARYSVILLE, OH 43040  
 WWW.GUIDERWINKLE.COM  
 P: (740) 666-8902

REGISTERED PROFESSIONAL ENGINEER

BRETT F. MASHCHAK  
 E-68825

NO.	DATE	DESCRIPTION
1	1/29/2023	BID SET
	1/22/2024	ADDENDUM #1

**BEECHWOOD APARTMENTS**

SITE IMPROVEMENT PLANS

330 FOREST AVE., CINCINNATI, OH 45229

SHEET NAME:

DATE: 9/20/2021

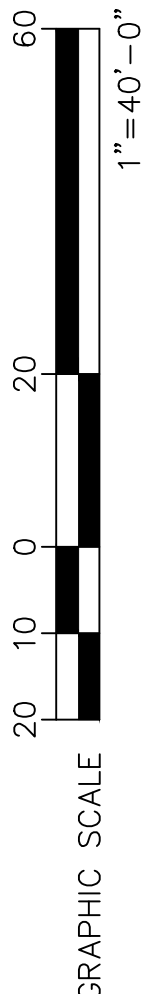
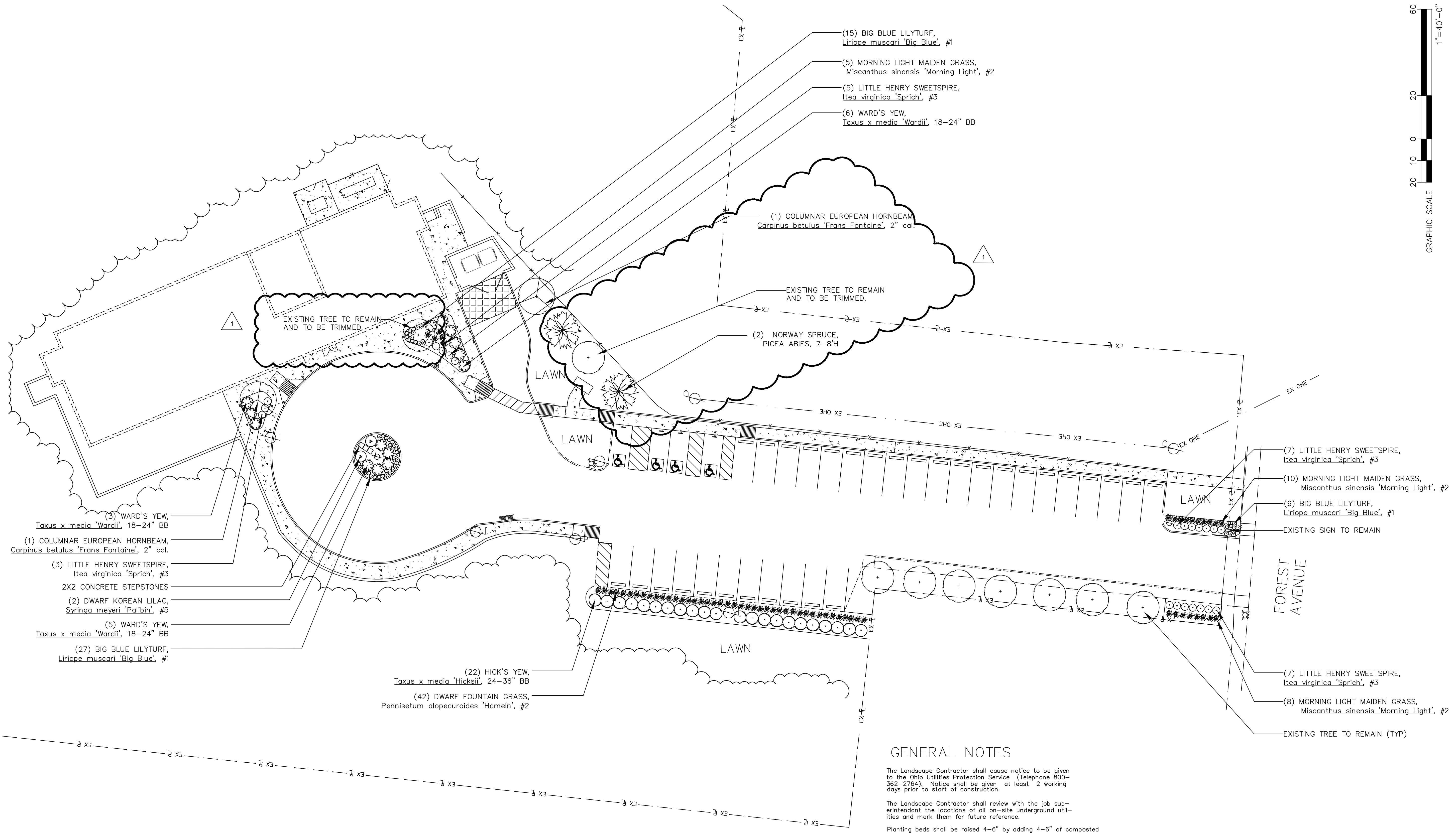
DRAWN BY: CAW

SHEET:

**C400**

**SITE DETAILS**

JOB # 21180



PRELIMINARY LANDSCAPE PLAN



THE WORKING  
GARDEN STUDIO

750 Tim Tom Ave. Columbus, OH 43220 TEL 614/208-9590 EMAIL jns.schneider@gmail.com

BEECHWOOD APARTMENTS

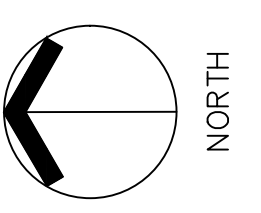
330 FOREST AVE  
CINCINNATI, OH

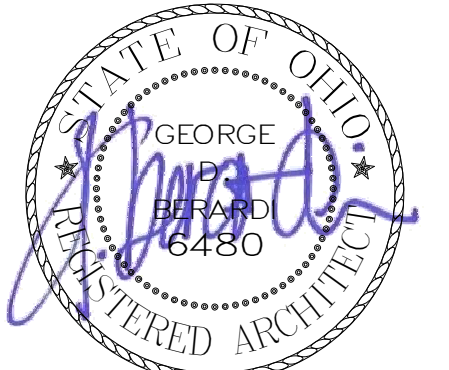
GENERAL NOTES

- The Landscape Contractor shall cause notice to be given to the Ohio Utilities Protection Service (Telephone 800-362-2764). Notice shall be given at least 2 working days prior to start of construction.
- The Landscape Contractor shall review with the job superintendent the locations of all on-site underground utilities and mark them for future reference.
- Planting beds shall be raised 4-6" by adding 4-6" of composted organic material. Compost shall be incorporated into beds by tilling to a depth of 8-10".
- Mulch beds to extend minimum 18" from center of plants and to face of structures.
- Plants to conform to ANLA standards for grading & digging.
- All areas disturbed by construction, to the limits of property line or street curb, shall be sodded or hydro-seeded per owner's discretion. For those areas that are hydroseeded, seed site with mix as specified below, at a rate of 5lbs/1000 sq. ft.
  - 40% PERENNIAL RYEGRASS
  - 20% ANNUAL RYEGRASS
  - 20% KENTUCKY BLUEGRASS
  - 20% PENNLAWN RED FESCUE

DRAWING INFORMATION	
ISSUE DATE:	10/4/2021
BID SET	12/29/23
ADDENDUM 1	1/22/24
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	

SHEET  
L1  
JOB #2102





GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

330 Forest Ave.  
Cincinnati, OH 45229

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NOTE:

1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.
2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER.
3. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
4. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.
5. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
6. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN. ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD/DWG DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
7. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR CODED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

- CODED NOTES - DEMO SITE PLAN**
- 1 REMOVE EXISTING PARKING BLOCKS.
  - 2 MILL PARKING LOT SURFACE 1.5". PREP FOR OVERLAY.
  - 3 REMOVE SIDEWALK AS SHOWN DASHED. PREP FOR NEW WORK.
  - 4 REMOVE EXISTING HC PARKING SIGNAGE
  - 5 REMOVE LANDSCAPE ISLAND AND CURB AS SHOWN DASHED. PREP FOR NEW WORK.
  - 6 REMOVE EXISTING FENCES AND GATES, TYP.
  - 7 REMOVE BBQ GRILLS. PREP FOR NEW WORK.
  - 8 EXISTING BUS SHELTER AND CONCRETE PAD TO REMAIN.
  - 9 REMOVE EXISTING LIGHT FIXTURE, POLE AND BASE - SEE ELECTRICAL DRAWINGS
  - 10 R/R EXISTING LIGHT FIXTURE AND POLE, EXISTING POLE BASE TO REMAIN - SEE ELECTRICAL DRAWINGS
  - 11 R/R EXISTING SECURITY CAMERAS, EXISTING POLE AND BASE TO REMAIN - SEE ELEC. DRINGS
  - 12 EXISTING FLAG POLE TO REMAIN

## BID SET

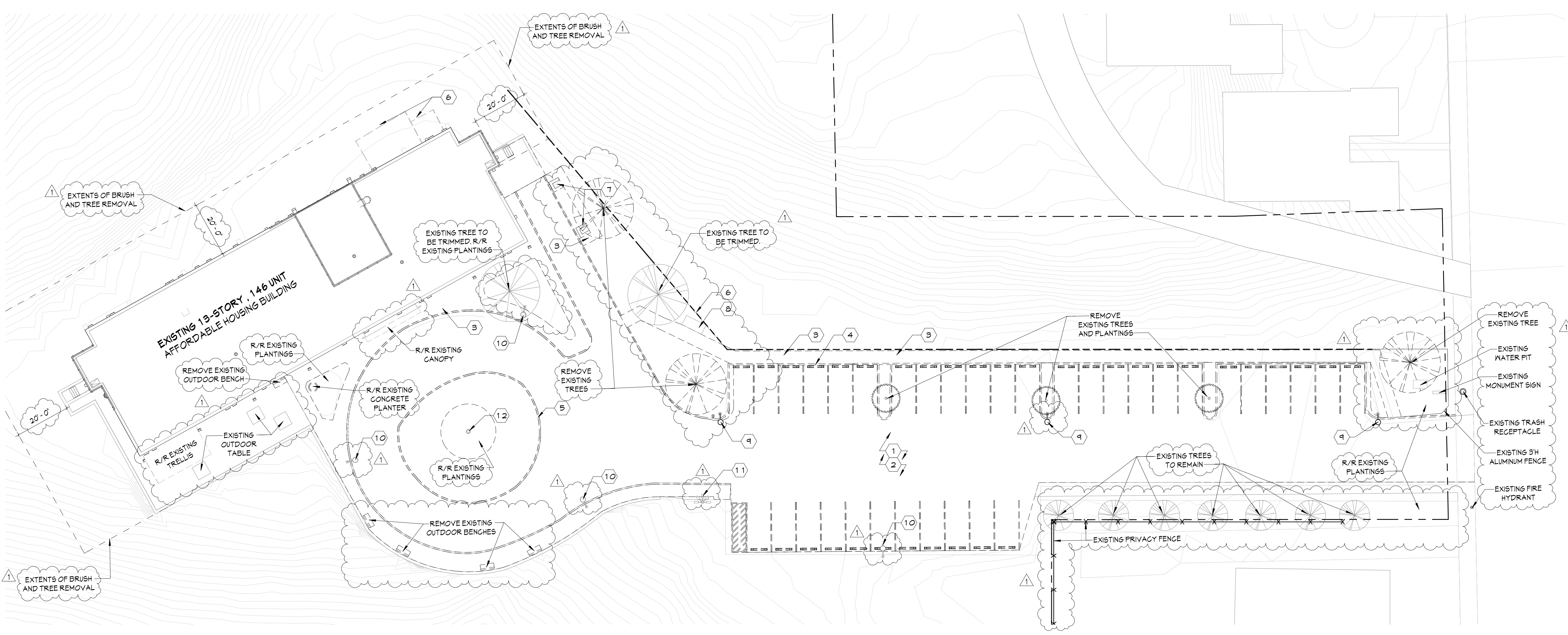
PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## DEMO SITE PLAN

# DS.101

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1  
DS.101 DEMO SITE PLAN  
1" = 20'-0"

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GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

330 Forest Ave.  
Cincinnati, OH 45229

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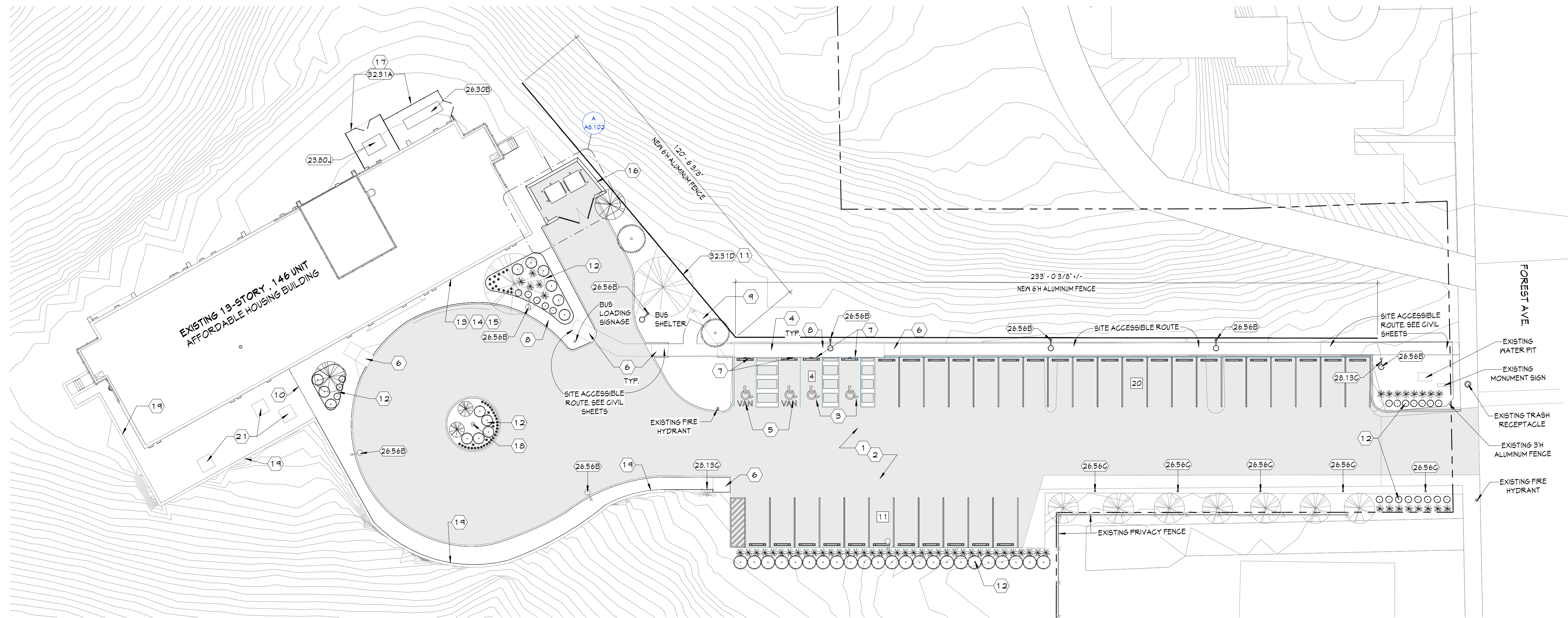
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- ### KEYNOTES
- 23.80J NEW AIR COOLED CONDENSING UNIT
  - 26.30B NEW DIESEL GENERATOR AND CONCRETE PAD
  - 26.56B NEW POLE MOUNTED LIGHTING ON NEW OR EXISTING BASE/FOUNDATION - SEE ELEC. DWGS.
  - 26.56C NEW BOLLARD LIGHTING (ADD ALTERNATE) - SEE ELECTRICAL DRAWINGS
  - 28.13C NEW SECURITY CAMERAS TO BE MOUNTED ON EXISTING POLE - SEE ELEC. DWGS.
  - 32.31A NEW CHAIN LINK FENCE AND GATE
  - 32.31D NEW 6" HIGH ALUMINUM FENCE

\*REFER TO CIVIL DRAWINGS FOR FULL EXTENT OF SITE SCOPE OF WORK

- ### CODED NOTES - SITE PLAN
- 1 SEAL AND RESTRIPE PAVEMENT, REINSTALL PARKING BLOCKS AT PARKING SPACES
  - 2 MILL AND OVERLAY PARKING LOT RESURFACE AT 1.5"
  - 3 HG PARKING SPACE, TO BE RECONFIGURED; CONTRACTOR TO CONFIRM CODE COMPLIANCE OF PROPOSED LOCATIONS AND TO NOTIFY ARCHITECT OF ANY NON-COMFORMANCE.
  - 4 R/R ADJACENT SIDEWALKS TO MEET ACCESSIBLE SLOPES AND CONFIGURE SPACES TO MEET CURRENT ACCESSIBILITY. BASE TO BE MODIFIED AS REQUIRED TO PERMIT CODE COMPLIANT SLOPES
  - 5 PROVIDE TWO VAN ACCESSIBLE SPACES
  - 6 INSTALL NEW CURB RAMPS. REFER TO CIVIL DWGS FOR DETAILS.
  - 7 R/R HG PARKING SIGNAGE
  - 8 R/R DAMAGED CONCRETE SIDEWALKS FINISH TO MATCH EXISTING
  - 9 EXISTING BUS SHELTER AND CONCRETE SLAB TO REMAIN.
  - 10 INSTALL CONCRETE JOINT SEALANT AT CONTROL JOINTS, CRACKS AND ABUTMENTS AT EXISTING SIDEWALKS
  - 11 R/R EXISTING FENCES AND GATES
  - 12 NEW PLANTINGS - REFER TO LANDSCAPE PLAN
  - 13 WATER SUPPLY - SEPARATE DOMESTIC FIRE AND FIRE WATER SERVICES IN ACCORDANCE WITH THE GREATER CINCINNATI WATER WORKS. REQUIRES NEW VAULT AND SEPARATE ENTRANCES TO THE BUILDING
  - 14 INSPECT AND CLEAR ALL UNDERGROUND ROOF DRAINAGE CONDUIT. CLEAR ANY SECTIONS BY JET SPRAY METHOD
  - 15 SANITARY/SEWER - EXISTING TO REMAIN. POWER FLUSH TO CLEAR MAINS AND CAMERA FOR CONDITION ASSESSMENT
  - 16 PROVIDE SCREEN WALL AND GATE AROUND DUMPSTER PAD
  - 17 PROVIDE FENCE AROUND CONDENSING UNIT AND GENERATOR
  - 18 EXISTING FLAG POLE TO REMAIN.
  - 19 EXISTING CONCRETE RETAINING WALL TO BE CLEANED, PREPARED AND PAINTED. R/R EXISTING EXPANSION JOINT SEALANTS.
  - 21 EXISTING OUTDOOR PICNIC TABLE TO REMAIN.



FOREST AVE

EXISTING WATER PIT

EXISTING MONUMENT SIGN

EXISTING TRASH RECEPTACLE

EXISTING 3" ALUMINUM FENCE

EXISTING FIRE HYDRANT

### BID SET

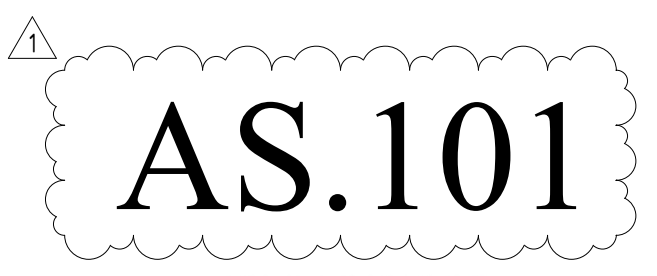
PROJECT DATE: 01.05.2024  
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1	Addendum 1	01.22.24

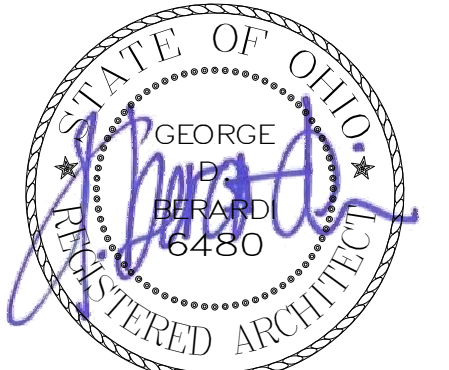
### SITE PLAN

1  
AS.101

SITE PLAN  
1" = 20'-0"



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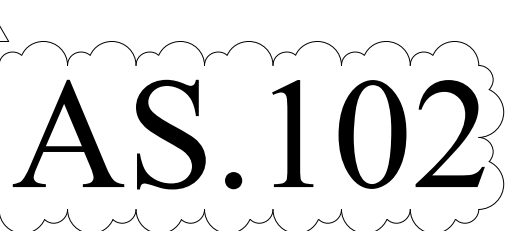
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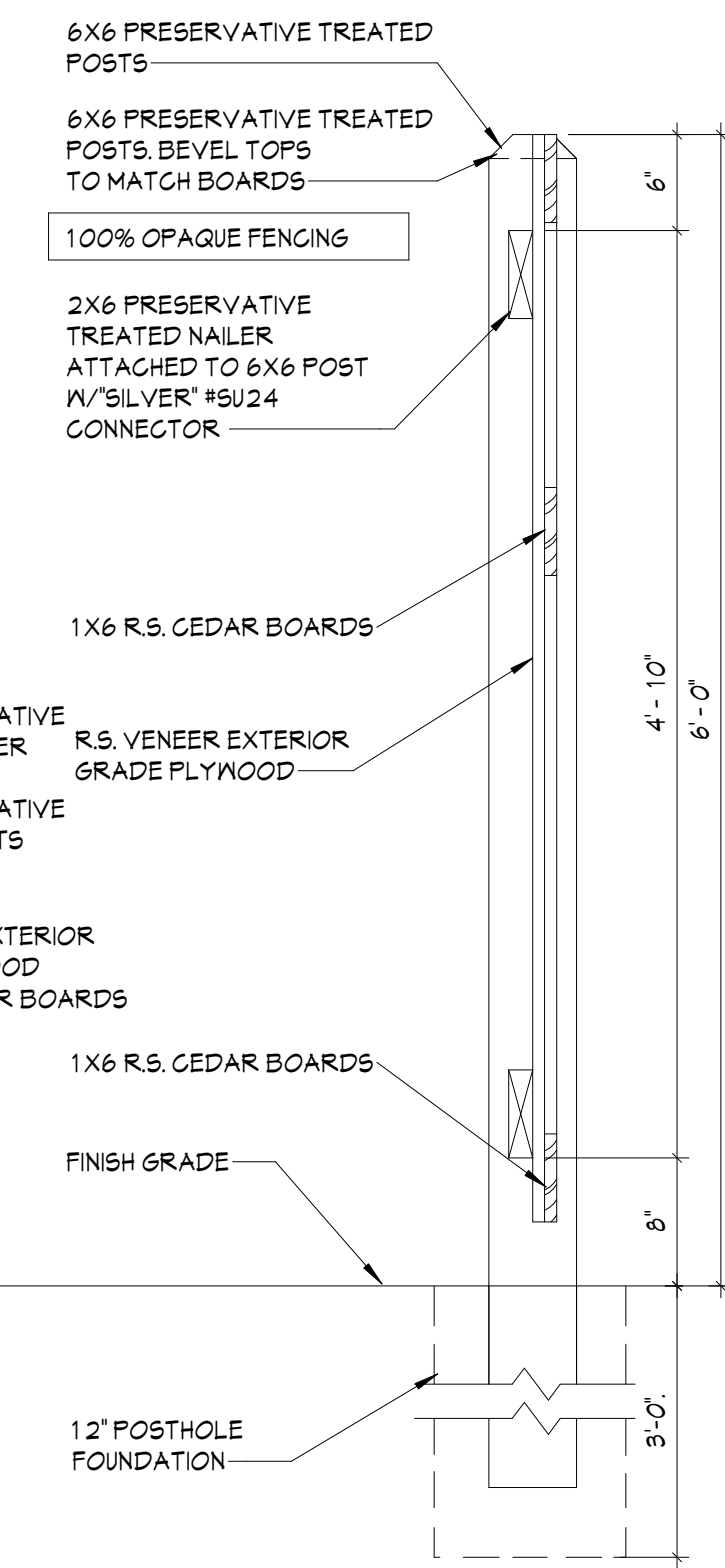
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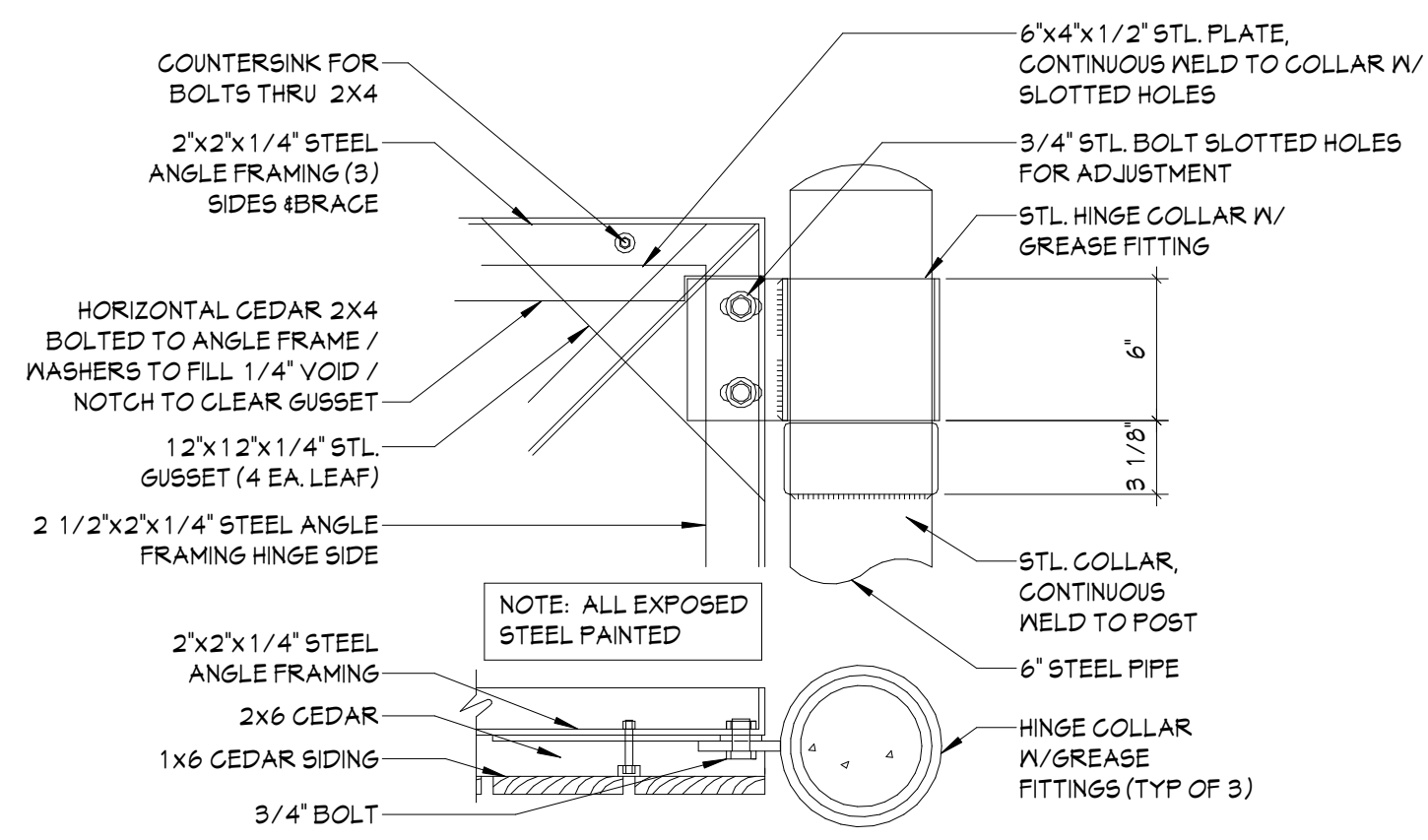
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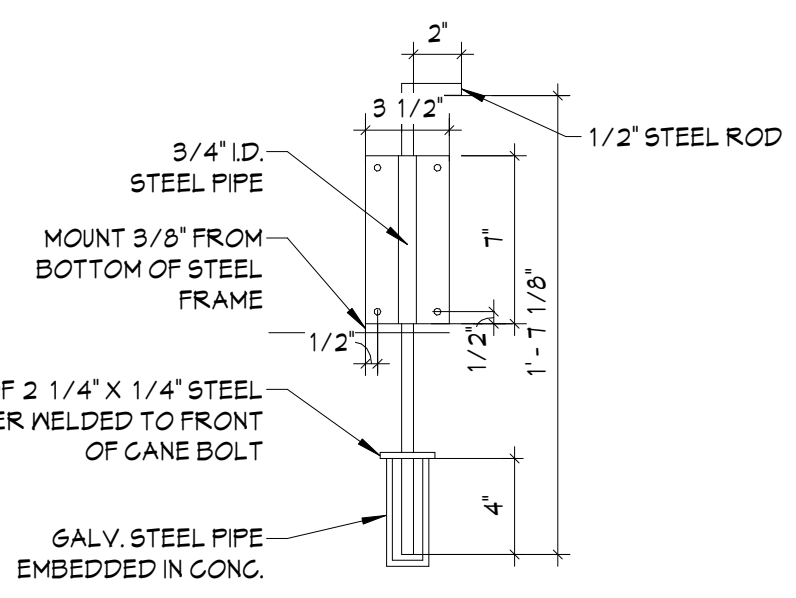
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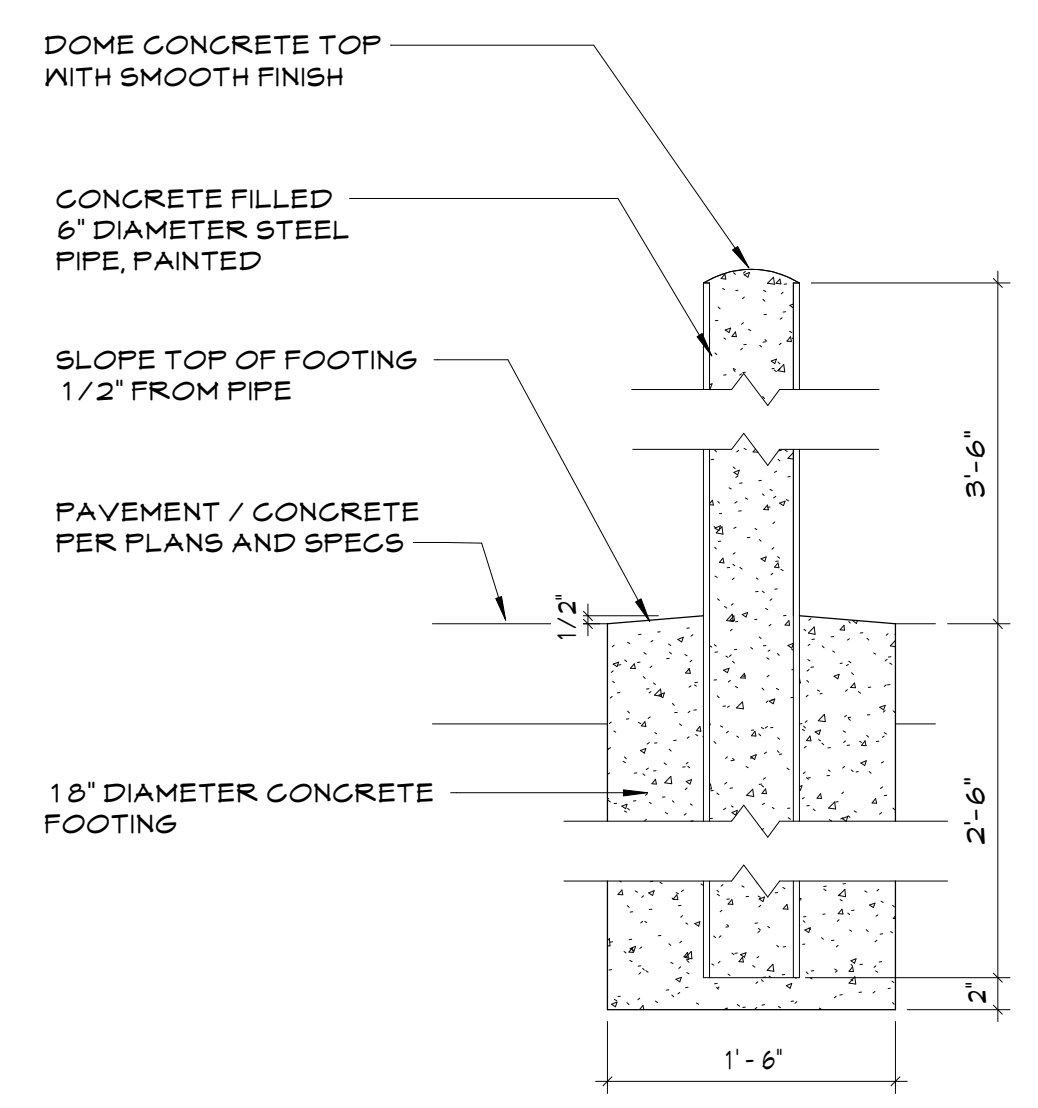
**E**  
WOOD FENCE DETAIL  
1" = 1'-0"



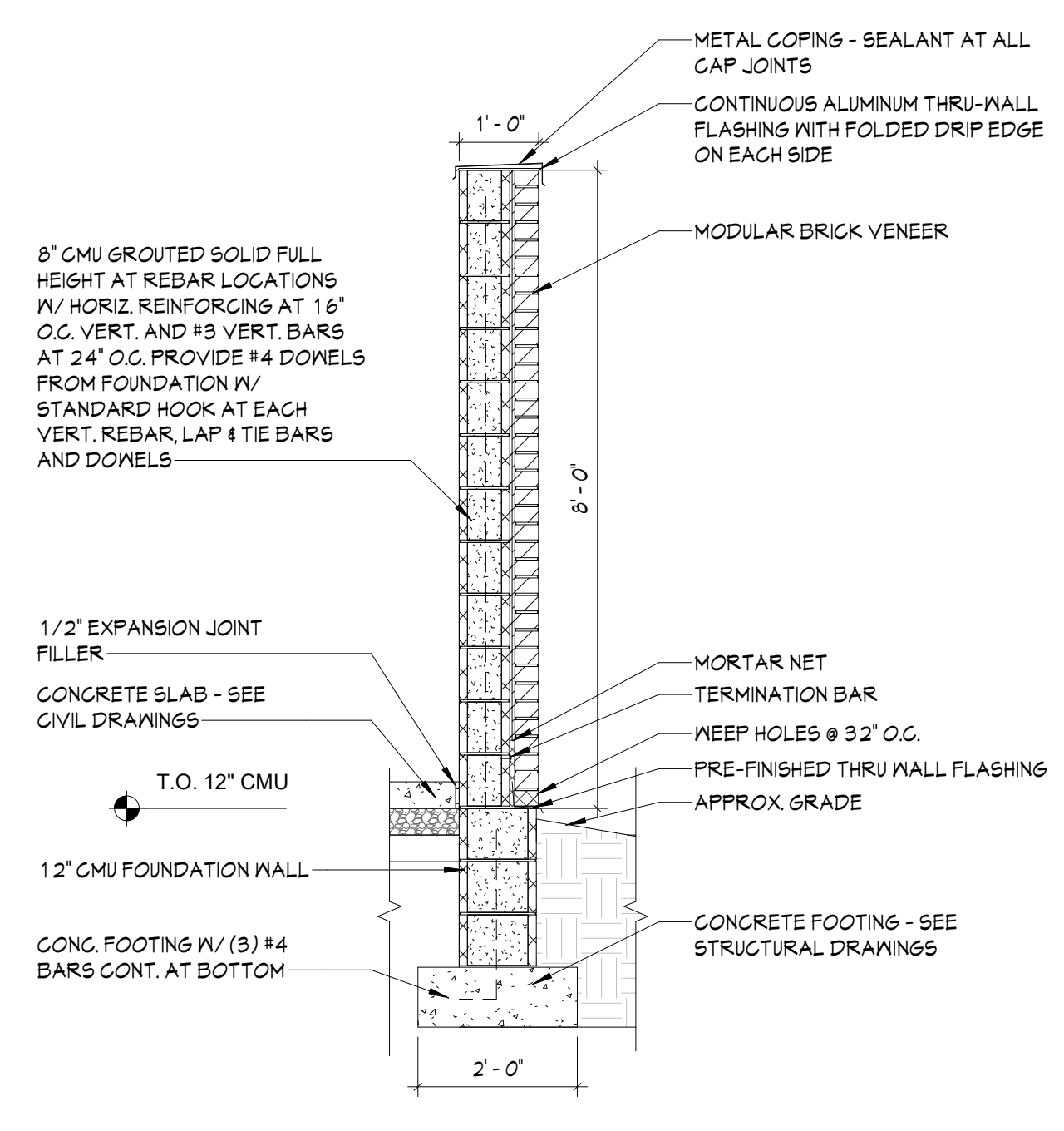
**D**  
AS.102  
TRASH STATION GATE  
1 1/2" = 1'-0"



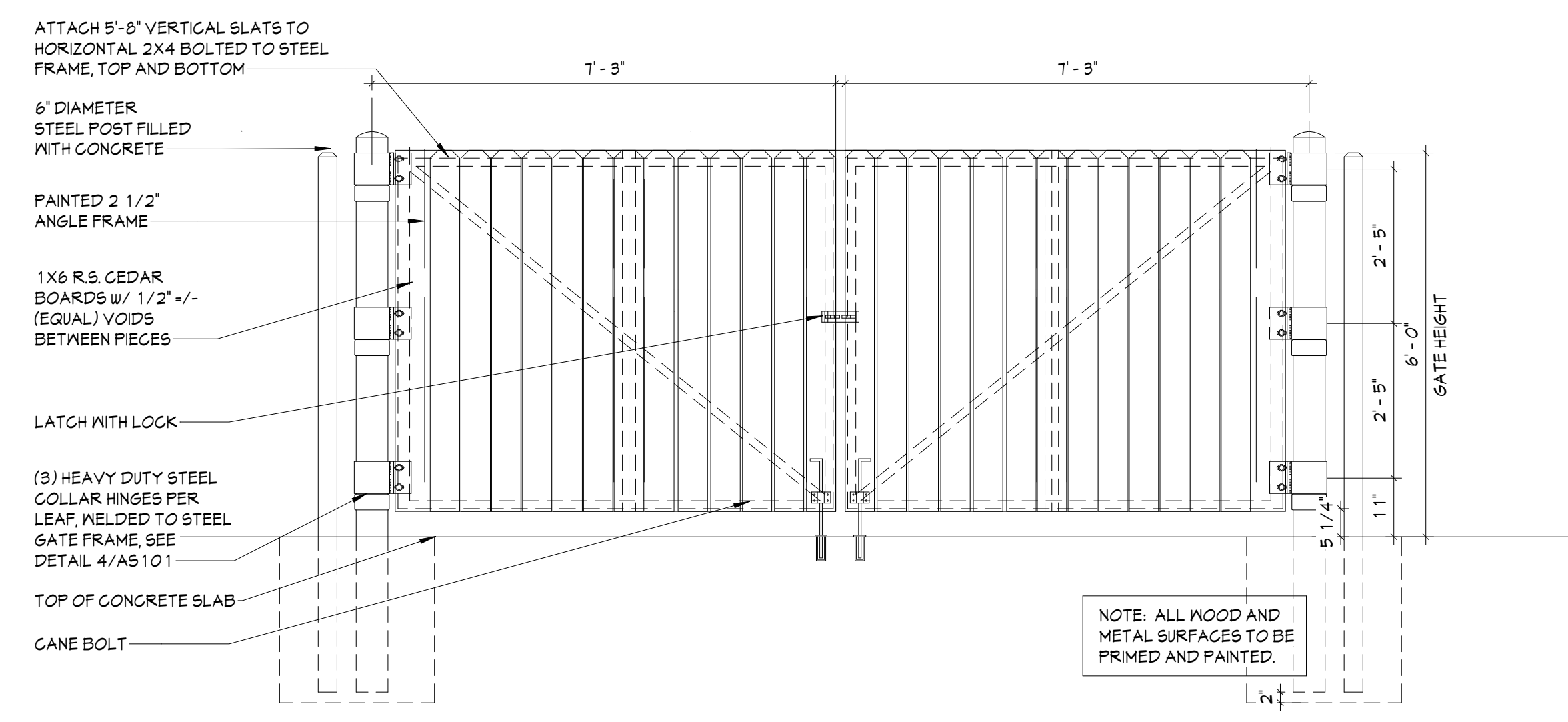
**C**  
AS.102  
TRASH STATION CANE BOLT  
1 1/2" = 1'-0"



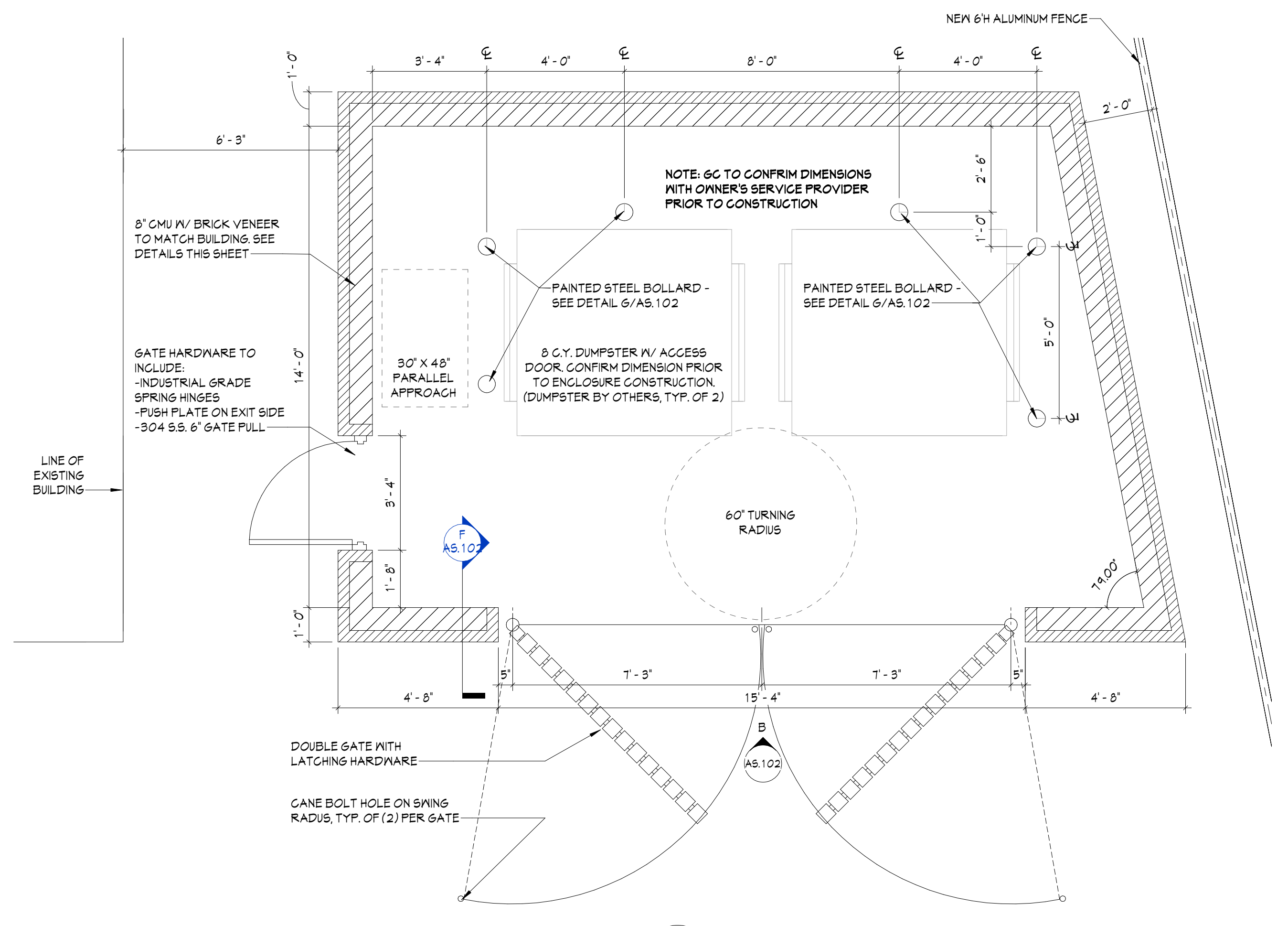
**G**  
AS.102  
PIPE BOLLARD DETAIL  
1" = 1'-0"



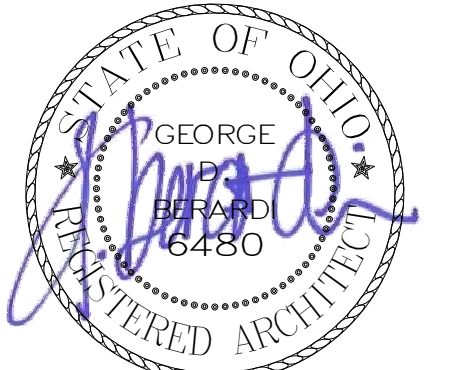
**F**  
AS.102  
WALL SECTION - TRASH ENCLOSURE  
1/2" = 1'-0"



**B**  
AS.102  
TRASH GATE ELEVATION  
1/2" = 1'-0"



**A**  
AS.102  
DUMPSTER ENCLOSURE PLAN  
3/8" = 1'-0"



GEORGE D. BERARDI  
LICENSE # 6480  
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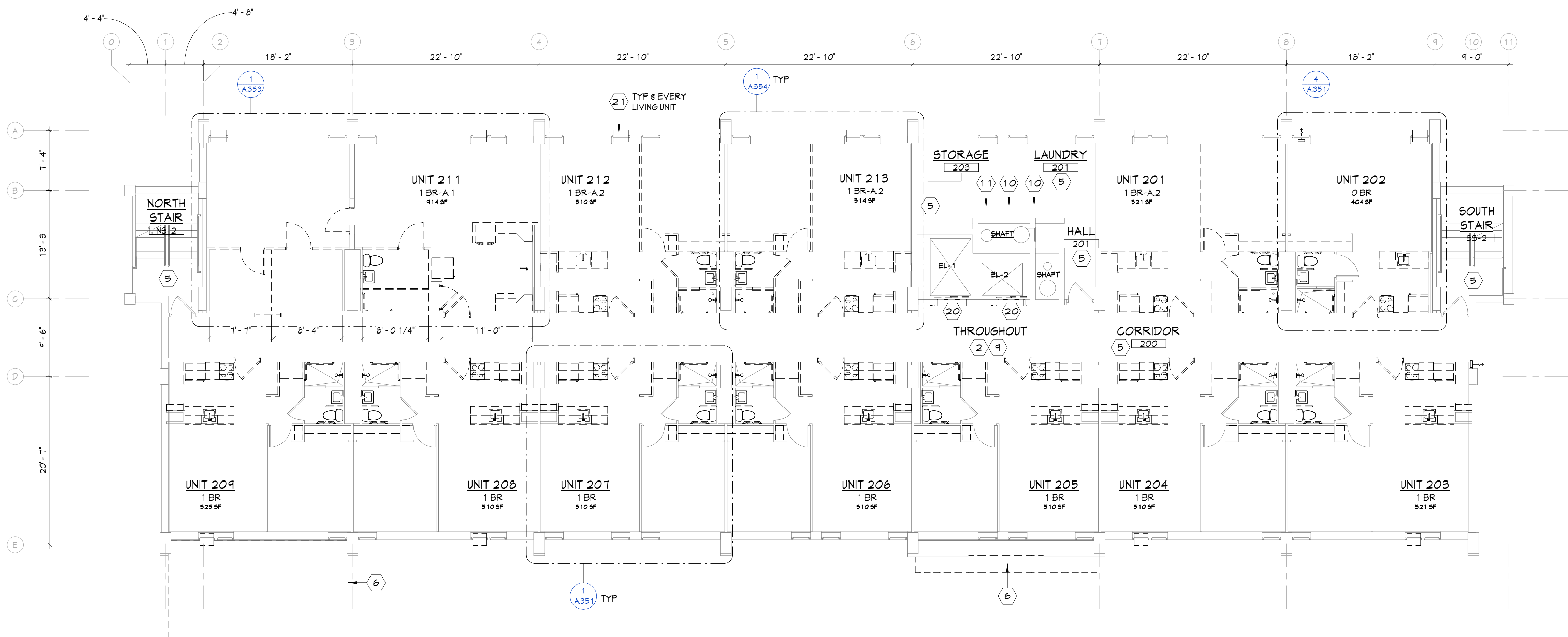
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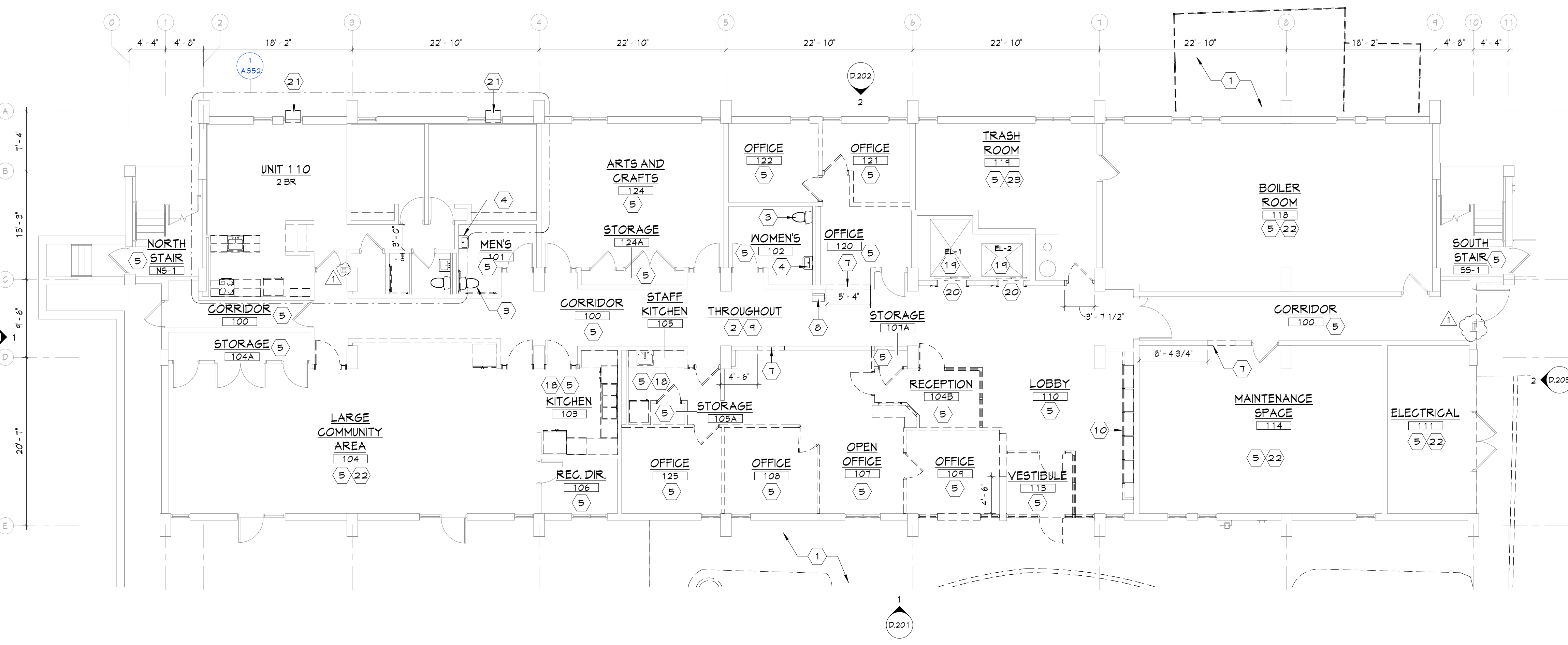
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**2 SECOND FLOOR DEMO PLAN**  
1/8" = 1'-0"



**1 FIRST FLOOR DEMO PLAN**  
1/8" = 1'-0"

- CODED NOTES - DEMO**
- 1 REFER TO SITE PLANS FOR FULL SITE DEMOLITION SCOPE.
  - 2 REMOVE EXISTING DOORS, WALLS AND/OR STOREFRONT AS SHOWN DASHED. PREP FOR NEW WALLS AND/OR STOREFRONT AS SHOWN ON FLOOR PLANS.
  - 3 REMOVE WATER CLOSET, GRAB BARS AND TOILET ACCESSORIES.
  - 4 REMOVE SINK, MIRROR AND ACCESSORIES.
  - 5 REMOVE FLOORING AND WALL BASE THROUGHOUT. PROVIDE COST FOR ASBESTOS ABATEMENT.
  - 6 REMOVE AWNING, PATCH AND REPAIR BUILDING EXTERIOR IN PREPARATION FOR NEW AWNING.
  - 7 CUT NEW OPENING IN EXISTING WALL TO FACILITATE INSTALLATION OF NEW DOOR - REFER TO DOOR SCHEDULE.
  - 8 REMOVE EXISTING WATER FOUNTAIN AND PREP FOR NEW - REFER TO PLUMBING DRAWINGS.
  - 9 REMOVE EXISTING DOOR HARDWARE AND PREPARE DOOR FOR NEW HARDWARE AND NEW PAINT. SEE UNIT PLANS FOR EXTENT OF DOOR MODIFICATIONS WITHIN THE UNITS.
  - 10 REMOVE EQUIPMENT AS SHOWN DASHED. COORDINATE WITH OWNER FOR REMOVAL OF LEASED EQUIPMENT.
  - 11 REMOVE UTILITY SINK. REFER TO PLUMBING DRAWINGS.
  - 12 PROVIDE OPENING IN CONCRETE BEAM AS REQUIRED FOR PROPOSED DOOR. SEE UNIT PLANS FOR LOCATION AND SEE STRUCTURAL DRAWINGS FOR DETAIL OF REINFORCING.
  - 13 DEMOLISH UNITS IN THEIR ENTIRETY IN PREPARATION FOR UNIT EXPANSION. REFER TO MEP DRAWINGS.
  - 14 REMOVE ELEVATOR FINISHES THROUGHOUT AND PREPARE FOR NEW FINISHES.
  - 15 EXISTING ROOF MEMBRANE AND ROOF DRAIN GAPS TO REMAIN.
  - 16 EXISTING PARAPET COPING TO REMAIN.
  - 17 EXISTING WALL MOUNTED LADDER TO REMAIN.
  - 18 REMOVE KITCHEN IN ITS ENTIRETY. REFER TO MEP.
  - 19 REMOVE ELEVATOR DOOR AND ASSOCIATED ELEVATOR CALL BUTTONS AND DIRECTIONAL INDICATORS. PREPARE OPENING FOR NEW DOOR AND BUTTONS.
  - 20 REMOVE WINDOW AIR CONDITIONER UNIT AND PREP FOR NEW WINDOW AC UNIT.
  - 21 REFER TO MEP DRAWINGS FOR FULL EXTENT OF DEMOLITION.
  - 22 REMOVE TRASH COMPACTOR AND TRASH BINS. REMOVE BOTTOM PORTION OF TRASH CHUTE IN PREPARATION FOR NEW RATED CEILING.
  - 23 REMOVE EXISTING LOUVER/EXHAUST FAN. PREPARE FOR NEW LOUVER IN SAME LOCATION. REFER TO MEP DRAWINGS.
  - 24 REMOVE EXISTING LIGHT FIXTURE AND PREPARE FOR NEW FIXTURE IN SAME LOCATION. REFER TO ELECTRICAL DRAWINGS.

### BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

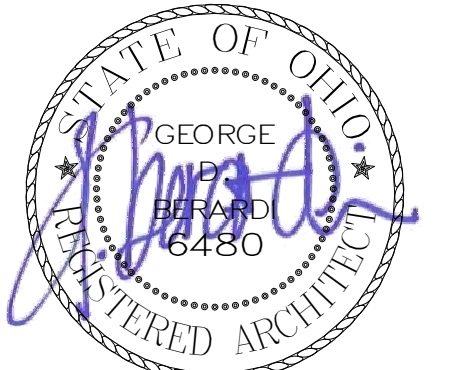
#	Description	Date
1	Addendum 1	01.22.24

## FIRST & SECOND FLOOR DEMO PLANS

# D.101

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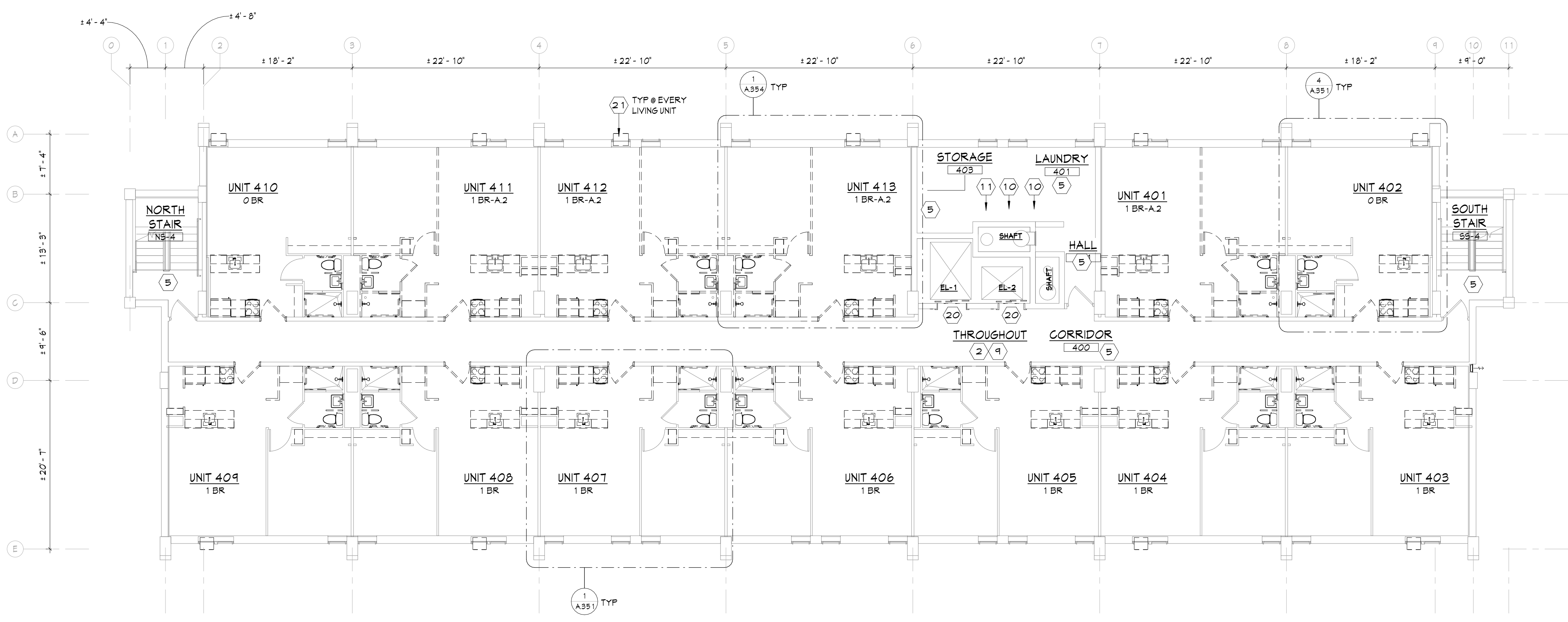
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#	Description	Date
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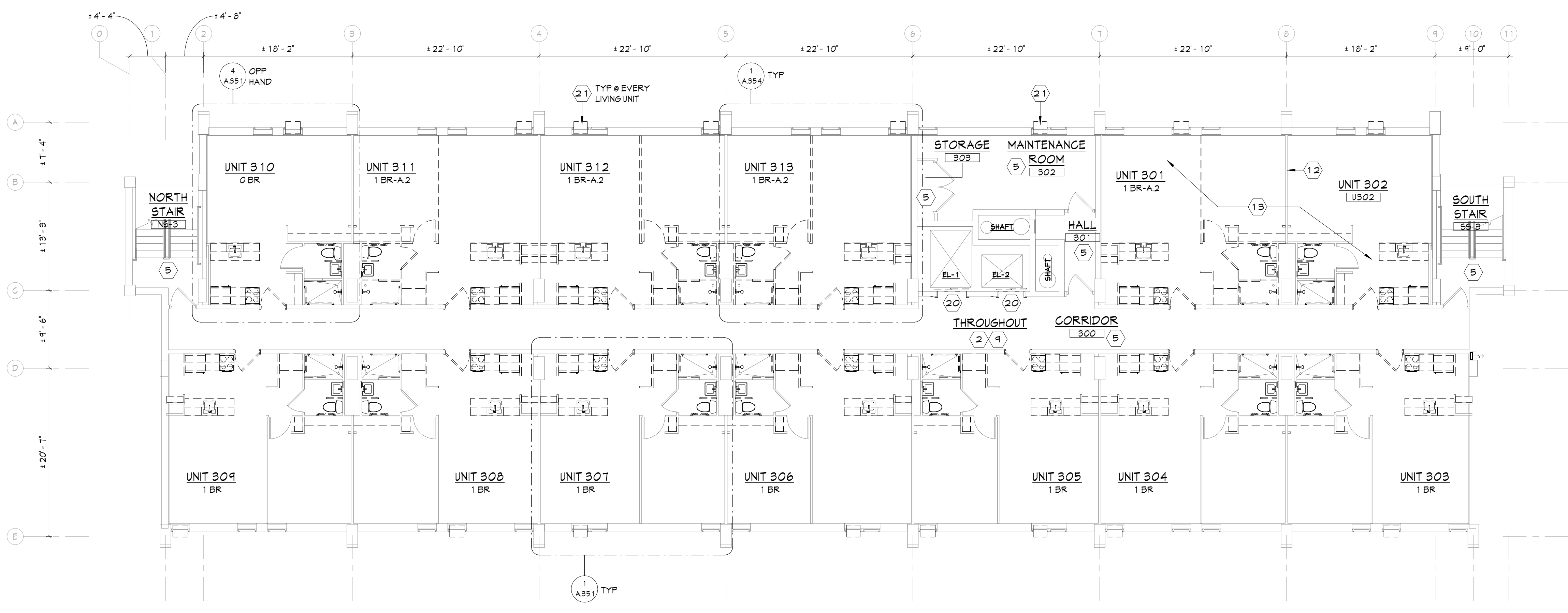
## THIRD & FOURTH FLOOR DEMO PLANS

# D.102

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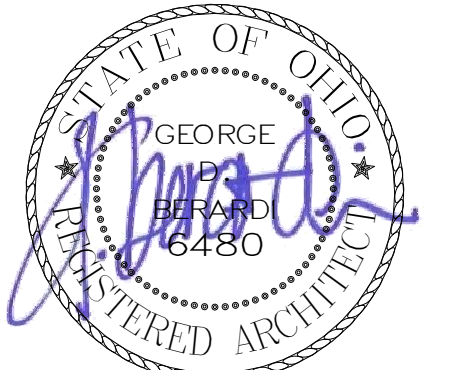


**2**  
D.102  
FOURTH FLOOR DEMO PLAN  
1/8" = 1'-0"



**1**  
D.102  
THIRD FLOOR DEMO PLAN  
1/8" = 1'-0"

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## BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## FIFTH & SIXTH FLOOR DEMO PLANS

# D.103

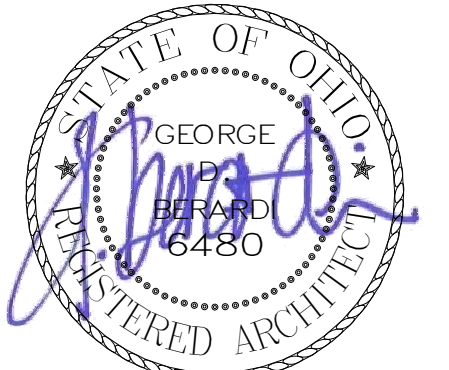
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**2**  
D.103  
SIXTH FLOOR DEMO PLAN  
1/8" = 1'-0"

**1**  
D.103  
FIFTH FLOOR DEMO PLAN  
1/8" = 1'-0"





GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

330 Forest Ave.  
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## BID SET

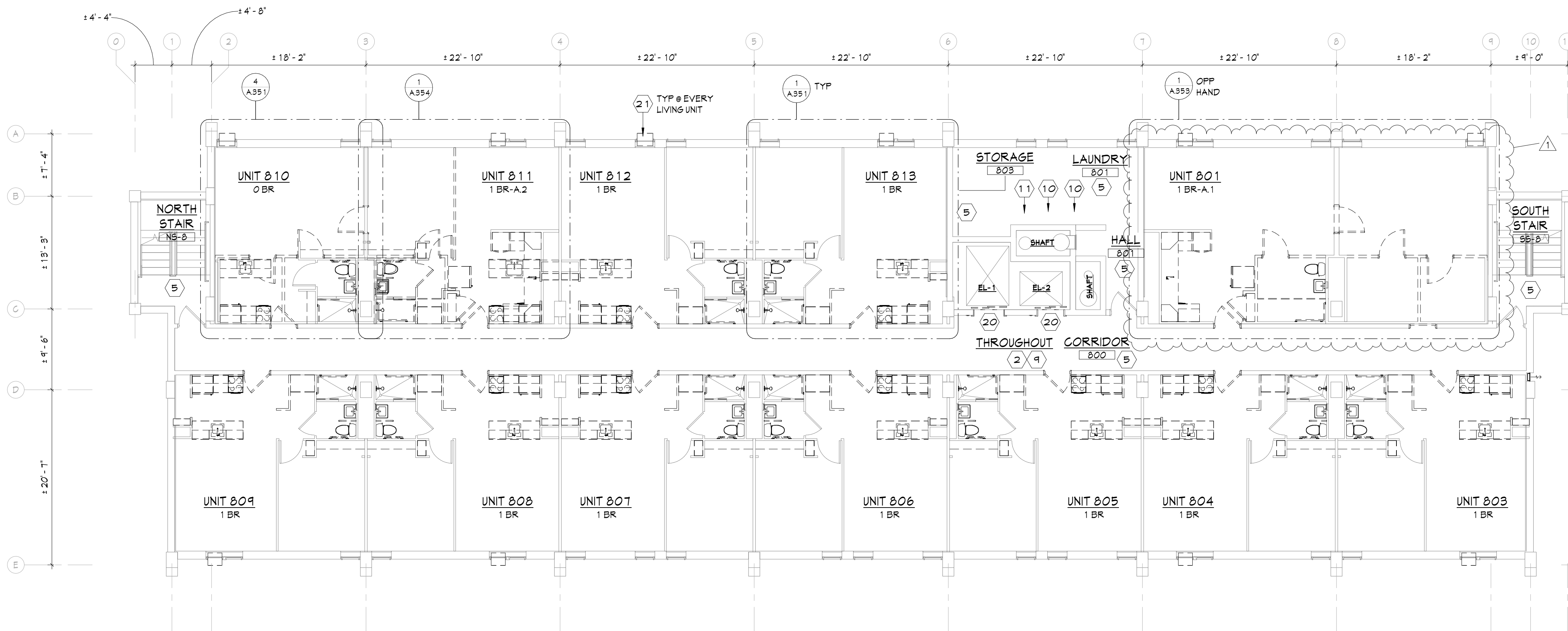
PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

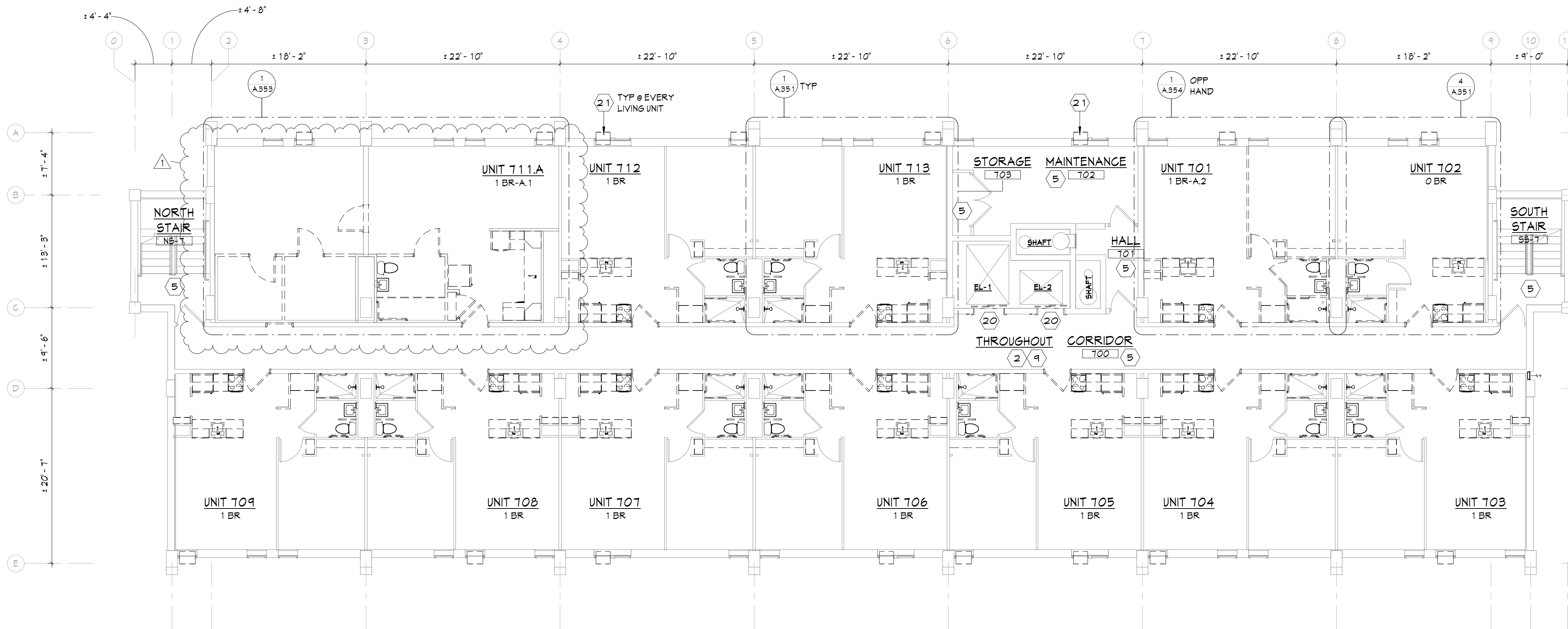
## SEVENTH & EIGHTH FLOOR DEMO PLANS

# D.104

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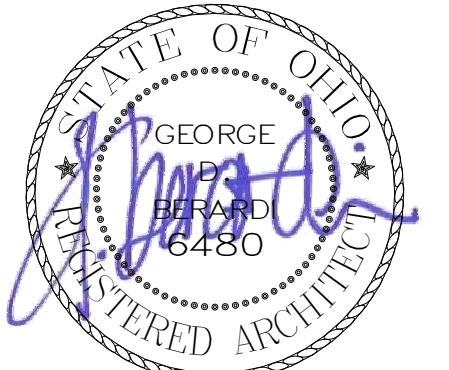


**2**  
D.104  
EIGHTH FLOOR DEMO PLAN  
1/8" = 1'-0"



**1**  
D.104  
SEVENTH FLOOR DEMO PLAN  
1/8" = 1'-0"

C:\REVIT BACKUP\2.1-20178\_CMHA Beechwood\_Central\_lboyce\4380.rvt



GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

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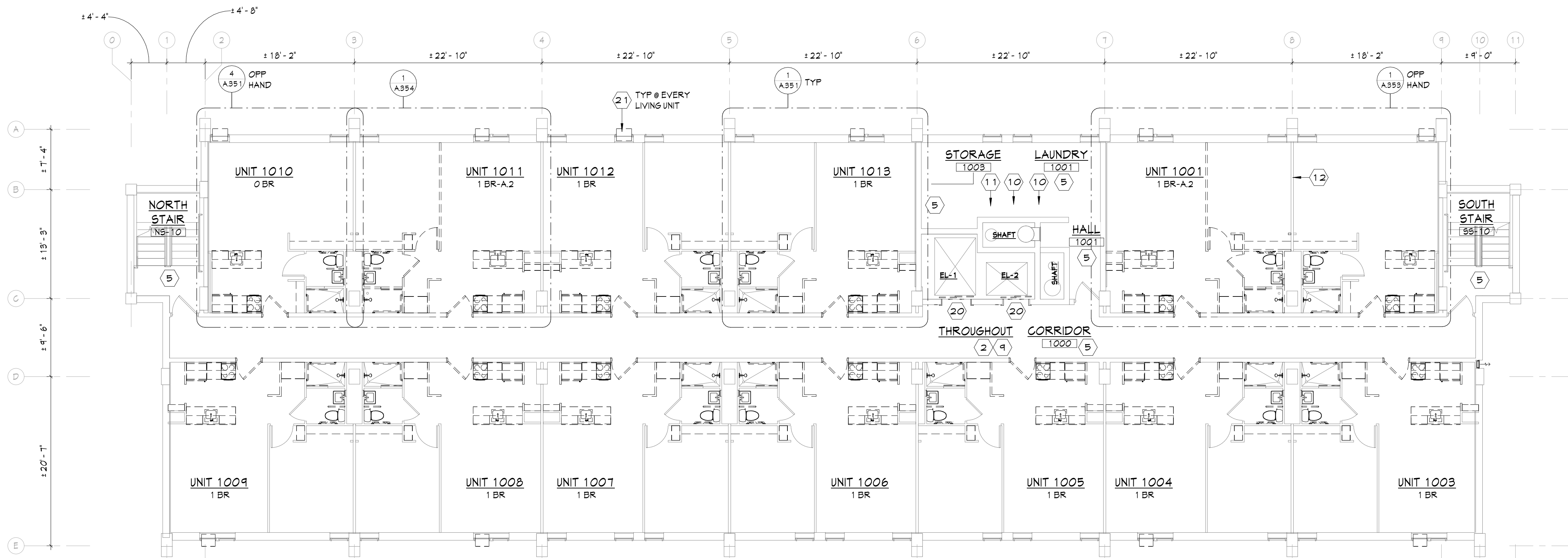
PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

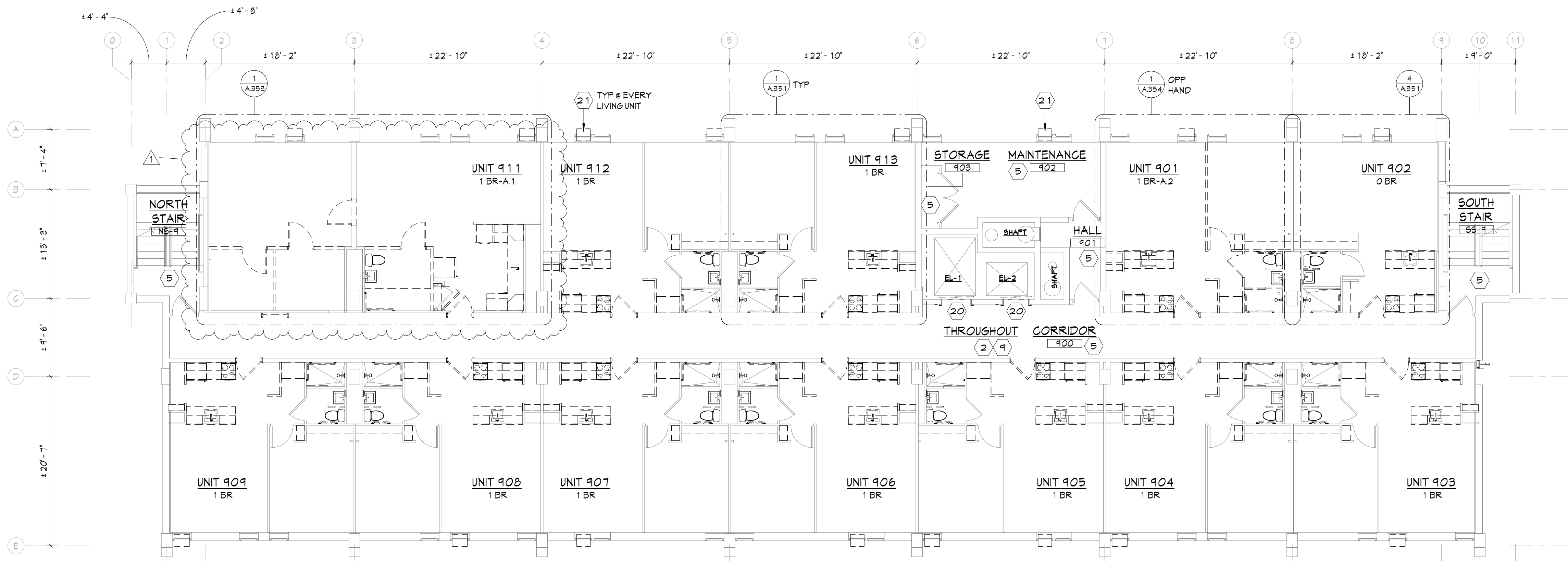
# NINTH & TENTH FLOOR DEMO PLANS

## D.105

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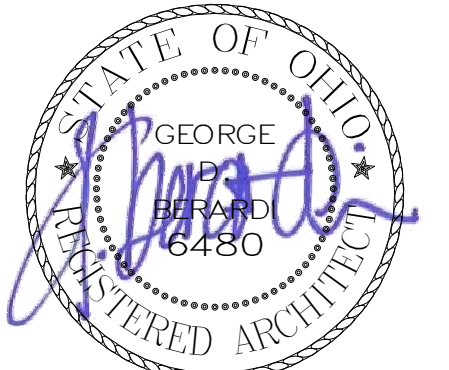


**2**  
D.105  
TENTH FLOOR DEMO PLAN  
1/8" = 1'-0"



**1**  
D.105  
NINTH FLOOR DEMO PLAN  
1/8" = 1'-0"

C:\REVIT BACKUP\2.1-2017\8\_CMHA\_Beechwood\_Central\_lboyce\4390.rvt



GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

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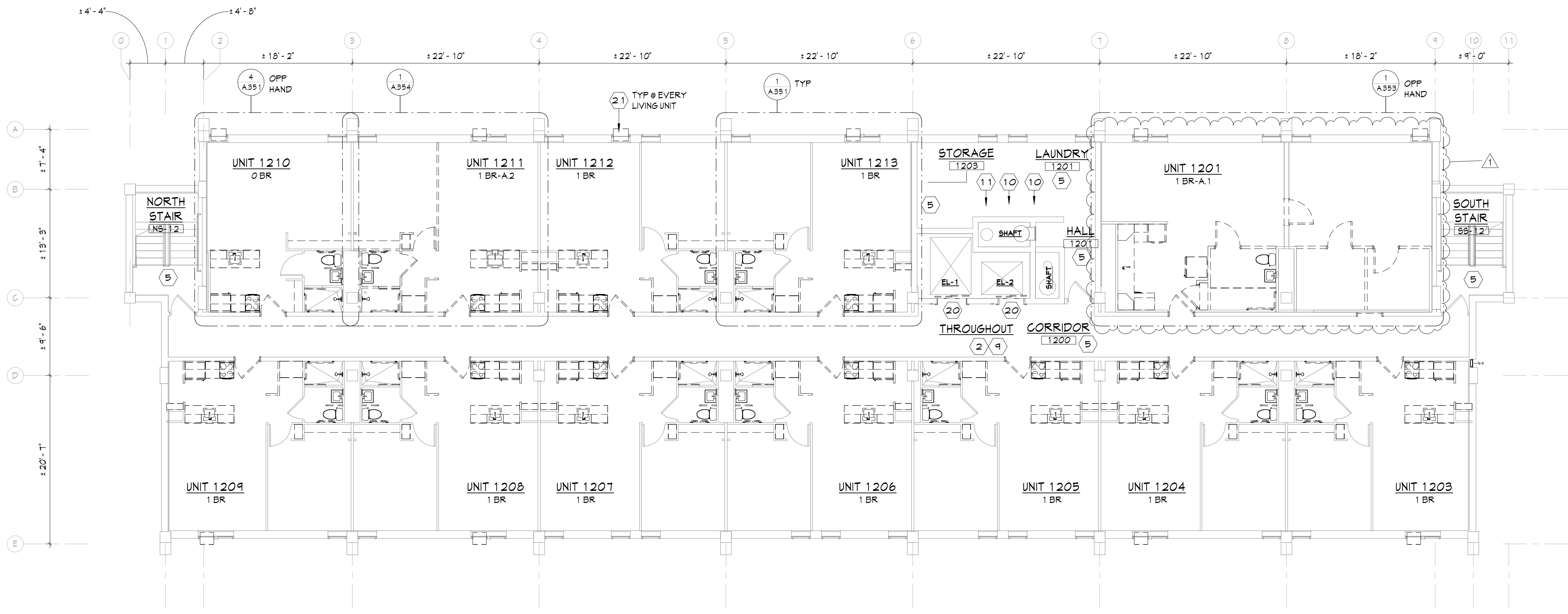
PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

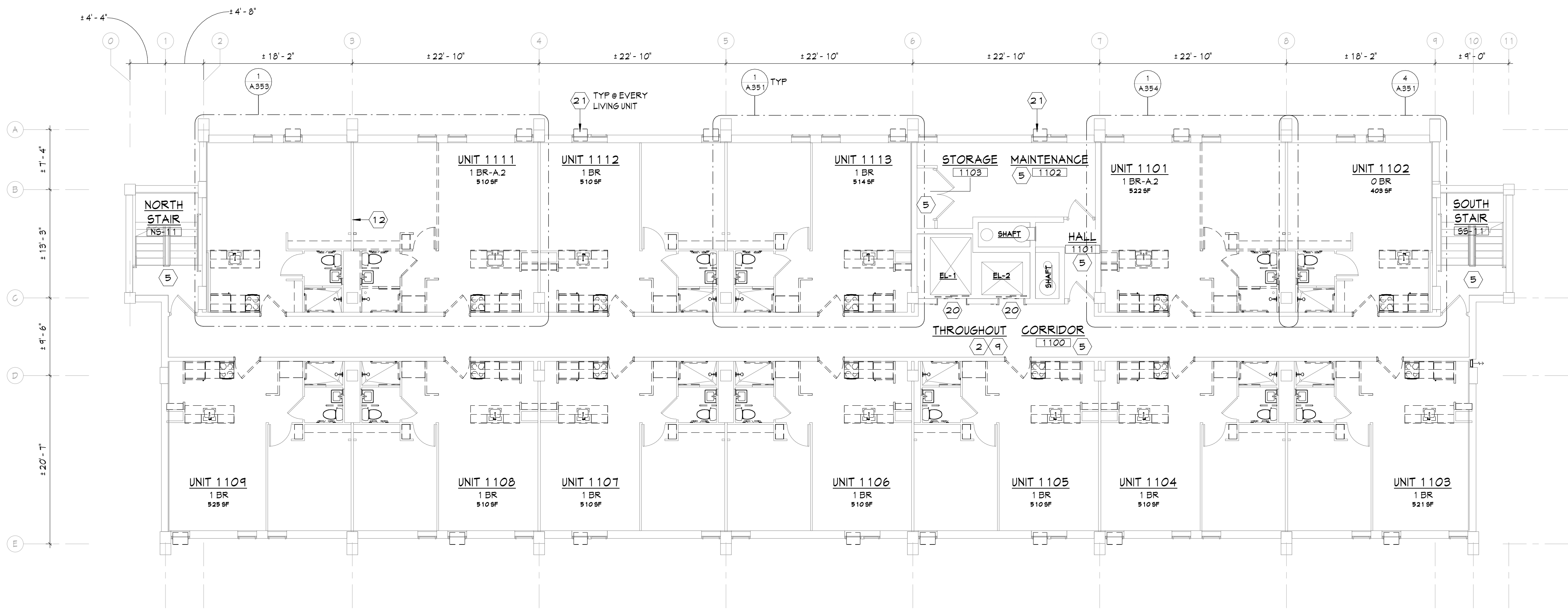
## ELEVENTH & TWELFTH FLOOR DEMO PLANS

# D.106

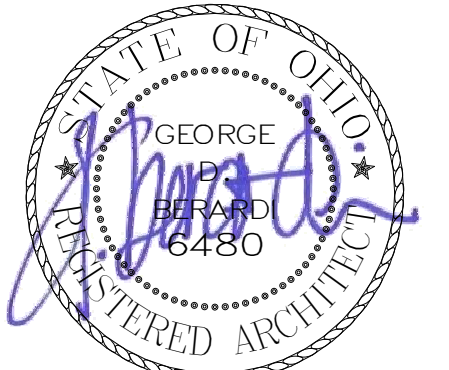
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**2**  
D.106  
TWELFTH FLOOR DEMO PLAN  
1/8" = 1'-0"



**1**  
D.106  
ELEVENTH FLOOR DEMO PLAN  
1/8" = 1'-0"



GEORGE D. BERARDI  
 LICENSE # 6480  
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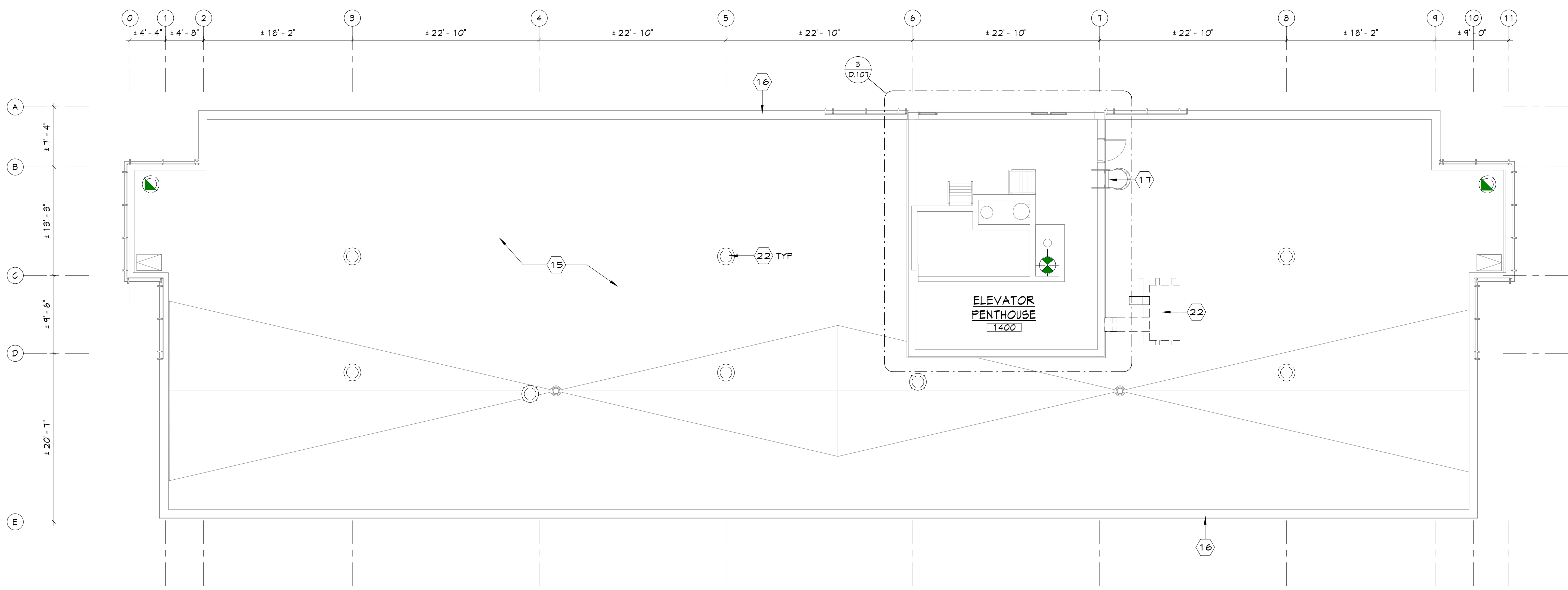
## BEECHWOOD APARTMENTS

330 Forest Ave.  
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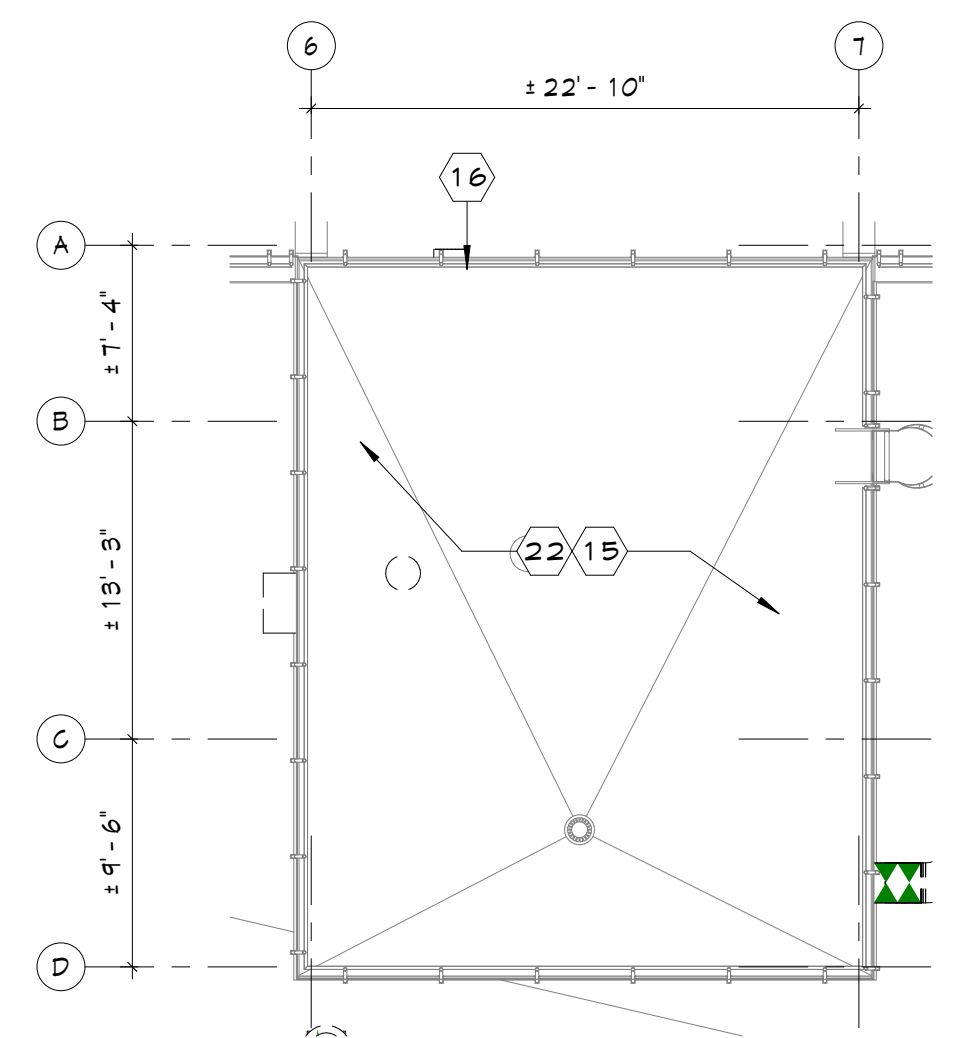
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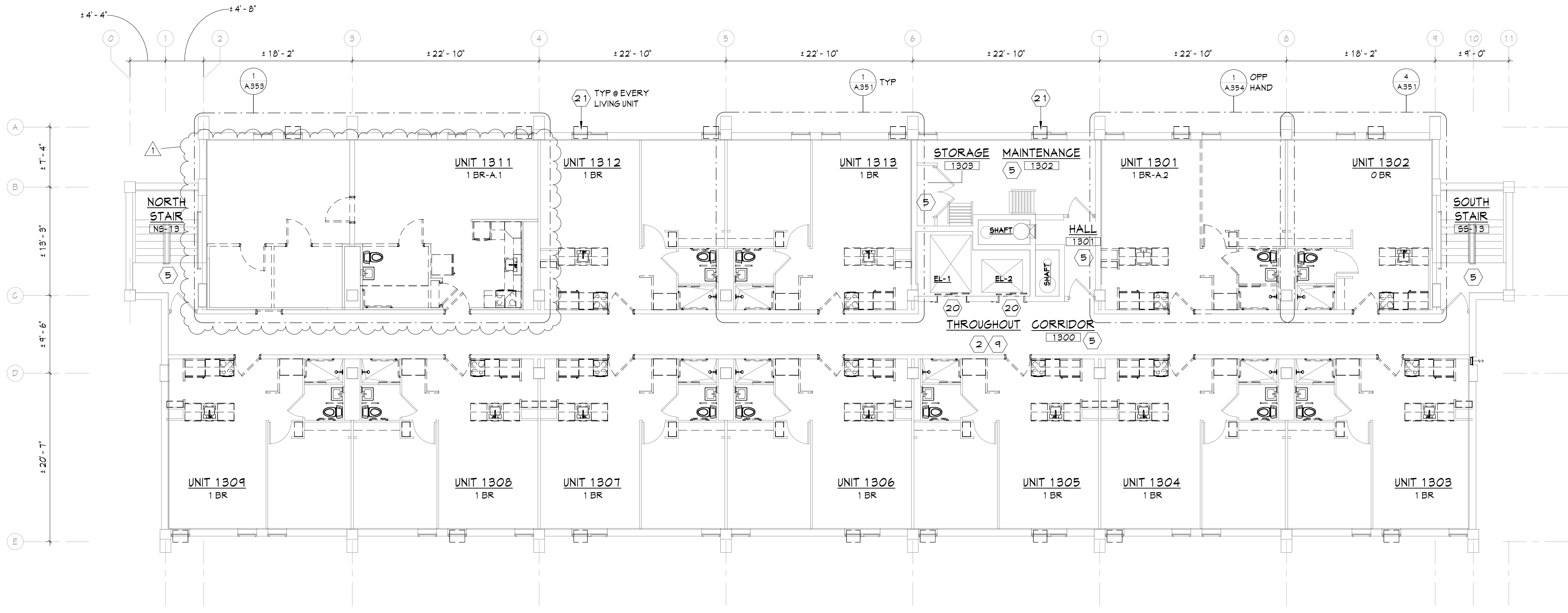
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2 ROOF DEMO PLAN  
 D.107 1/8" = 1'-0"



3 PENTHOUSE ROOF DEMO PLAN  
 D.107 1/8" = 1'-0"



1 THIRTEENTH FLOOR DEMO PLAN  
 D.107 1/8" = 1'-0"

### CODED NOTES - DEMO

- 1 REFER TO SITE PLANS FOR FULL SITE DEMOLITION SCOPE
- 2 REMOVE EXISTING DOORS, WALLS AND/OR STOREFRONT AS SHOWN DASHED. PREP FOR NEW WALLS AND/OR STOREFRONT AS SHOWN ON FLOOR PLANS.
- 3 REMOVE WATER CLOSET, GRAB BARS AND TOILET ACCESSORIES.
- 4 REMOVE SINK, MIRROR AND ACCESSORIES.
- 5 REMOVE FLOORING AND WALL BASE THROUGHOUT. PROVIDE COST FOR ASBESTOS ABATEMENT.
- 6 REMOVE AWNING. PATCH AND REPAIR BUILDING EXTERIOR IN PREPARATION FOR NEW AWNING.
- 7 CUT NEW OPENING IN EXISTING WALL TO FACILITATE INSTALLATION OF NEW DOOR - REFER TO DOOR SCHEDULE.
- 8 REMOVE EXISTING WATER FOUNTAIN AND PREP FOR NEW - REFER TO PLUMBING DRAWINGS.
- 9 REMOVE EXISTING DOOR HARDWARE AND PREPARE DOOR FOR NEW HARDWARE AND NEW PAINT. SEE UNIT PLANS FOR EXTENT OF DOOR MODIFICATIONS WITHIN THE UNITS.
- 10 REMOVE EQUIPMENT AS SHOWN DASHED. COORDINATE WITH OWNER FOR REMOVAL OF LEASED EQUIPMENT.
- 11 REMOVE UTILITY SINK. REFER TO PLUMBING DRAWINGS.
- 12 PROVIDE OPENING IN CONCRETE BEAM AS REQUIRED FOR PROPOSED DOOR. SEE UNIT PLANS FOR LOCATION AND SEE STRUCTURAL DRAWINGS FOR DETAIL OF REINFORCING.
- 13 DEMOLISH UNITS IN THEIR ENTIRETY IN PREPARATION FOR UNIT EXPANSION. REFER TO MEP DRAWINGS.
- 15 EXISTING ROOF MEMBRANE AND ROOF DRAIN CAPS TO REMAIN.
- 16 EXISTING PARAPET COPING TO REMAIN.
- 17 EXISTING WALL MOUNTED LADDER TO REMAIN.
- 18 REMOVE KITCHEN IN ITS ENTIRETY. REFER TO MEP.
- 19 REMOVE ELEVATOR FINISHES THROUGHOUT AND PREPARE FOR NEW FINISHES.
- 20 REMOVE ELEVATOR DOOR AND ASSOCIATED ELEVATOR CALL BUTTONS AND DIRECTIONAL INDICATORS. PREPARE OPENING FOR NEW DOOR AND BUTTONS.
- 21 REMOVE WINDOW AIR CONDITIONER UNIT AND PREP FOR NEW WINDOW AC UNIT.
- 22 REFER TO MEP DRAWINGS FOR FULL EXTENT OF DEMOLITION.
- 23 REMOVE TRASH COMPACTOR AND TRASH BINS. REMOVE BOTTOM PORTION OF TRASH CHUTE IN PREPARATION FOR NEW RATED CEILING.
- 24 REMOVE EXISTING LOUVER/EXHAUSTAND PREPARE FOR NEW LOUVER IN SAME LOCATION. REFER TO MEP DRAWINGS.
- 25 REMOVE EXISTING LIGHT FIXTURE AND PREPARE FOR NEW FIXTURE IN SAME LOCATION. REFER TO ELECTRICAL DRAWINGS.

### BID SET

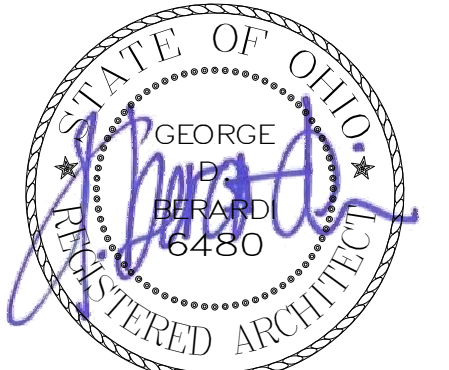
PROJECT DATE: 01.05.2024  
 PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## THIRTEENTH FLOOR & ROOF DEMO PLANS

# D.107

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 LICENSE # 6480  
 EXPIRES: 12.31.2025

## BEECHWOOD APARTMENTS

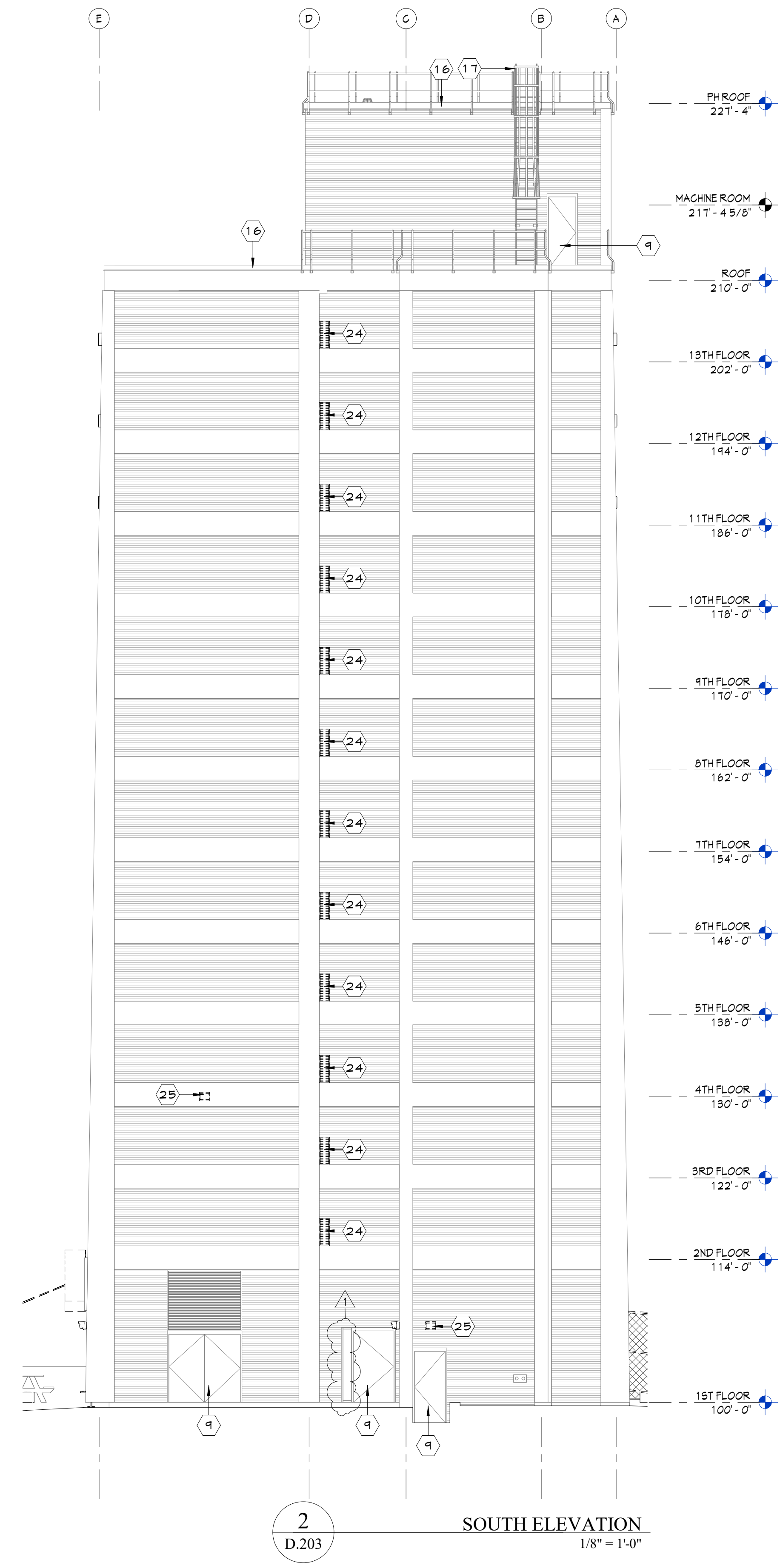
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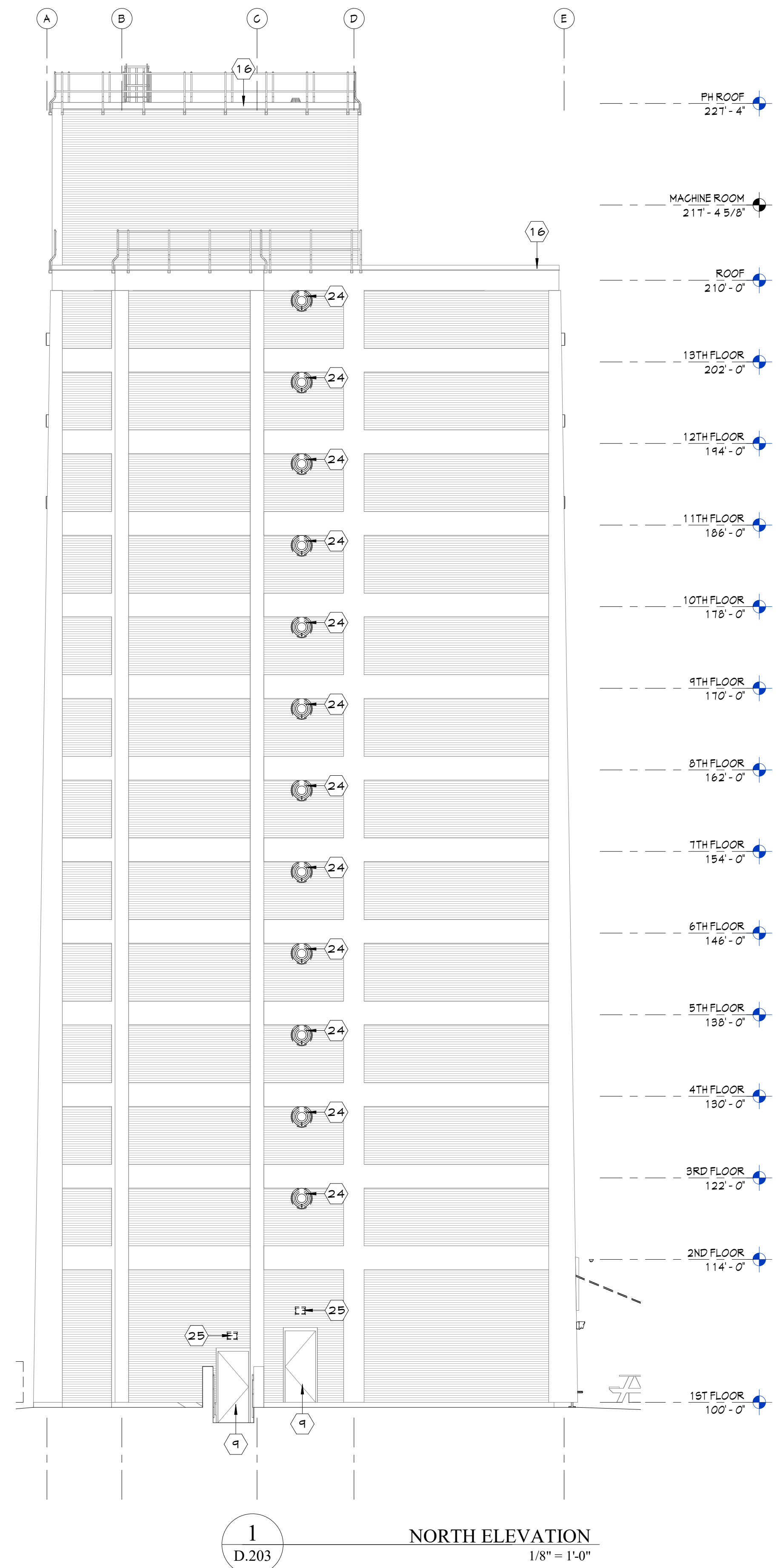
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### NOTE:

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  - REMOVE WATER CLOSET, GRAB BARS AND TOILET ACCESSORIES.
  - REMOVE SINK, MIRROR AND ACCESSORIES.
  - REMOVE FLOORING AND WALL BASE THROUGHOUT. PROVIDE COST FOR ASBESTOS ABATEMENT.
  - REMOVE AWNING, PATCH AND REPAIR BUILDING EXTERIOR IN PREPARATION FOR NEW AWNING.
  - CUT NEW OPENING IN EXISTING WALL TO FACILITATE INSTALLATION OF NEW DOOR - REFER TO DOOR SCHEDULE.
  - REMOVE EXISTING WATER FOUNTAIN AND PREP FOR NEW - REFER TO PLUMBING DRAWINGS.
  - REMOVE EXISTING DOOR HARDWARE AND PREPARE DOOR FOR NEW HARDWARE AND NEW PAINT. SEE UNIT PLANS FOR EXTENT OF DOOR MODIFICATIONS WITHIN THE UNITS.
  - REMOVE EQUIPMENT AS SHOWN DASHED. COORDINATE WITH OWNER FOR REMOVAL OF LEASED EQUIPMENT.
  - REMOVE UTILITY SINK. REFER TO PLUMBING DRAWINGS.
  - PROVIDE OPENING IN CONCRETE BEAM AS REQUIRED FOR PROPOSED DOOR. SEE UNIT PLANS FOR LOCATION AND SEE STRUCTURAL DRAWINGS FOR DETAIL OF REINFORCING.
  - DEMOLISH UNITS IN THEIR ENTIRETY IN PREPARATION FOR UNIT EXPANSION. REFER TO MEP DRAWINGS.
  - EXISTING ROOF MEMBRANE AND ROOF DRAIN CAPS TO REMAIN.
  - EXISTING PARAPET COPING TO REMAIN.
  - EXISTING WALL MOUNTED LADDER TO REMAIN.
  - REMOVE KITCHEN IN ITS ENTIRETY. REFER TO MEP.
  - REMOVE ELEVATOR FINISHES THROUGHOUT AND PREPARE FOR NEW FINISHES.
  - REMOVE ELEVATOR DOOR AND ASSOCIATED ELEVATOR CALL BUTTONS AND DIRECTIONAL INDICATORS. PREPARE OPENING FOR NEW DOOR AND BUTTONS.
  - REMOVE WINDOW AIR CONDITIONER UNIT AND PREP FOR NEW WINDOW AC UNIT.
  - REFER TO MEP DRAWINGS FOR FULL EXTENT OF DEMOLITION.
  - REMOVE TRASH COMPACTOR AND TRASH BINS. REMOVE BOTTOM PORTION OF TRASH CHUTE IN PREPARATION FOR NEW RATED CEILING.
  - REMOVE EXISTING LOUVER/EXHAUST AND PREPARE FOR NEW LOUVER IN SAME LOCATION. REFER TO MEP DRAWINGS.
  - REMOVE EXISTING LIGHT FIXTURE AND PREPARE FOR NEW FIXTURE IN SAME LOCATION. REFER TO ELECTRICAL DRAWINGS.



**2**  
 D.203 SOUTH ELEVATION  
 1/8" = 1'-0"



**1**  
 D.203 NORTH ELEVATION  
 1/8" = 1'-0"

### BID SET

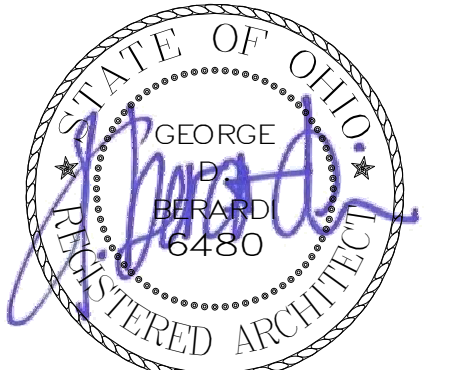
PROJECT DATE: 01.05.2024  
 PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## DEMO ELEVATIONS

# D.203

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 P 614.221.1110 berardipartners.com



GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

330 Forest Ave.  
Cincinnati, OH 45229

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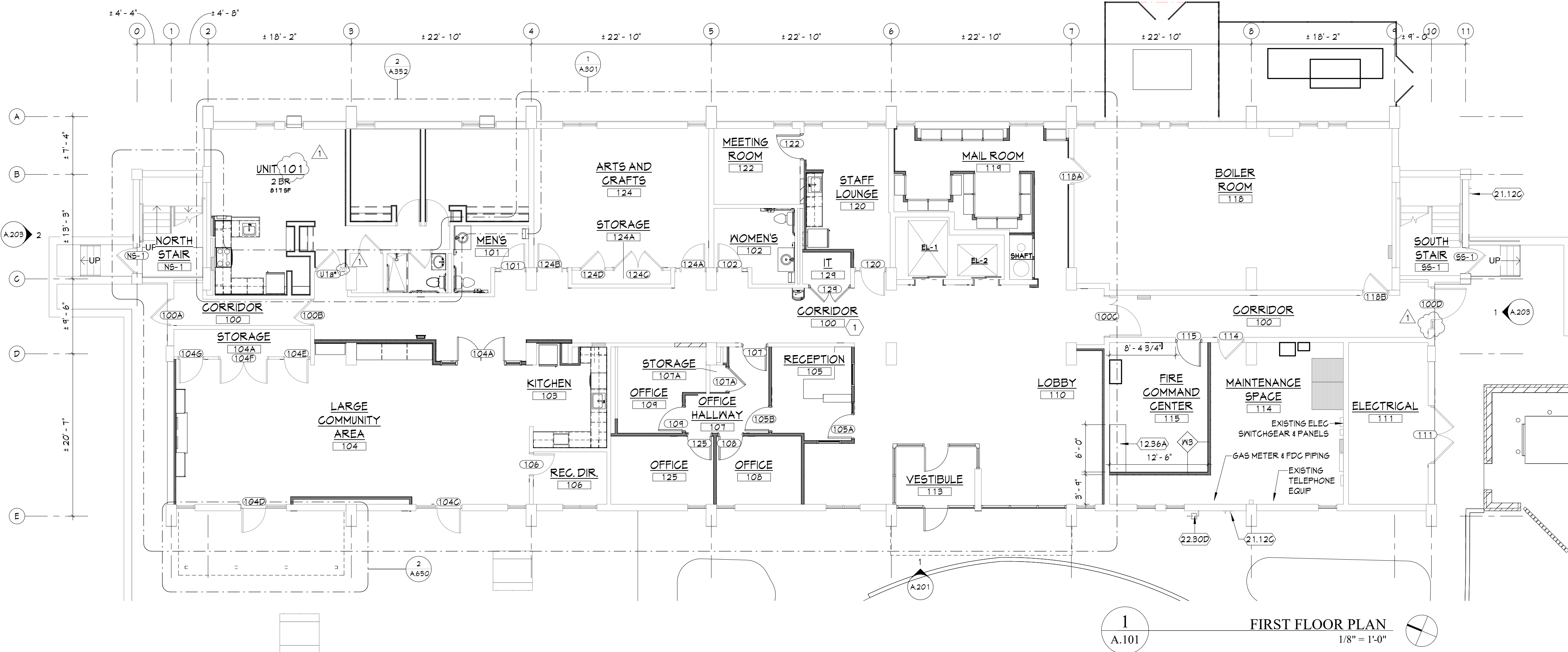
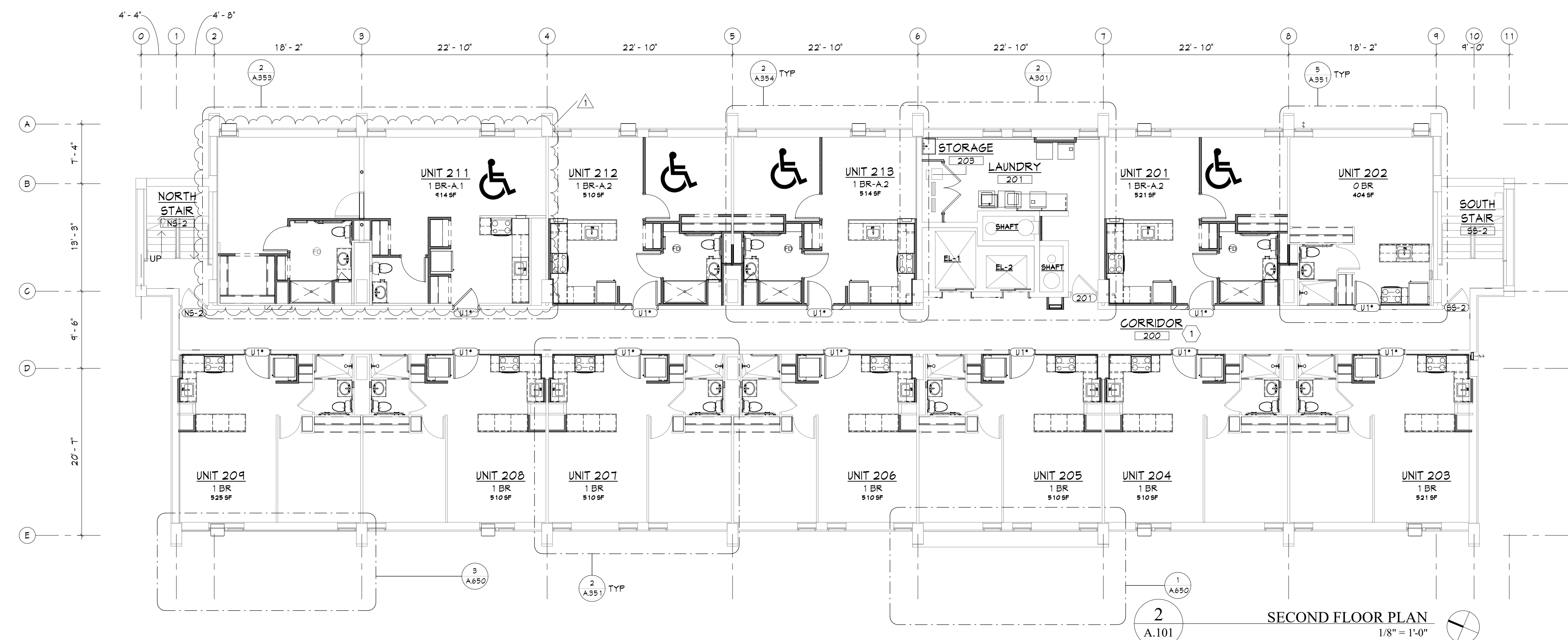
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### CODED NOTES - FLOOR PLANS

- 1 ADD ALTERNATE, PROVIDE WALL TYPE #16 ON ALL CMU WALLS IN CORRIDOR.

### KEYNOTES

- 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES WHERE SHOWN (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
- 21.12C EXISTING FIRE-DEPARTMENT CONNECTION
- 22.30D EXISTING GAS SERVICE EQUIPMENT - SEE PLUMBING DRAWINGS



### BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

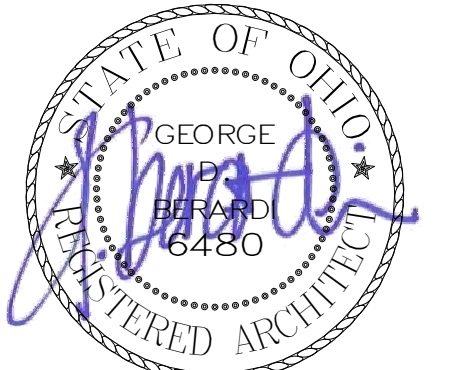
#	Description	Date
1	Addendum 1	01.22.24

## FIRST & SECOND FLOOR PLANS

# A.101

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GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

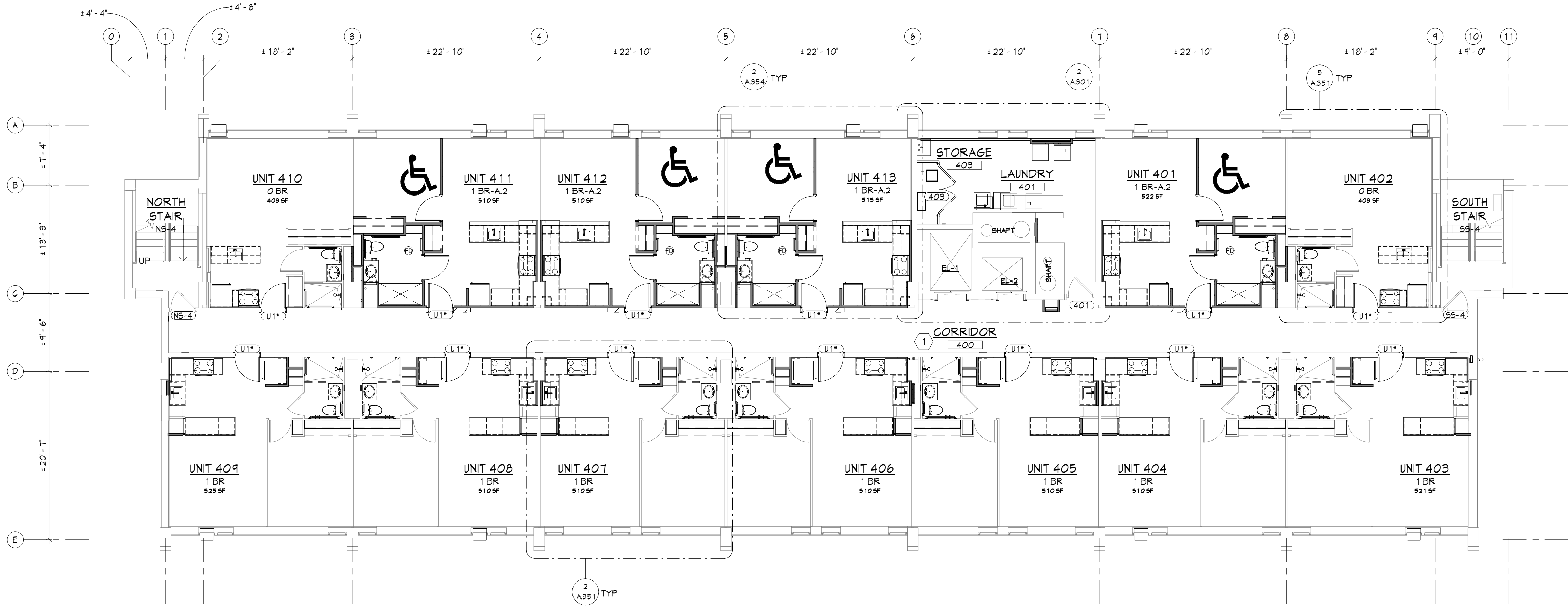
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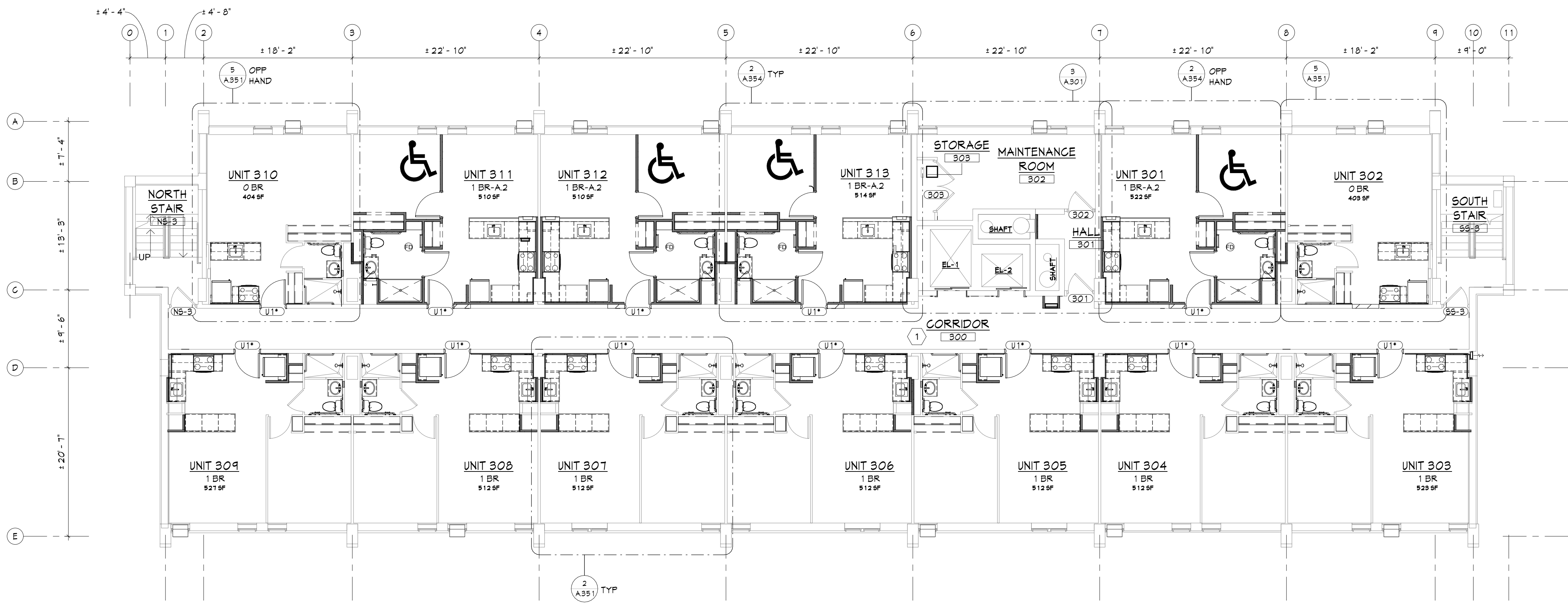
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**CODED NOTES - FLOOR PLANS**  
1 ADD ALTERNATE. PROVIDE WALL TYPE M16 ON ALL GMM WALLS IN CORRIDOR.



**2**  
A.102  
FOURTH FLOOR PLAN  
1/8" = 1'-0"



**1**  
A.102  
THIRD FLOOR PLAN  
1/8" = 1'-0"

### BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

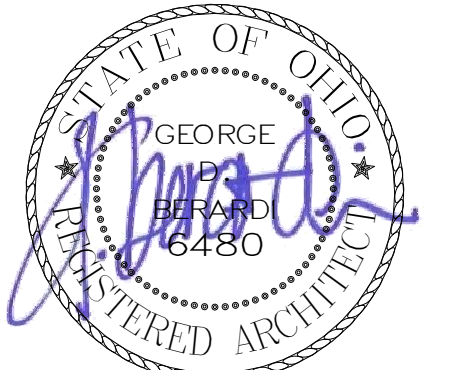
#	Description	Date

## THIRD & FOURTH FLOOR PLANS

# A.102

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LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

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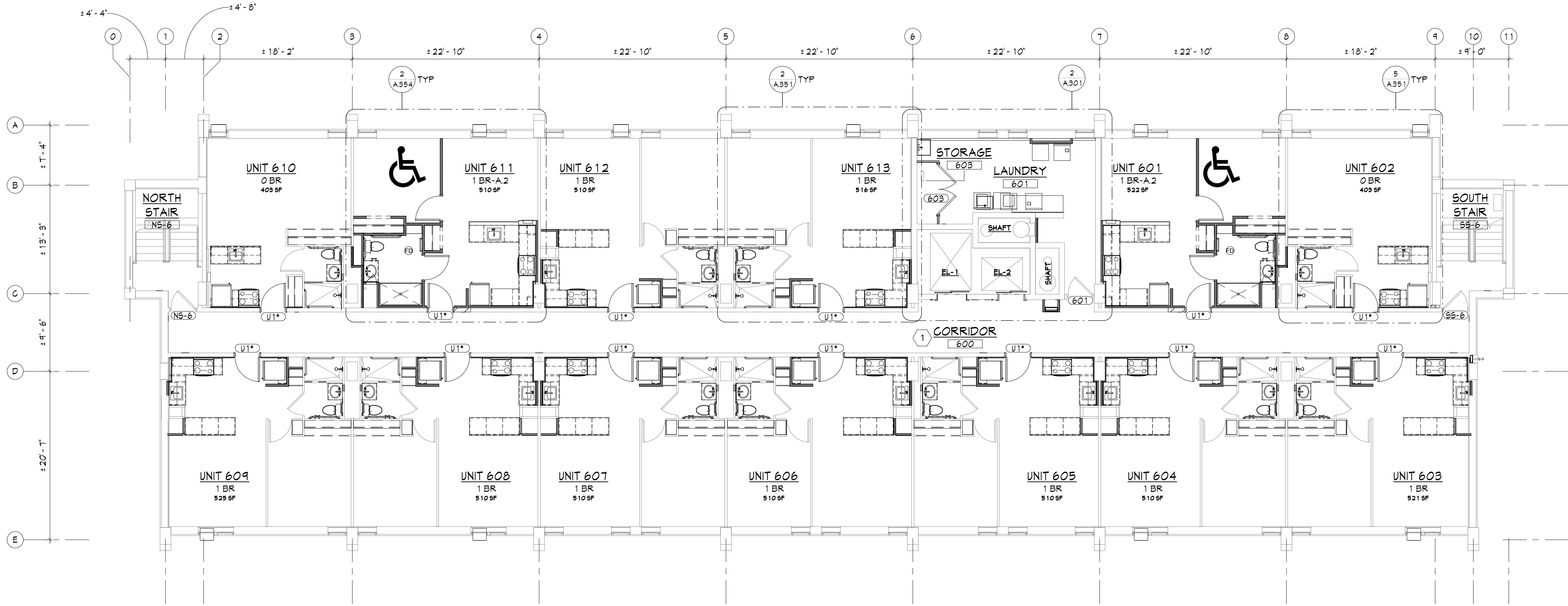
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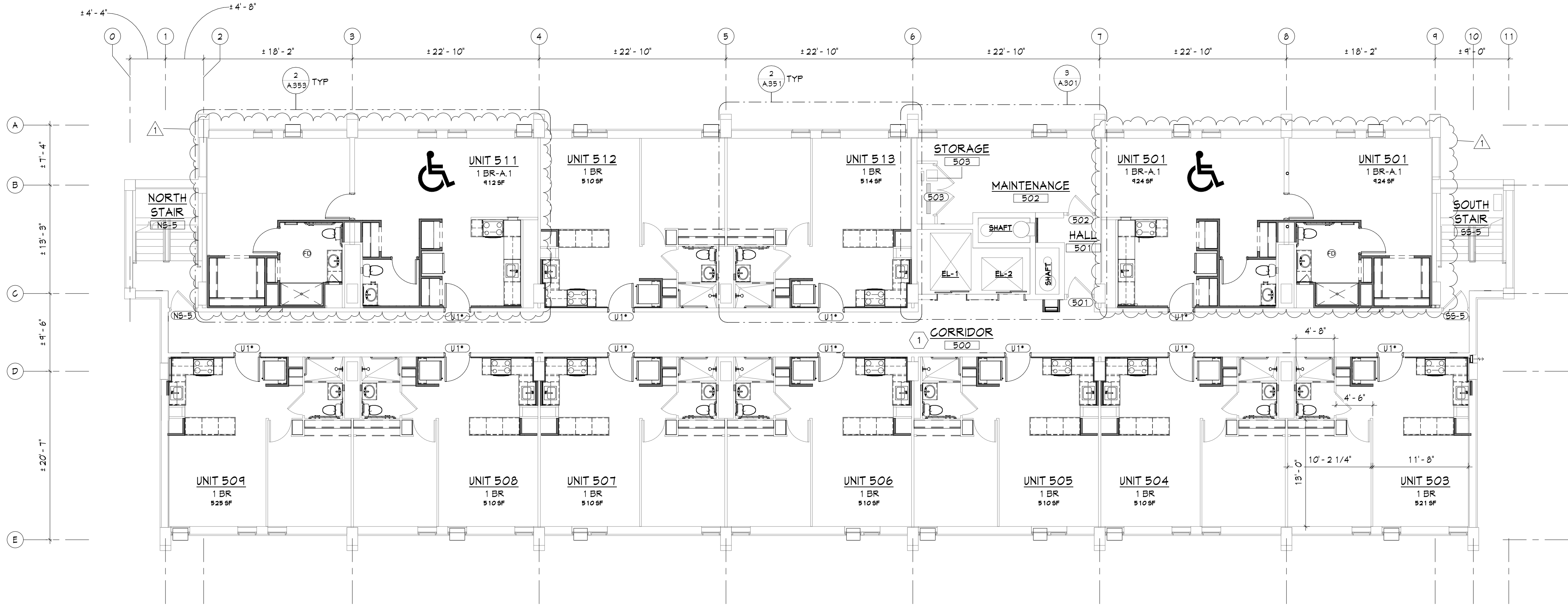
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### CODED NOTES - FLOOR PLANS

1. ADD ALTERNATE, PROVIDE WALL TYPE #116 ON ALL CMU WALLS IN CORRIDOR.



2  
A.103  
SIXTH FLOOR PLAN  
1/8" = 1'-0"



1  
A.103  
FIFTH FLOOR PLAN  
1/8" = 1'-0"

### BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

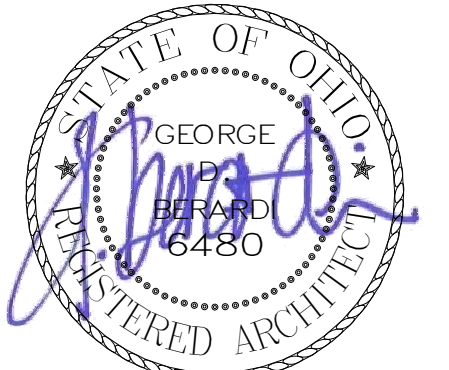
#	Description	Date
1	Addendum 1	01.22.24

### FIFTH & SIXTH FLOOR PLANS

# A.103

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GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

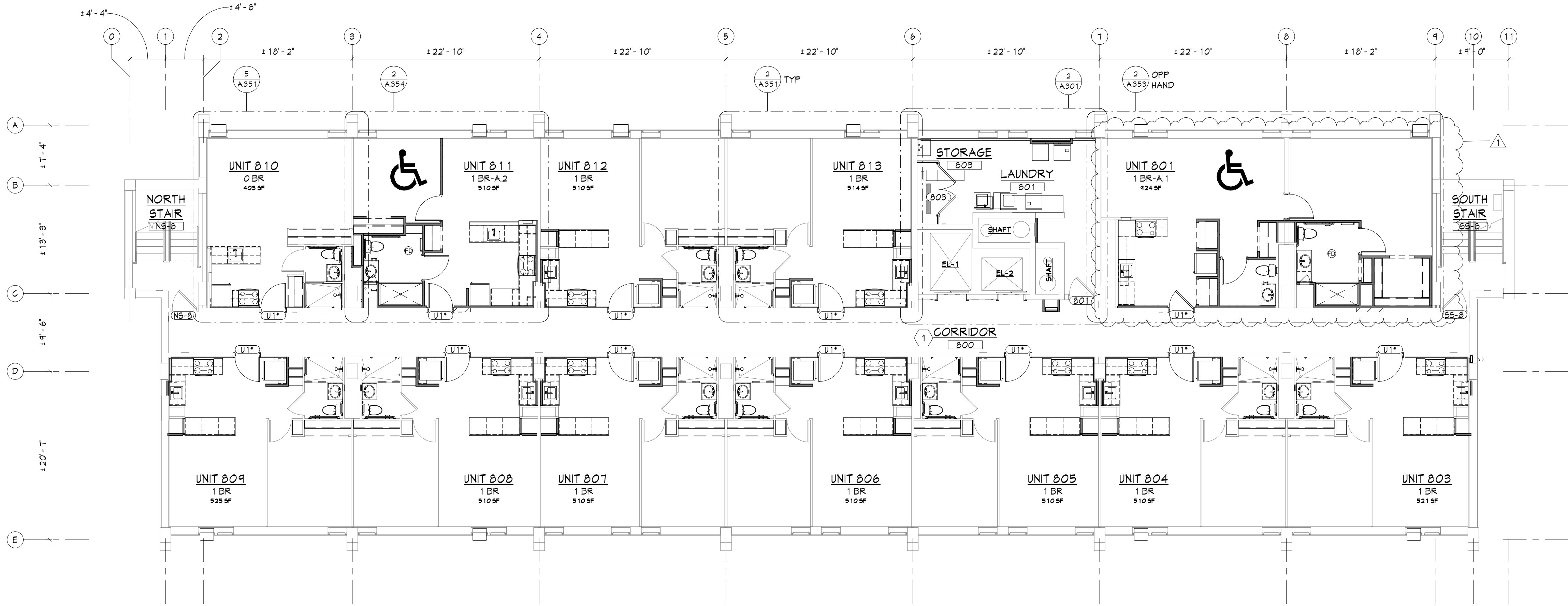
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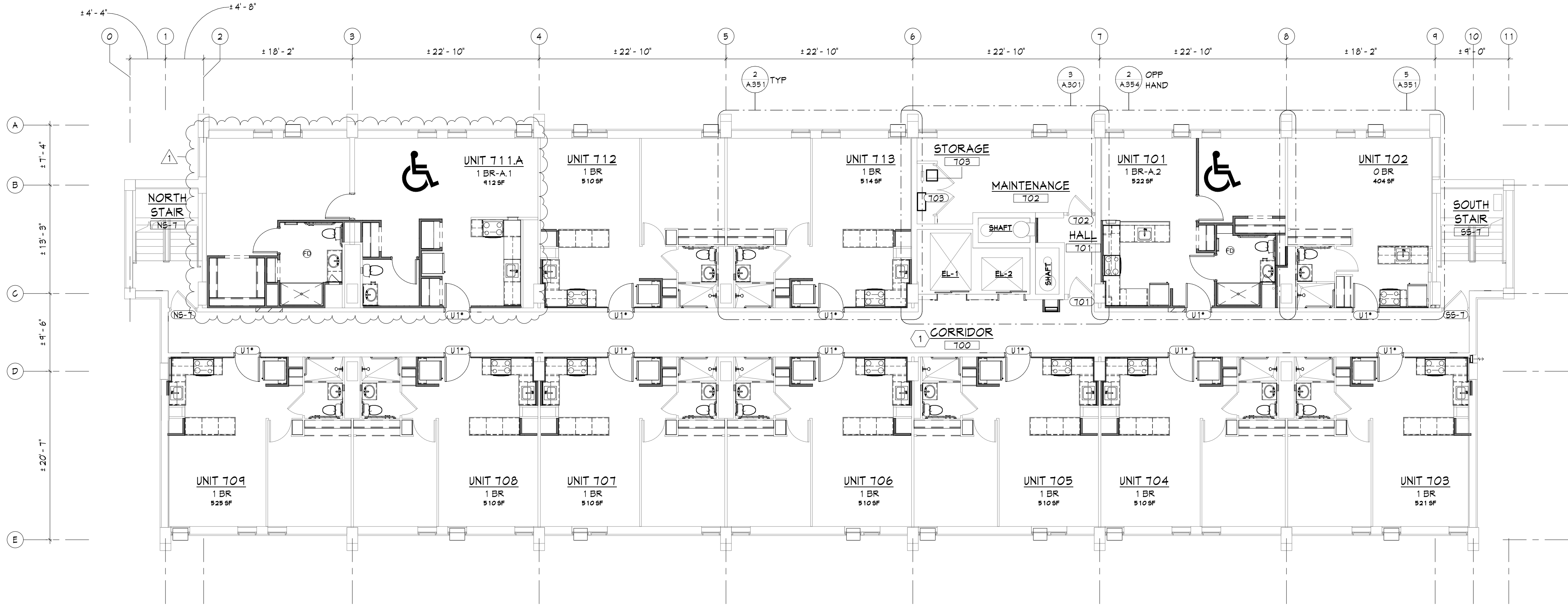
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**CODED NOTES - FLOOR PLANS**  
1 ADD ALTERNATE, PROVIDE WALL TYPE #116 ON ALL CMU WALLS IN CORRIDOR.



2 EIGHTH FLOOR PLAN  
1/8" = 1'-0"



1 SEVENTH FLOOR PLAN  
1/8" = 1'-0"

### BID SET

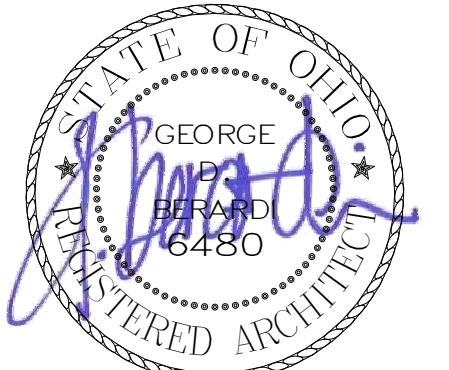
PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## SEVENTH & EIGHTH FLOOR PLANS

# A.104

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LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

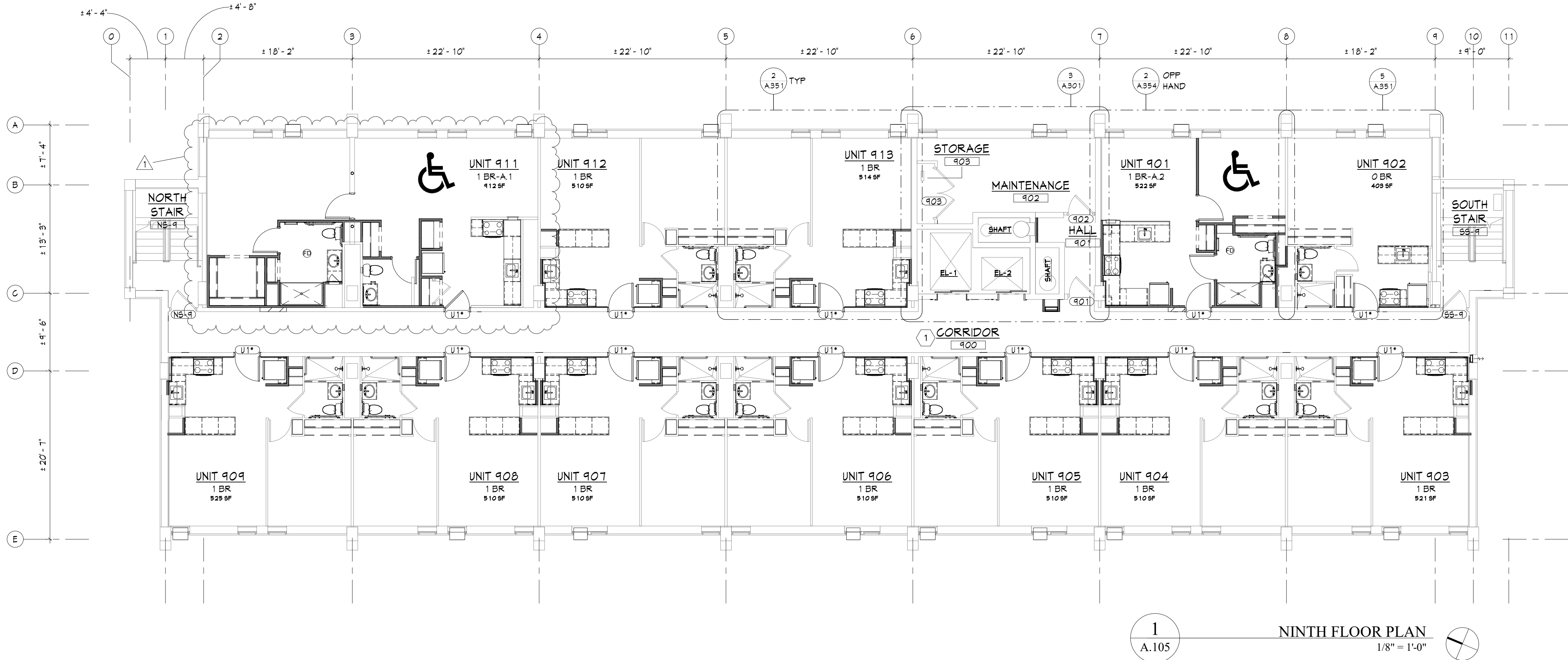
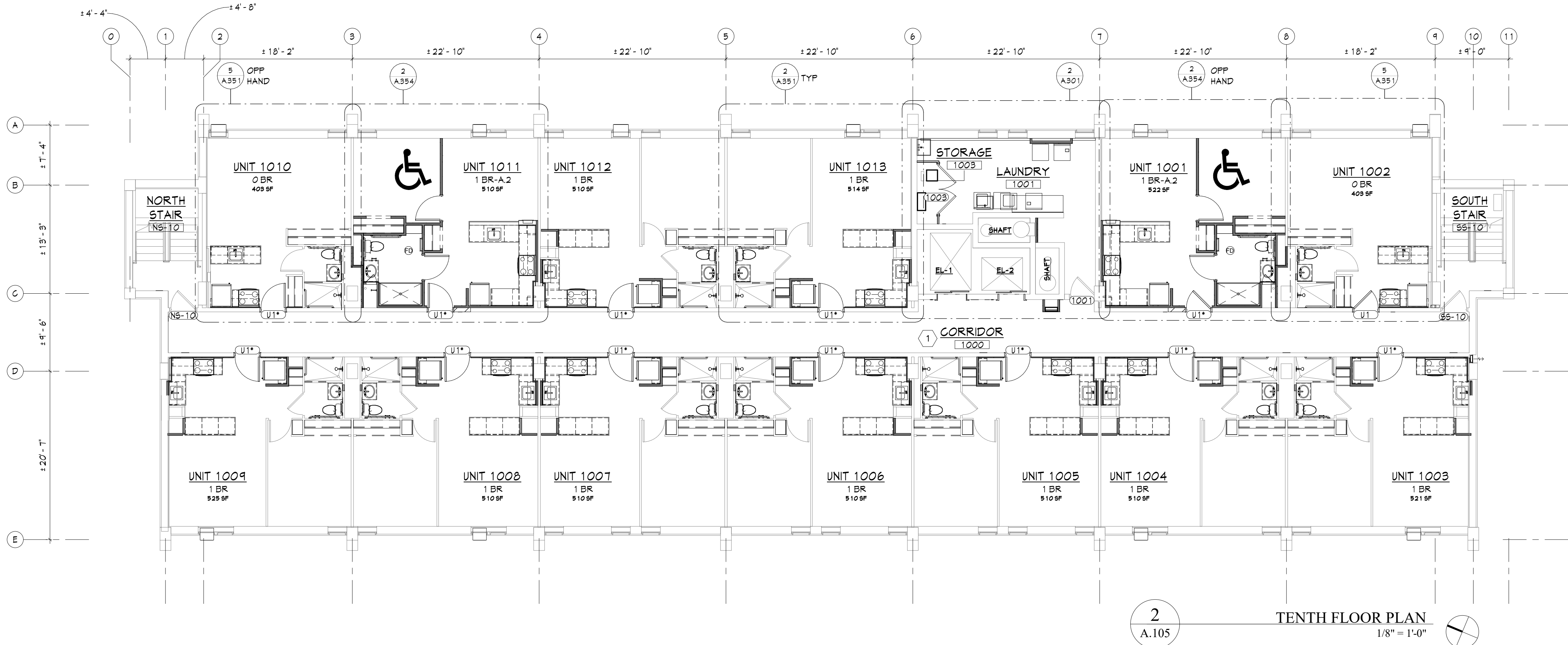
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**CODED NOTES - FLOOR PLANS**  
1 ADD ALTERNATE, PROVIDE WALL TYPE W16 ON ALL CMU WALLS IN CORRIDOR.



### BID SET

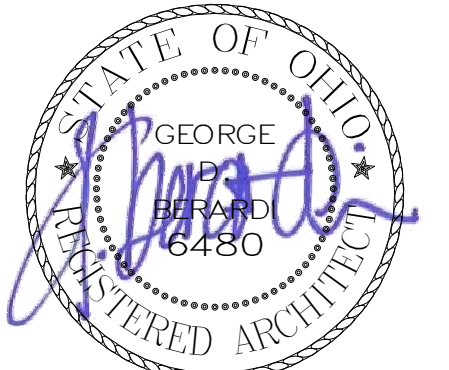
PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## NINTH & TENTH FLOOR PLANS

# A.105

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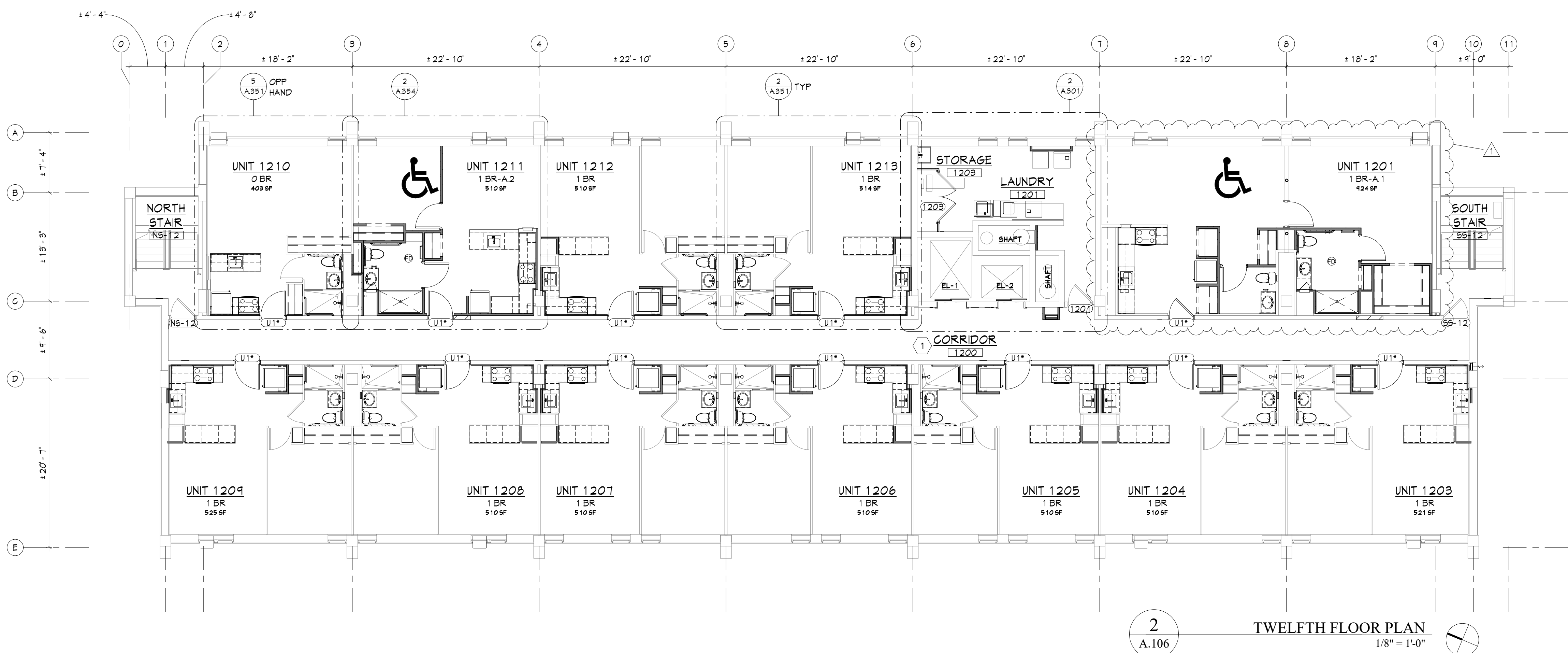
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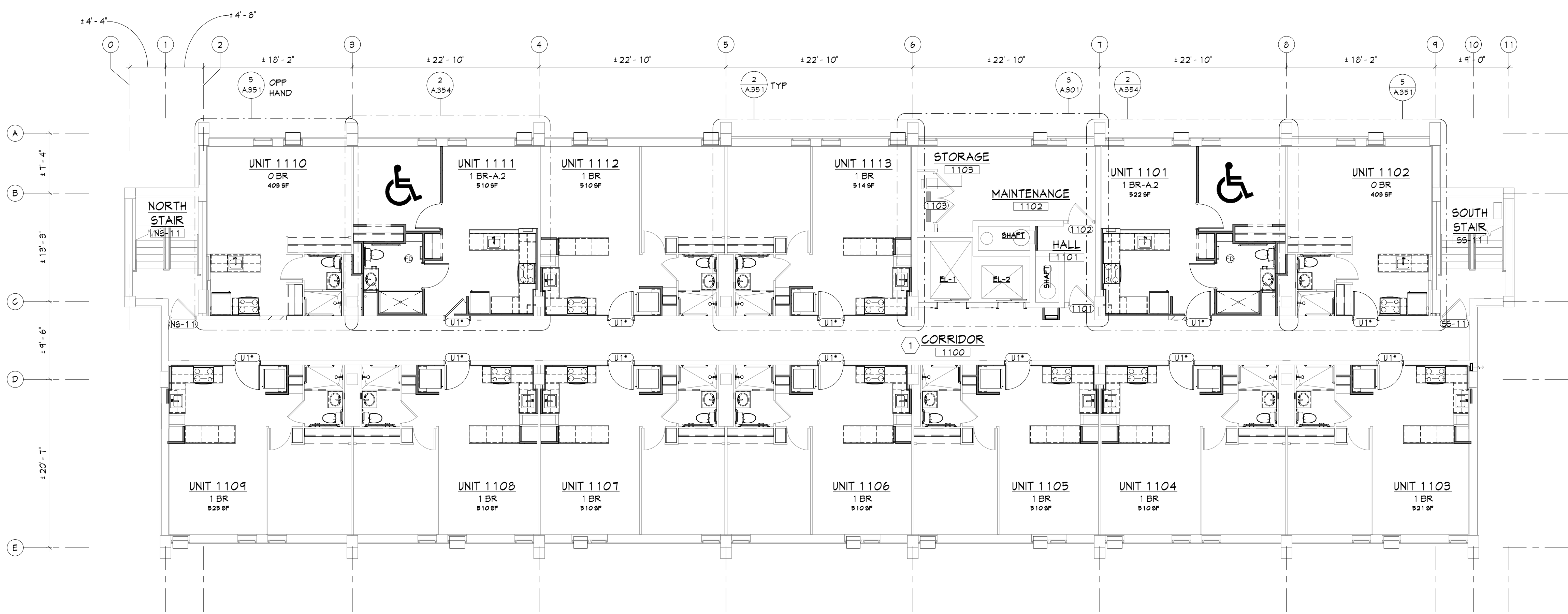
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**CODED NOTES - FLOOR PLANS**  
1 ADD ALTERNATE, PROVIDE WALL TYPE #116 ON ALL CMU WALLS IN CORRIDOR.



**2**  
A.106  
TWELFTH FLOOR PLAN  
1/8" = 1'-0"



**1**  
A.106  
ELEVENTH FLOOR PLAN  
1/8" = 1'-0"

### BID SET

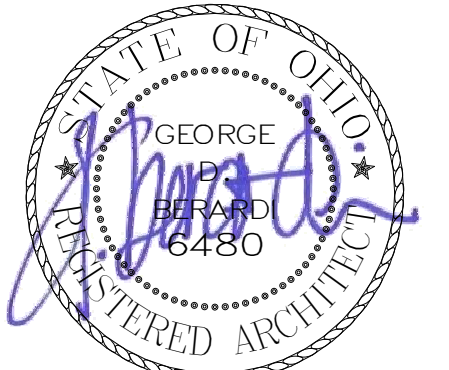
PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## ELEVENTH & TWELFTH FLOOR PLANS

# A.106

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GEORGE D. BERARDI  
 LICENSE # 6480  
 EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

330 Forest Ave.  
 Cincinnati, OH 45229

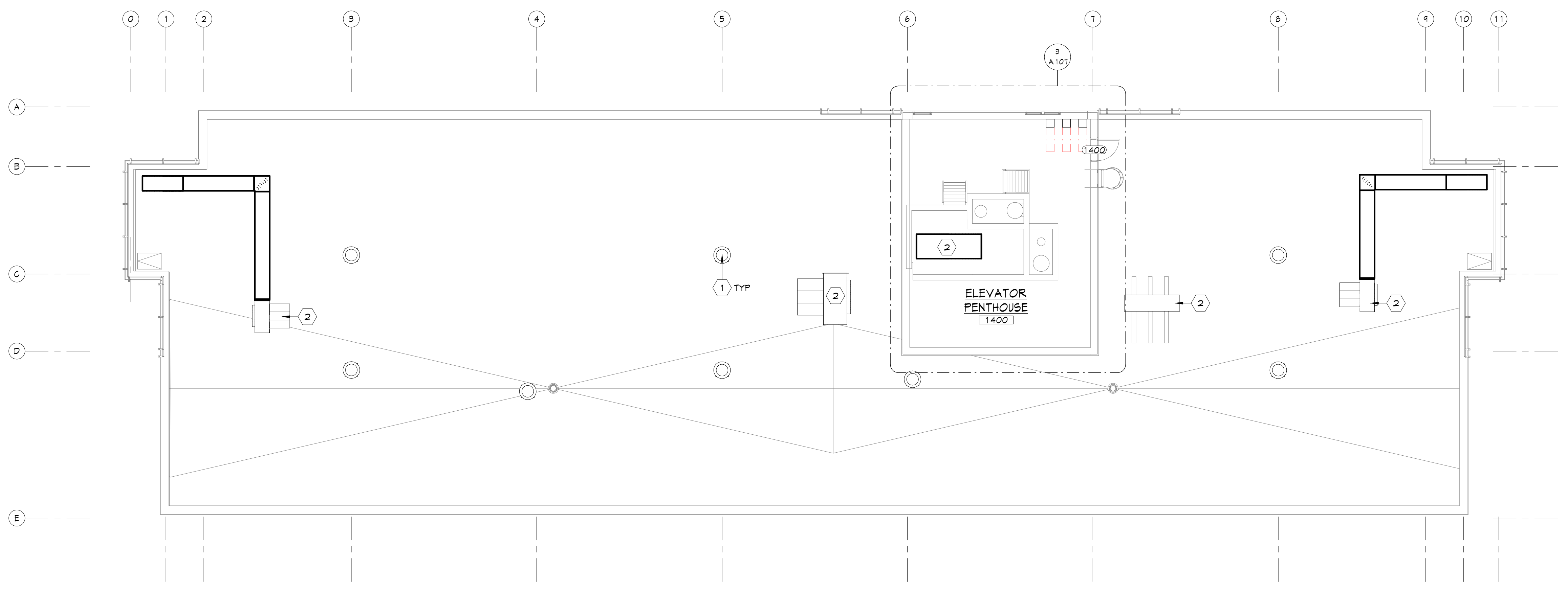
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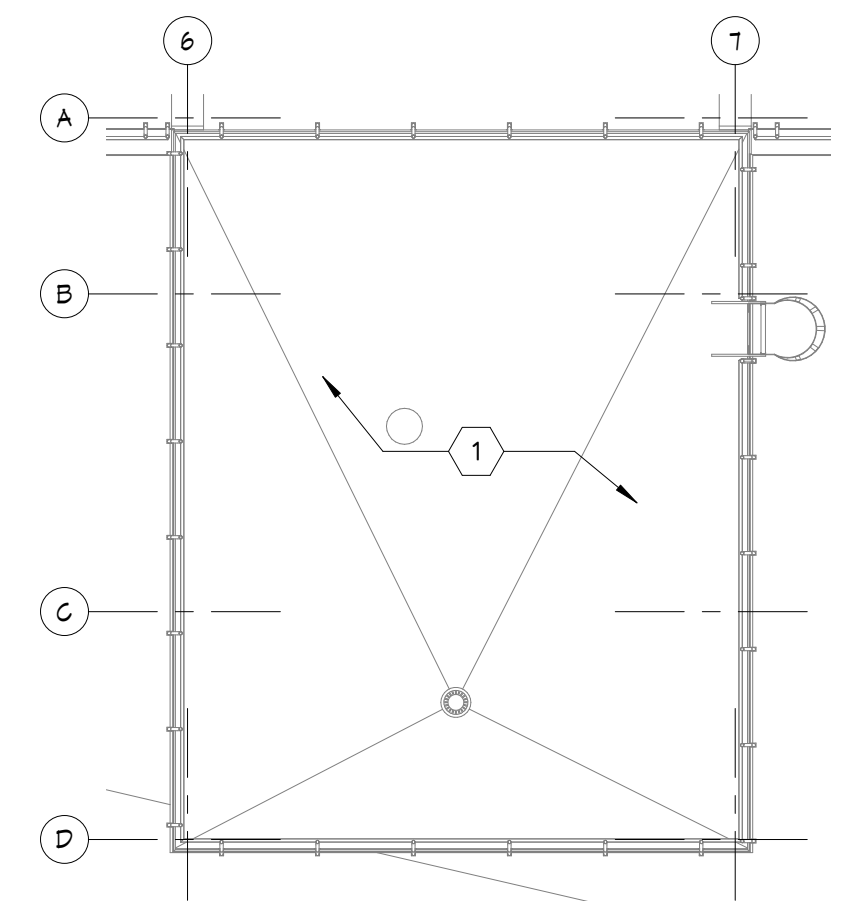
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### CODED NOTES - ROOF PLANS

1. NEW ROOF VENT CAPS THROUGHOUT - REFER TO MEP DRAWINGS.
2. NEW ROOFTOP EQUIPMENT - REFER TO MEP DRAWINGS.



**2**  
A.107  
**ROOF PLAN**  
1/8" = 1'-0"



**3**  
A.107  
**PENTHOUSE ROOF PLAN**  
1/8" = 1'-0"

KEYNOTES

### BID SET

PROJECT DATE: 01.05.2024  
 PROJECT #: 20178

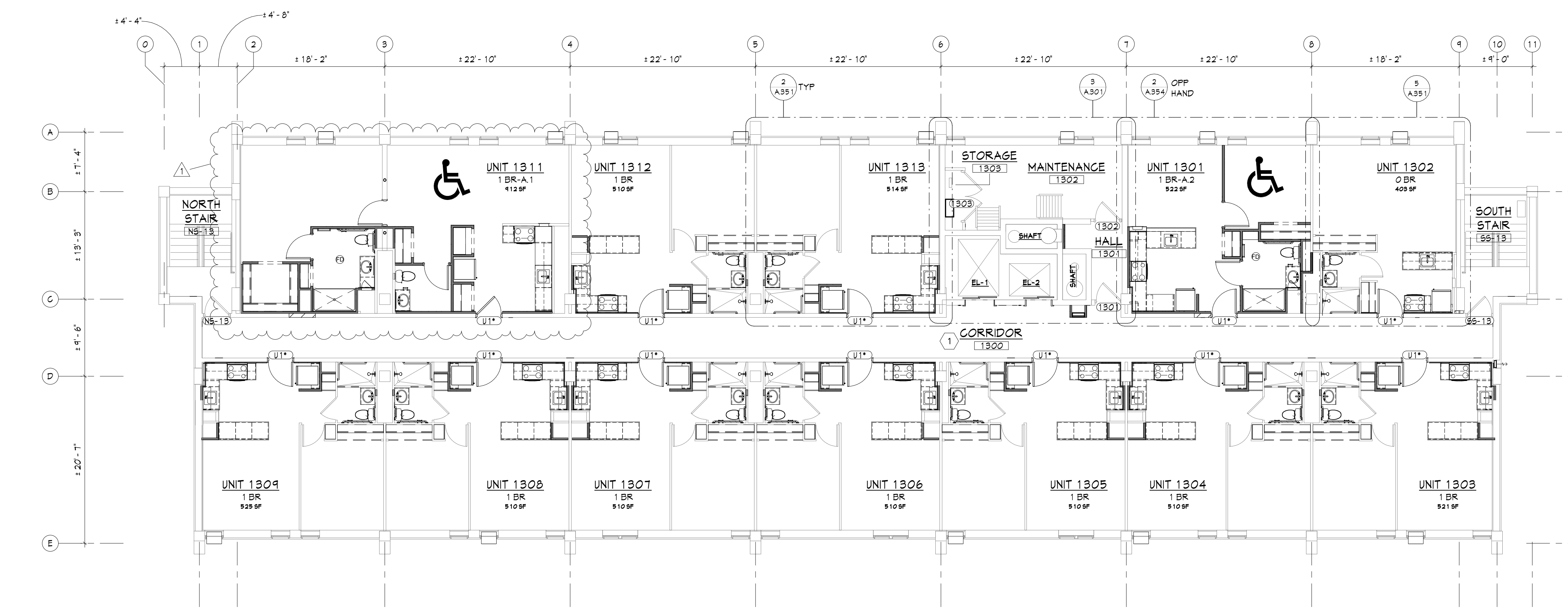
#	Description	Date
1	Addendum 1	01.22.24

## THIRTEENTH & ROOF FLOOR PLANS

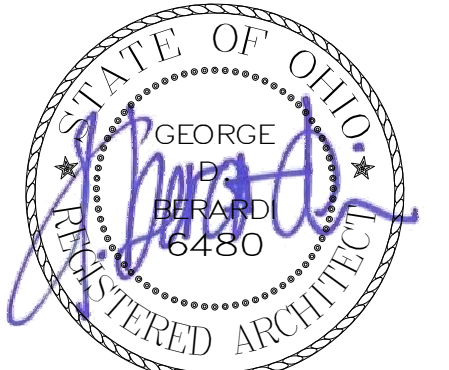
# A.107

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C:\REVIT BACKUP\2.1-20178\_CMHA\_Beechwood\_Central\_lboyce\4390.rvt



**1**  
A.107  
**THIRTEENTH FLOOR PLAN**  
1/8" = 1'-0"



GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

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- CODED NOTES - EXTERIOR...**
1. REPLACE EXISTING JOINT SEALANTS AND EXPANSION JOINTS THROUGHOUT.
  2. PROVIDE LINE ITEM COST FOR REPAIR OF EXTERIOR CONCRETE STRUCTURE.
  3. PAINT CONCRETE COLUMNS AND BEAMS.
  4. CLEAN BRICK THROUGHOUT AND PROVIDE A LINE ITEM COST FOR BRICK REPAIR AND TUCKPOINTING.
  5. PROVIDE LINE ITEM COST TO REPAIR EXISTING WINDOWS. PROVIDE LINE ITEM COST TO REPLACE EXISTING WINDOWS.
  6. PAINT SPANDREL PANELS TO MATCH STOREFRONT. PAINT INTERIOR OF PANEL WHERE VISIBLE FROM INSIDE.
  7. PAINT EXISTING HANDRAILS AND GUARDRAILS.
  8. ALL EXTERIOR WALL CONCRETE FINISH TO BE CLEANED/PREPARED AND PAINTED.
  9. POWERWASH EXISTING BRICK AND TUCKPOINT AS NECESSARY.

- KEYNOTES**
- 10.70K NEW PRE-ENGINEERED ALL-EXTRUDED HANGER ROD CANOPY WITH FLAT SOFFIT, MANUFACTURER: MAPES, SUPER LUMIDECK FLAT SOFFIT WITH 8" J WITH 4" EXTENSION FASCIA, 2-COAT KYNAR FINISH.
  - 10.70L NEW PRE-ENGINEERED POST SUPPORTED EXTRUDED WALKWAY CANOPY, MANUFACTURER: MAPES, POST SUPPORTED CANOPY WITH 8" J WITH 4" EXTENSION FASCIA, 2-COAT KYNAR FINISH.
  - 21.12C EXISTING FIRE-DEPARTMENT CONNECTION
  - 22.30D EXISTING GAS SERVICE EQUIPMENT - SEE PLUMBING DRAWINGS
  - 23.80G NEW WINDOW AIR CONDITIONING UNIT.
  - 26.56A EXTERIOR WALL SCONCE - SEE FIXTURE SCHEDULE

## BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

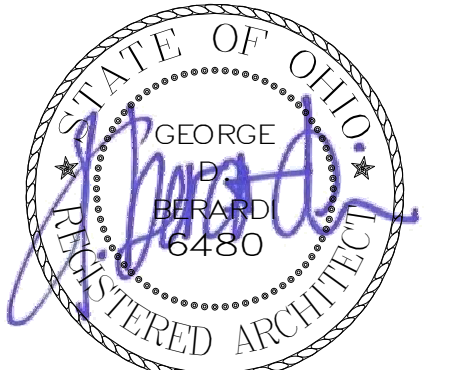
## EXTERIOR ELEVATIONS

# A.201

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1  
A.201  
WEST ELEVATION  
1/8" = 1'-0"



GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

330 Forest Ave.  
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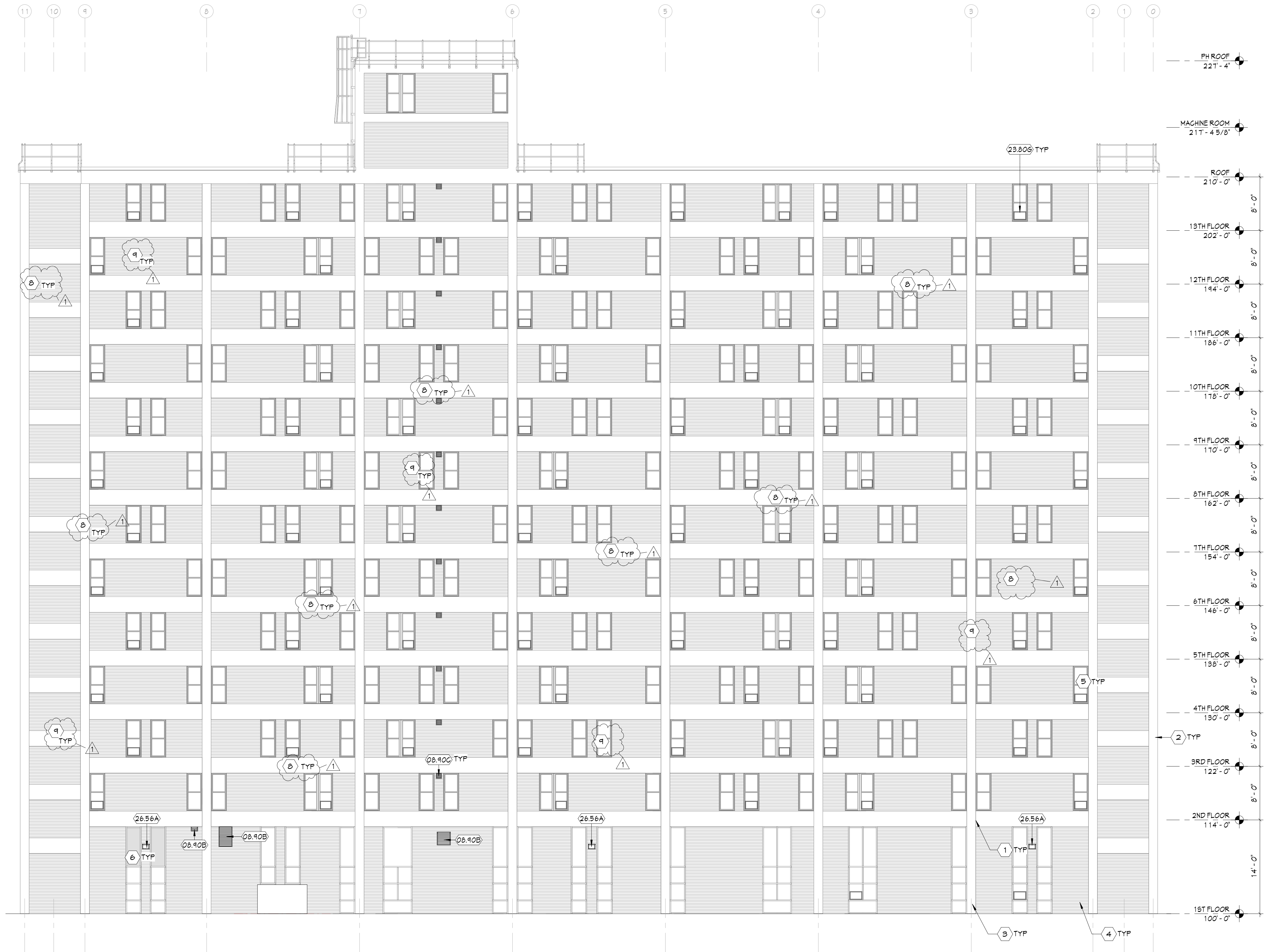
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- CODED NOTES - EXTERIOR...**
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  - 2 PROVIDE LINE ITEM COST FOR REPAIR OF EXTERIOR CONCRETE STRUCTURE.
  - 3 PAINT CONCRETE COLUMNS AND BEAMS.
  - 4 CLEAN BRICK THROUGHOUT AND PROVIDE A LINE ITEM COST FOR BRICK REPAIR AND TUCKPOINTING.
  - 5 PROVIDE LINE ITEM COST TO REPAIR EXISTING WINDOWS. PROVIDE LINE ITEM COST TO REPLACE EXISTING WINDOWS.
  - 6 PAINT SPANDREL PANELS TO MATCH STOREFRONT. PAINT INTERIOR OF PANEL WHERE VISIBLE FROM INSIDE.
  - 7 PAINT EXISTING HANDRAILS AND GUARDRAILS.
  - 8 ALL EXTERIOR WALL CONCRETE FINISH TO BE CLEANED/PREPARED AND PAINTED.
  - 9 POWERWASH EXISTING BRICK AND TUCKPOINT AS NECESSARY.
- KEYNOTES**
- 08.90B NEW LOUVER - REFER TO MECHANICAL DRAWINGS
  - 08.90C NEW DRYER EXHAUST VENT IN LOCATION OF REMOVED
  - 23.80G NEW WINDOW AIR CONDITIONING UNIT.
  - 26.56A EXTERIOR WALL SCOFF - SEE FIXTURE SCHEDULE



## BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

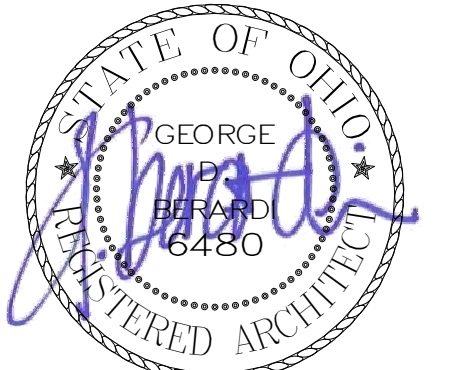
## EXTERIOR ELEVATIONS

# A.202

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1  
A.202  
EAST ELEVATION  
1/8" = 1'-0"

C:\REVIT BACKUP\2.1-20178\_CMHA Beechwood\_Central\_jboyce\4380.rvt



GEORGE D. BERARDI  
 LICENSE # 6480  
 EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

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  - CLEAN BRICK THROUGHOUT AND PROVIDE A LINE ITEM COST FOR BRICK REPAIR AND TUCKPOINTING.
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  - POWERWASH EXISTING BRICK AND TUCKPOINT AS NECESSARY.

- KEYNOTES**
- 08.90B NEW LOUVER - REFER TO MECHANICAL DRAWINGS
  - 21.12C EXISTING FIRE-DEPARTMENT CONNECTION
  - 23.37C NEW LOUVER/EXHAUST - REFER TO MEP DRAWINGS
  - 26.56A EXTERIOR WALL SCONCE - SEE FIXTURE SCHEDULE

## BID SET

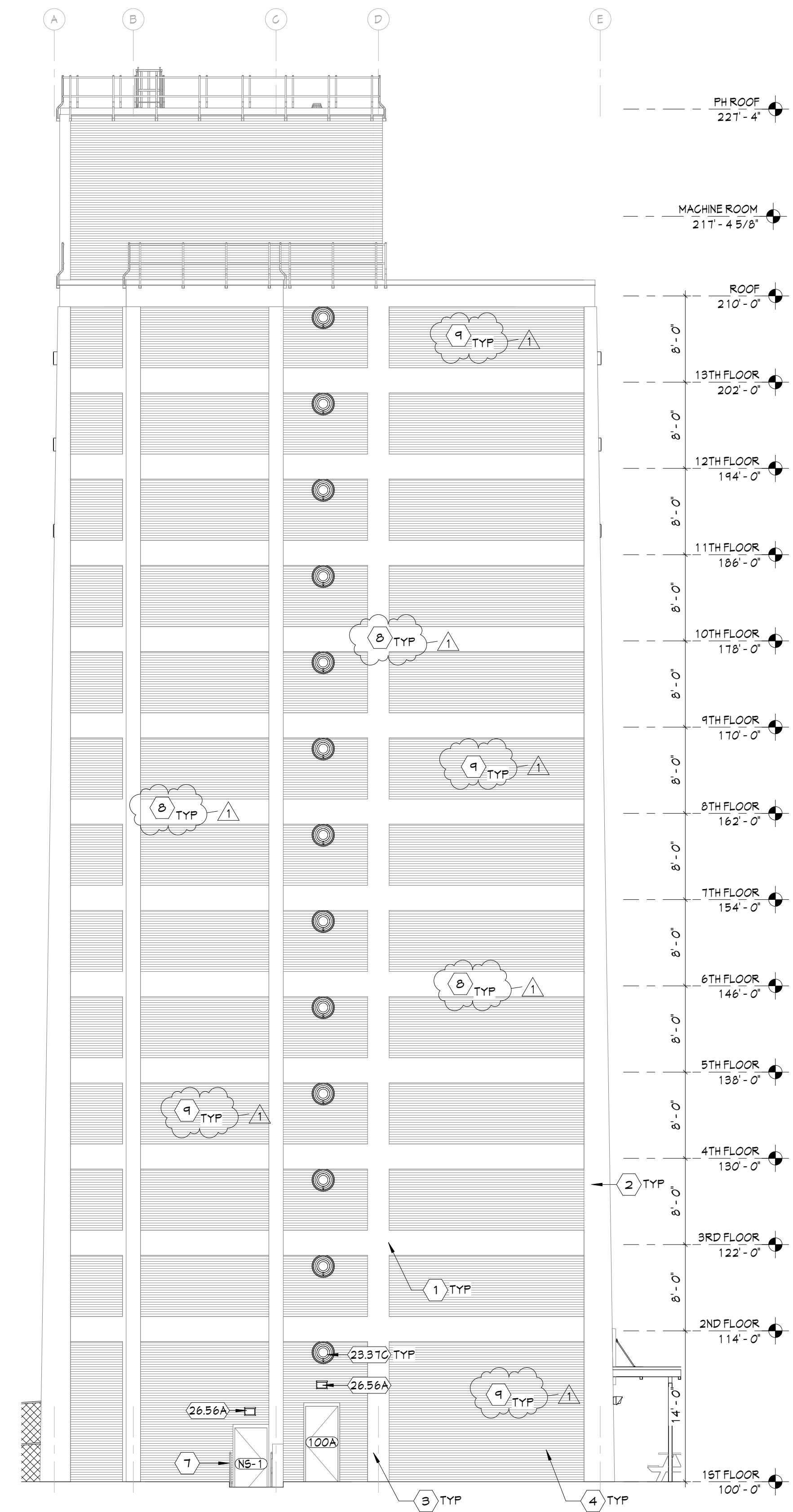
PROJECT DATE: 01.05.2024  
 PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## EXTERIOR ELEVATIONS

# A.203

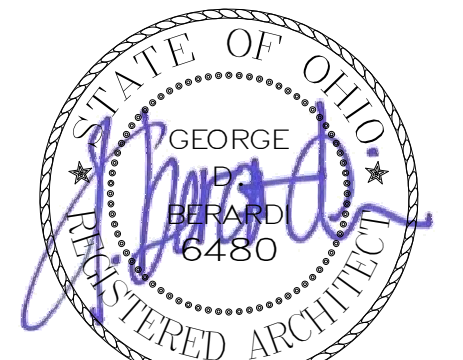
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**2**  
 A.203 NORTH ELEVATION  
 1/8" = 1'-0"



**1**  
 A.203 SOUTH ELEVATION  
 1/8" = 1'-0"



GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

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1	Addendum 1	01.22.24

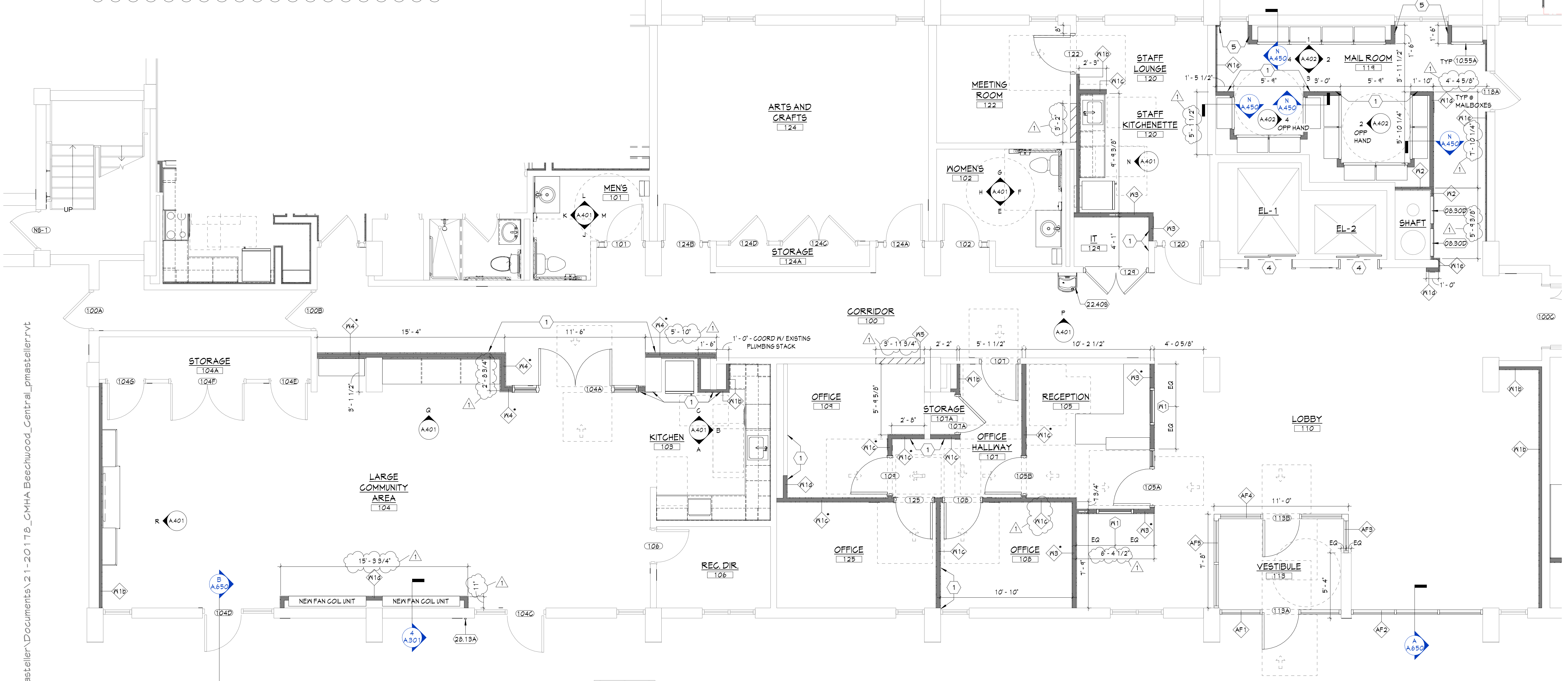
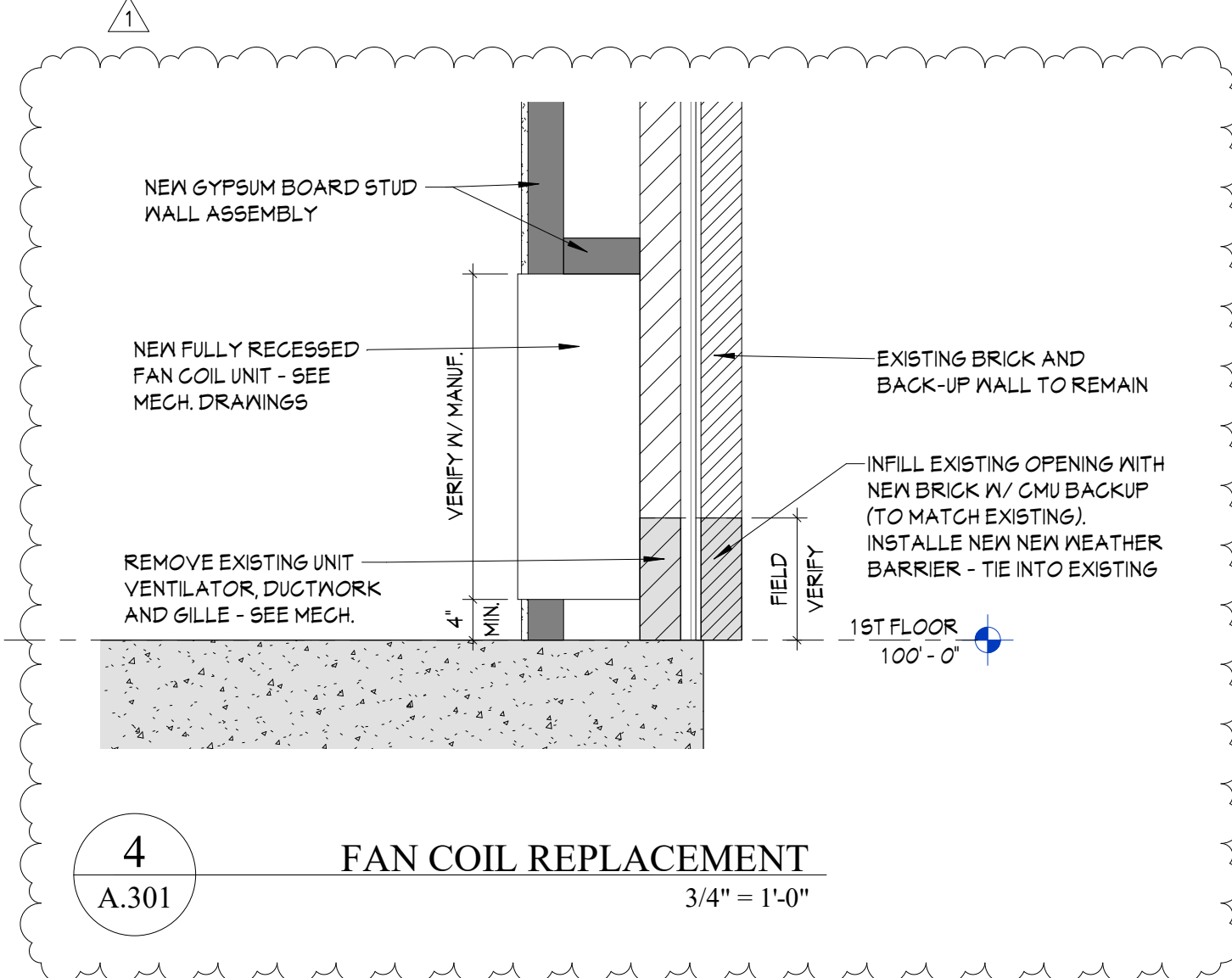
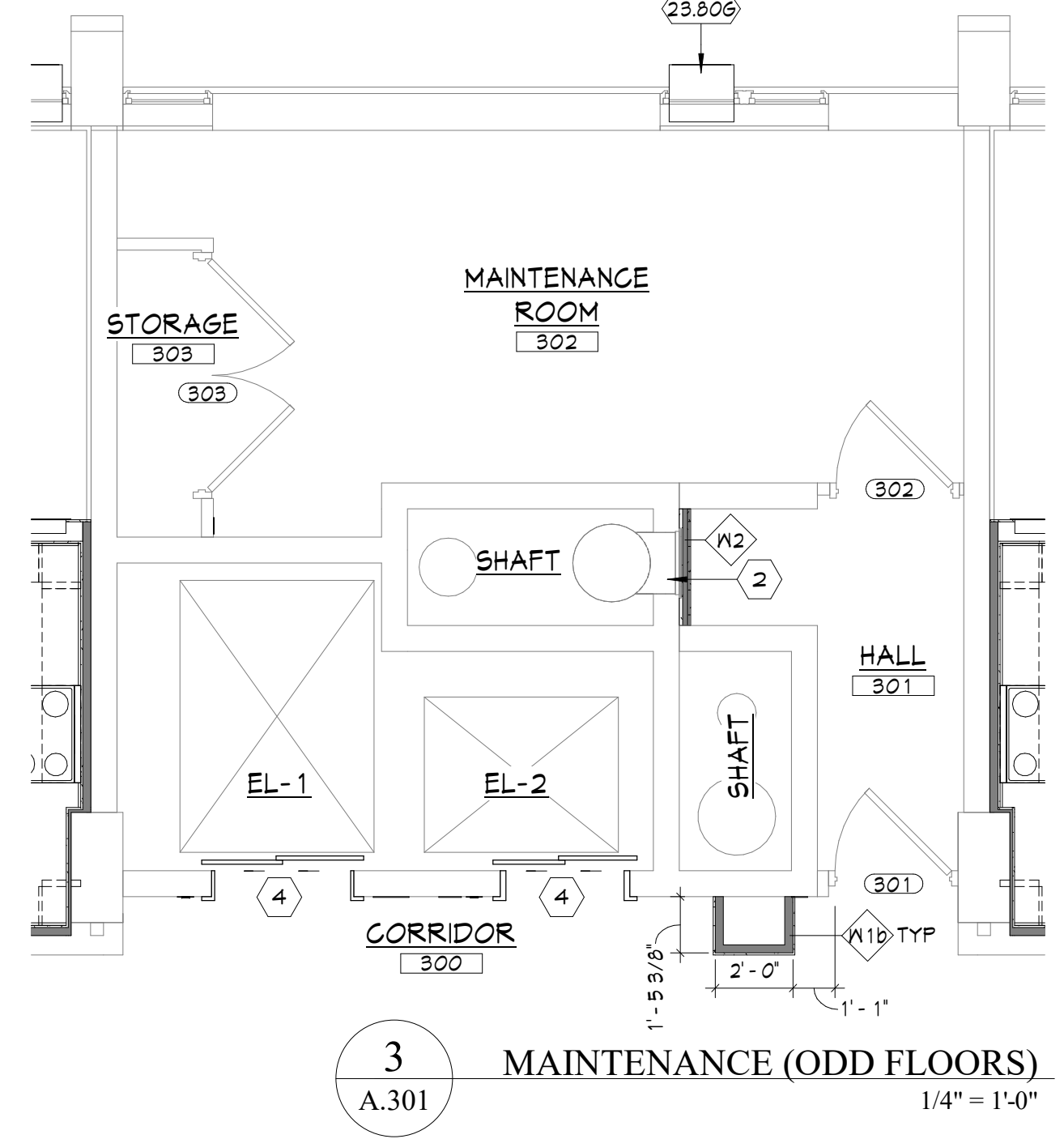
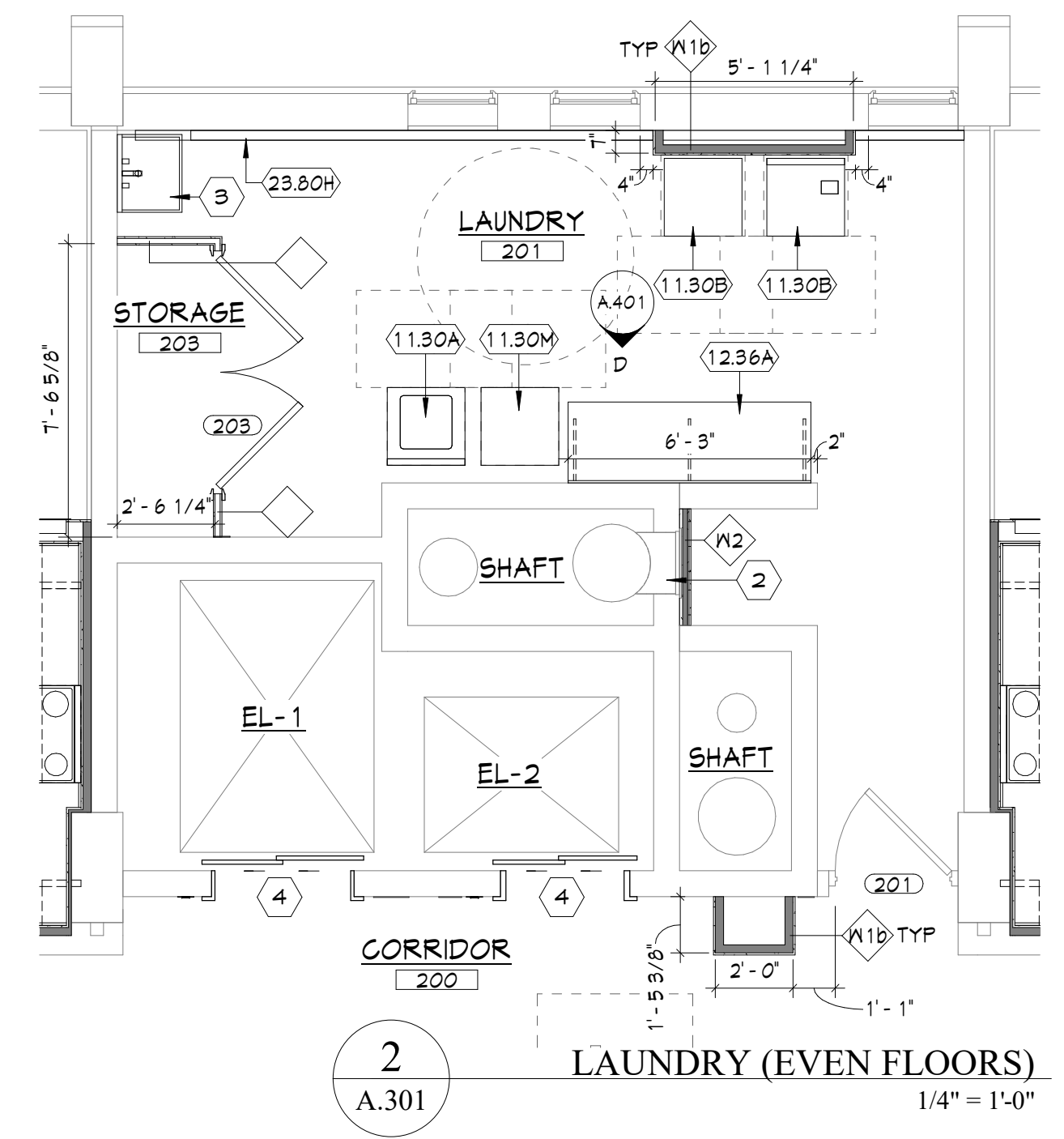
## ENLARGED PLANS

# A.301

**BERARDI+**  
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING  
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212  
P 614.221.1110 [berardipartners.com](http://berardipartners.com)

- CODED NOTES - ENLARGED PLANS**
- ALIGN
  - EXISTING TRASH CHUTE TO BE CLEANED AND SANITIZED PRIOR TO CLOSING OFF SHAFT.
  - EXISTING SINK TO REMAIN.
  - NEW ELEVATOR DOORS, CALL BUTTONS AND DIRECTION INDICATORS IN LOCATION OF REMOVED.
  - ALIGN STUD WITH EDGE OF EXISTING WINDOW JAMB AND EXTEND NEW GYP BD TO EXISTING STOREFRONT MULLION.

- KEYNOTES**
- 08.30D 2" X 36" RATED ACCESS PANEL. CENTER PANEL ON EXISTING DUCTWORK/PLUMBING.
  - 10.55A MAILBOX UNITS
  - 11.30A COMMERCIAL WASHING MACHINE - BY OTHERS
  - 11.30B COMMERCIAL CLOTHES DRYER - BY OTHERS
  - 11.30M ACCESSIBLE FRONT LOADING COMMERCIAL WASHING MACHINE - BY OTHERS
  - 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES WHERE SHOWN (6" SPLASH AT ANGLE TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
  - 22.40S ACCESSIBLE WATER FOUNTAIN WITH BOTTLE FILLING STATION - SEE FIXTURE SCHEDULE
  - 23.80G NEW WINDOW AIR CONDITIONING UNIT.
  - 23.80H NEW HYDRONIC FINNED TUBE RADIATOR - SEE MECHANICAL DRAWINGS
  - 28.13A DOOR CARD READER







GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

## BEECHWOOD APARTMENTS

330 Forest Ave.  
Cincinnati, OH 45229

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4. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.  
5. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRICAL, MECHANICAL AND INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO MAKE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.  
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7. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DENOTE EXACT QUANTITIES. LOCATIONS OR CODED REQUIREMENTS THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONTRADICTS ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

### BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## ENLARGED UNIT PLANS - 0 BR & 1 BR TYPE B UNITS

# A.351

**BERARDI+**  
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING  
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P. 614.221.1110 berardipartners.com

### CASEWORK LEGEND

CASEWORK TAG:  $\text{XXX} \text{ | } \text{##} \text{ | } \text{XX}$

PREFIX | WIDTH (IN INCHES) | HEIGHT (IN INCHES)

**PREFIXES:**

- B BASE
- BCB BLIND CORNER BASE
- SB SINK BASE
- N WALL
- P PANTRY
- PV PANTRY-OVEN CABINET
- FILLER FILLER PANEL
- FILLER-E FINISHED END FILLER PANEL
- MB MICROWAVE BASE

**SUFFIXES:**

- RF REMOVABLE FRONT

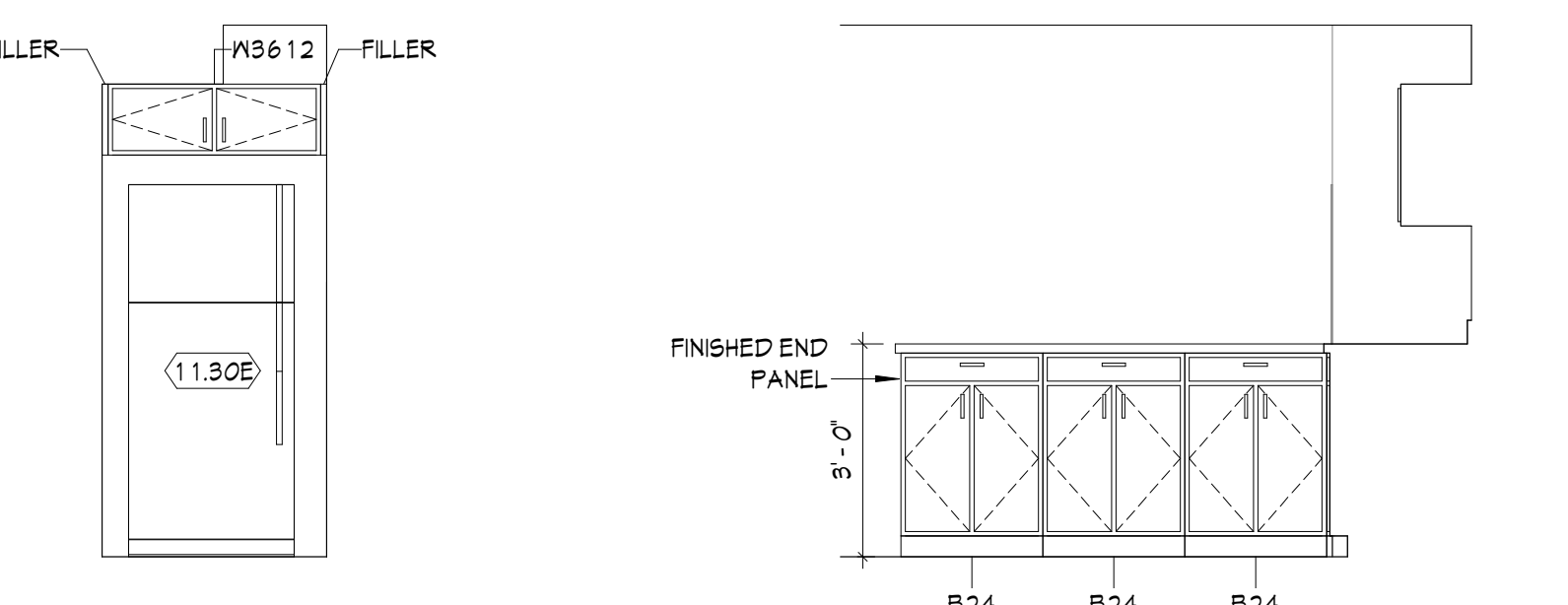
### UNIT RCP LEGEND

- Ⓢ SMOKE DETECTOR - SEE ELEC.
- Ⓢ SMOKE/CARBON MONOXIDE DETECTOR - SEE ELEC.
- Ⓢ FIRE ALARM STROBE - SEE ELEC.
- Ⓢ SURFACE MOUNTED KITCHEN LIGHT - SEE ELEC.
- Ⓢ SURFACE MOUNTED DISK LIGHT - SEE ELEC.
- Ⓢ SHOWER SCIONCE - SEE ELEC.
- Ⓢ SURFACE MOUNTED VANITY LIGHT - SEE ELEC.
- Ⓢ SURFACE MOUNTED STRIP LIGHT - SEE ELEC.
- Ⓢ UNDER CABINET MOUNTED STRIP LIGHT - SEE ELEC.

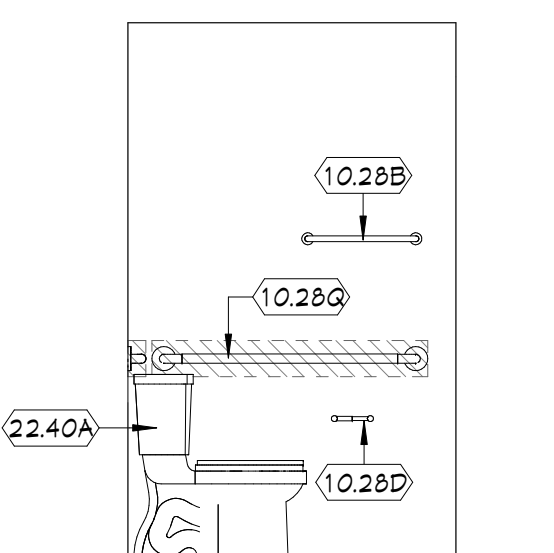
- ### GENERAL NOTES
- SEE SHEET A.001a FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
  - SEE DETAILS ON A.450 SHEETS FOR REQUIRED GRAB BAR REINFORCEMENT LOCATIONS FOR ALL UNITS.  
**GRAB BAR STRENGTH**  
1. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.  
2. SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.  
3. SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.  
4. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSILE FORCE OF 250 lbf (111.2N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.  
5. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.  
NOTE: BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER ENCLOSURES ARE FACTORY REINFORCED TO AGERS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.

- ### CODED NOTES - UNIT PLANS
- R/R EXISTING KITCHEN CASEWORK, COUNTERTOPS, PLUMBING FIXTURES AND APPLIANCES. PATCH AND REPAIR WALLS AT LOCATION OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
  - EXISTING ELECTRICAL PANEL TO REMAIN. (R/R AND LOWER PANEL AT ANSI TYPE A UNIT ONLY) REFER TO ELECTRICAL DRAWINGS.
  - R/R EXISTING LIGHTING FIXTURES, FIRE/SMOKE DEVICES AND ASSOCIATED CABLING/WIRING. EXISTING SURFACE CONDUIT AND J-BOXES TO REMAIN. PREP FOR NEW FIXTURES. REFER TO ELECTRICAL DRAWINGS.
  - R/R EXISTING BATHROOM PLUMBING FIXTURES (INCLUDES SINK, BATHTUB, SHOWER BASE/DRAIN, FLOOR DRAIN OUTSIDE OF SHOWER), CASEWORK, COUNTER TOPS, BATHROOM ACCESSORIES, ACCESS PANELS, EXHAUST FANS AND TILED SHOWER SURROUND. PATCH AND REPAIR WALLS AT LOCATIONS OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
  - R/R EXISTING GLOSET SHELVING AND PREP FOR NEW SHELVES.
  - R/R EXISTING WINDOW AIR CONDITIONER UNIT. REFER TO MEP DRAWINGS.
  - R/R EXISTING FLOORING AND WALL BASE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
  - REMOVE EXISTING CEILING THROUGHOUT (ALTERNATE). PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
  - REMOVE WALLS AND/OR DOORS AS SHOWN DASHED. TYP.
  - R/R EXISTING UNIT ENTRY DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
  - ALIGN
  - EXISTING GYPSUM SOFFIT TO REMAIN. PREP FOR NEW PAINT.
  - R/R EXISTING UNIT INTERIOR DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
  - INFILL WITH WALL CONSTRUCTION TO MATCH ADJACENT WALL. MAINTAIN ALL REQUIRED WALL RATINGS.
  - REMOVE EXISTING GYPSUM SOFFIT (AND FRAMING) ABOVE. PATCH AND REPAIR CEILING.
  - PROVIDE SATIN NICKEL CURTAIN ROD WITH HEAVY DUTY FABRIC CURTAIN (OWNER TO SELECT COLOR/PATTERN) AT UNIT GLOSETS.
  - REMOVE EXISTING DOOR AND FRAME
  - 3'-0" X 6'-8" FRAMED OPENING
  - 2'-8" X 8'-8" FRAMED OPENING

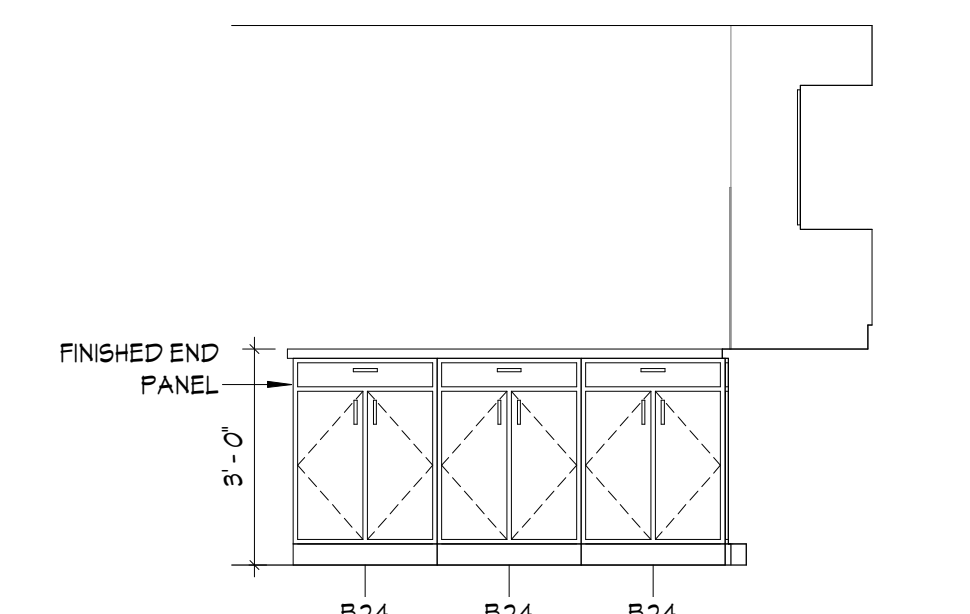
- ### KEYNOTES
- 08.30C 4" X 4" RATED ACCESS PANEL - REFER TO PLUMBING DRAWINGS
  - 09.10C SOLID SURFACE MATERIAL ON WALLS OF SHOWER - REFER TO INTERIOR FINISH SCHEDULE
  - 10.28B 18" TOWEL BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28D SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28E SHOWER CURTAIN ROD - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28J 24" X 36" PLATE GLASS MIRROR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28Q 42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28U 18" VERTICAL GRAB BAR W/ FACTORY INSTALLED WOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28V 24" X 42" L SHAPED GRAB BAR W/ FACTORY INSTALLED WOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER J) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.5TB DOUBLE SHELF AND ROD - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
  - 10.5TC 5 LINEN SHELVES, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
  - 10.5TE CLOSET CURTAIN AND ROD.
  - 11.30C 30" RANGE
  - 11.30E REFRIGERATOR
  - 11.30J RANGE HOOD WITH LIGHT AND FIRE CANISTERS
  - 11.30N FULL HEIGHT GREASE SHIELD AT RANGE. PANEL TO BE BAKED ENAMEL FINISH OVER STEEL TO MATCH COLOR OF RANGE OR SATIN FINISH STAINLESS STEEL WITH MATCHING SCREWS.
  - 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES (WHERE SHOWN) 6" SPLASH AT ANSI TYPE 'A' UNITS. SEE INTERIOR FINISH SCHEDULE.
  - 22.40A WATER CLOSET - SEE FIXTURE SCHEDULE
  - 22.40C SHOWER CONTROLS - SEE FIXTURE SCHEDULE
  - 22.40D SHOWER HEAD - SEE FIXTURE SCHEDULE
  - 22.40E SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE
  - 22.40H LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE
  - 23.37C NEW LOUVER/EXHAUST - REFER TO MEP DRAWINGS.
  - 23.80E NEW WINDOW AIR CONDITIONING UNIT.
  - 26.51A WALL SCONCE LIGHT FIXTURE - SEE FIXTURE SCHEDULE.



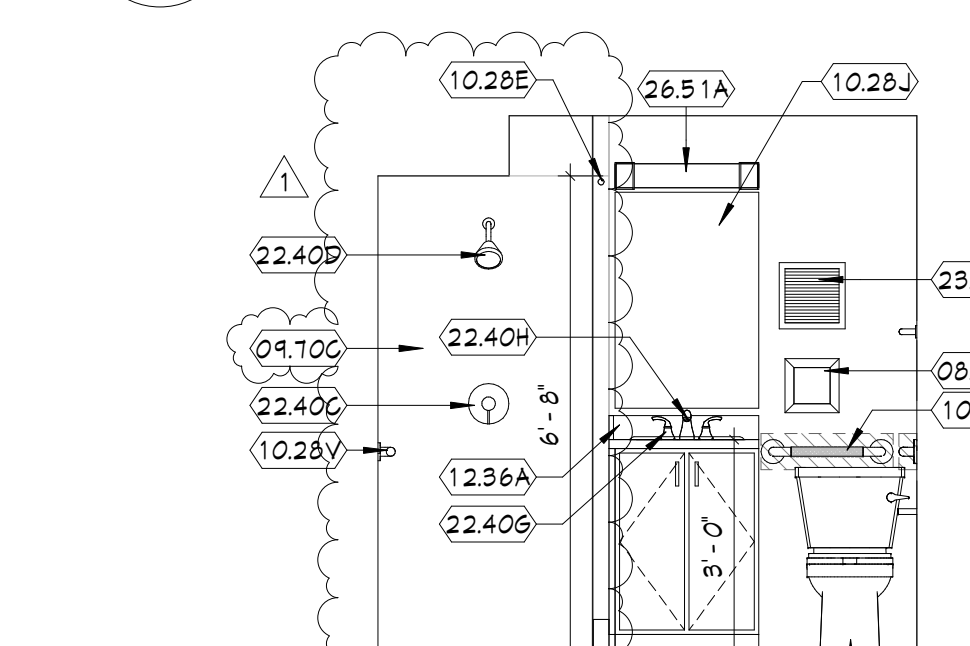
H A.351 KITCHEN ELEVATION  
3/8" = 1'-0"



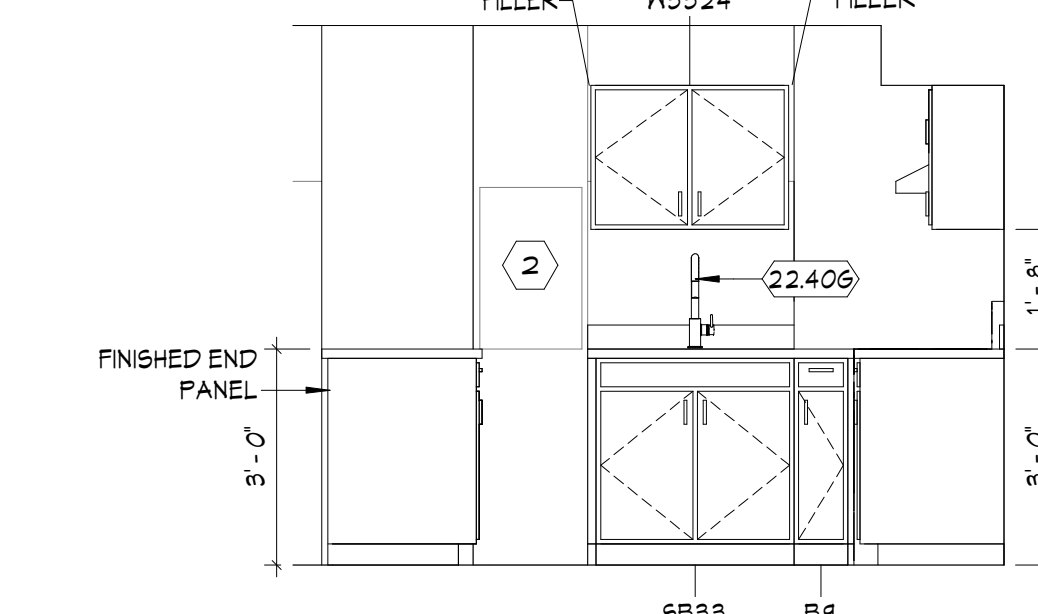
D A.351 BATHROOM ELEVATION  
3/8" = 1'-0"



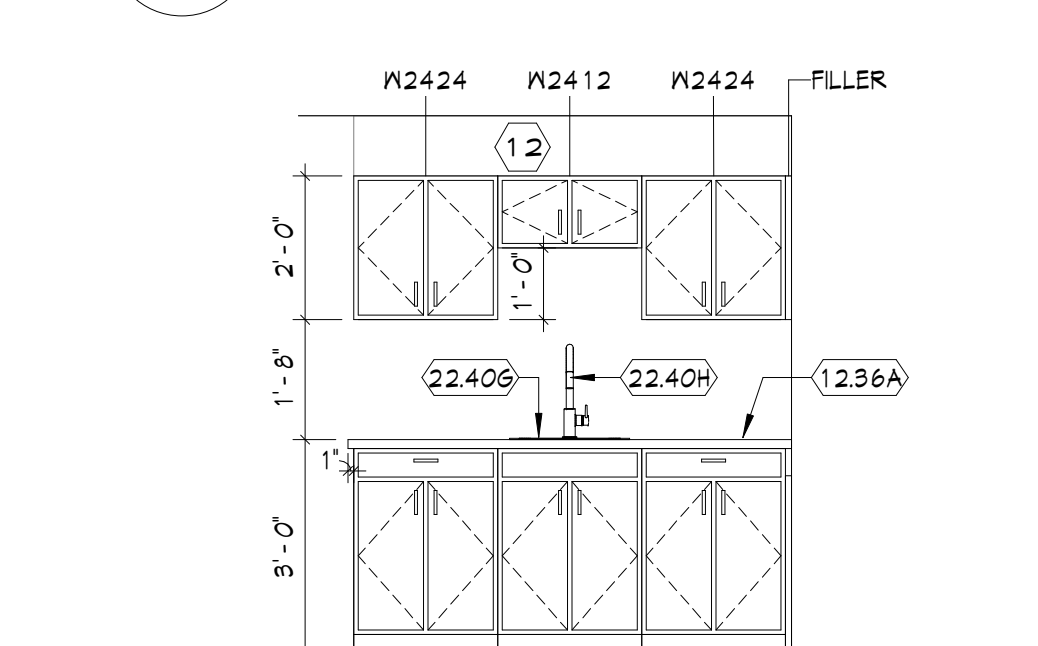
G A.351 KITCHEN ELEVATION  
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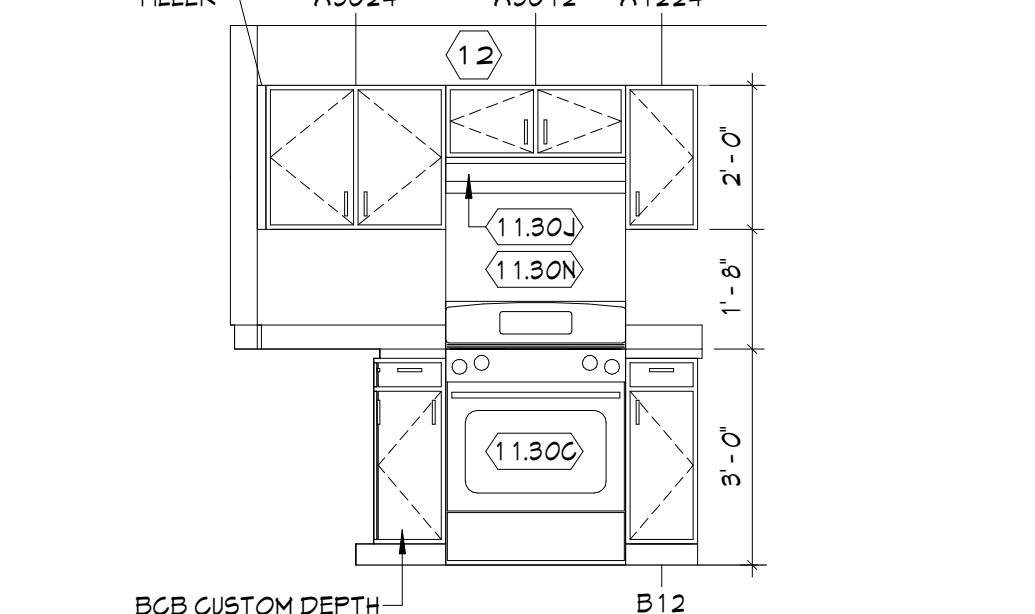
C A.351 BATHROOM ELEVATION  
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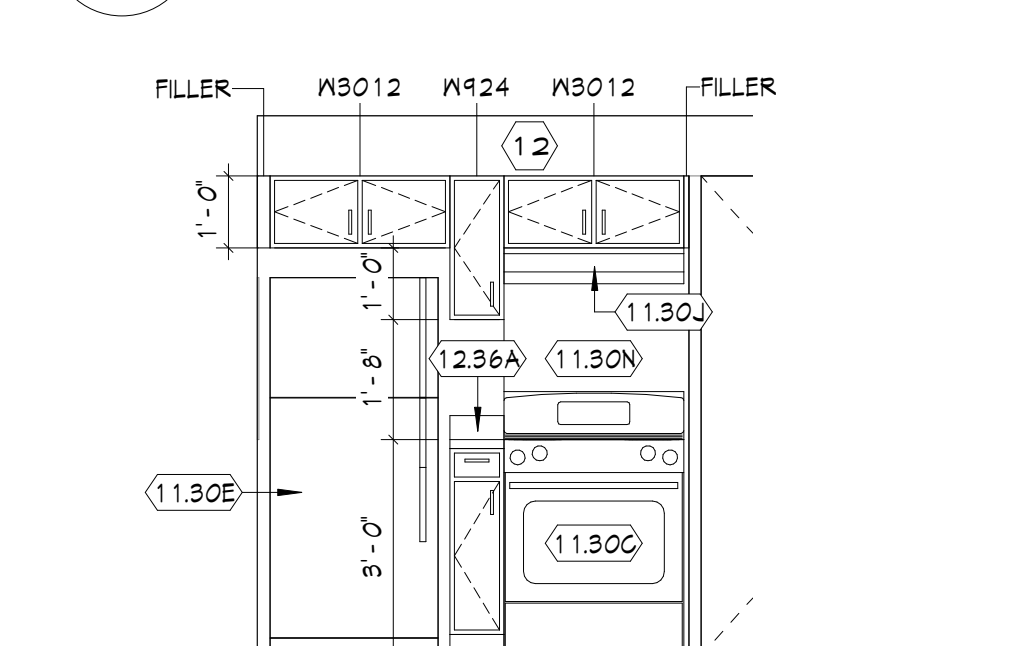
F A.351 KITCHEN ELEVATION  
3/8" = 1'-0"



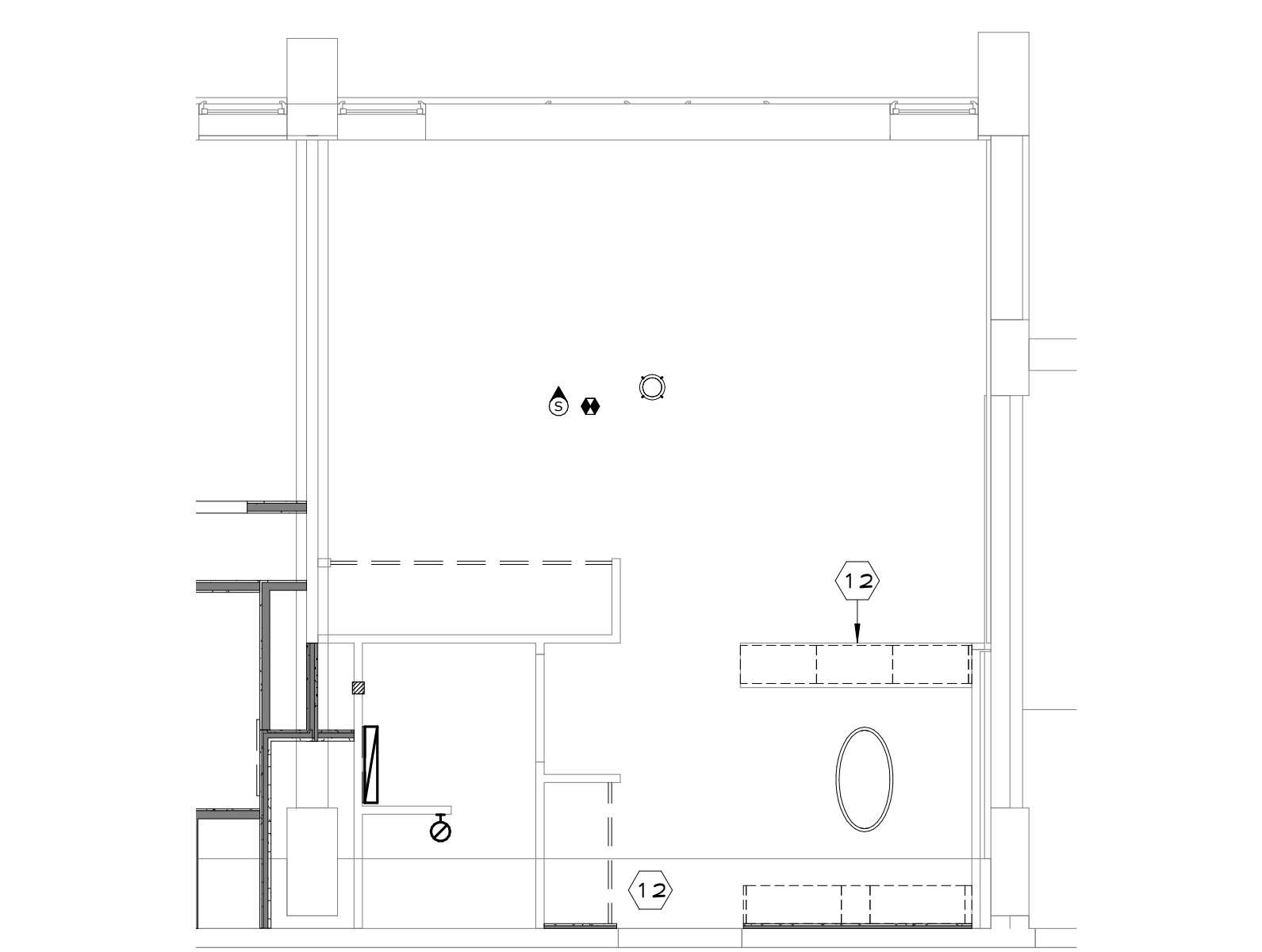
B A.351 KITCHEN ELEVATION  
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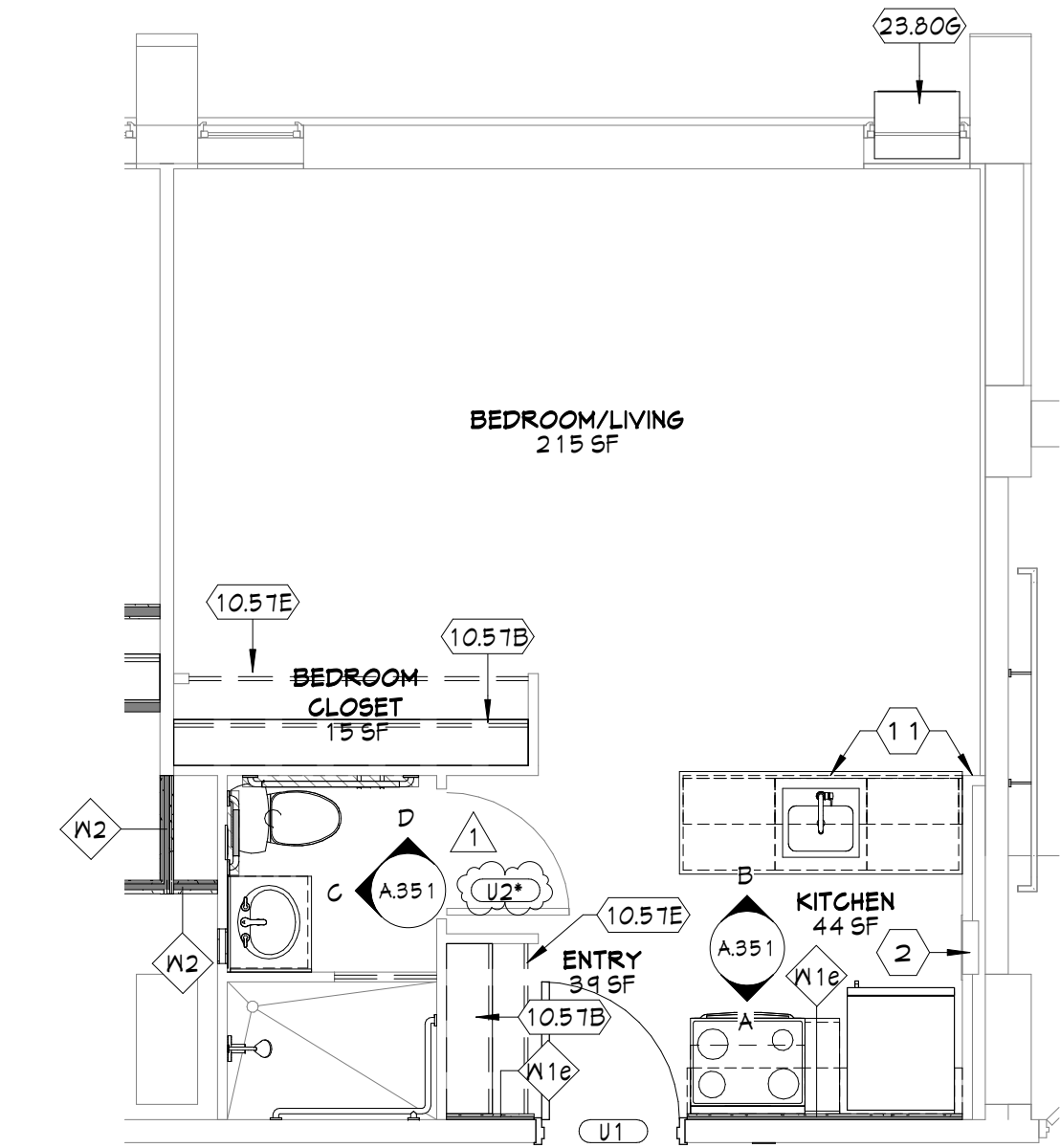
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3/8" = 1'-0"



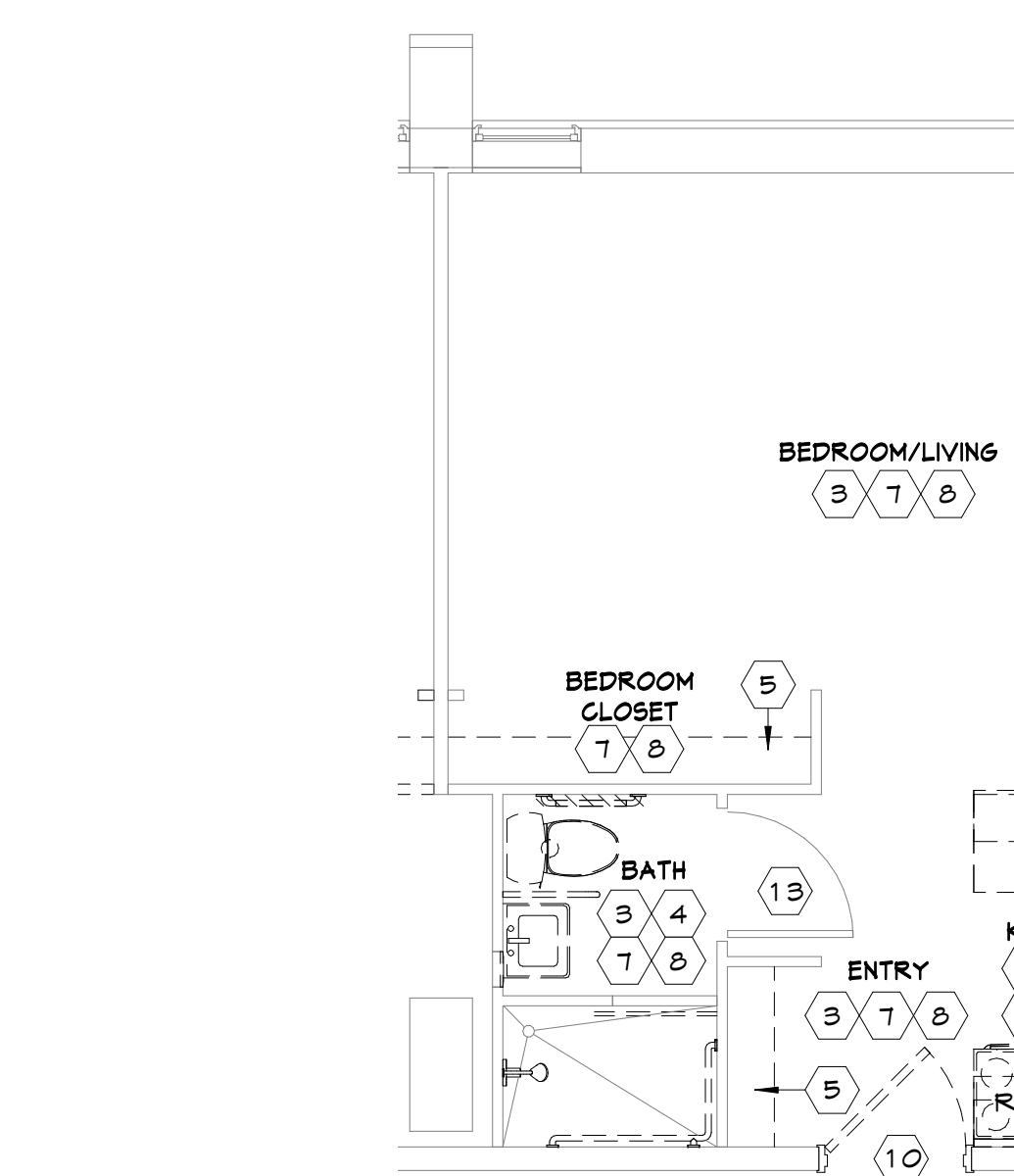
A A.351 KITCHEN ELEVATION  
3/8" = 1'-0"



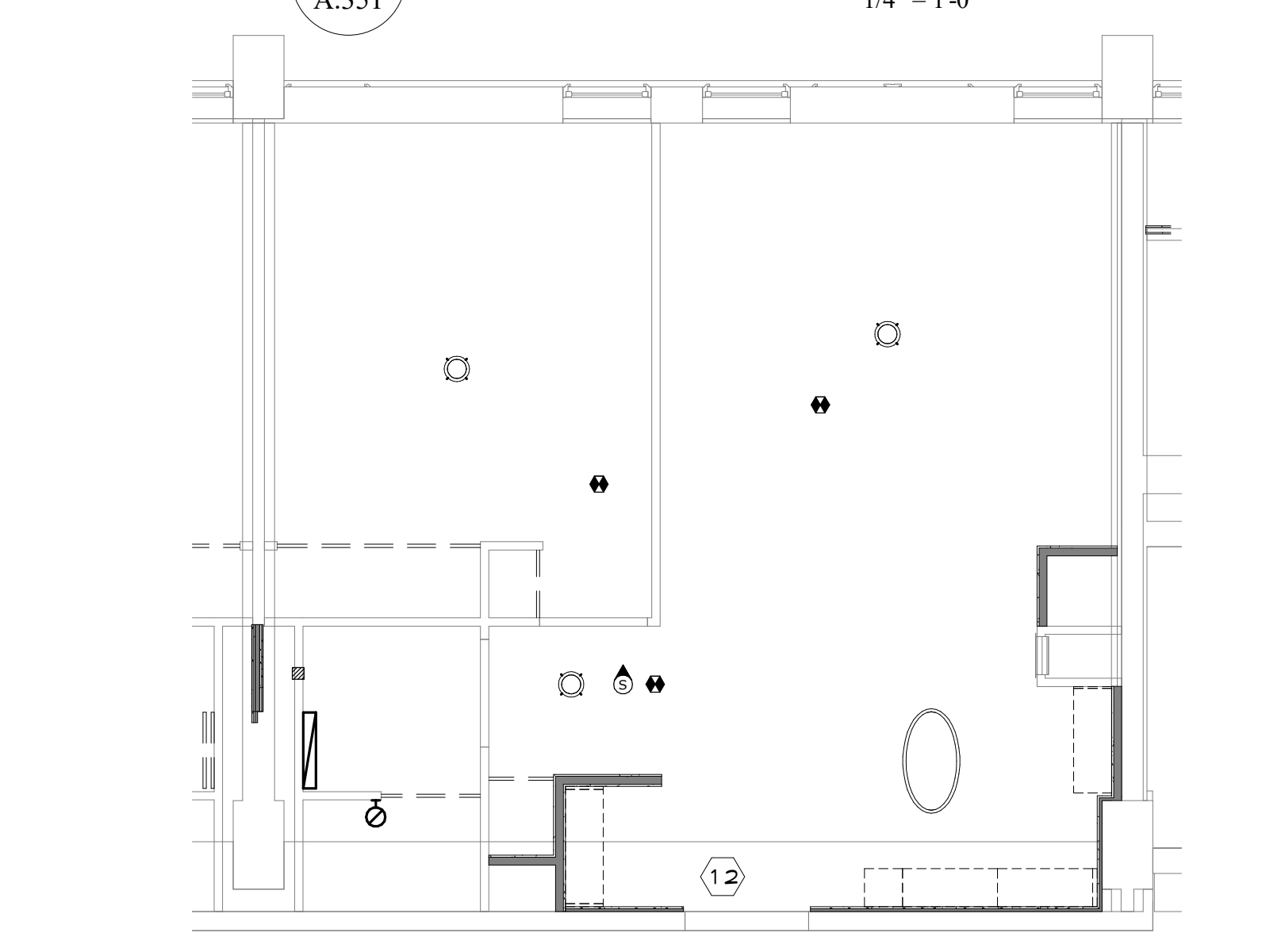
6 A.351 0 BR UNIT RCP  
1/4" = 1'-0"



5 A.351 TYP. 0 BR UNIT PLAN  
1/4" = 1'-0"



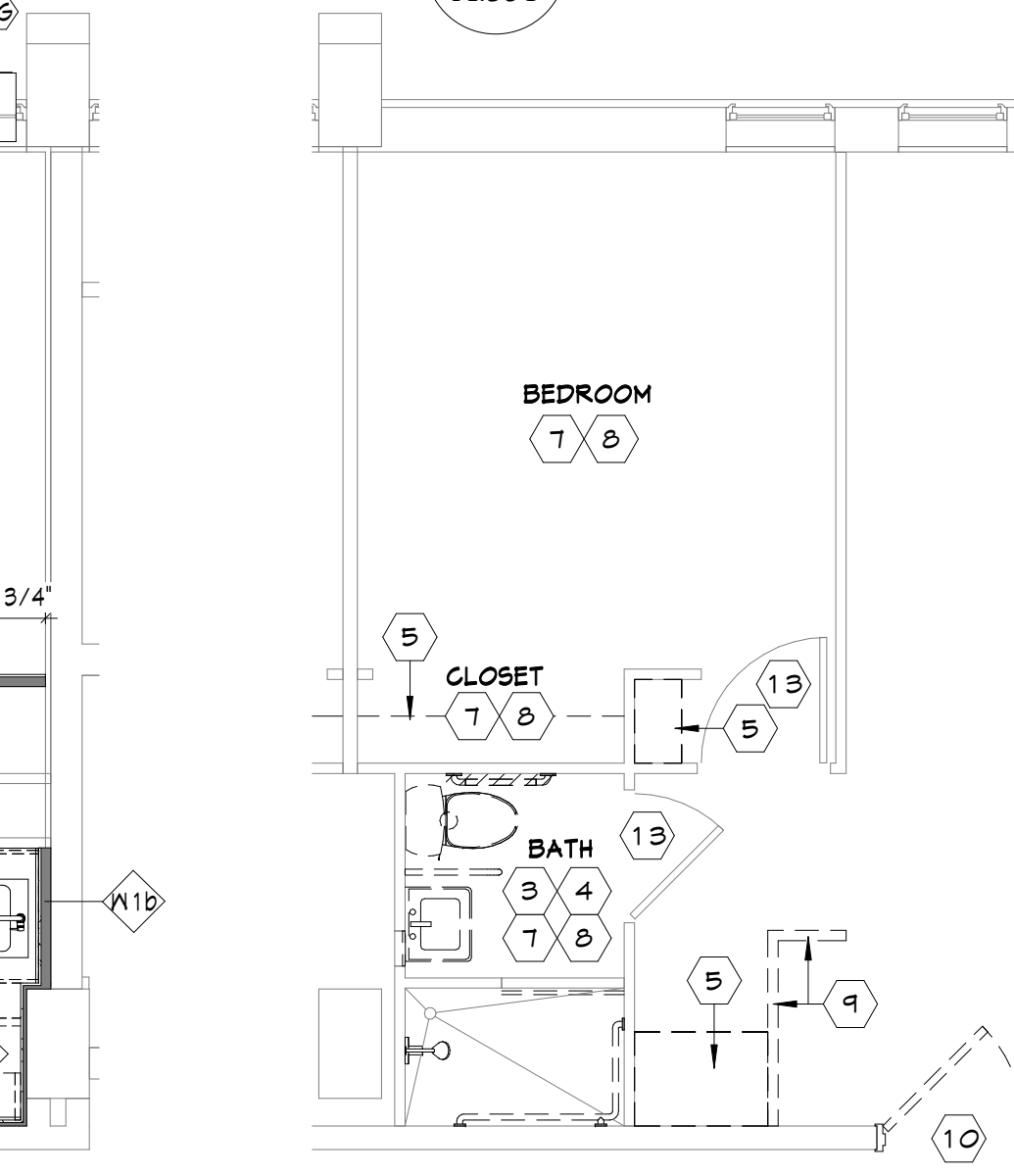
4 A.351 TYP. 0 BR UNIT DEMO PLAN  
1/4" = 1'-0"



3 A.351 TYP. 1 BR UNIT RCP  
1/4" = 1'-0"

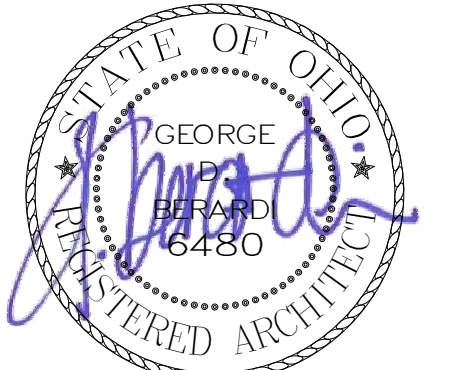


2 A.351 TYP. 1 BR UNIT PLAN  
1/4" = 1'-0"



1 A.351 TYP. 1 BR UNIT DEMO PLAN  
1/4" = 1'-0"

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GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

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Cincinnati, OH 45229

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### CASEWORK LEGEND

CASEWORK TAG: XXX / ## / XX  
PREFIX | SUFFIX  
WIDTH (IN INCHES) | HEIGHT (IN INCHES)

- PREFIXES:**  
B BASE  
BCB BLIND CORNER BASE  
SB SINK BASE  
W WALL  
P PANTRY  
PV PANTRY-OVEN CABINET  
FILLER FILLER PANEL  
FILLER-E FINISHED END FILLER PANEL  
WB MICROWAVE BASE
- SUFFIXES:**  
RF REMOVABLE FRONT

### UNIT RCP LEGEND

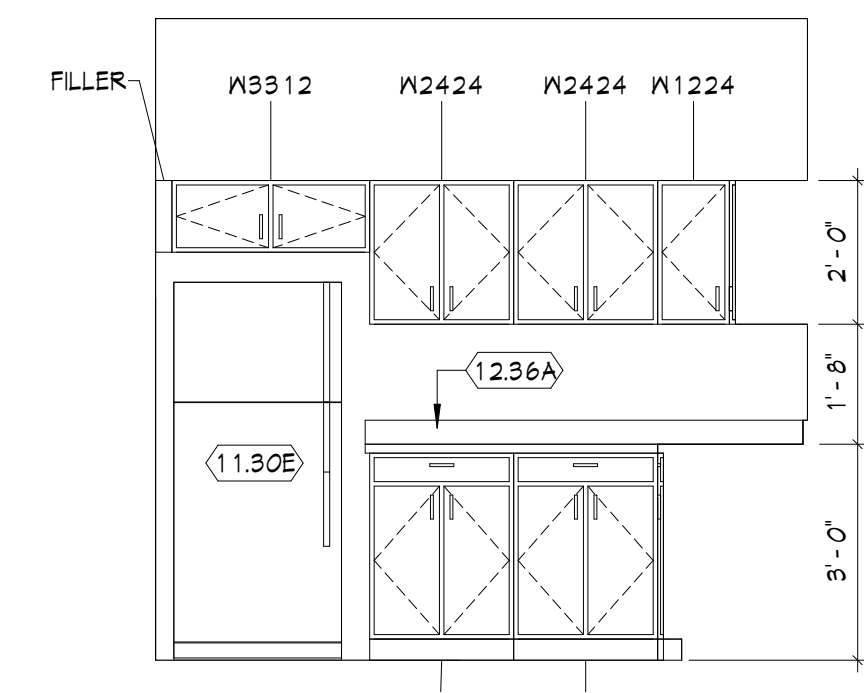
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### GENERAL NOTES

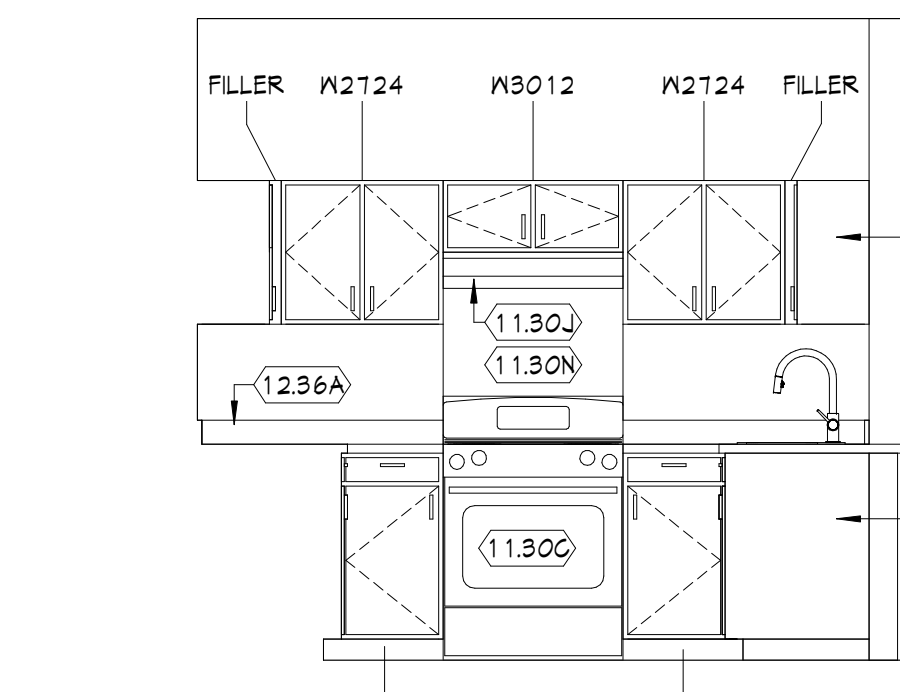
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### CODED NOTES - UNIT PLANS

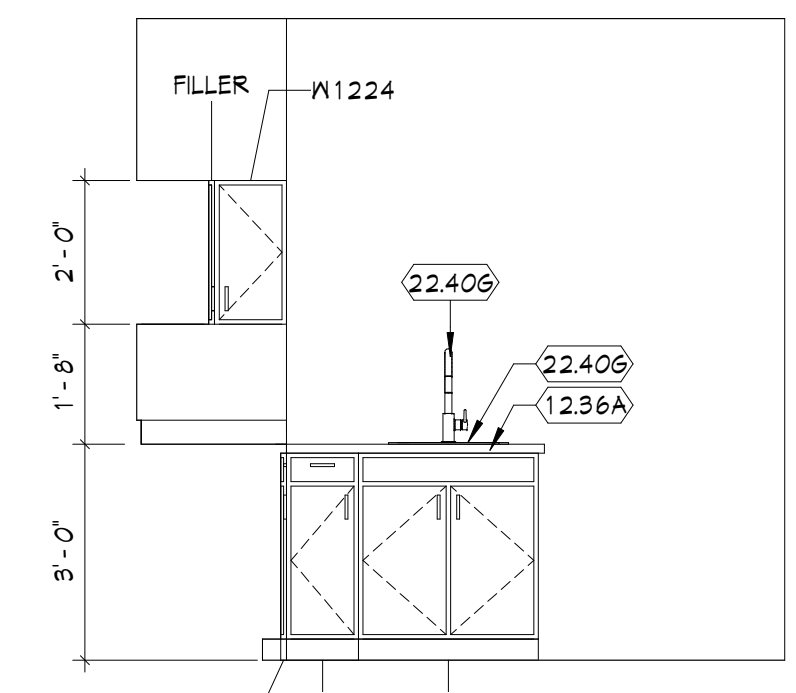
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- EXISTING ELECTRICAL PANEL TO REMAIN (R/R AND LOWER PANEL AT ANSI TYPE A UNIT ONLY) REFER TO ELECTRICAL DRAWINGS.
- R/R EXISTING LIGHTING FIXTURES, FIRE/SMOKE DEVICES AND ASSOCIATED CABLING/WIRING. EXISTING SURFACE CONDUIT AND J-BOXES TO REMAIN. PREP FOR NEW FIXTURES. REFER TO ELECTRICAL DRAWINGS.
- R/R EXISTING BATHROOM PLUMBING FIXTURES (INCLUDES SINK, BATH/TUB, SHOWER BASE/DRAIN, FLOOR DRAIN OUTSIDE OF SHOWER), CASEWORK, COUNTER TOPS, BATHROOM ACCESSORIES, ACCESS PANELS, EXHAUST FANS AND TILED SHOWER SURROUND. PATCH AND REPAIR WALLS AT LOCATIONS OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
- R/R EXISTING CLOSET SHELVING AND PREP FOR NEW SHELVES.
- R/R EXISTING WINDOW AIR CONDITIONER UNIT. REFER TO MEP DRAWINGS.
- R/R EXISTING FLOORING AND WALL BASE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
- REMOVE EXISTING CEILING TEXTURE THROUGHOUT (ALTERNATE). PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
- REMOVE WALLS AND/OR DOORS AS SHOWN DASHED, TYP.
- R/R EXISTING UNIT ENTRY DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
- ALIGN.
- EXISTING GYPSUM SOFFIT TO REMAIN. PREP FOR NEW PAINT.
- R/R EXISTING UNIT INTERIOR DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
- INFILL WITH WALL CONSTRUCTION TO MATCH ADJACENT WALL. MAINTAIN ALL REQUIRED WALL RATINGS.
- REMOVE EXISTING GYPSUM SOFFIT (AND FRAMING) ABOVE. PATCH AND REPAIR CEILING.
- PROVIDE SATIN NICKEL CURTAIN ROD WITH HEAVY DUTY FABRIC CURTAIN (OWNER TO SELECT COLOR/PATTERN) AT UNIT CLOSETS.
- REMOVE EXISTING DOOR AND FRAME.
- 3'-0" x 6'-8" FRAMED OPENING.
- 2'-8" x 6'-8" FRAMED OPENING.



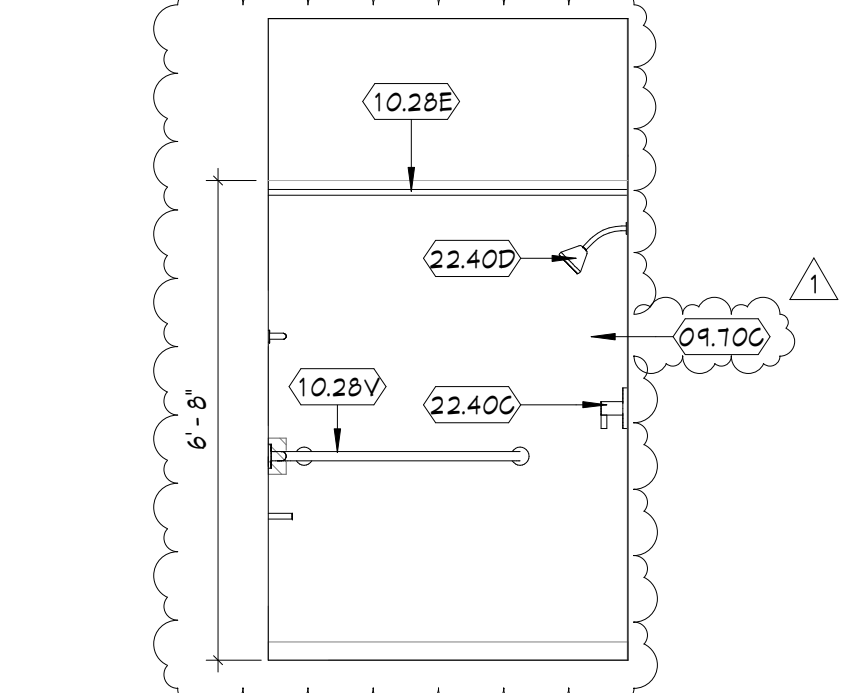
**F**  
A.352  
KITCHEN ELEVATION  
3/8" = 1'-0"



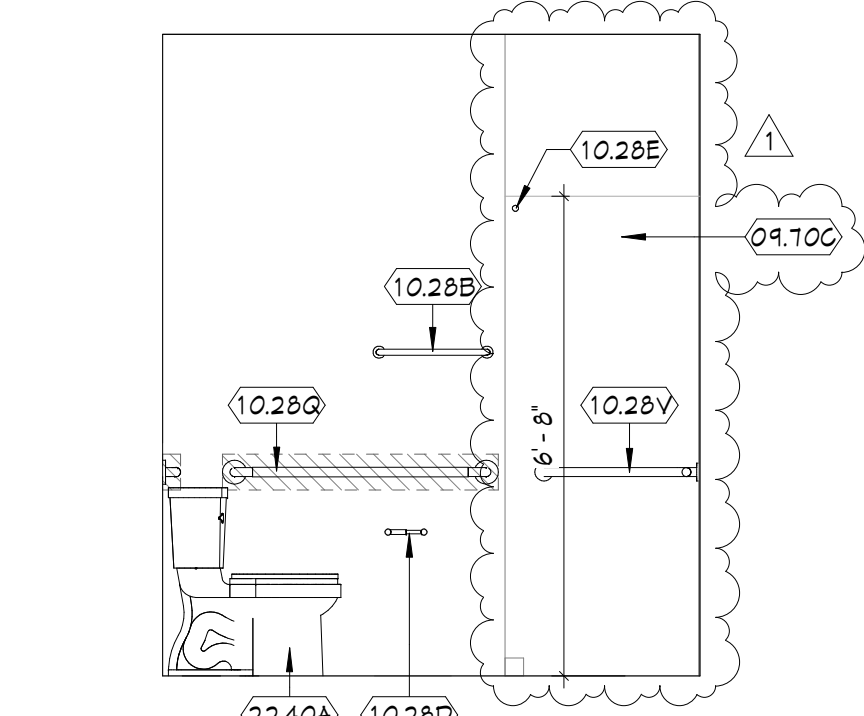
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A.352  
KITCHEN ELEVATION  
3/8" = 1'-0"



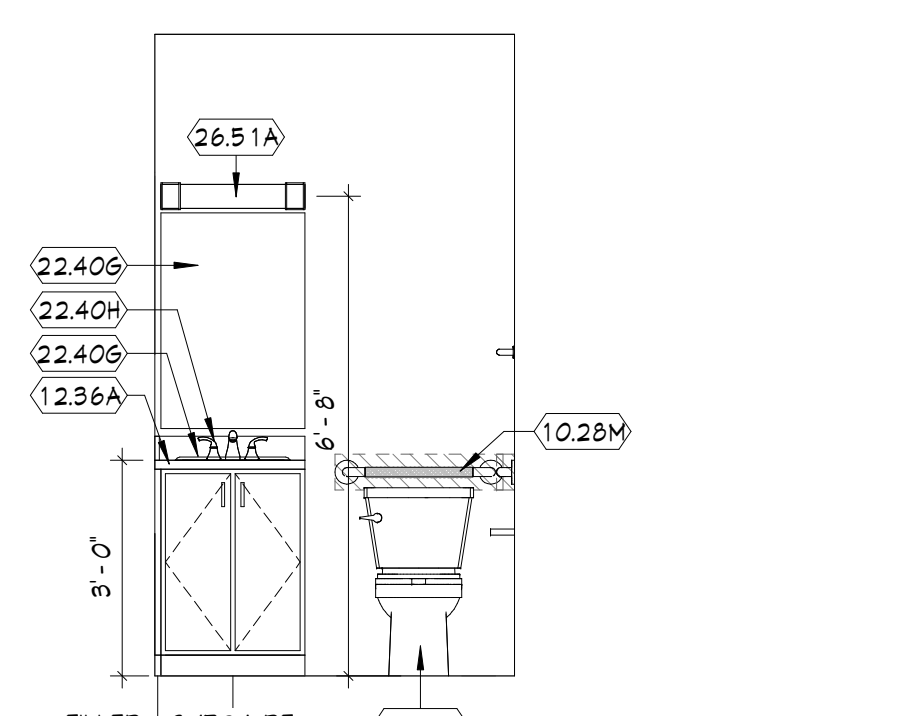
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A.352  
KITCHEN ELEVATION  
3/8" = 1'-0"



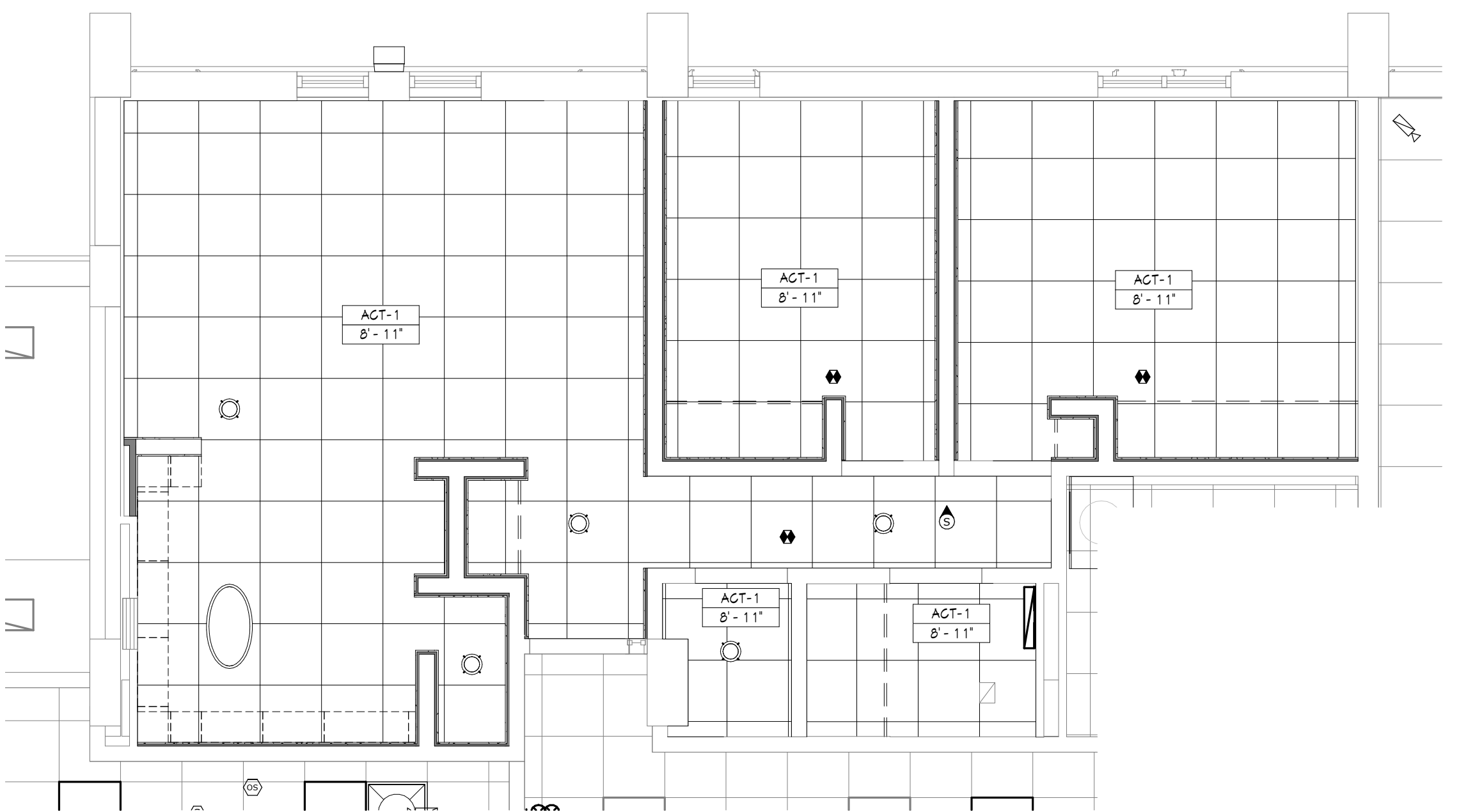
**C**  
A.352  
BATHROOM ELEVATION  
3/8" = 1'-0"



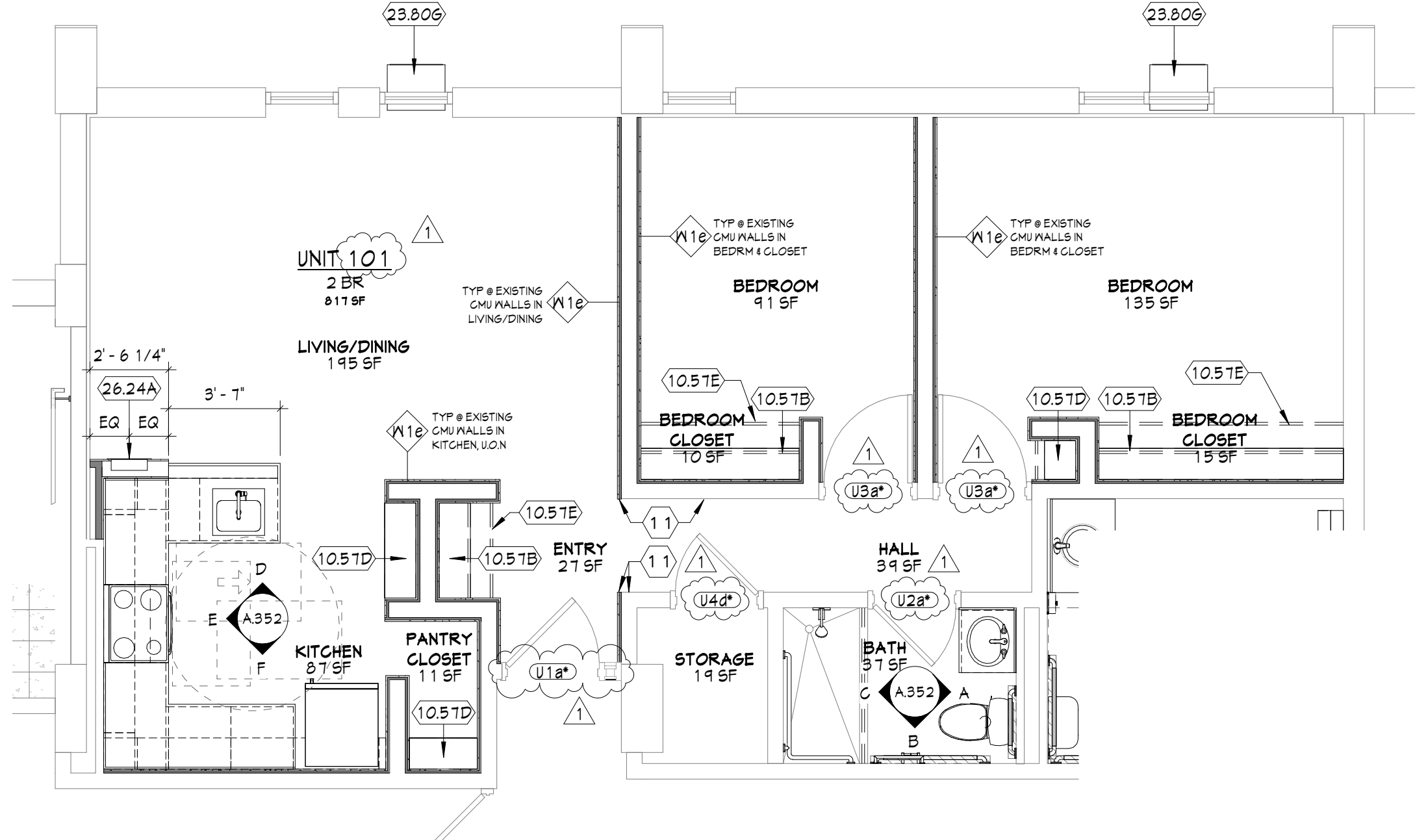
**B**  
A.352  
BATHROOM ELEVATION  
3/8" = 1'-0"



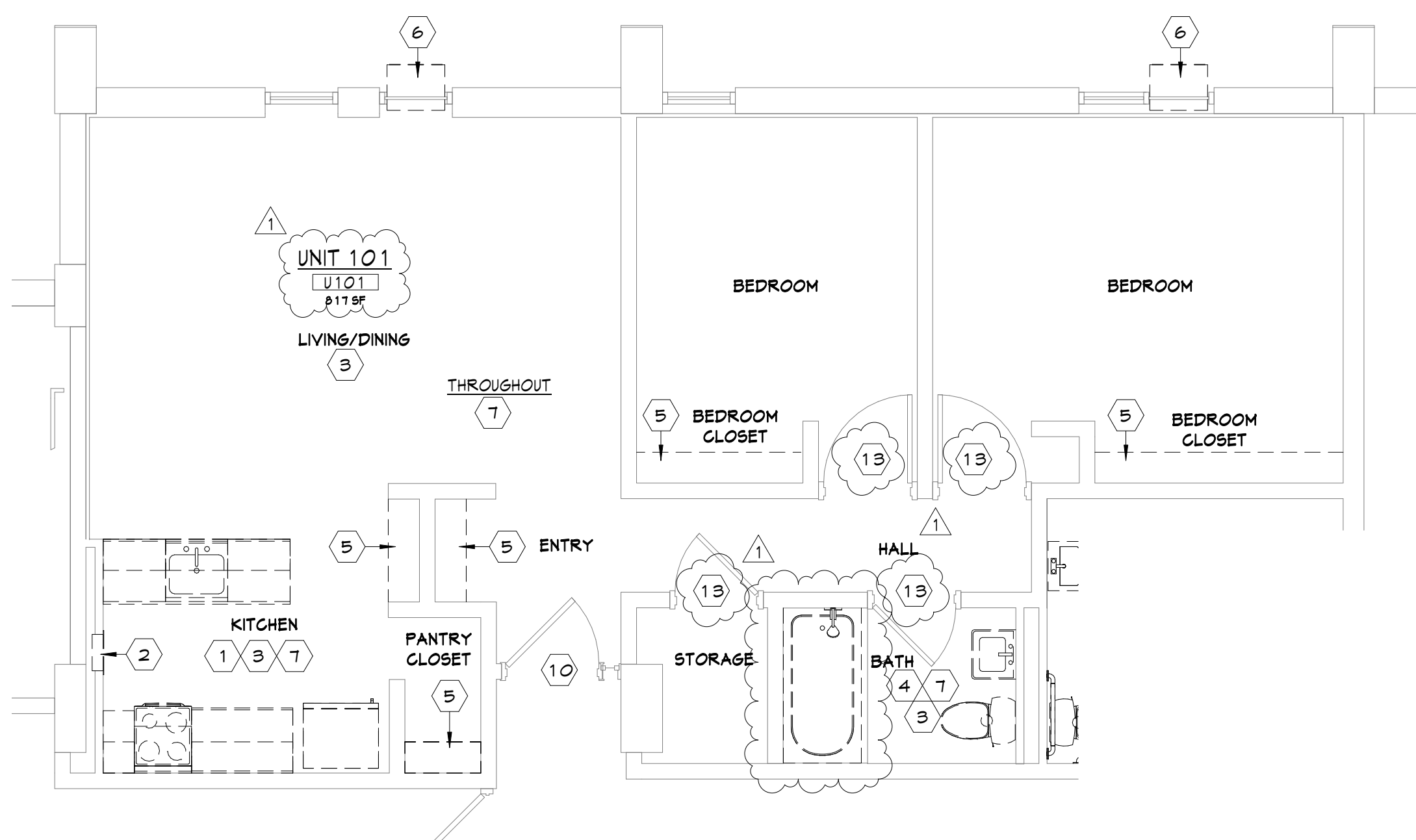
**A**  
A.352  
BATHROOM ELEVATION  
3/8" = 1'-0"



**3**  
A.352  
1ST FLOOR UNIT RCP  
1/4" = 1'-0"



**2**  
A.352  
1ST FLOOR UNIT PLAN  
1/4" = 1'-0"



**1**  
A.352  
1ST FLOOR UNIT DEMO PLAN  
1/4" = 1'-0"

### KEYNOTES

- 09.10C SOLID SURFACE MATERIAL ON WALLS OF SHOWER - REFER TO INTERIOR FINISH SCHEDULE.
- 10.28B 18" TONEL BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28D SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28E SHOWER CURTAIN ROD - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28M 24" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28Q 42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28V 24"x42" L SHAPED GRAB BAR w/ FACTORY INSTALLED WOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER, J) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.57B DOUBLE SHELF AND ROD - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS.
- 10.57D 4 PANTRY SHELVES, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS.
- 10.57E CLOSET CURTAIN AND ROD.
- 11.30C 30" RANGE.
- 11.30E REFRIGERATOR.
- 11.30J RANGE HOOD WITH LIGHT AND FIRE CANISTERS.
- 11.30N FULL HEIGHT GREASE SHIELD AT RANGE. PANEL TO BE BAKED ENAMEL FINISH OVER STEEL TO MATCH COLOR OF RANGE OR SATIN FINISH STAINLESS STEEL WITH MATCHING SCREWS.
- 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES (WHERE SHOWN (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE.
- 22.40A WATER CLOSET - SEE FIXTURE SCHEDULE.
- 22.40C SHOWER CONTROLS - SEE FIXTURE SCHEDULE.
- 22.40D SHOWER HEAD - SEE FIXTURE SCHEDULE.
- 22.40G SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE.
- 22.40H LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE.
- 23.80G NEW WINDOW AIR CONDITIONING UNIT.
- 26.24A NEW ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS.
- 26.51A WALL SCONCE LIGHT FIXTURE - SEE FIXTURE SCHEDULE.

### BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

### ENLARGED UNIT PLANS - 2 BR TYPE B UNIT

# A.352

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GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

330 Forest Ave.  
Cincinnati, OH 45229

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4. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.

4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.  
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## BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## ENLARGED UNIT PLANS - 1 BR-A.1

# A.353

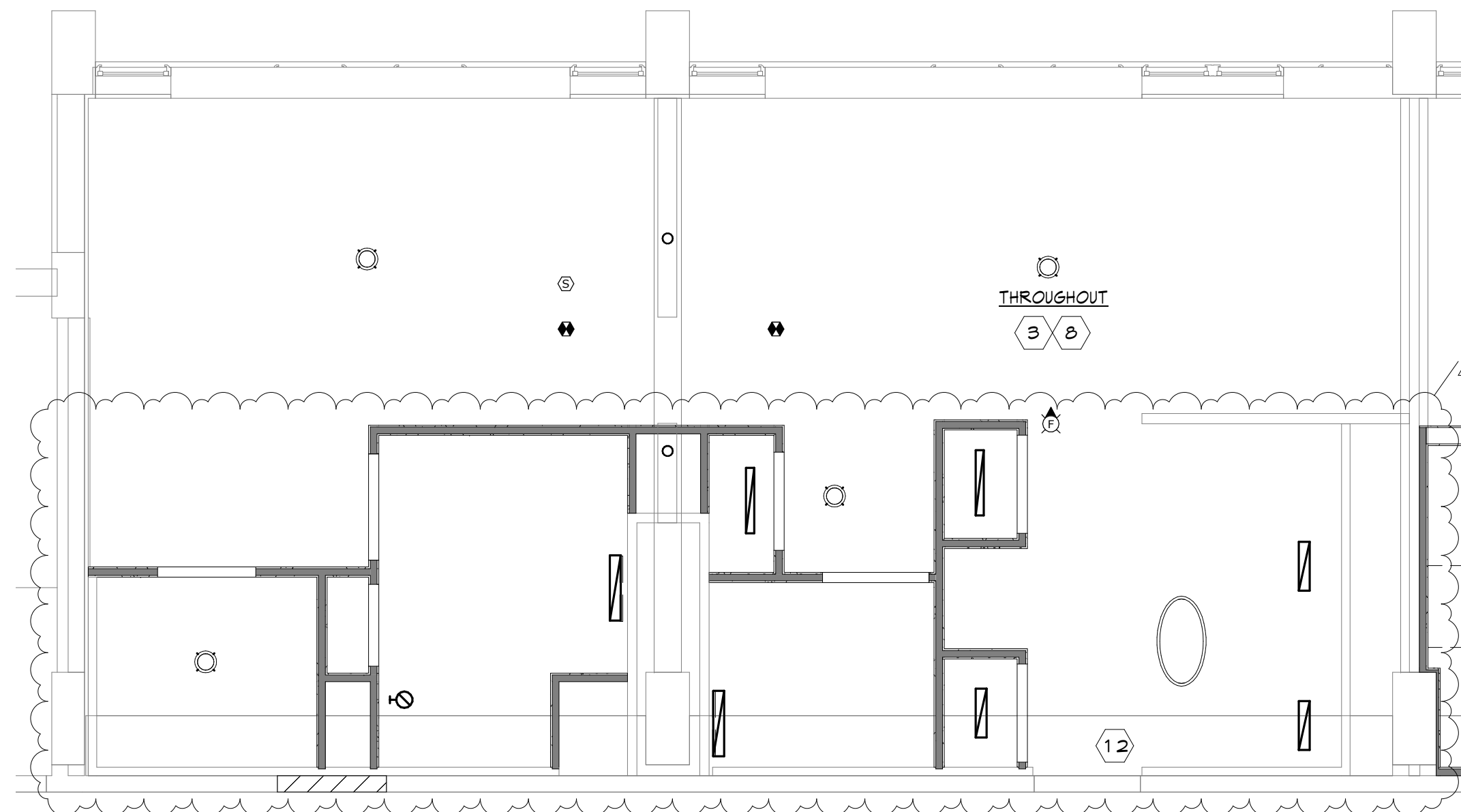
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1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212  
P 614.221.1110 [berardipartners.com](http://berardipartners.com)

- ### CODING NOTES - UNIT PLANS
- R/R EXISTING KITCHEN CASEWORK, COUNTERTOPS, PLUMBING FIXTURES AND APPLIANCES. PATCH AND REPAIR WALLS AT LOCATION OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
  - EXISTING ELECTRICAL PANEL TO REMAIN. (R/R AND LOWER PANEL AT ANSI TYPE A UNIT ONLY) REFER TO ELECTRICAL DRAWINGS.
  - R/R EXISTING LIGHTING FIXTURES, FIRE/SMOKE DEVICES AND ASSOCIATED CABLING/WIRING. EXISTING SURFACE CONDUIT AND J-BOXES TO REMAIN. PREP FOR NEW FIXTURES - REFER TO ELECTRICAL DRAWINGS.
  - R/R EXISTING BATHROOM PLUMBING FIXTURES (INCLUDES SINK, BATHTUB, SHOWER BASE/DRAIN, FLOOR DRAIN OUTSIDE OF SHOWER), CASEWORK, COUNTER TOPS, BATHROOM ACCESSORIES, ACCESS PANELS, EXHAUST FANS AND TILED SHOWER SURROUND. PATCH AND REPAIR WALLS AT LOCATIONS OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
  - R/R EXISTING CLOSET SHELVING AND PREP FOR NEW SHELVES.
  - R/R EXISTING WINDOW AIR CONDITIONER UNIT. REFER TO MEP DRAWINGS.
  - R/R EXISTING FLOORING AND WALL BASE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
  - REMOVE EXISTING CEILING TEXTURE THROUGHOUT (ALTERNATE). PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
  - REMOVE WALLS AND/OR DOORS AS SHOWN DASHED. TYP
  - R/R EXISTING UNIT ENTRY DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
  - ALIGN
  - EXISTING GYPSUM SOFFIT TO REMAIN. PREP FOR NEW PAINT
  - R/R EXISTING UNIT INTERIOR DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
  - INFILL WITH WALL CONSTRUCTION TO MATCH ADJACENT WALL. MAINTAIN ALL REQUIRED WALL RATINGS.
  - REMOVE EXISTING GYPSUM SOFFIT (AND FRAMING) ABOVE PATCH AND REPAIR CEILING.
  - PROVIDE SATIN NICKEL CURTAIN ROD WITH HEAVY DUTY FABRIC CURTAIN (OWNER TO SELECT COLOR/PATTERN) AT UNIT CLOSETS.
  - REMOVE EXISTING DOOR AND FRAME
  - 3'-0" X 6'-8" FRAMED OPENING
  - 2'-8" X 6'-8" FRAMED OPENING

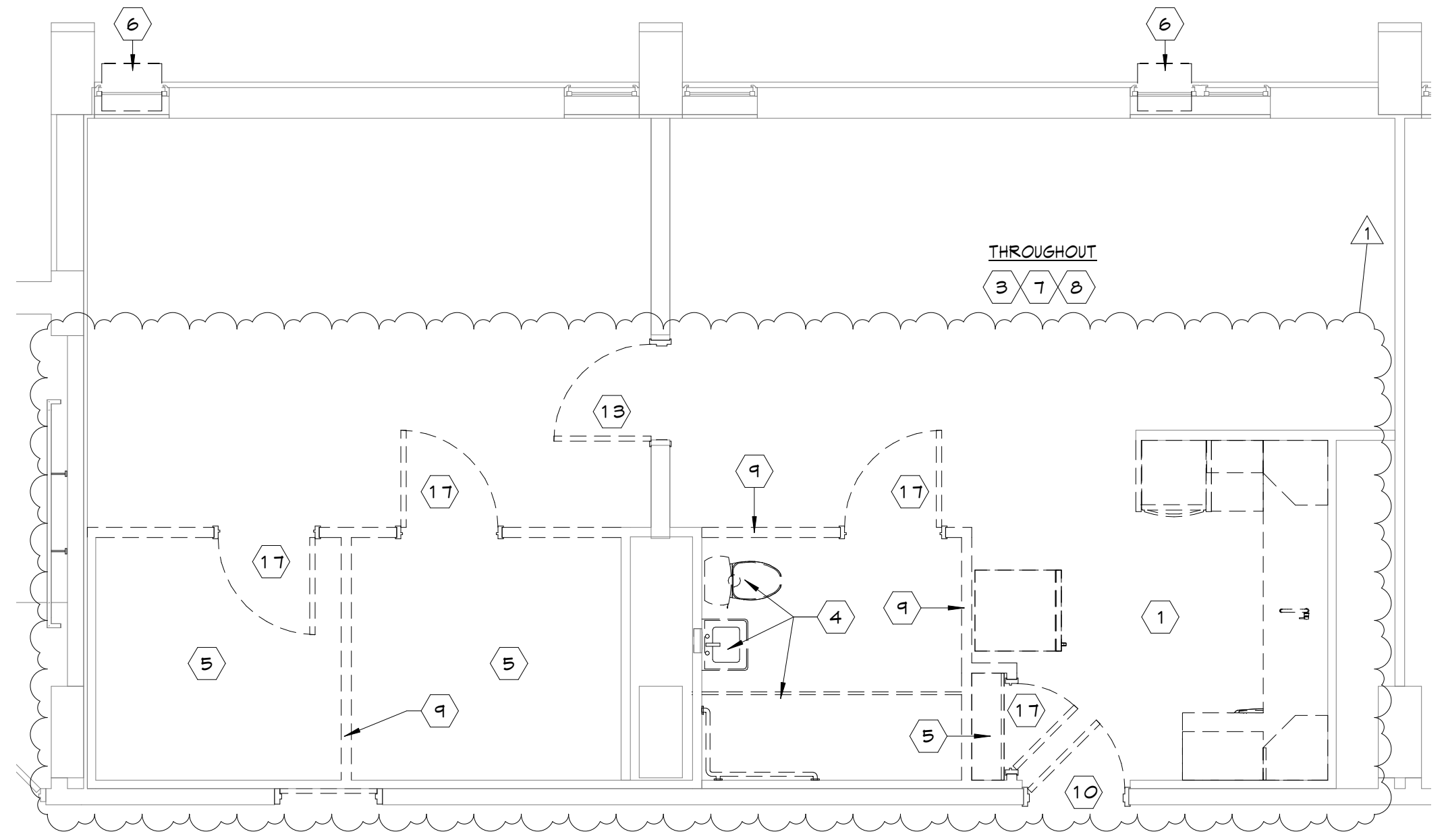
- ### KEYNOTES
- 08.30C 4" X 4" RATED ACCESS PANEL - REFER TO PLUMBING DRAWINGS
  - 10.28A RECESSED MEDICINE CABINET - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28B 18" TONEL BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28D SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28E SHOWER CURTAIN ROD - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28J 24" X 36" PLATE GLASS MIRROR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28N 30" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28Q 42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28U 18" VERTICAL GRAB BAR (V) FACTORY INSTALLED MOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28V 24" X 42" SHAPED GRAB BAR (V) FACTORY INSTALLED MOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28W FIXED SHOWER SEAT - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.57B DOUBLE SHELF AND ROD - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
  - 10.57C 5 LINEN SHELVES, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
  - 10.57D 4 PANTRY SHELVES, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
  - 11.30C 30" RANGE
  - 11.30E REFRIGERATOR
  - 11.30J RANGE HOOD WITH LIGHT AND FIRE GANISTERS
  - 11.30N FULL HEIGHT GREASE SHIELD AT RANGE. PANEL TO BE BAKED ENAMEL FINISH OVER STEEL TO MATCH COLOR OF RANGE OR SATIN FINISH STAINLESS STEEL WITH MATCHING SCREWS.
  - 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES (WHERE SHOWN (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
  - 22.40A WATER CLOSET - SEE FIXTURE SCHEDULE
  - 22.40B FIBERGLASS SHOWER UNIT WITH FACTORY INSTALLED GRAB BARS - GENERAL CONTRACTOR TO COORDINATE EXACT DIMENSIONS WITH SHOWER MANUFACTURER - SEE FIXTURE SCHEDULE
  - 22.40C SHOWER CONTROLS - SEE FIXTURE SCHEDULE
  - 22.40E ROD MOUNTED ADJUSTABLE SHOWER HEAD - SEE FIXTURE SCHEDULE
  - 22.40G SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE
  - 22.40H LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE
  - 23.37C NEW LOUVER/EXHAUST - REFER TO MEP DRAWINGS.
  - 23.80G NEW WINDOW AIR CONDITIONING UNIT.
  - 26.24A NEW ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
  - 26.51A WALL SCONCE LIGHT FIXTURE - SEE FIXTURE SCHEDULE.

- ### GENERAL NOTES
- SEE SHEET A001a FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
  - SEE DETAILS ON A450 SHEETS FOR REQUIRED GRAB BAR REINFORCEMENT LOCATIONS FOR ALL UNITS.
- ### GRAB BAR STRENGTH
- BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
  - SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
  - SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
  - TENSION FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 Lbf (111.2N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.
  - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- NOTE: BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER IF ENCLOSURES ARE FACTORY REINFORCED TO ACCEPT GRAB BARS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.

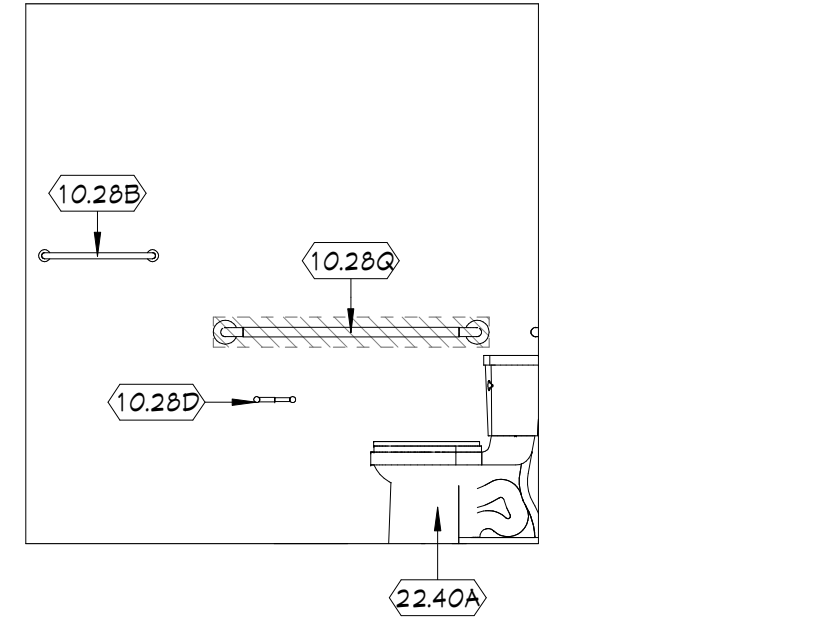
- ### CASEWORK LEGEND
- CASEWORK TAG: **XXX** ## **XX**  
PREFIX HEIGHT (IN INCHES) SUFFIX HEIGHT (IN INCHES)
- PREFIXES:**  
B BASE  
BCB BLIND CORNER BASE  
SB SINK BASE  
M MALL  
P PANTRY  
PV PANTRY-OVEN CABINET  
FILLER FILLER PANEL  
FILLER-E FINISHED END FILLER PANEL  
MB MICROWAVE BASE  
**SUFFIXES:**  
RF REMOVABLE FRONT
- ### UNIT RCP LEGEND
- SMOKE DETECTOR - SEE ELEC.
  - SMOKE/CARBON MONOXIDE DETECTOR - SEE ELEC.
  - FIRE ALARM STROBE - SEE ELEC.
  - SURFACE MOUNTED KITCHEN LIGHT - SEE ELEC.
  - SURFACE MOUNTED DISK LIGHT - SEE ELEC.
  - SHOWER SCONCE - SEE ELEC.
  - SURFACE MOUNTED VANITY LIGHT - SEE ELEC.
  - UNDER CABINET MOUNTED STRIP LIGHT - SEE ELEC.



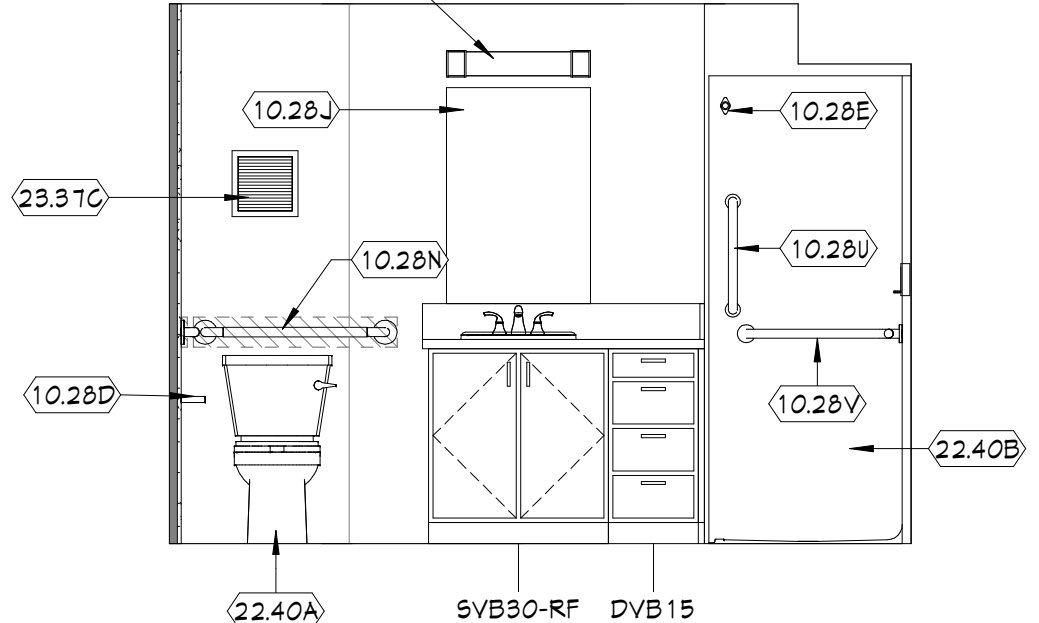
3 1 BR-A.1 EXPANDED UNIT RCP  
1/4" = 1'-0"



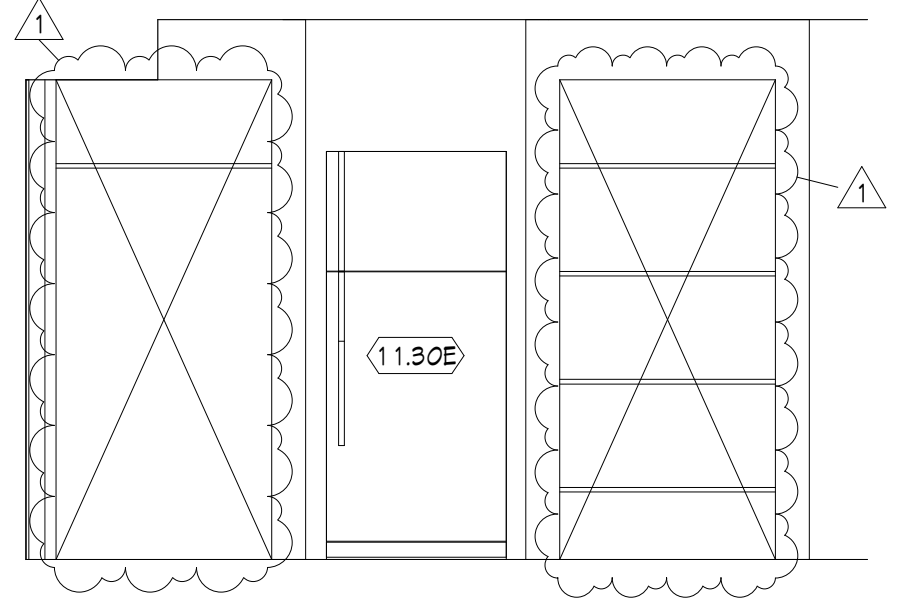
1 1 BR-A.1 EXPANDED UNIT DEMO PLAN  
1/4" = 1'-0"



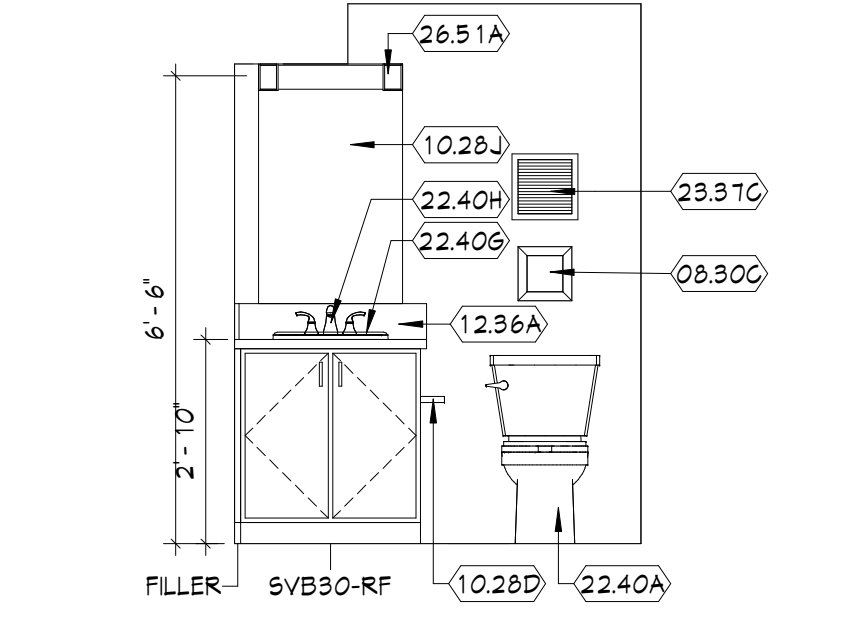
F 1 BR-A.1 EXPANDED BATH 3  
3/8" = 1'-0"



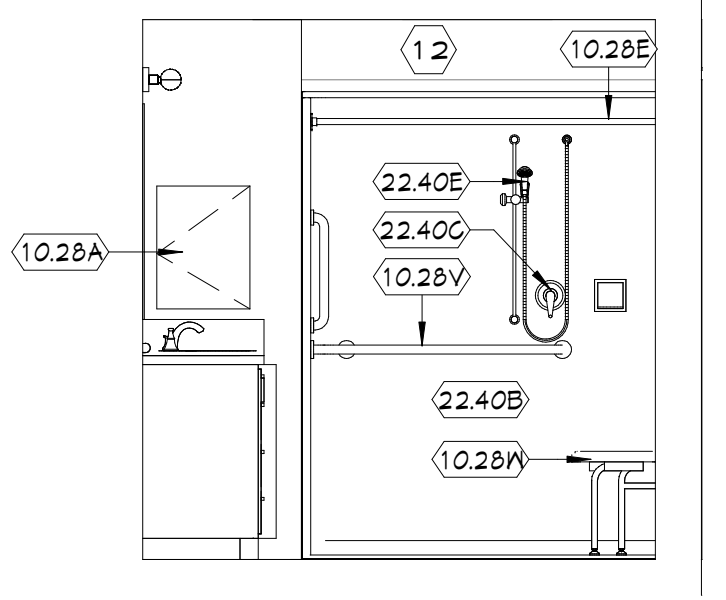
E BATHROOM ELEVATION  
3/8" = 1'-0"



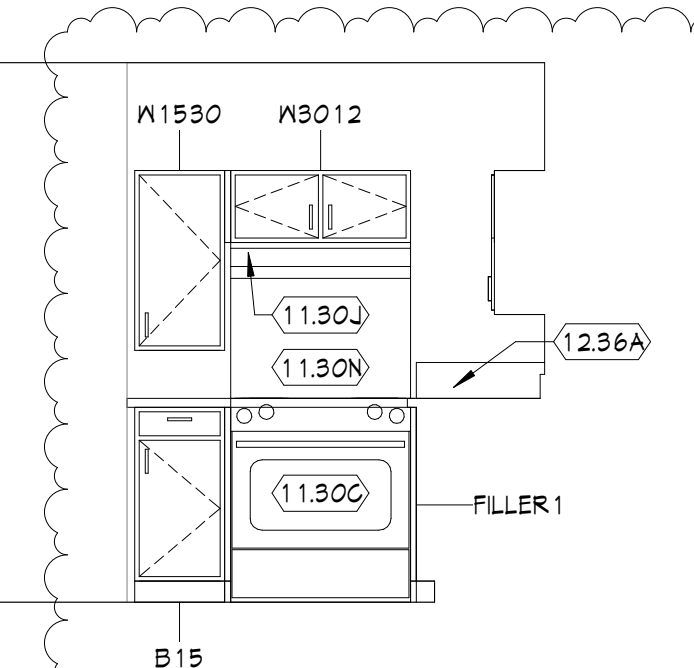
C KITCHEN ELEVATION  
3/8" = 1'-0"



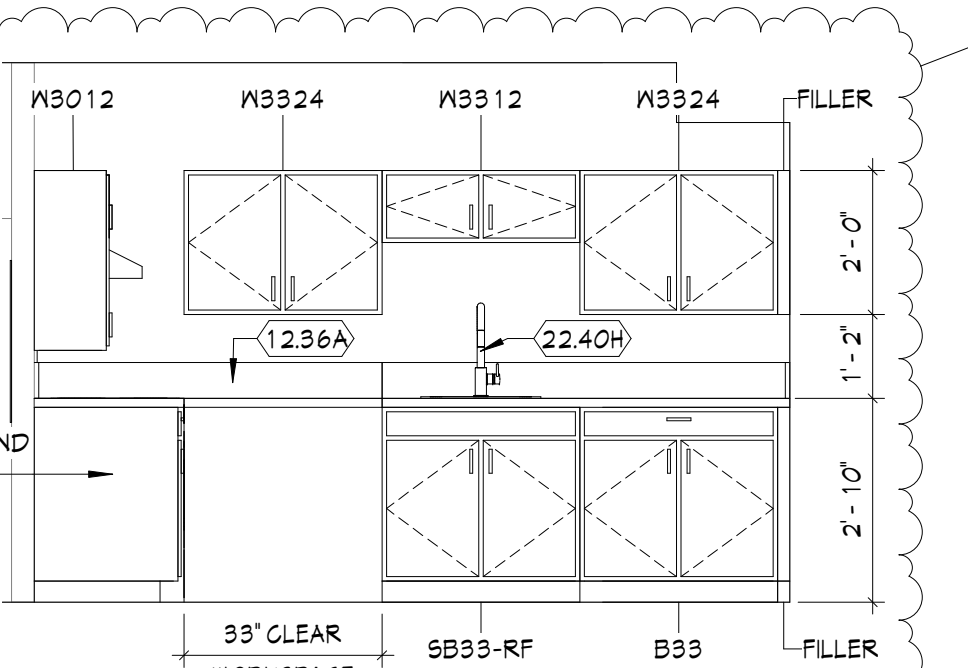
G 1/2 BATH ELEVATION  
3/8" = 1'-0"



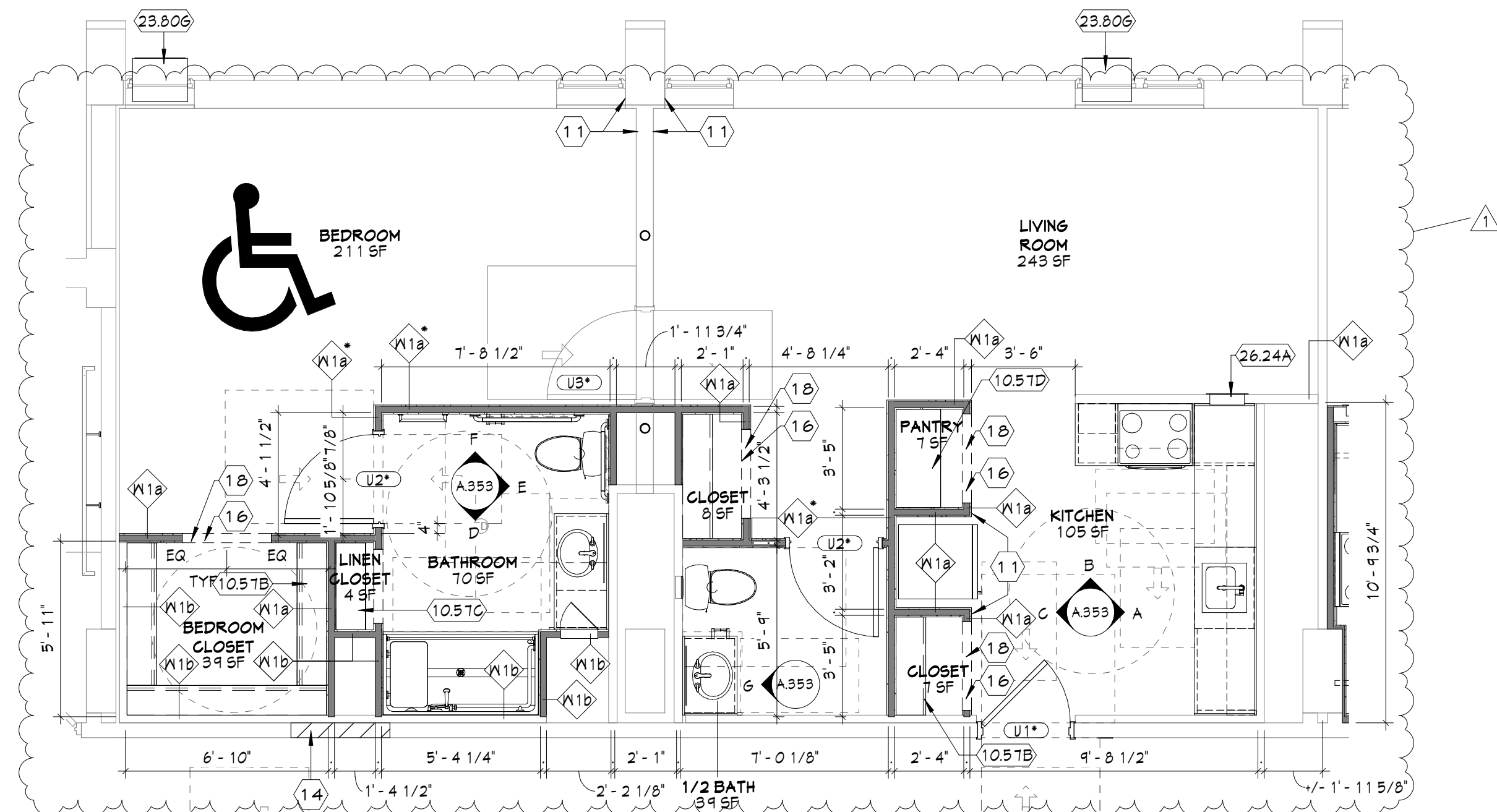
D BATHROOM ELEVATION  
3/8" = 1'-0"



B KITCHEN ELEVATION  
3/8" = 1'-0"



A KITCHEN ELEVATION  
3/8" = 1'-0"



2 1 BR-A.1 EXPANDED UNIT PLAN  
1/4" = 1'-0"



GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

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## BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## ENLARGED UNIT PLANS - 1 BR-A.2

# A.354

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### CASEWORK LEGEND

CASEWORK TAG: XXX | ### | XX  
PREFIX | SUFFIX  
WIDTH (IN INCHES) | HEIGHT (IN INCHES)

**PREFIXES:**  
B BASE  
BCB BLIND CORNER BASE  
SB SINK BASE  
N WALL  
P PANTRY  
PV PANTRY-OVEN CABINET  
FILLER FILLER PANEL  
FILLER-E FINISHED END FILLER PANEL  
MB MICROWAVE BASE  
SUFFIXES:  
RF REMOVABLE FRONT

### UNIT RCP LEGEND

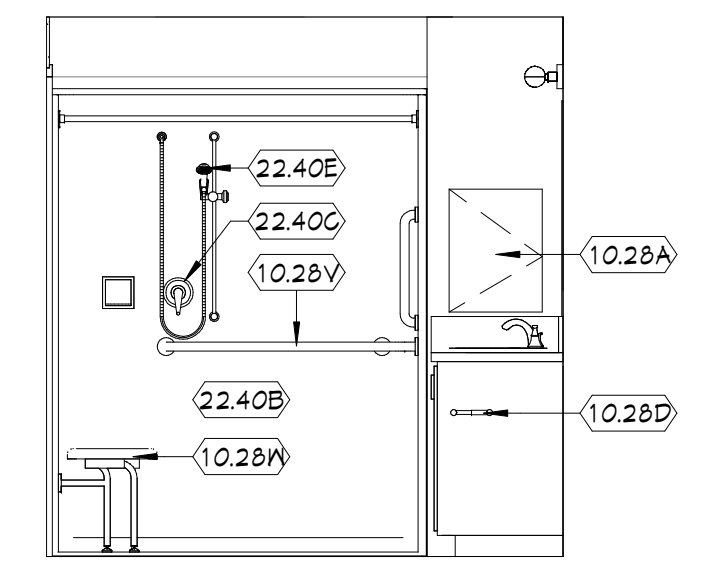
⊙ SMOKE DETECTOR - SEE ELEC.  
⊕ SMOKE/GARBON MONOXIDE DETECTOR- SEE ELEC.  
⚡ FIRE ALARM STROBE - SEE ELEC.  
⊙ SURFACE MOUNTED KITCHEN LIGHT - SEE ELEC.  
⊙ SURFACE MOUNTED DISK LIGHT - SEE ELEC.  
⊙ SHOWER SCONCE - SEE ELEC.  
⊙ SURFACE MOUNTED VANITY LIGHT - SEE ELEC.  
⊙ SURFACE MOUNTED STRIP LIGHT - SEE ELEC.  
⊙ UNDER CABINET MOUNTED STRIP LIGHT - SEE ELEC.

- ### GENERAL NOTES
1. SEE SHEET A.001a FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
  2. SEE DETAILS ON A-450 SHEETS FOR REQUIRED GRAB BAR REINFORCEMENT LOCATIONS FOR ALL UNITS.
  3. GRAB BAR STRENGTH  
1. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 Lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.  
2. SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 Lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
  4. SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 Lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
  5. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSILE FORCE OF 250 Lbf (1112N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 Lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.
  6. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- NOTE: BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER ENCLOSURES ARE FACTORY REINFORCED TO AGENT GRAB BAR CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.

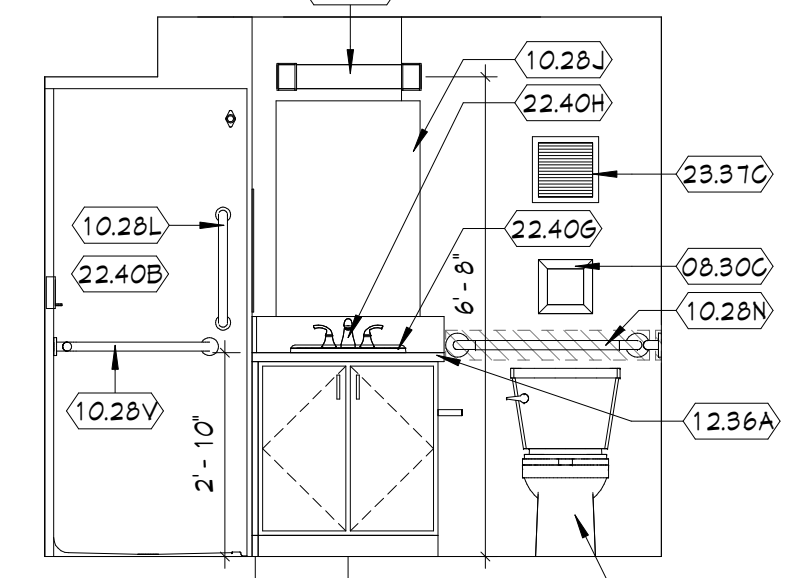
- ### CODED NOTES - UNIT PLANS
1. R/R EXISTING KITCHEN CASEWORK, COUNTERTOPS, PLUMBING FIXTURES AND APPLIANCES, PATCH AND REPAIR WALLS AT LOCATION OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
  2. EXISTING ELECTRICAL PANEL TO REMAIN. (R/R AND LOWER PANEL AT ANSI TYPE A UNIT ONLY) REFER TO ELECTRICAL DRAWINGS.
  3. R/R EXISTING LIGHTING FIXTURES, FIRE/SMOKE DEVICES AND SMOKE/GARBON MONOXIDE DETECTOR, EXISTING SURFACE CONDUIT AND J-BOXES TO REMAIN. PREP FOR NEW FIXTURES. REFER TO ELECTRICAL DRAWINGS.
  4. R/R EXISTING BATHROOM PLUMBING FIXTURES (INCLUDES SINK, BATHTUB, SHOWER BASE/DRAIN, FLOOR DRAIN OUTSIDE OF SHOWER), CASEWORK, COUNTER TOPS, BATHROOM ACCESSORIES, ACCESS PANELS, EXHAUST FANS AND TILED SHOWER SURROUND. PATCH AND REPAIR WALLS AT LOCATIONS OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
  5. R/R EXISTING CLOSET SHELVING AND PREP FOR NEW SHELVES.
  6. R/R EXISTING WINDOW AIR CONDITIONER UNIT. REFER TO MEP DRAWINGS.
  7. R/R EXISTING FLOORING AND WALL BASE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
  8. REMOVE EXISTING CEILING TEXTURE THROUGHOUT (ALTERNATE). PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
  9. REMOVE WALLS AND/OR DOORS AS SHOWN DASHED, TYP. SEE DOOR SCHEDULE.
  10. R/R EXISTING UNIT ENTRY DOOR, FRAME AND HARDWARE.
  11. ALISK
  12. EXISTING GYPSUM SOFFIT TO REMAIN. PREP FOR NEW PAINT.
  13. R/R EXISTING UNIT INTERIOR DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
  14. INFILL WITH WALL CONSTRUCTION TO MATCH ADJACENT WALL. MAINTAIN ALL REQUIRED WALL RATINGS.
  15. REMOVE EXISTING GYPSUM SOFFIT (AND FRAMING) ABOVE PATCH AND REPAIR CEILING.
  16. PROVIDE SATIN NICKEL CURTAIN ROD WITH HEAVY DUTY FABRIC CURTAIN (OWNER TO SELECT COLOR/PATTERN) AT UNIT CLOSETS.
  17. REMOVE EXISTING DOOR AND FRAME
  18. 3'-0" x 6'-8" FRAMED OPENING
  19. 2'-8" x 6'-8" FRAMED OPENING

- ### KEYNOTES
- 08.30C 9" x 9" RATED ACCESS PANEL - REFER TO PLUMBING DRAWINGS
  - 10.28A RECESSED MEDICINE CABINET - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28B 18" TOWEL BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28D SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28J 24"X36" PLATE GLASS MIRROR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28L 18" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28N 30" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28Q 42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
  - 10.28V 24"X42" L SHAPED GRAB BAR - V/ FACTORY INSTALLED WOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
  - 10.28W FIXED SHOWER SEAT - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT

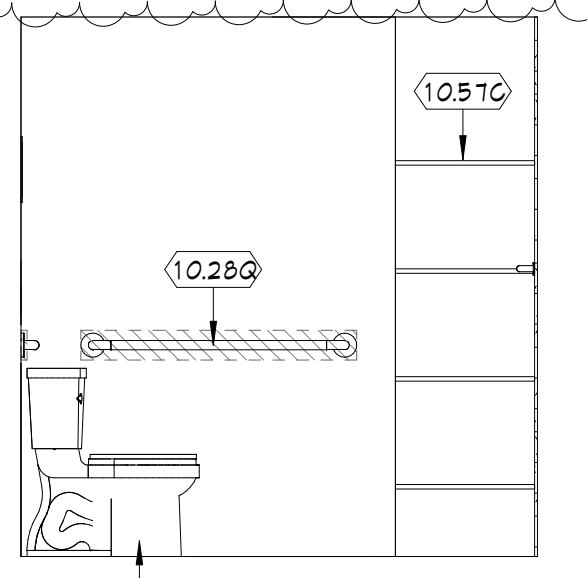
- ### KEYNOTES
- 10.57B DOUBLE SHELF AND ROD - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
  - 10.57C 5 LINEN SHELVES, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
  - 11.30C 30" RANGE
  - 11.30E REFRIGERATOR
  - 11.30J RANGE HOOD WITH LIGHT AND FIRE CANISTERS
  - 11.30N FULL-HEIGHT GREASE SHIELD AT RANGE. PANEL TO BE BAKED ENAMEL FINISH OVER STEEL TO MATCH COLOR OF RANGE OR SATIN FINISH STAINLESS STEEL WITH MATCHING SCREWS.
  - 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES WHERE SHOWN (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
  - 22.40A WATER CLOSET - SEE FIXTURE SCHEDULE
  - 22.40B FIBERGLASS SHOWER UNIT WITH FACTORY INSTALLED GRAB BARS - GENERAL CONTRACTOR TO COORDINATE EXACT DIMENSIONS WITH SHOWER MANUFACTURER - SEE FIXTURE SCHEDULE
  - 22.40C SHOWER CONTROLS - SEE FIXTURE SCHEDULE
  - 22.40E ROD MOUNTED ADJUSTABLE SHOWER HEAD - SEE FIXTURE SCHEDULE
  - 22.40G SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE
  - 22.40H LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE
  - 23.37C NEW LOUVER/EXHAUST - REFER TO MEP DRAWINGS.
  - 23.80G NEW WINDOW AIR CONDITIONING UNIT.
  - 26.24A NEW ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
  - 26.51A WALL SCONCE LIGHT FIXTURE - SEE FIXTURE SCHEDULE



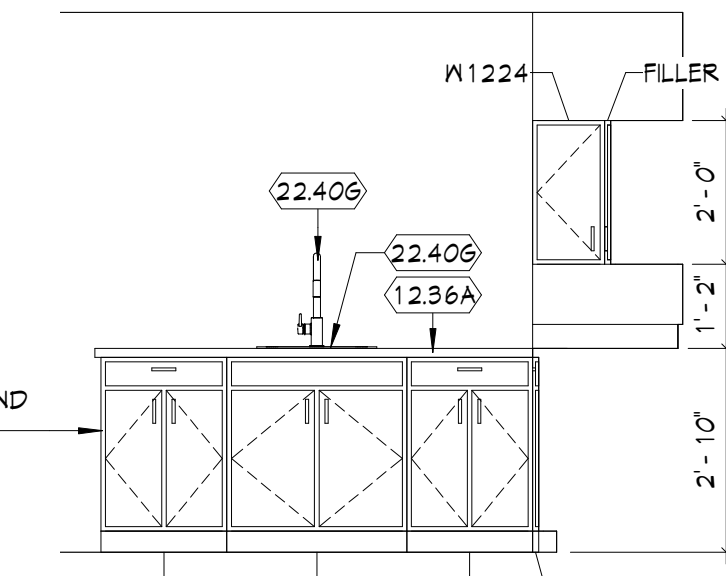
F  
A.354  
BATHROOM ELEVATION  
3/8" = 1'-0"



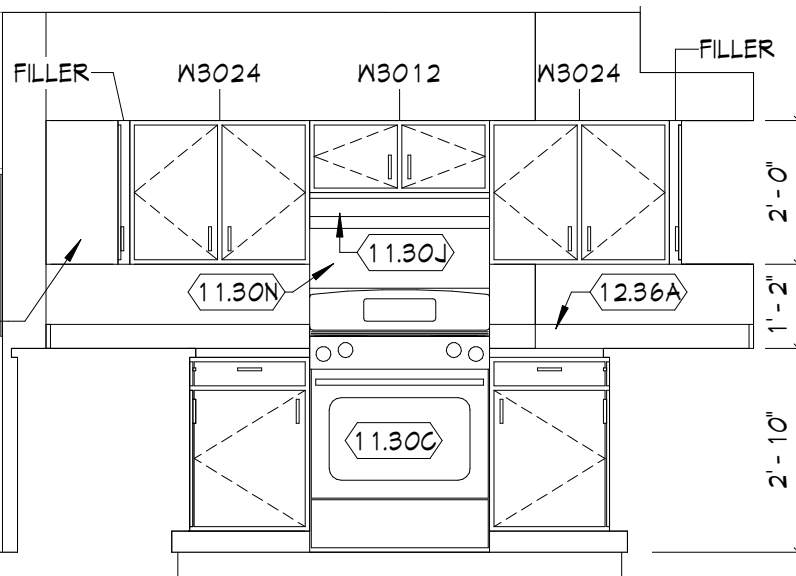
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BATHROOM ELEVATION  
3/8" = 1'-0"



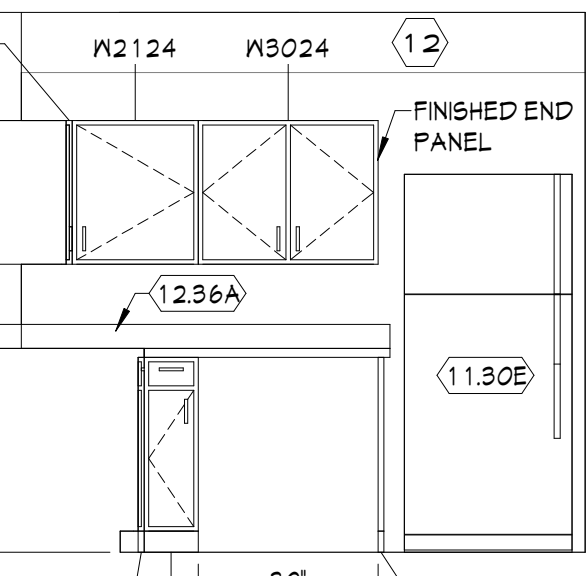
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BATHROOM ELEVATION  
3/8" = 1'-0"



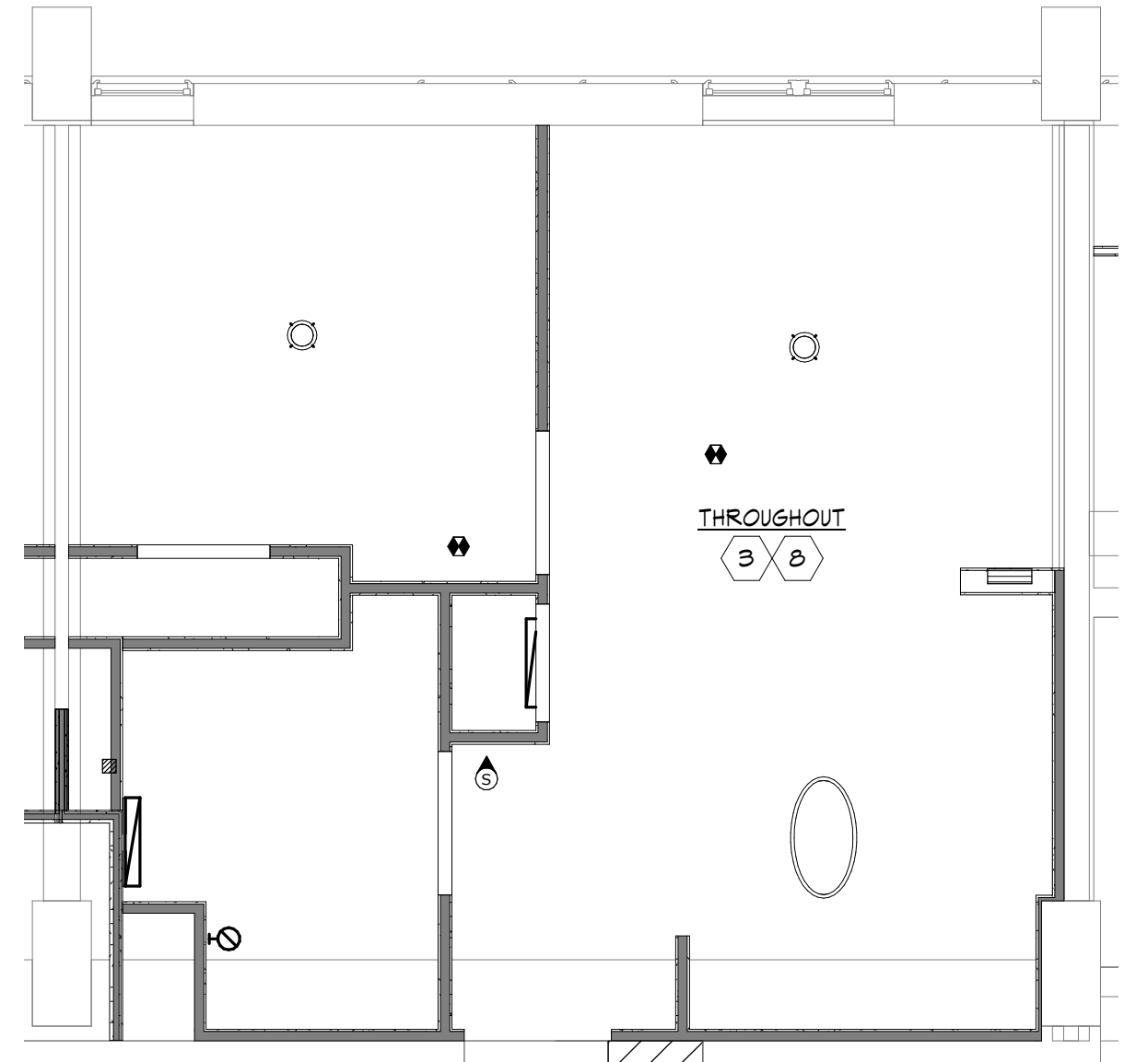
C  
A.354  
KITCHEN ELEVATION  
3/8" = 1'-0"



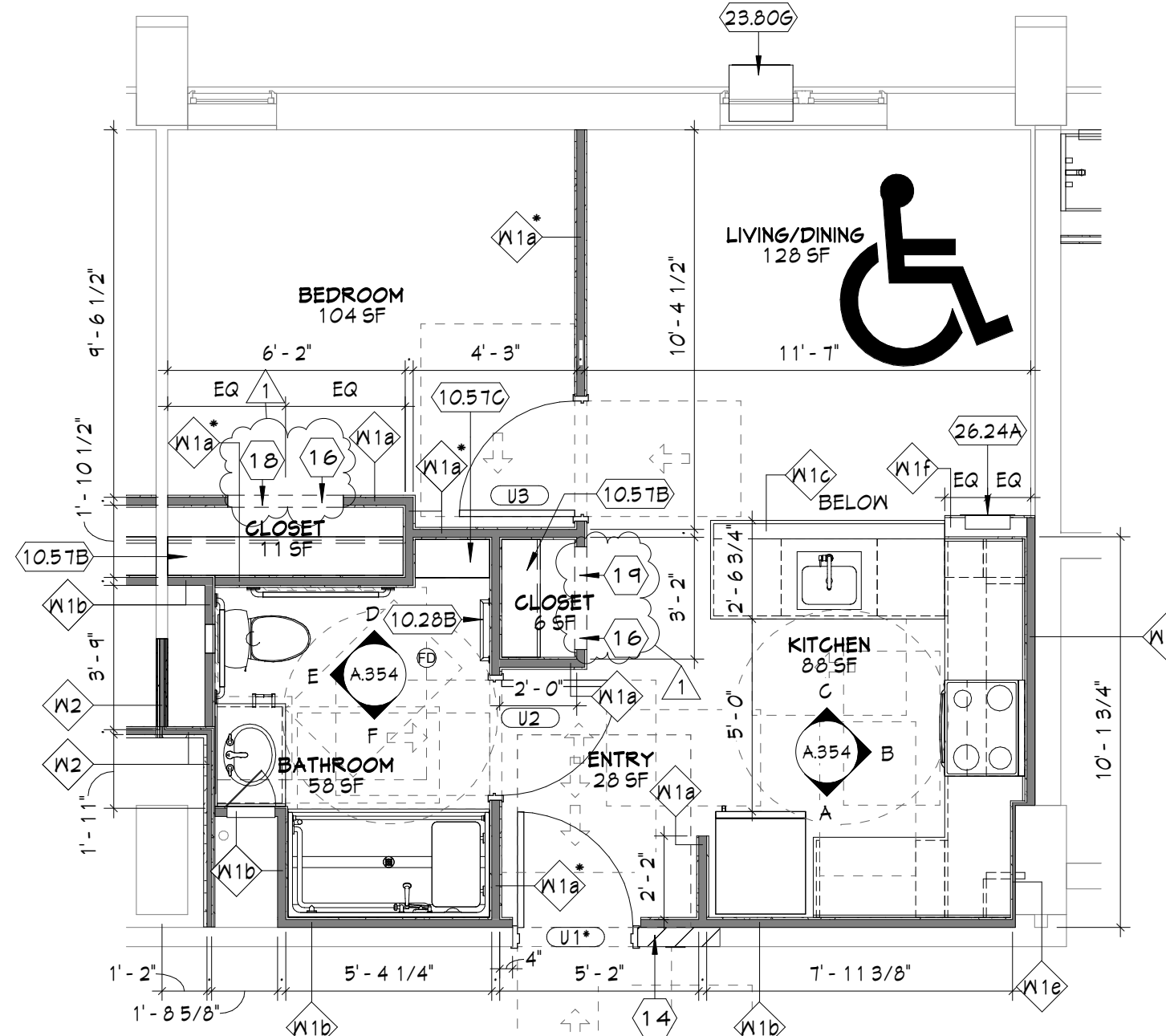
B  
A.354  
KITCHEN ELEVATION  
3/8" = 1'-0"



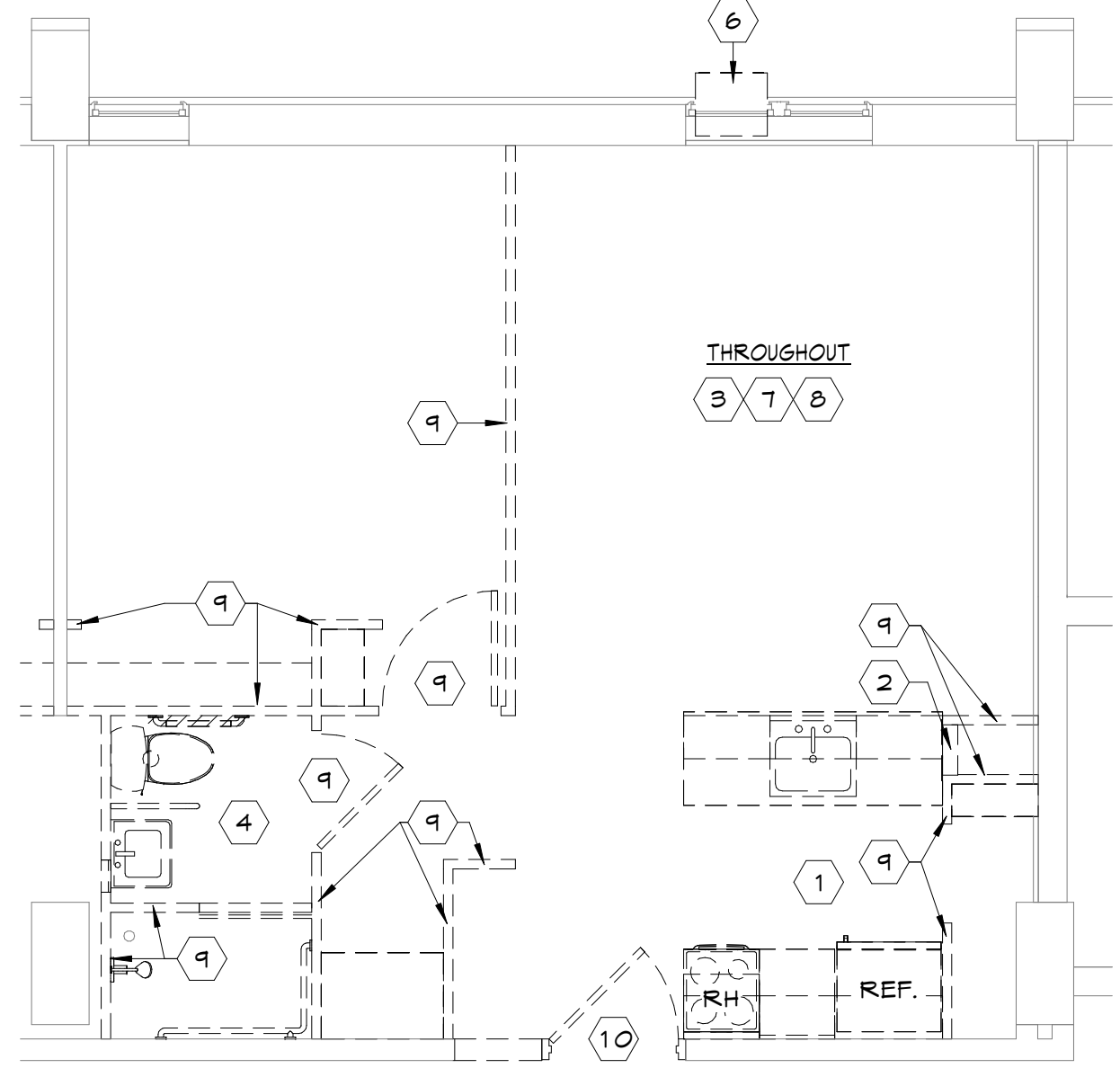
A  
A.354  
KITCHEN ELEVATION  
3/8" = 1'-0"



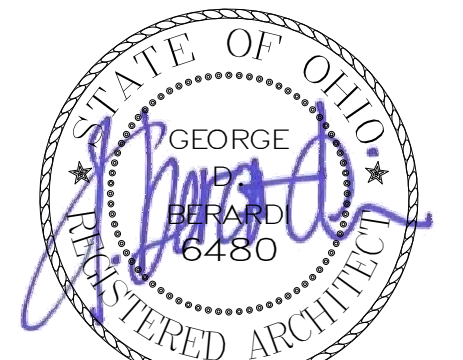
3  
A.354  
1 BR-A.2 UNIT RCP  
1/4" = 1'-0"



2  
A.354  
1 BR-A.2 UNIT PLAN  
1/4" = 1'-0"



1  
A.354  
1 BR-A.2 UNIT DEMO PLAN  
1/4" = 1'-0"



GEORGE D. BERARDI  
LICENSE # 6480  
EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

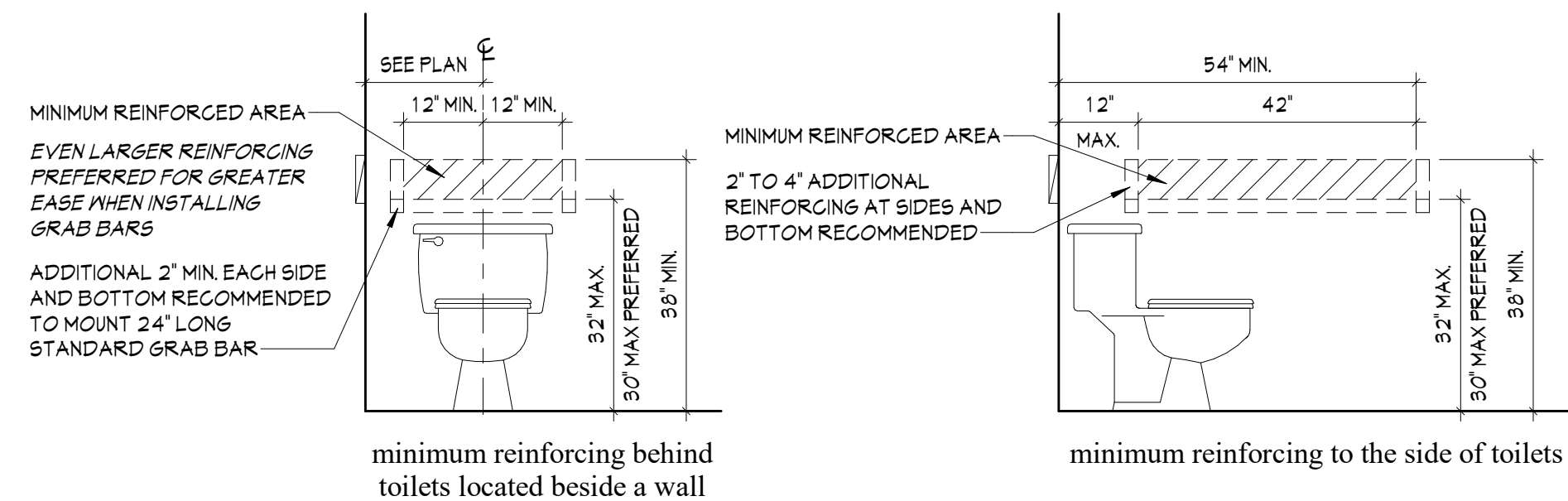
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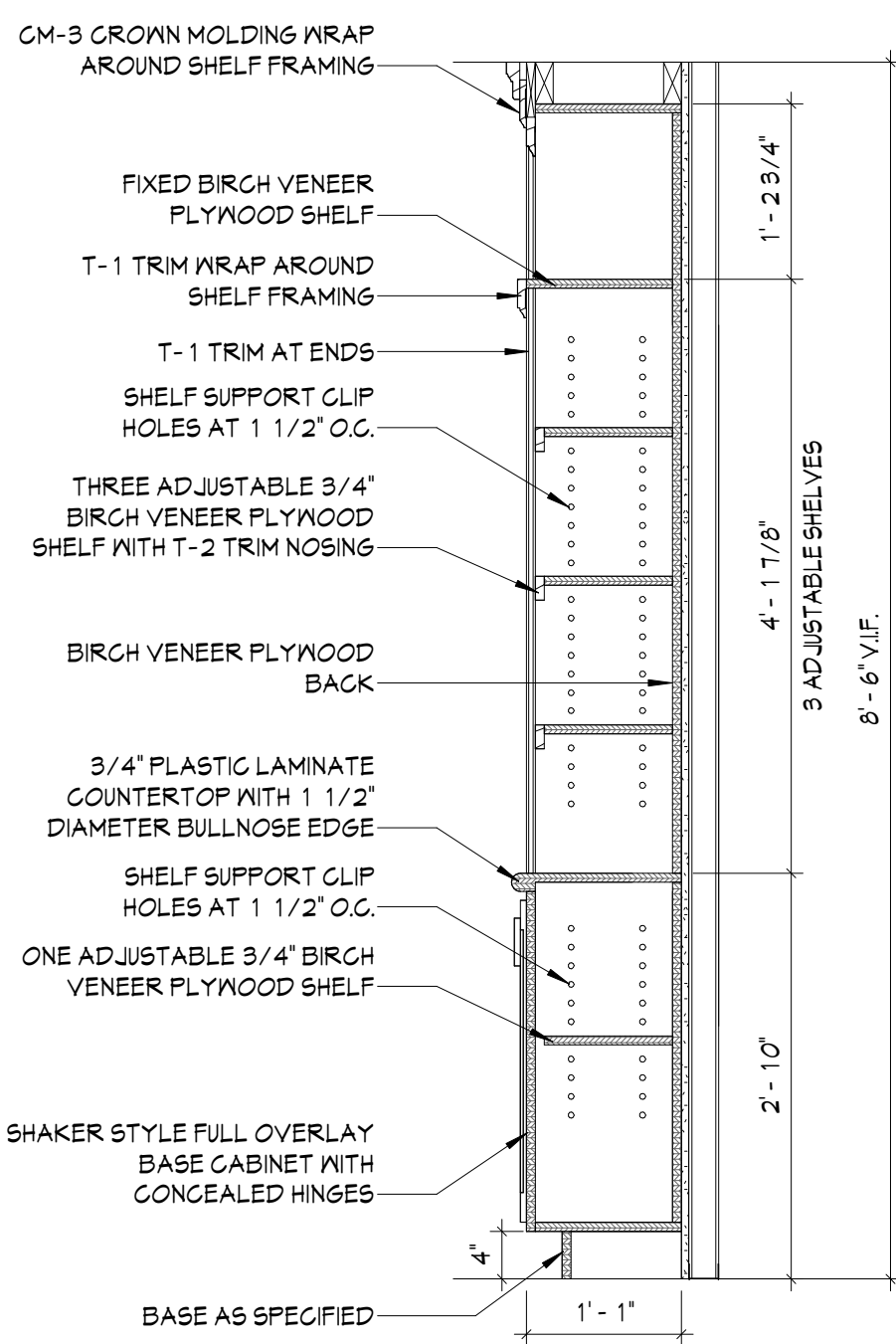
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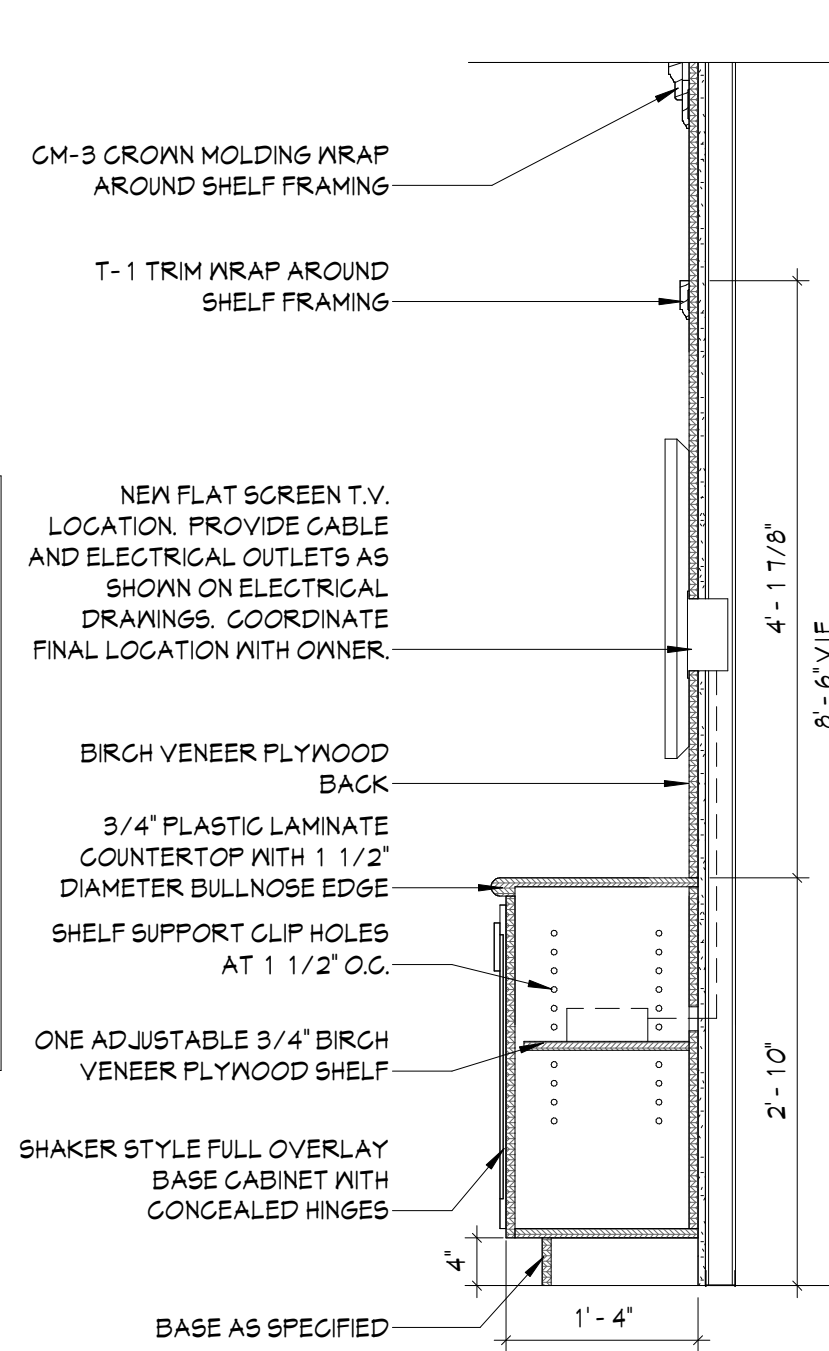


M WATER CLOSET BLOCKING  
A.450  
1/2" = 1'-0"

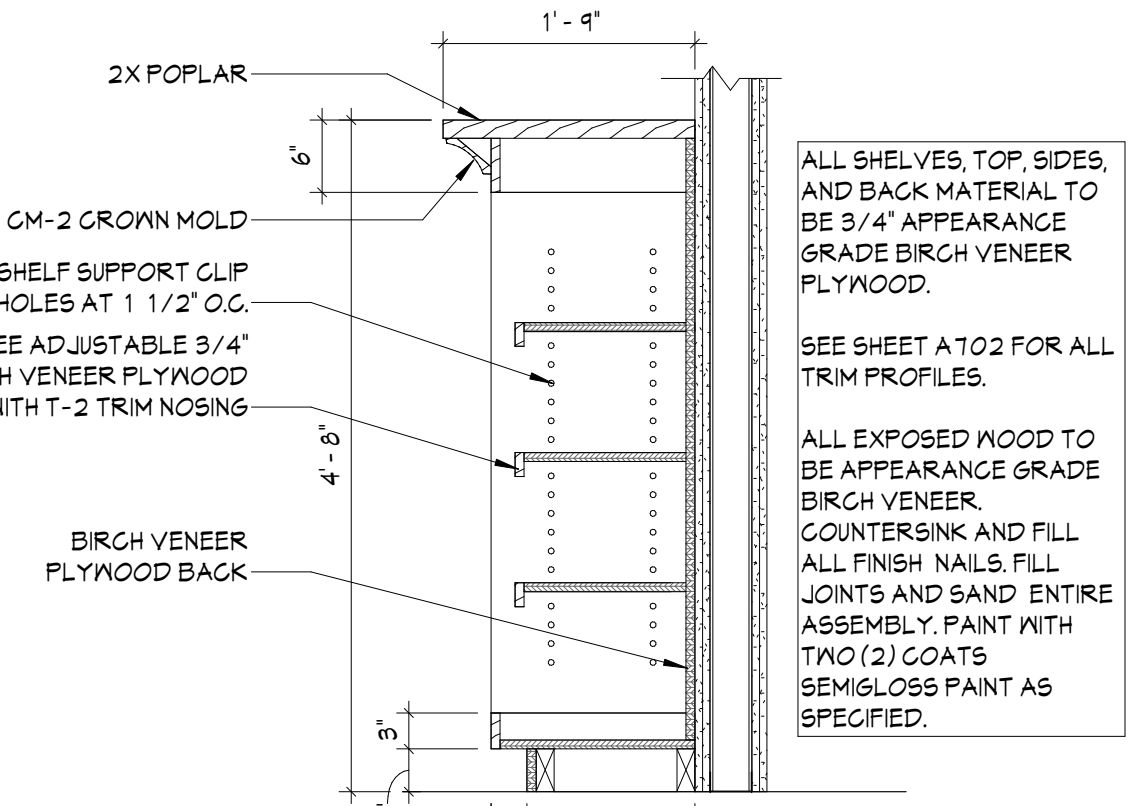
L SHOWER BLOCKING  
A.450  
1/2" = 1'-0"



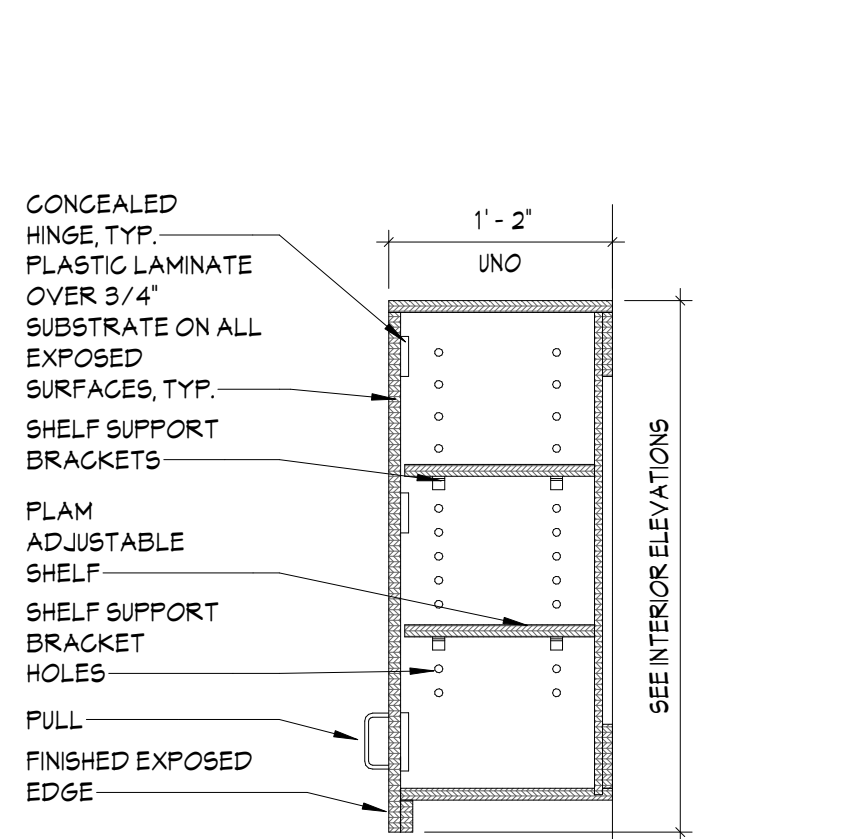
K MEDIA CENTER SECTION @ SHELVEING  
A.450  
3/4" = 1'-0"



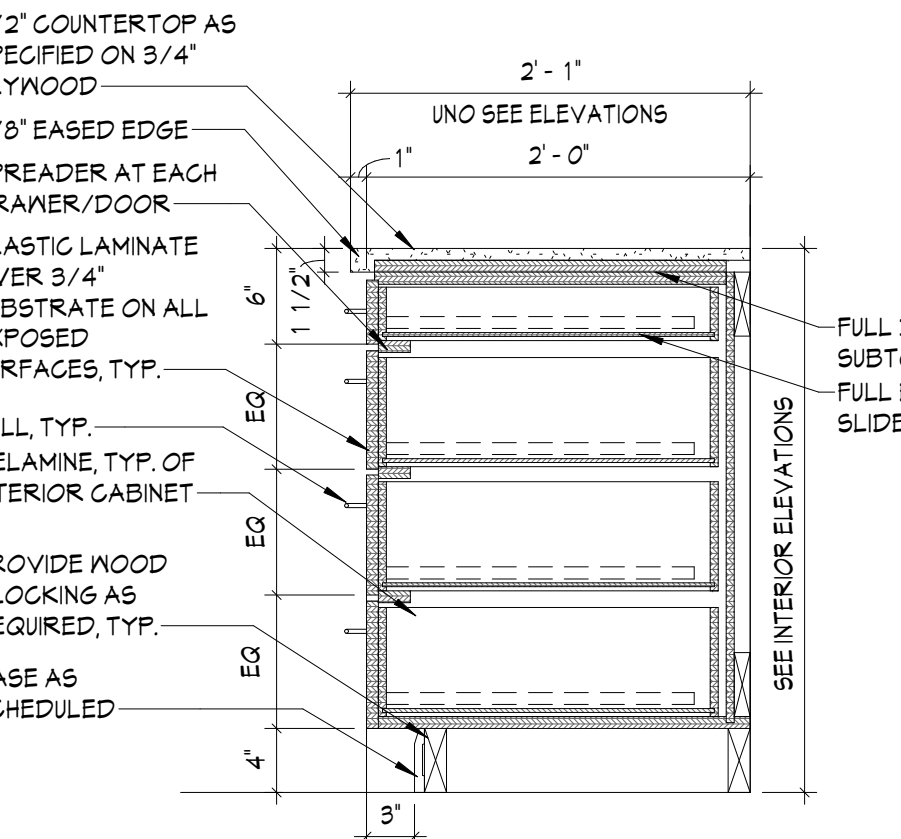
J MEDIA CENTER SECTION @ TV  
A.450  
3/4" = 1'-0"



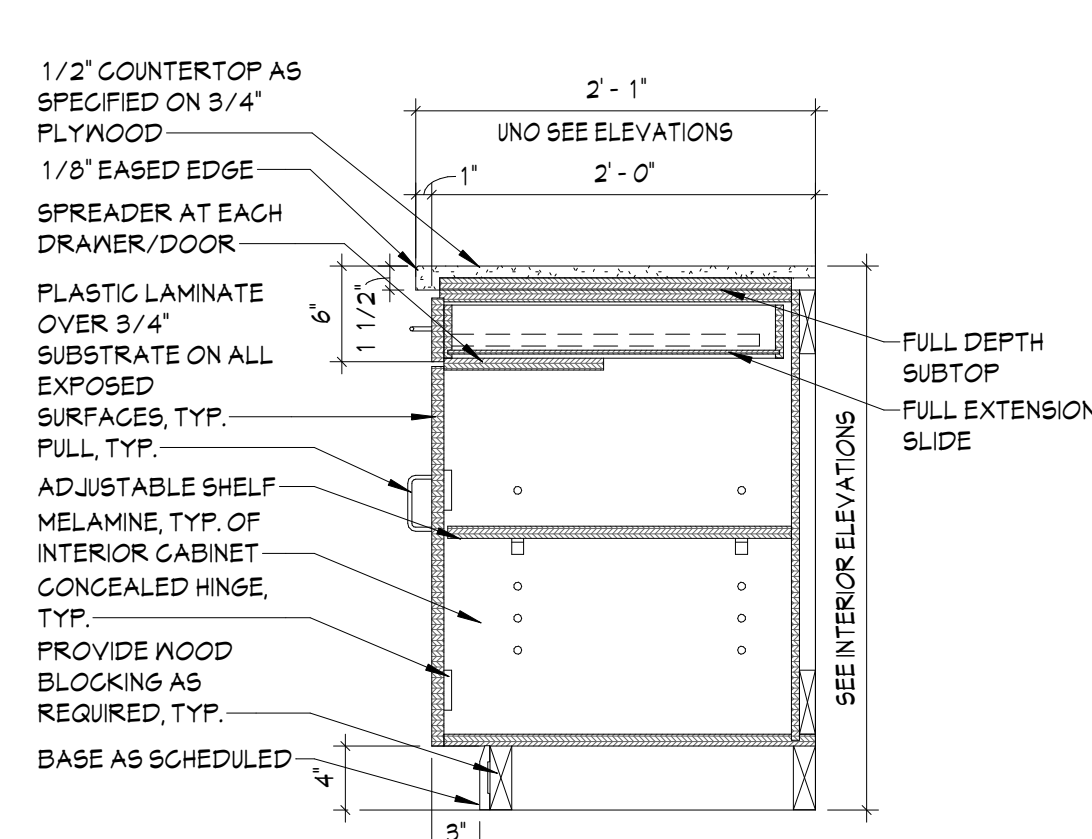
H BOOKSHELF DETAIL  
A.450  
3/4" = 1'-0"



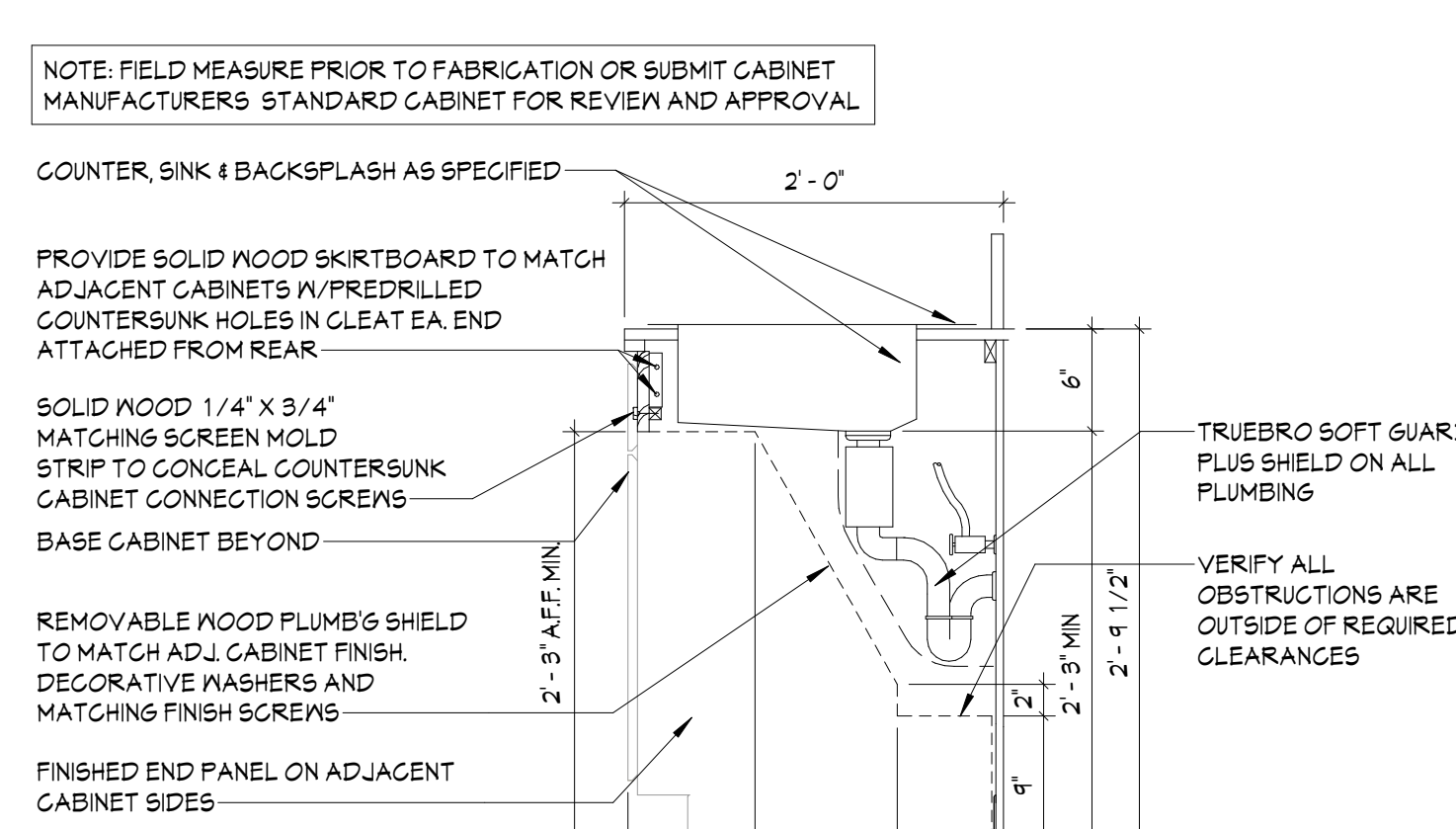
G WALL CABINET DETAIL  
A.450  
1" = 1'-0"



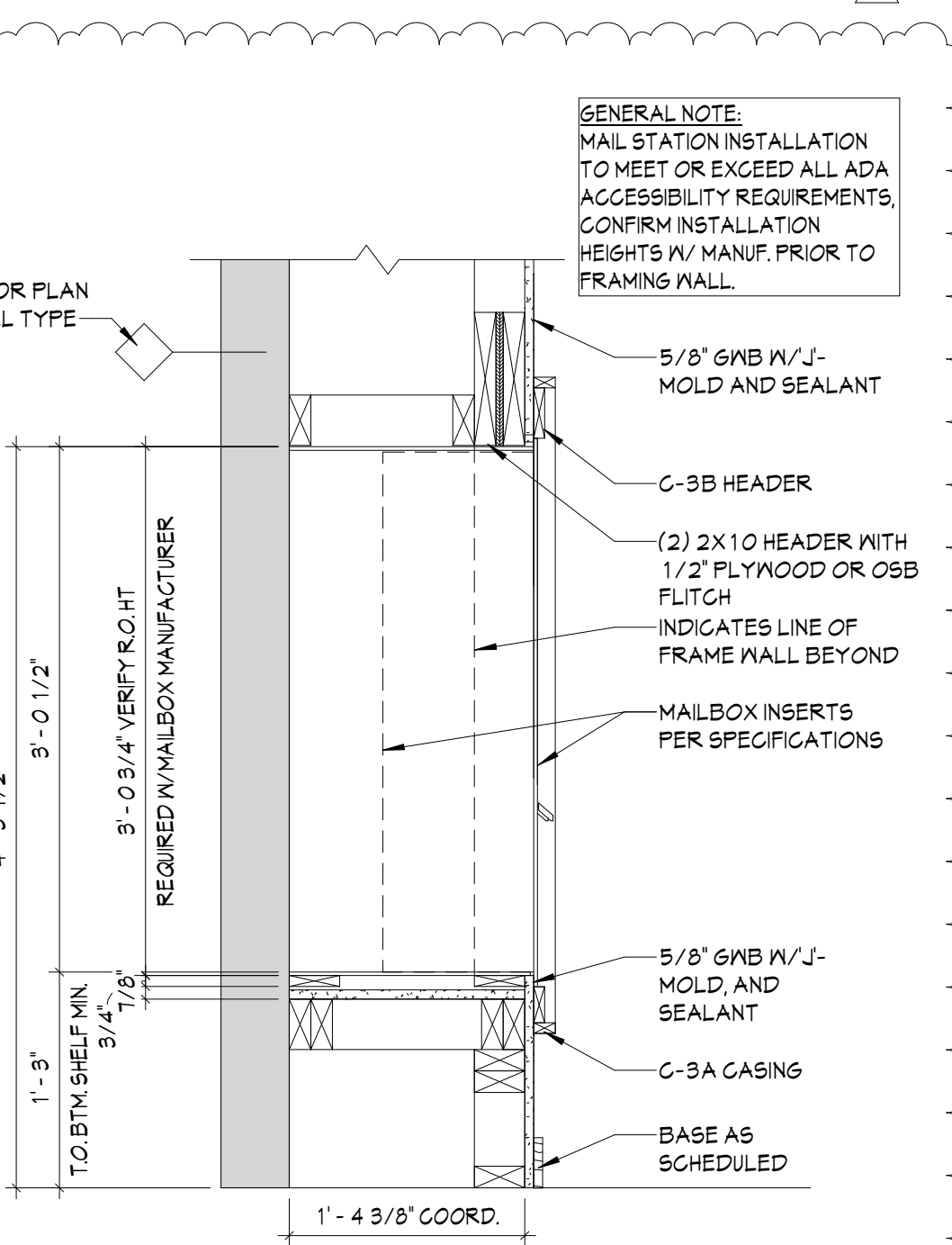
F DRAWER BASE CABINET DETAIL  
A.450  
1" = 1'-0"



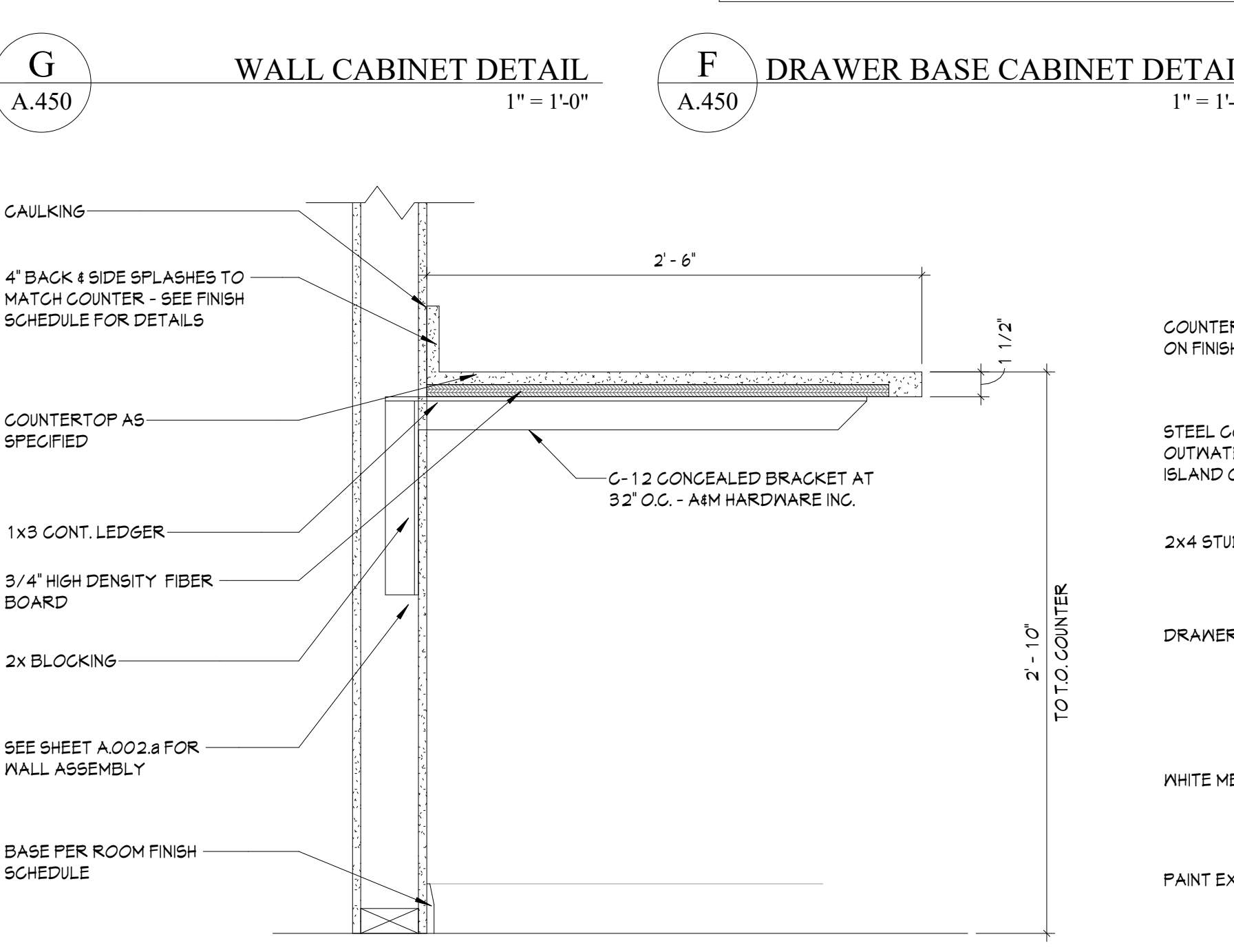
E BASE CABINET DETAIL  
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1" = 1'-0"



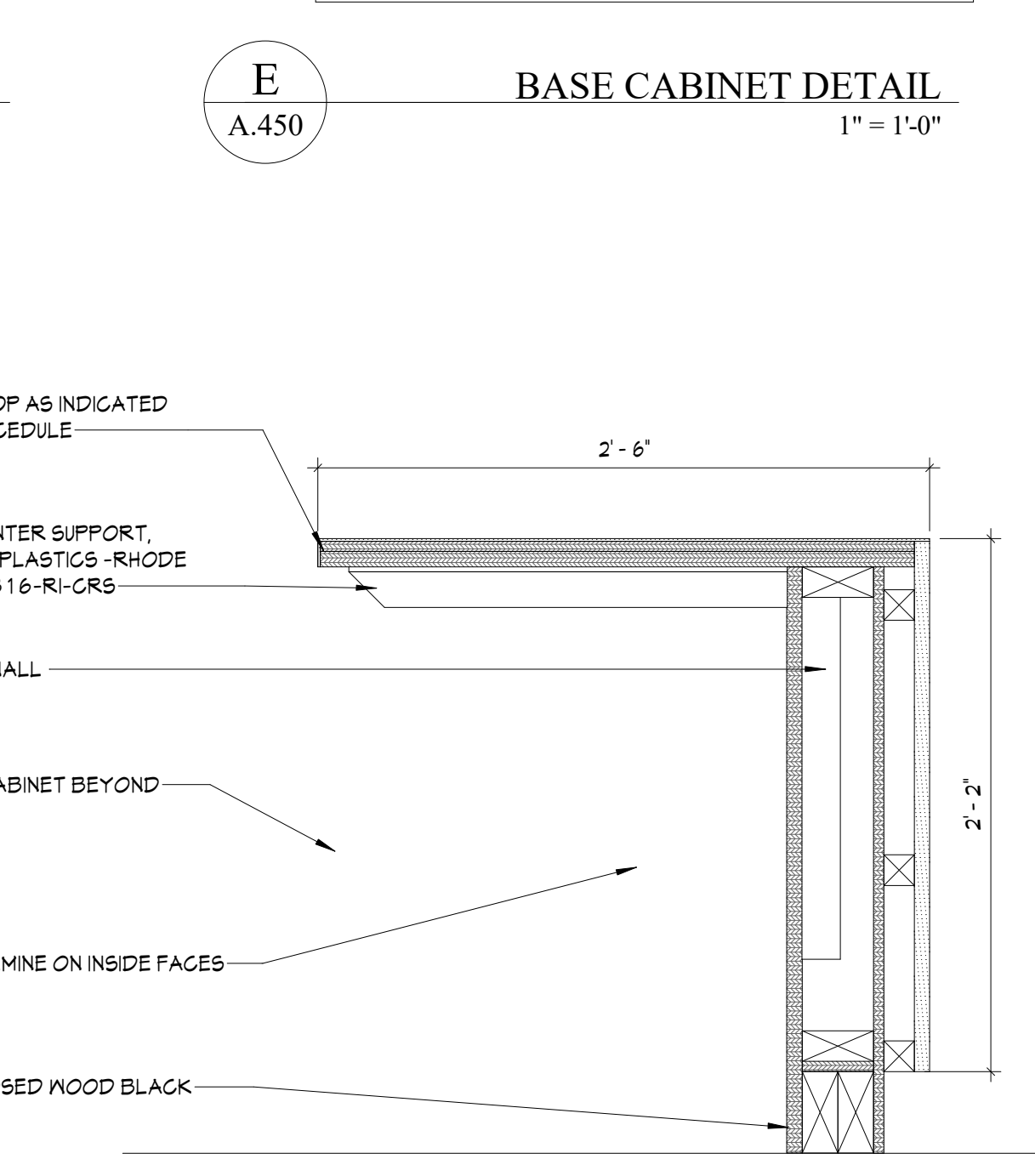
D REMOVABLE PLUMBING SHIELD  
A.450  
1" = 1'-0"



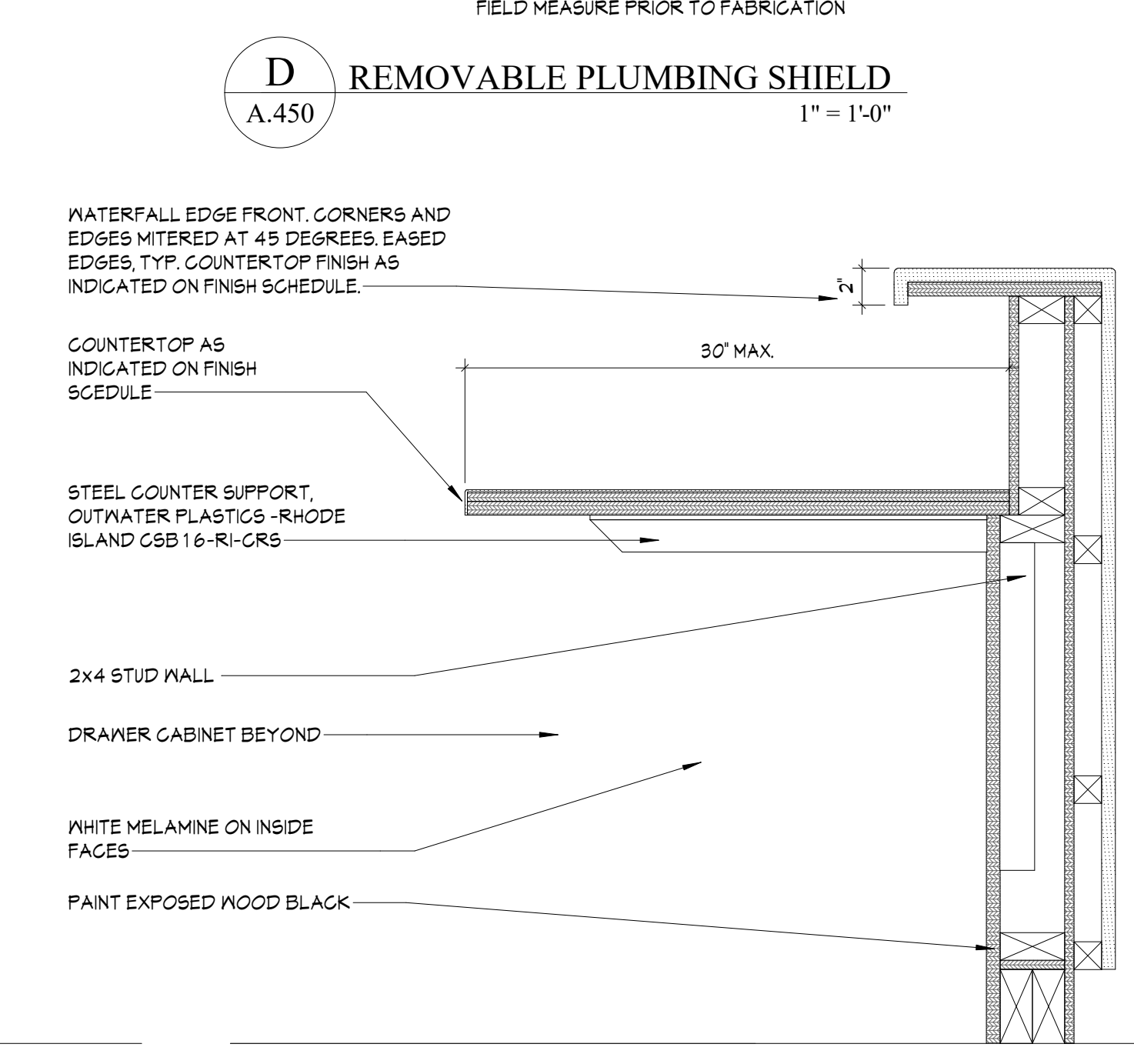
N MAIL STATION DETAIL  
A.450  
1" = 1'-0"



C COUNTER TOP DETAIL  
A.450  
1 1/2" = 1'-0"



B LOBBY RECEPTION DESK SECTION 2  
A.450  
1 1/2" = 1'-0"



A LOBBY RECEPTION DESK SECTION 1  
A.450  
1 1/2" = 1'-0"

## BID SET

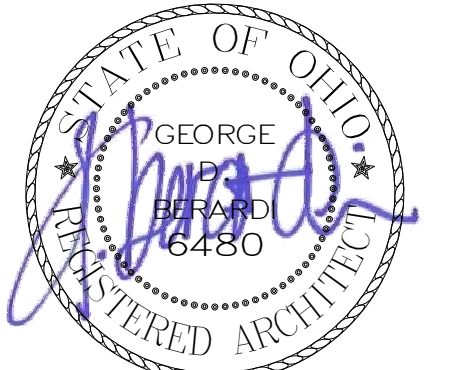
PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## INTERIOR DETAILS

# A.450

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GEORGE D. BERARDI  
 LICENSE # 6480  
 EXPIRES: 12.31.2025

# BEECHWOOD APARTMENTS

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## BID SET

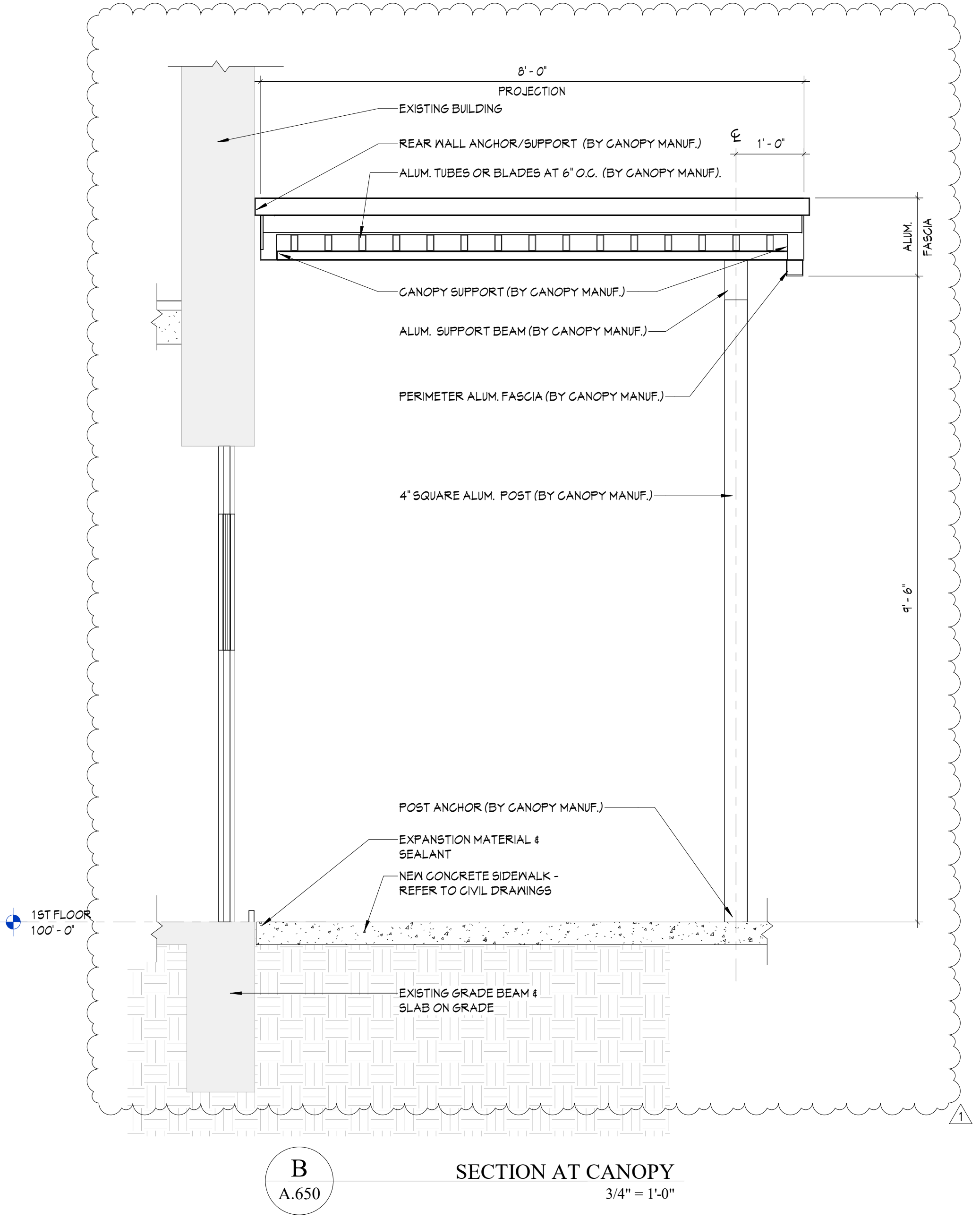
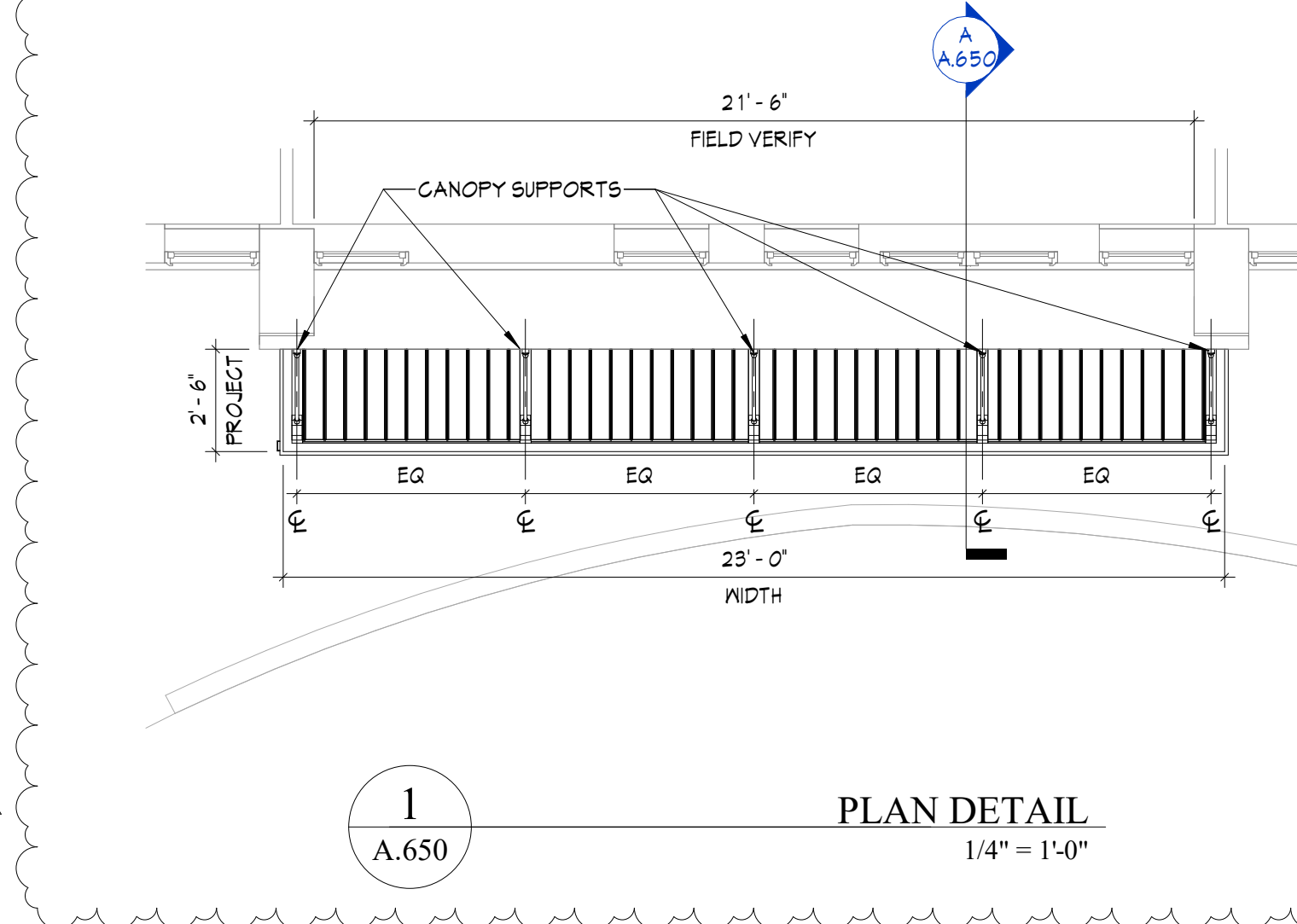
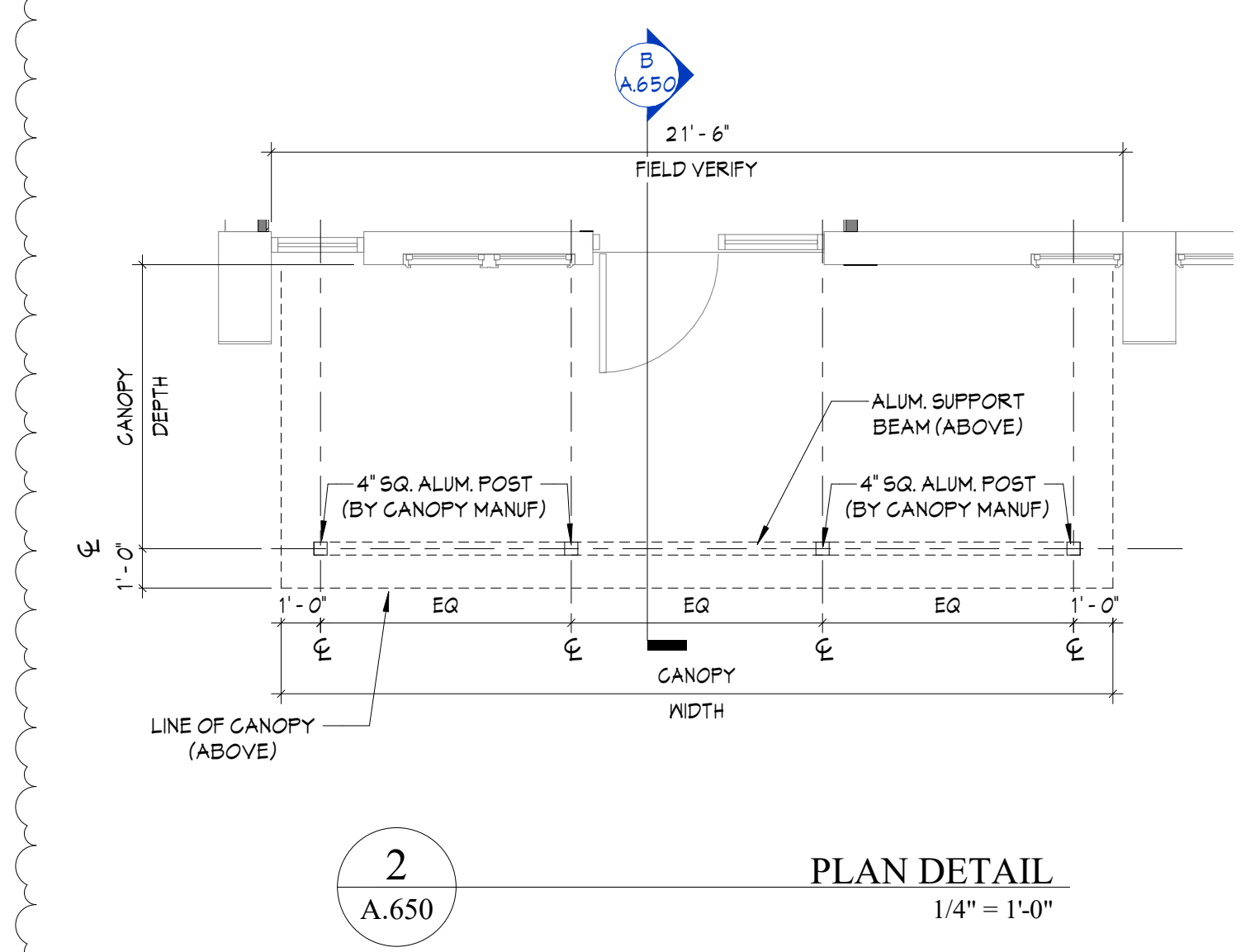
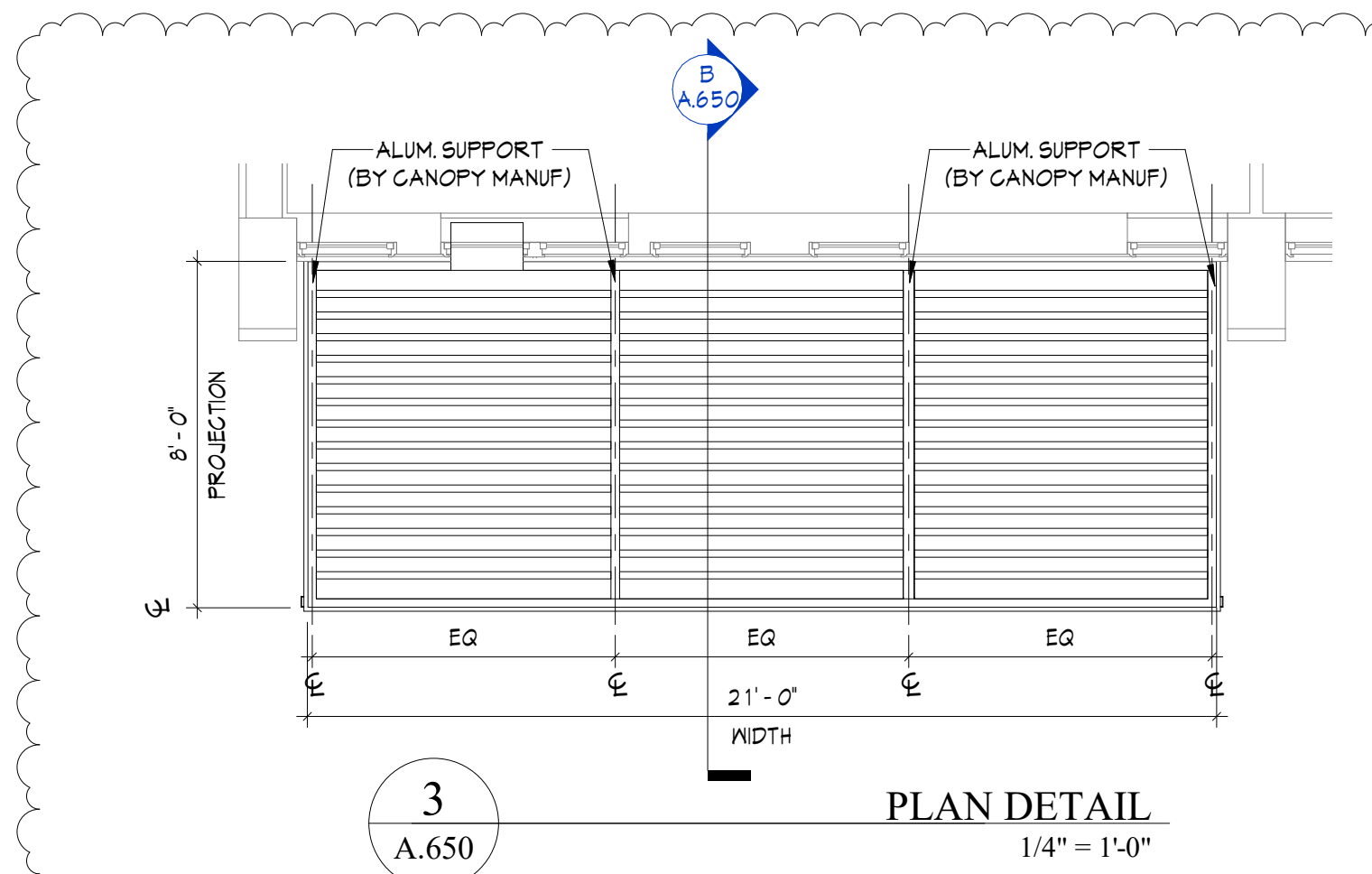
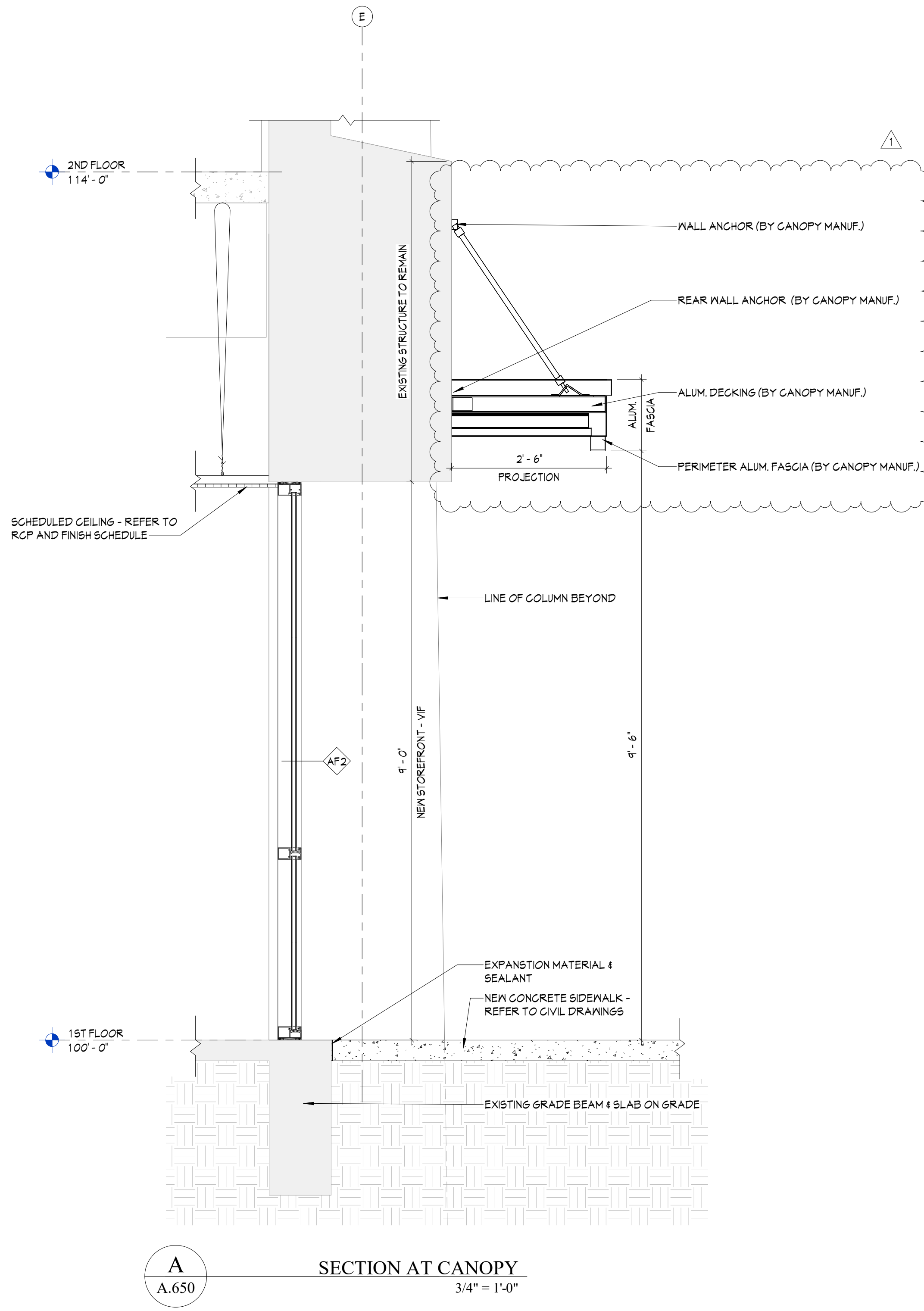
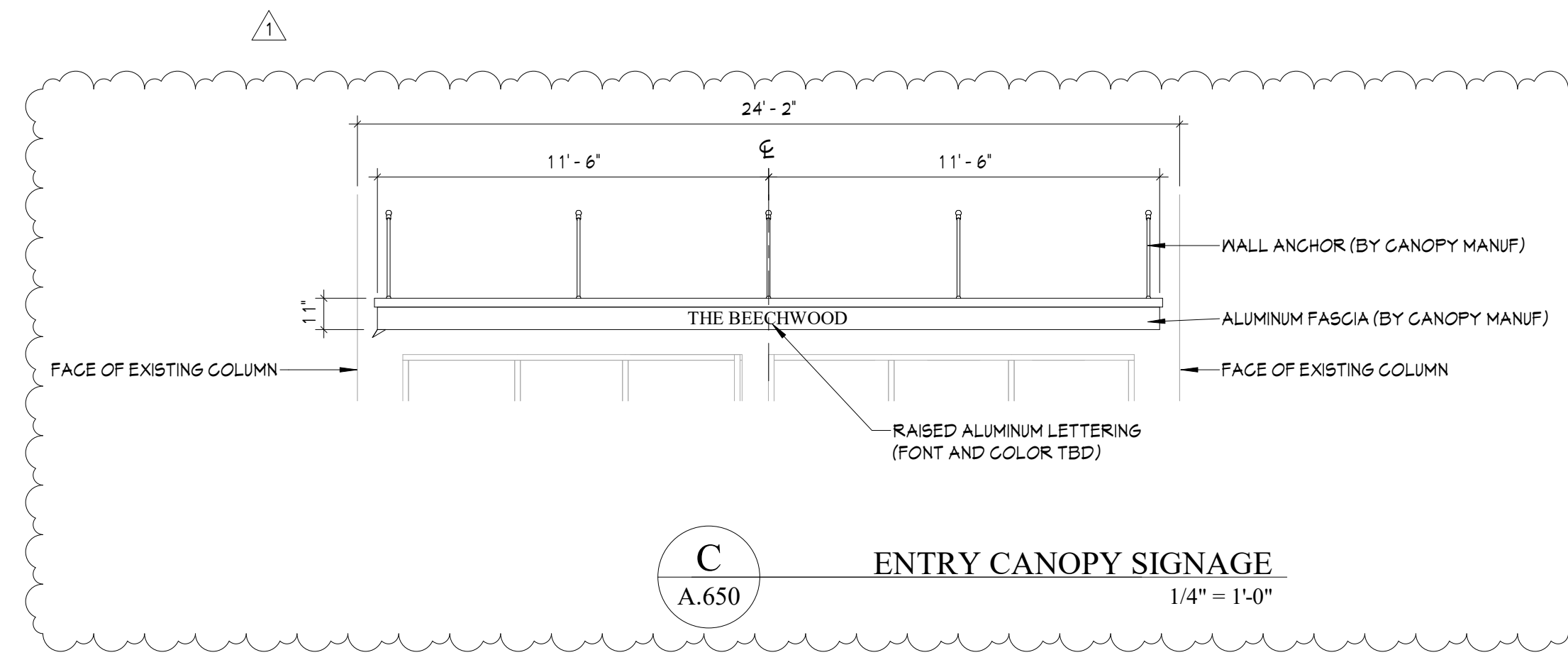
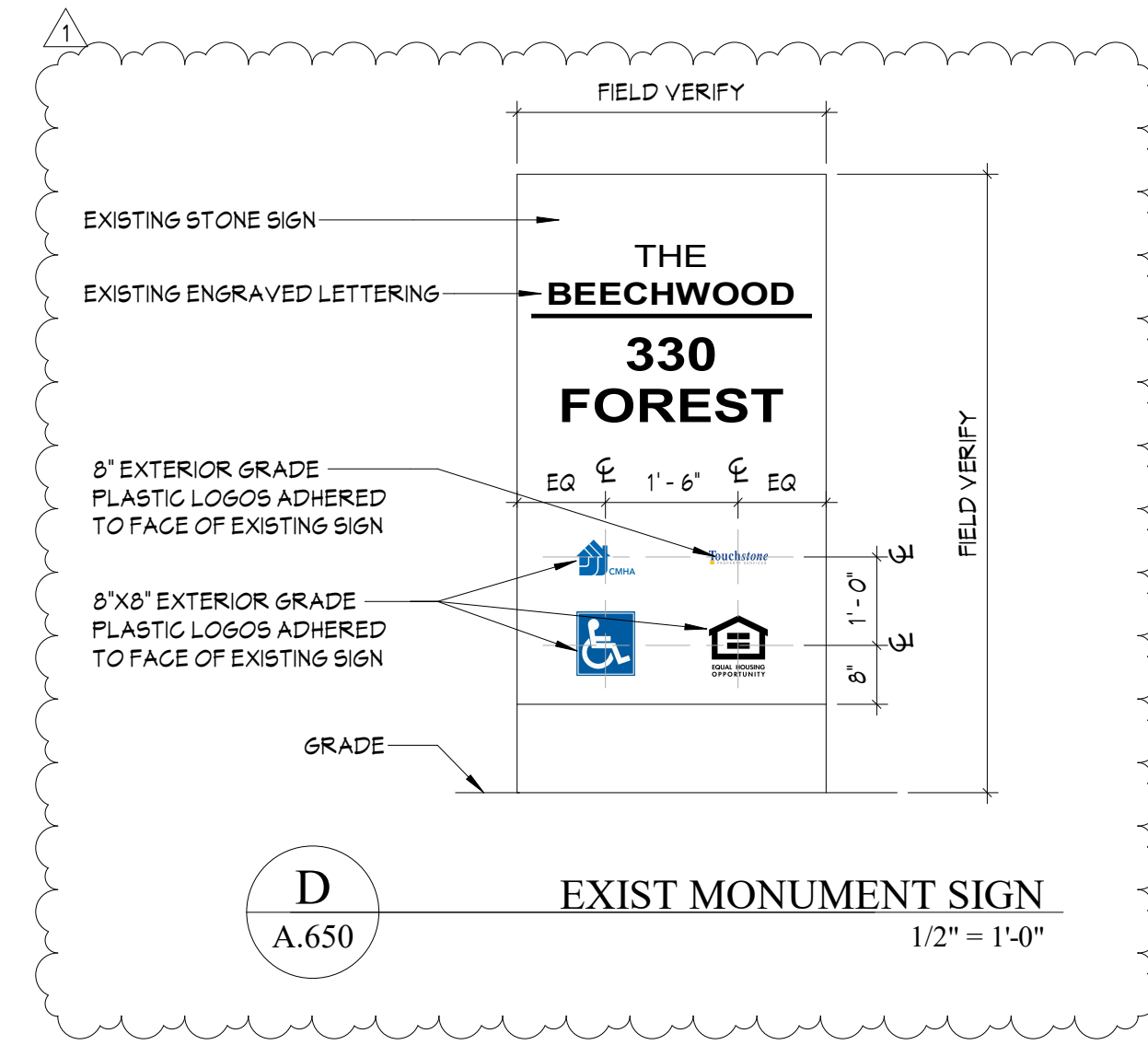
PROJECT DATE: 01.05.2024  
 PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## EXTERIOR DETAILS

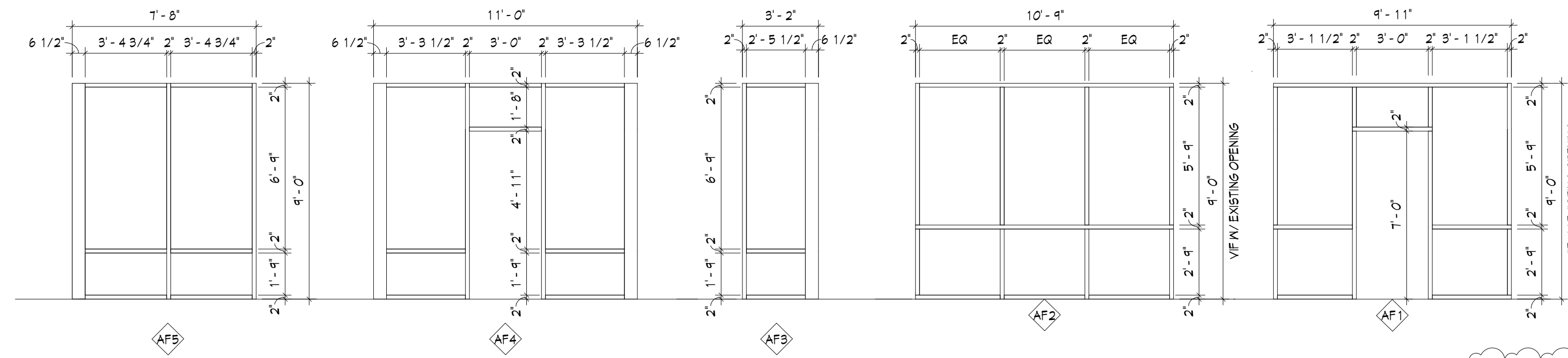
# A.650

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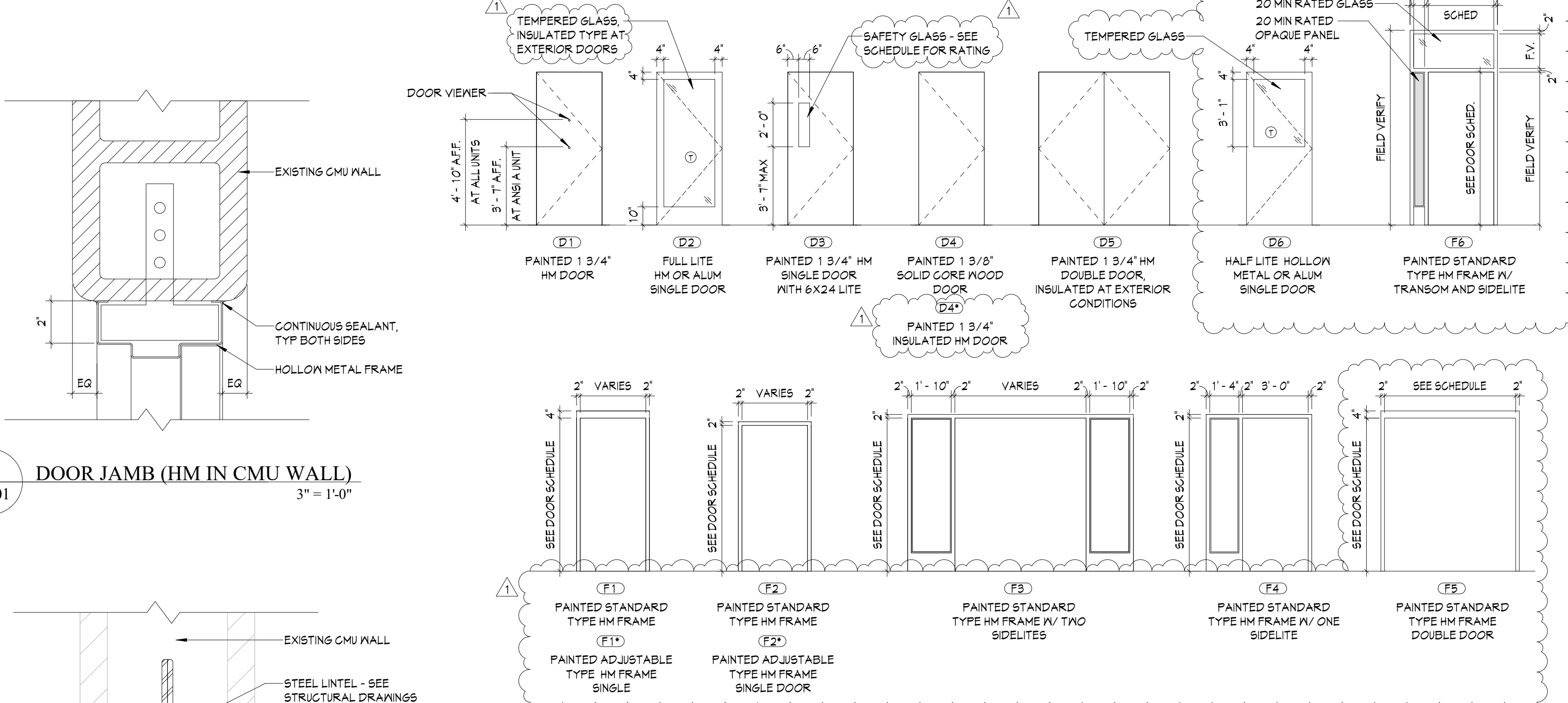


C:\Users\pmasteller\Documents\21-2021 TB\_CMHA Beechwood\_Central\_pmasteller.rvt

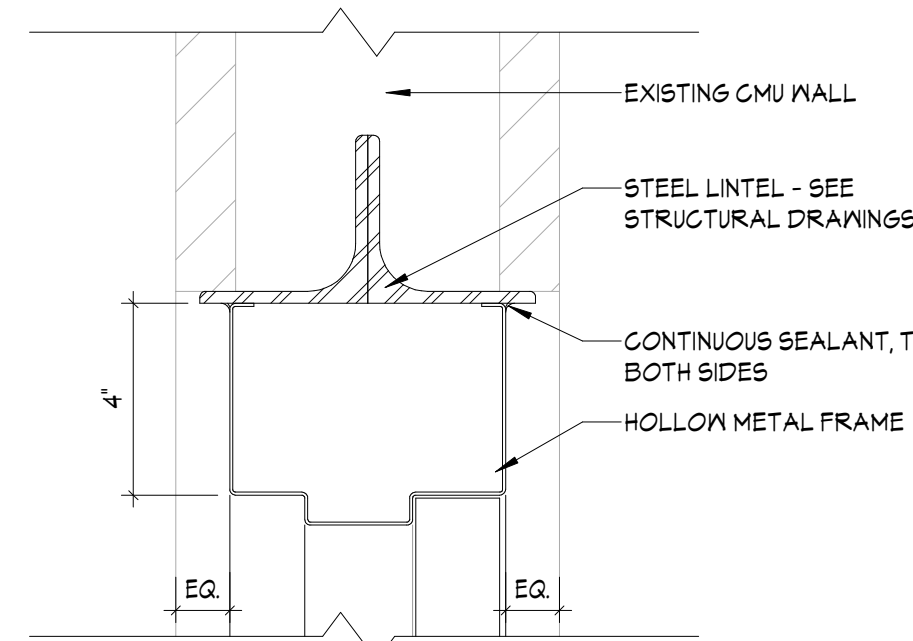
# STOREFRONT ELEVATIONS



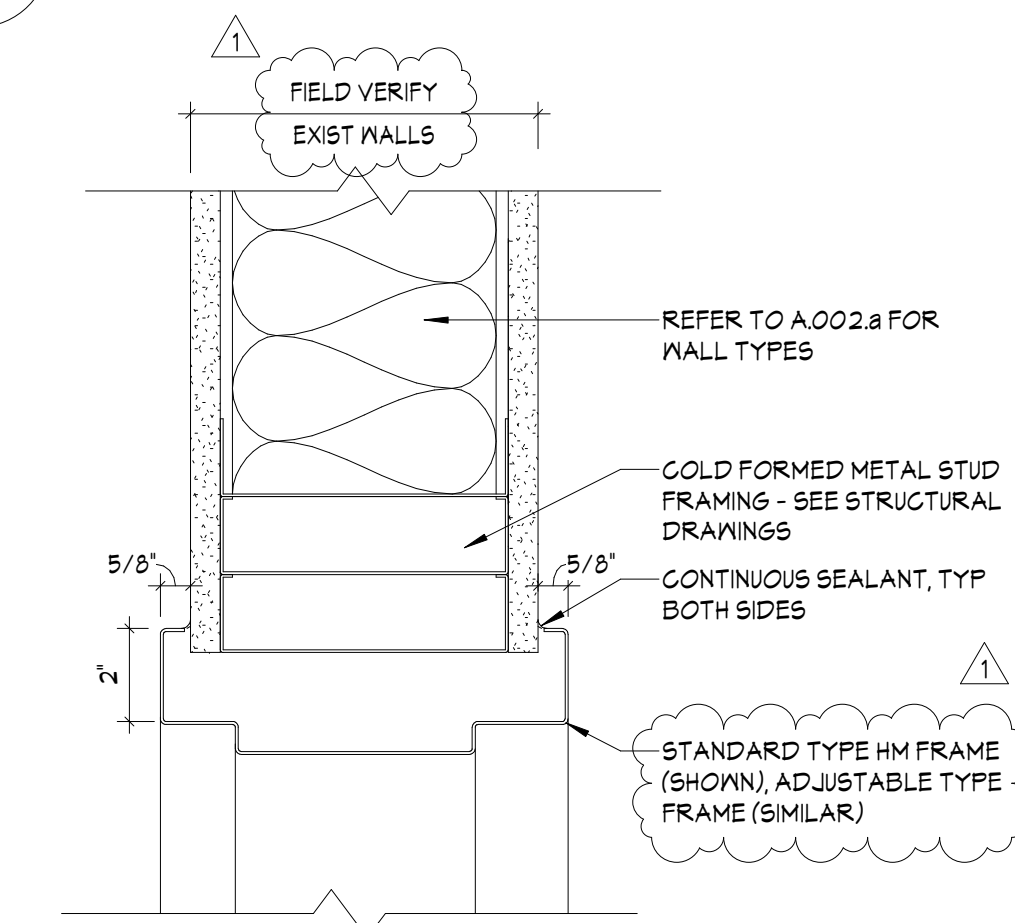
## DOOR AND FRAME ELEVATIONS



**C**  
A.701 DOOR JAMB (HM IN CMU WALL)  
3" = 1'-0"



**B**  
A.701 DOOR HEAD (HM IN CMU WALL)  
3" = 1'-0"



**A**  
A.701 INTERIOR HEAD/JAMB (HM IN METAL STUD WALL)  
3" = 1'-0"

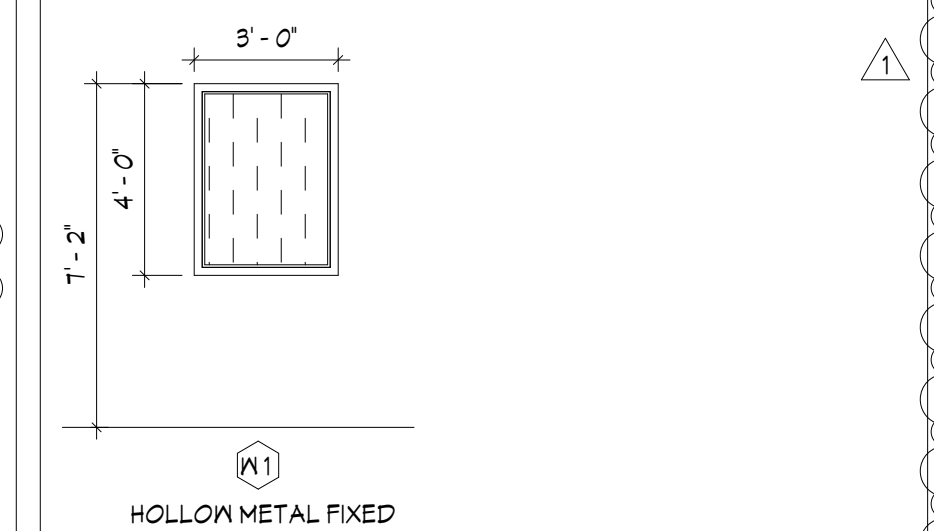
## DOOR SCHEDULE

Mark	Location	Width	Height	Door Elevation	Frame	Head	Jamb	Sill	Fire Rating	Hardware Group	Remarks
U1*	UNIT ENTRY - EXIST	3'-0"	6'-8"	D1	F1	B	C	-	20 MIN	T E	
U18*	UNIT ENTRY - EXIST	3'-0"	6'-8"	D1	F6	B	C	-	20 MIN	T E	
U2*	UNIT BATHROOM - EXIST	3'-0"	6'-8"	D4	F2*	A	A	-	9	9	
U2*	UNIT BATHROOM - EXIST	3'-0"	6'-8"	D4	F2*	A	A	-	9	9	
U28*	UNIT BATHROOM - EXIST	2'-8"	6'-8"	D4	F2*	A	A	-	11	11	
U3*	UNIT BEDROOM - EXIST	3'-0"	6'-8"	D4	F2*	A	A	-	11	11	
U3*	UNIT BEDROOM - EXIST	3'-0"	6'-8"	D4	F2*	A	A	-	11	11	
U3a	UNIT BEDROOM - EXIST	2'-10"	6'-8"	D4	F2*	A	A	-	11	11	
U4a	UNIT CLOSET	3'-0"	6'-8"	D4	F2*	A	A	-	11	11	
U4b	UNIT CLOSET	2'-8"	6'-8"	D4	F2*	A	A	-	11	11	
U4d	UNIT CLOSET - EXIST	2'-8"	6'-8"	D4	F2*	A	A	-	11	11	

## WINDOW SCHEDULE

Mark	Width	Height	Sill Height	Window Elevation	Head	Jamb	Sill	Rating
W1	3'-0"	4'-0"	3'-2"	W1	A	A	A	45 MIN.

## WINDOW ELEVATIONS



## DOOR HARDWARE GROUPS

H61	STORAGE SET	SELF CLOSING HINGES, LEVER HANDLE LATCH, WEATHER STRIPPING AND STOP, HINGES, LEVER HANDLE LATCH, WEATHER STRIPPING, CLOSER WITH OVERHEAD STOP.
H62	STORAGE SET	SELF-CLOSING HINGES, LEVER HANDLE LATCH, WEATHER STRIPPING AND STOP.
H63	PASSAGE SET	SELF-CLOSING HINGES, LEVER HANDLE LATCH, WEATHER STRIPPING AND STOP.
H64	OFFICE SET	LEVER HANDLE LATCH, WEATHER STRIPPING AND STOP.
H65	PANIC SET (EXTERIOR)	MECHANICAL CRASH BAR WITH EXTERIOR LEVER.
H66	MAIN ENTRY SET	ELECTRONIC LOCK, DOORS TO REMAIN READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR CARD READER, AUTOMATIC DOOR CLOSER, WEATHER STRIPPING AND STOP, DOOR KING SCHLAGE SMART DEADBOLT BE461 ELECTRONIC LOCK AND SCHLAGE LEVER HANDLE LATCH DOORS TO REMAIN READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR CARD READER, AUTOMATIC DOOR CLOSER, WEATHER STRIPPING AND STOP.
H67	UNIT ENTRY SET	ELECTRONIC LOCK AND SCHLAGE LEVER HANDLE LATCH DOORS TO REMAIN READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR CARD READER, AUTOMATIC DOOR CLOSER, WEATHER STRIPPING AND STOP.
H68	COMMON AREA SET	ELECTRONIC LOCK AND SCHLAGE LEVER HANDLE LATCH DOORS TO REMAIN READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR CARD READER, AUTOMATIC DOOR CLOSER, WEATHER STRIPPING AND STOP.
H69	PRIVACY SET	LEVER HANDLE LATCH
H610	PASSAGE SET	HINGES, LEVER HANDLE LATCH, WEATHER STRIPPING, CLOSER W/ OVERHEAD STOP
H611	PASSAGE SET	HINGES, LEVER HANDLE LATCH STOP
H612	PANIC SET (STAIR)	MECHANICAL CRASH BAR, LEVER HANDLE LATCH, SELF-CLOSING AND LATCHING

## DOOR SCHEDULE REMARKS

- A. ELECTRONIC LOCK
- B. PANIC HARDWARE ON EGRESS SIDE
- C. CLOSER W/ OVERHEAD STOP
- D. FLUSH BOLT ON INACTIVE LEAF
- E. 10" KICKPLATE AT HC UNITS

# DOOR SCHEDULE

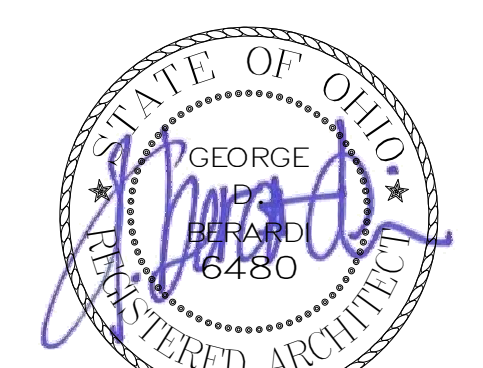
Mark	Location	Width	Height	Door Elevation	Frame	Head	Jamb	Sill	Fire Rating	Hardware Group	Remarks
100A	CORRIDOR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	3	A, B	
100B	CORRIDOR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	3	A, B	
100C	CORRIDOR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	3	A, B	
100D	CORRIDOR	4'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	6	A, B	
101	MENS	3'-0"	6'-8"	ETR	ETR	ETR	ETR	ETR	8	A	
102	MOMENS	3'-0"	6'-8"	ETR	ETR	ETR	ETR	ETR	8	A	
104A	LARGE COMMUNITY AREA	6'-0"	7'-0"	D5	F3	A	A	-	45 MIN	8	A, B
104C	LARGE COMMUNITY AREA	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	6	A, B	
104D	LARGE COMMUNITY AREA	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	6	A, B	
104E	STORAGE	3'-0"	6'-8"	ETR	ETR	ETR	ETR	ETR	1	D	
104F	STORAGE	6'-0"	6'-8"	ETR	ETR	ETR	ETR	ETR	1	D	
104G	STORAGE	3'-0"	6'-8"	ETR	ETR	ETR	ETR	ETR	1	D	
105A	RECEPTION	3'-0"	7'-0"	D2	F4	A	A	-	20 MIN	8	A
105B	OFFICE	3'-0"	7'-0"	D1	F2	A	A	-	4	4	
106	REG. DIR.	2'-8"	7'-0"	ETR	ETR	ETR	ETR	ETR	4	4	
107	OFFICE HALLWAY	3'-0"	7'-0"	D1	F1	B	C	-	20 MIN	0	
107A	STORAGE	3'-0"	7'-0"	D1	F2	A	A	-	1	1	
108	OFFICE	3'-0"	7'-0"	D1	F2	A	A	-	4	4	
109	OFFICE	3'-0"	7'-0"	D1	F2	A	A	-	4	4	
111	ELECTRICAL	7'-0"	6'-8"	ETR	ETR	ETR	ETR	ETR	2	2	
113A	VESTIBULE	3'-0"	7'-0"	D2	AL	-	-	-	10	B	
113B	VESTIBULE	3'-0"	7'-0"	D2	AL	-	-	-	6	A, B	
114	MAINTENANCE SPACE	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	1	
115	FIRE COMMAND CENTER	3'-0"	7'-0"	D1	F1	B	C	-	45 MIN	1	
118A	BOILER ROOM	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	1	
118B	BOILER ROOM	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	1	
120	STAFF LOUNGE	3'-0"	6'-8"	ETR	ETR	ETR	ETR	ETR	9	A	
122	MEETING ROOM	3'-0"	7'-0"	D1	F1	B	C	-	11	11	
124A	ARTS AND CRAFTS	3'-0"	6'-8"	-	-	-	-	-	8	A	
124B	ARTS AND CRAFTS	3'-0"	6'-8"	-	-	-	-	-	8	A	
124C	STORAGE	6'-0"	6'-8"	ETR	ETR	ETR	ETR	ETR	1	D	
124D	STORAGE	3'-0"	6'-8"	ETR	ETR	ETR	ETR	ETR	1	D	
125	OFFICE	3'-0"	7'-0"	D1	F2	A	A	-	4	4	
124	IT	3'-0"	6'-8"	D5	F5	B	C	-	20 MIN	1	D
201	LAUNDRY	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	8	A	
203	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	2	D	
301	HALL	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	1	
302	MAINTENANCE ROOM	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	3	3	
303	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	11	11	
401	LAUNDRY	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	8	A	
403	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	D	
501	HALL	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	1	
502	MAINTENANCE ROOM	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	3	3	
503	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	11	11	
601	LAUNDRY	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	8	A	
603	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	D	
701	HALL	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	1	
702	MAINTENANCE ROOM	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	3	3	
703	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	11	11	
801	LAUNDRY	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	8	A	
803	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	D	
901	HALL	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	1	
902	MAINTENANCE ROOM	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	3	3	
903	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	11	11	
1001	LAUNDRY	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	8	A	
1003	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	D	
1101	HALL	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	1	
1102	MAINTENANCE ROOM	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	3	3	
1103	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	11	11	
1201	LAUNDRY	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	8	A	
1203	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	D	
1301	HALL	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	1	1	
1302	MAINTENANCE ROOM	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	3	3	
1303	STORAGE	6'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	11	11	
1400	ELEVATOR PENTHOUSE	2'-8"	7'-0"	ETR	ETR	ETR	ETR	ETR	2	2	
N5-1	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	5	B, C	
N5-2	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-3	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-4	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-5	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-6	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-7	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-8	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-9	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-10	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-11	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-12	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
N5-13	NORTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-1	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	5	B, C	
S5-2	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-3	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-4	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-5	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-6	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-7	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-8	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-9	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-10	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-11	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-12	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	
S5-13	SOUTH STAIR	3'-0"	7'-0"	ETR	ETR	ETR	ETR	ETR	12	B	

## GENERAL DOOR NOTE/LEGEND

- ALL EGRESS DOORS SHALL BE OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF SPECIAL KNOWLEDGE OR KEY.
- ALL FIRE RATED DOORS SHALL BEAR MANUFACTURER LABEL AND DOOR TYPE RATING INSPECTION AGENCY AND FIRE PROTECTION RATING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND FLUSH DOOR/SIZES AND FRAMES WITH DIMENSIONS, WALL TYPES AND FINISH WALL THICKNESSES.
- ALL HINGES AT EXTERIOR DOORS SHALL HAVE NON-REMOVABLE 6061-T6 ALUMINUM / 2".
- THRESHOLDS AT ALL DOORS SHALL BE HANDICAP COMPLIANT 6061-T6 ALUMINUM / 2".
- SEE THIS SHEET FOR DOOR HARDWARE SCHEDULE AND SPECIFICATIONS FOR OTHER DOOR AND HARDWARE AND KEYING REQUIREMENTS.
- DOOR CLOSER TO BE MOUNTED ON BLIND SIDE OF DOOR IN COMMON AREAS.
- THE MAXIMUM FORCE REQUIRED FOR PUSHING OR PULLING OPEN AN INTERIOR NON FIRE RATED DOOR, SHALL BE 5 LB.F, ADAAG 4.13.1.1.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON LIVING UNIT OR PUBLIC USE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- UNDERGRIP INTERIOR UNIT DOORS 1" FROM FINISHED FLOOR ELEVATION - COORDINATE WITH FLOORING THICKNESS.
- SEE DETAIL 1/A TO 1 FOR ALL EXTERIOR DOOR FLUSH ENTRIES.
- ALL EXISTING DOORS AND FRAMES TO REMAIN TO BE PAINTED AND RECEIVE NEW HARDWARE. GC TO VERIFY EXISTING HARDWARE PREP PRIOR TO ORDERING HARDWARE.

## LEGEND

- DOOR TYPES:**
- ND = FLUSH WOOD
  - PS = PANEL STEEL
  - GS = GLASS STEEL
  - GNM = GLASS WOOD ALUM



**BEECHWOOD APARTMENTS**  
330 Forest Ave.  
Cincinnati, OH 45229

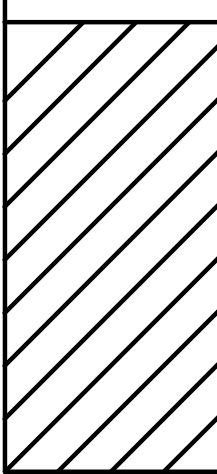
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- THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
- ADDITIONALLY, SEE GENERAL INFORMATION ON "A" SHEETS.
- THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITT

**CAUTION**



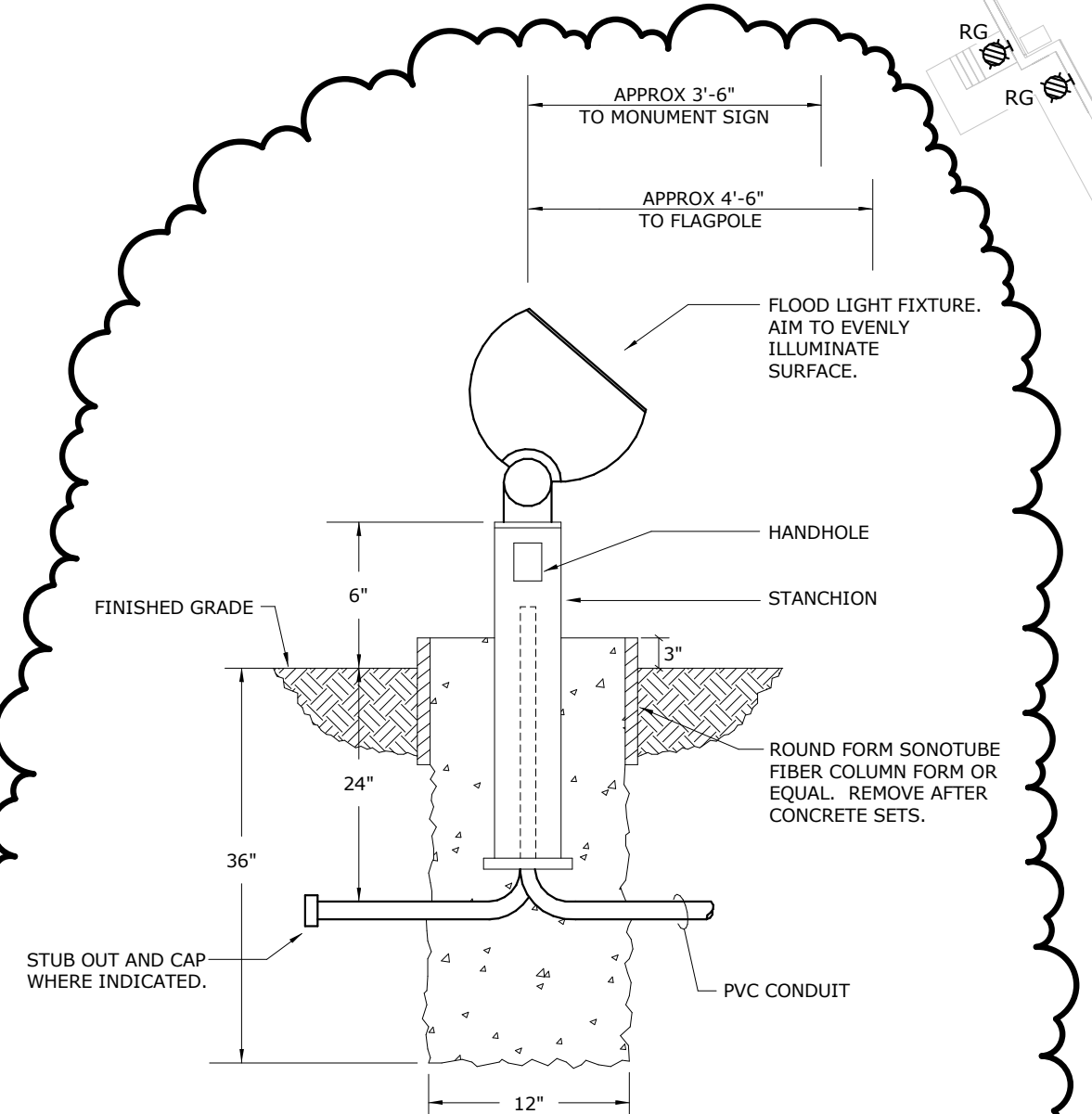
**ELECTRIC SHOCK HAZARD**  
 THE CONTRACTOR IS SPECIFICALLY ADVISED HEREIN OF THE EXISTENCE OF LIVE UNDERGROUND AND OVERHEAD ELECTRIC LINES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY AND PROTECTION OF ALL PERSONNEL ASSOCIATED WITH THIS PROJECT CONCERNING THESE HAZARDS.

**UNDERGROUND UTILITIES**

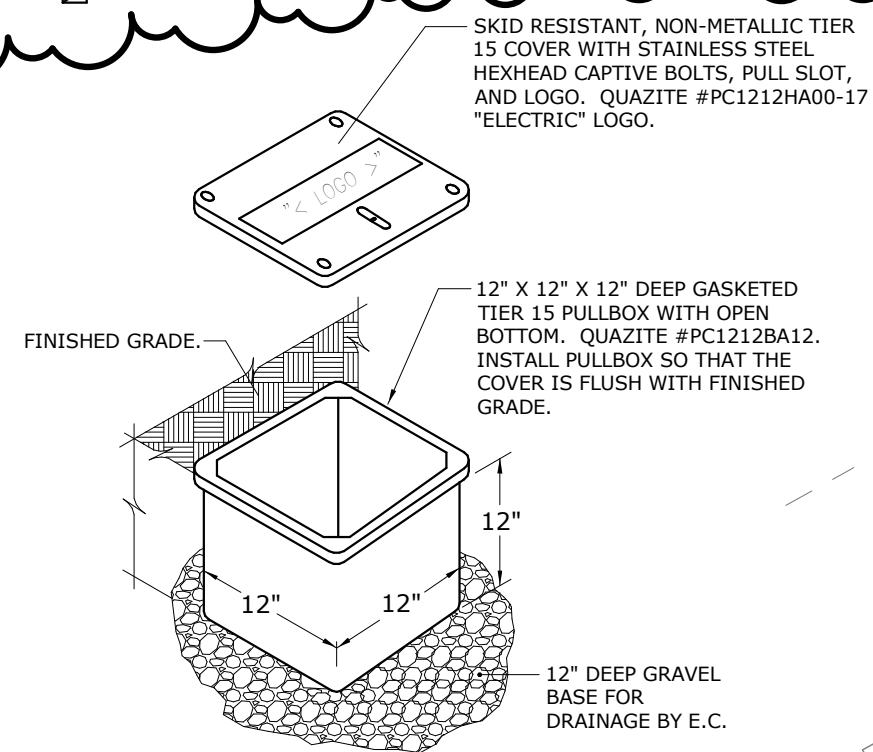
LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT SHOWN PRIOR TO COMMENCEMENT OF HIS WORK. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTE:**

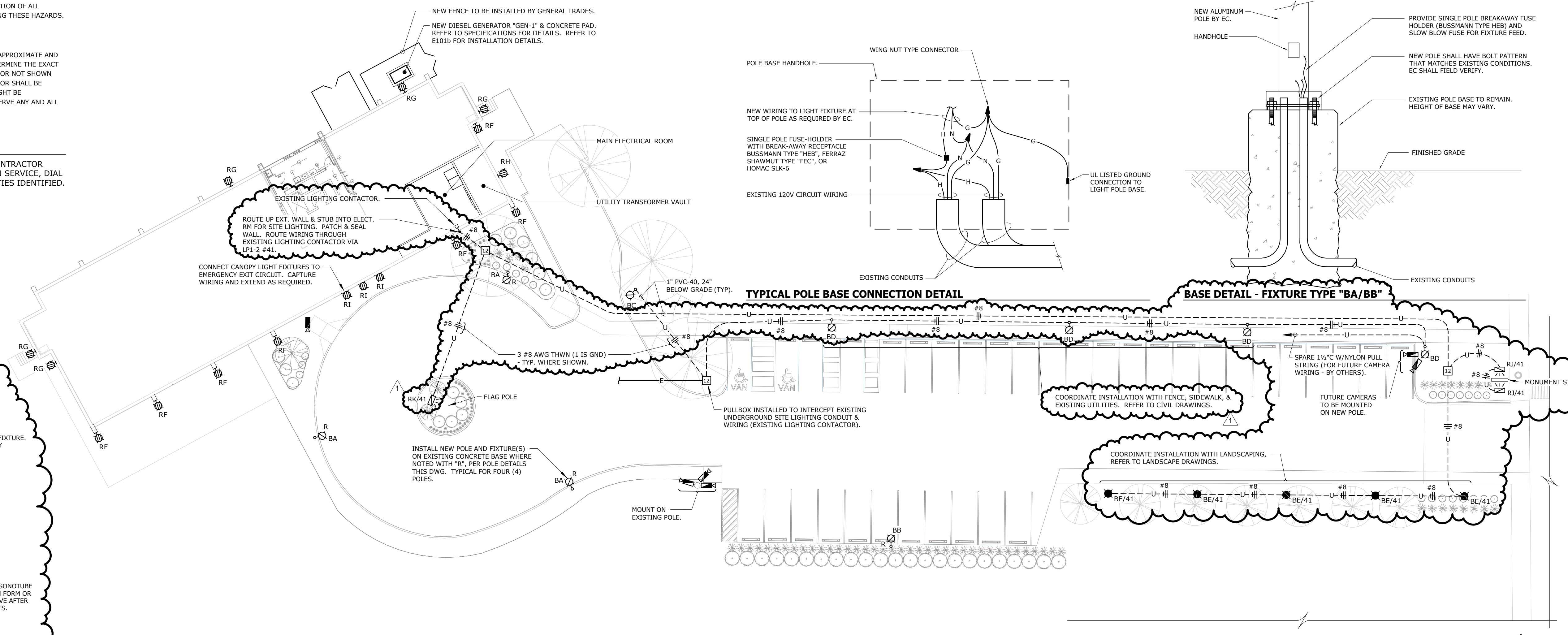
1. PRIOR TO ANY SITE EXCAVATION THE CONTRACTOR SHALL CALL OHIO UTILITIES PROTECTION SERVICE, DIAL 811, TO HAVE ALL UNDERGROUND UTILITIES IDENTIFIED.



**EXTERIOR FLOOD LIGHT DETAIL NOT TO SCALE**  
 SYMBOL "1"

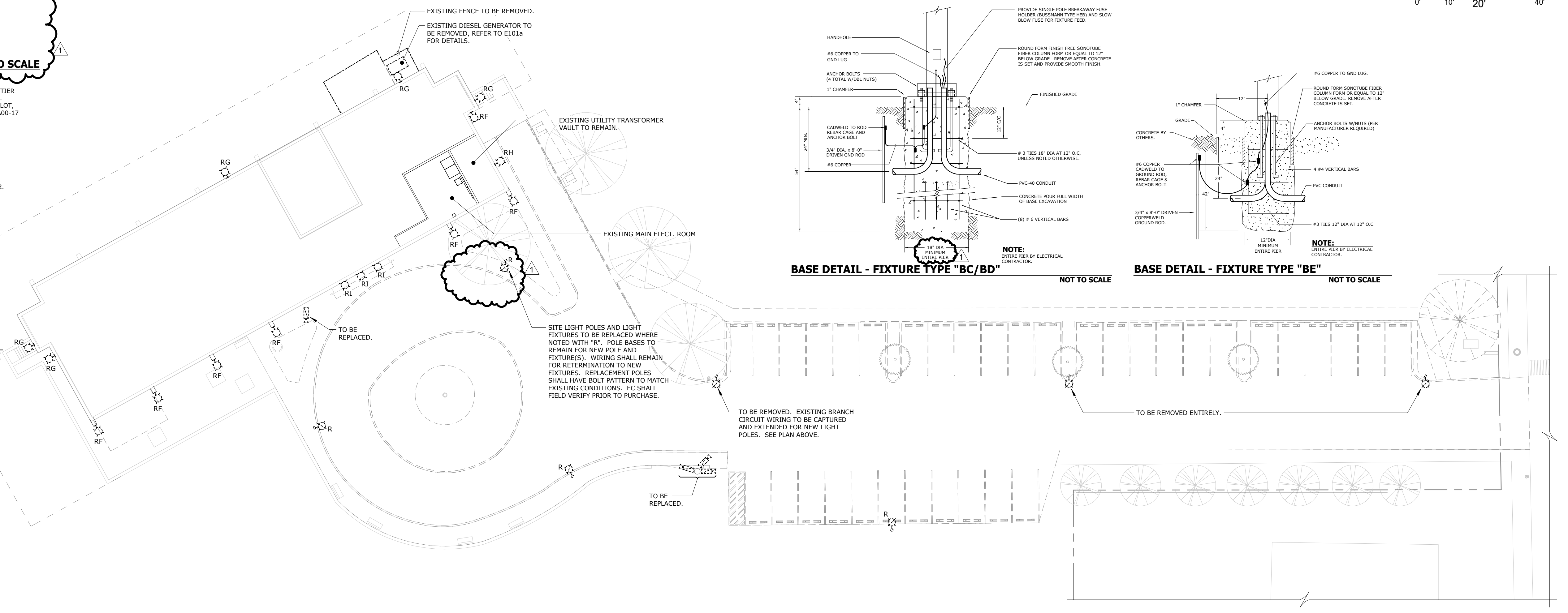


**GRADE LEVEL JUNCTION BOX DETAIL NOT TO SCALE**  
 SYMBOL "2"



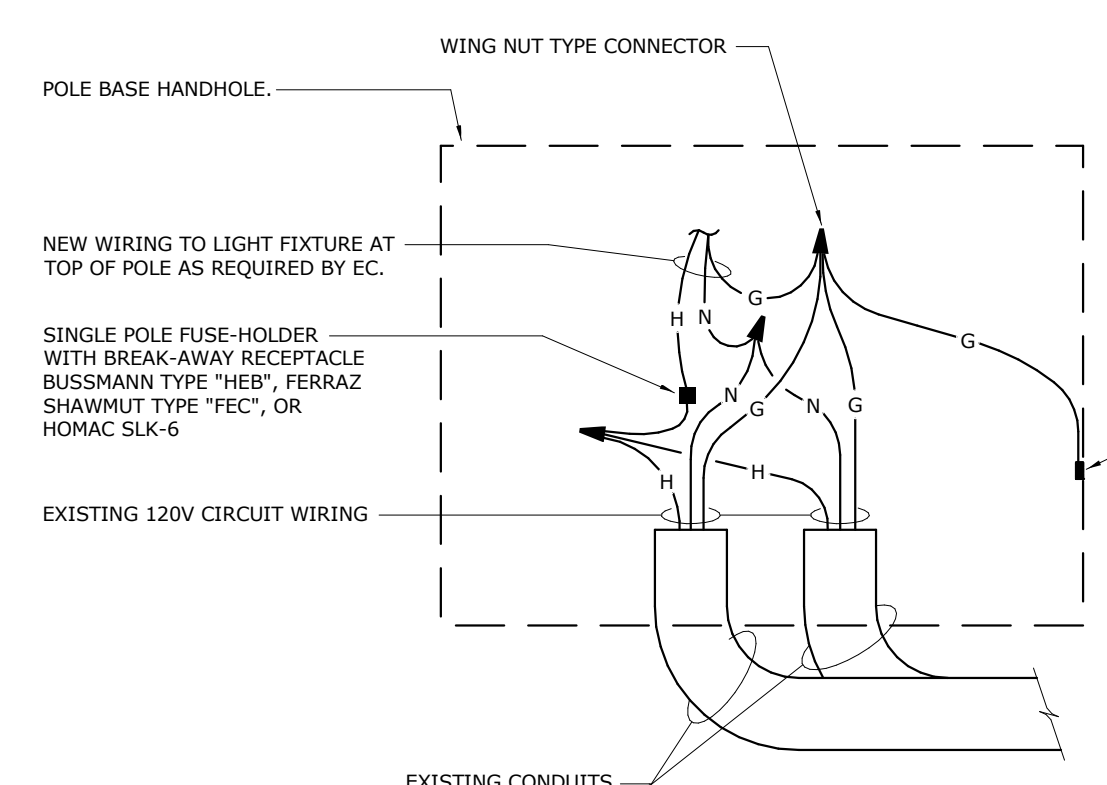
**SITE - NEW WORK**

SCALE: 1" = 20'-0"

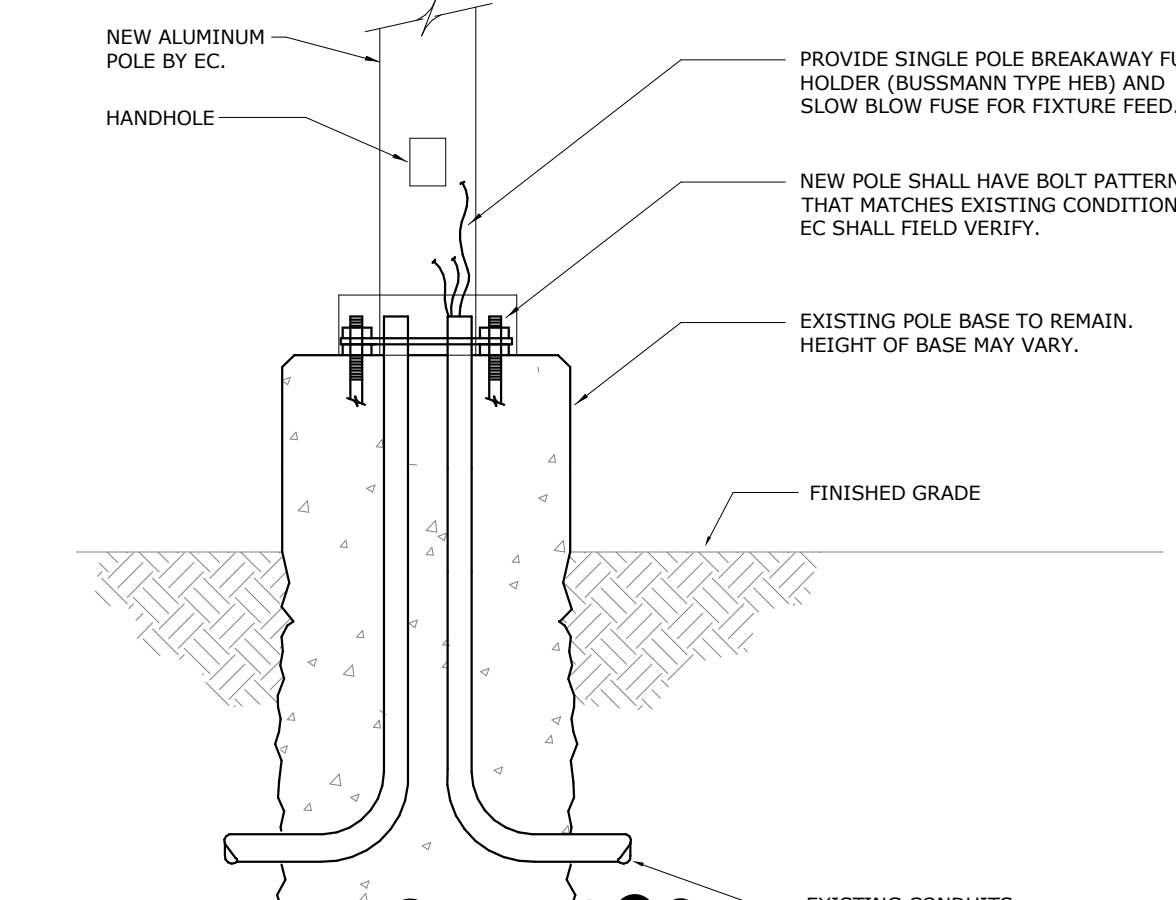


**SITE - DEMOLITION**

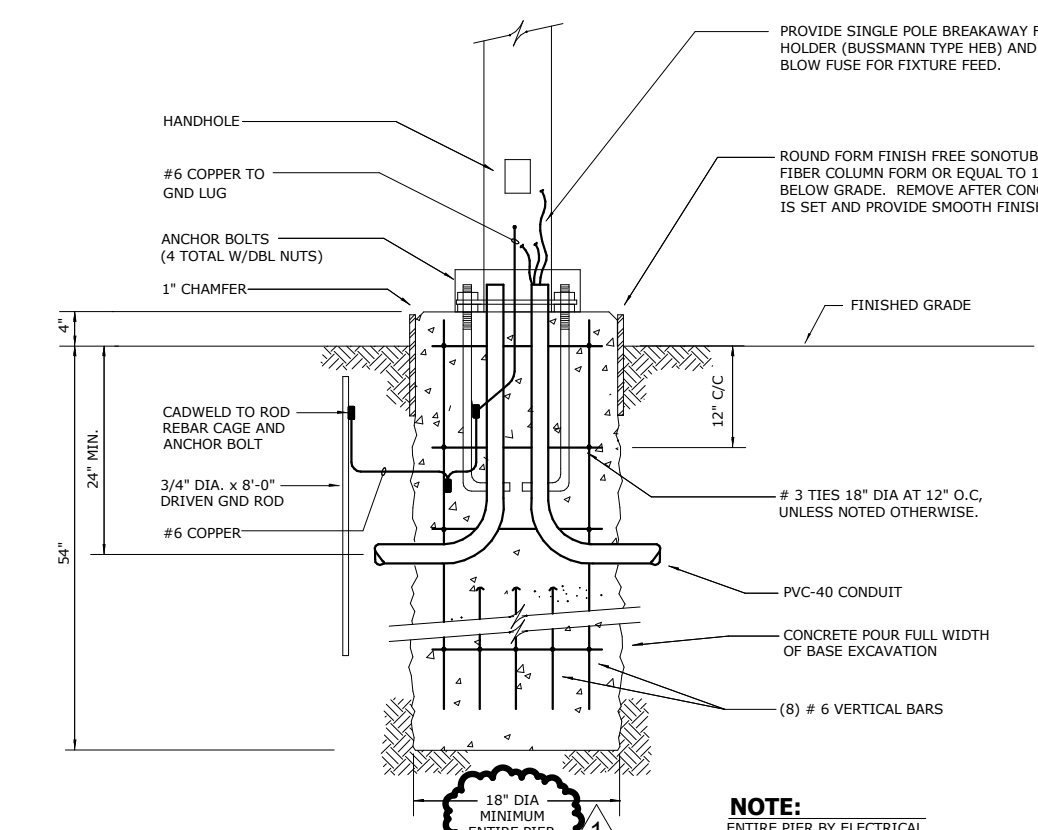
SCALE: 1" = 20'-0"



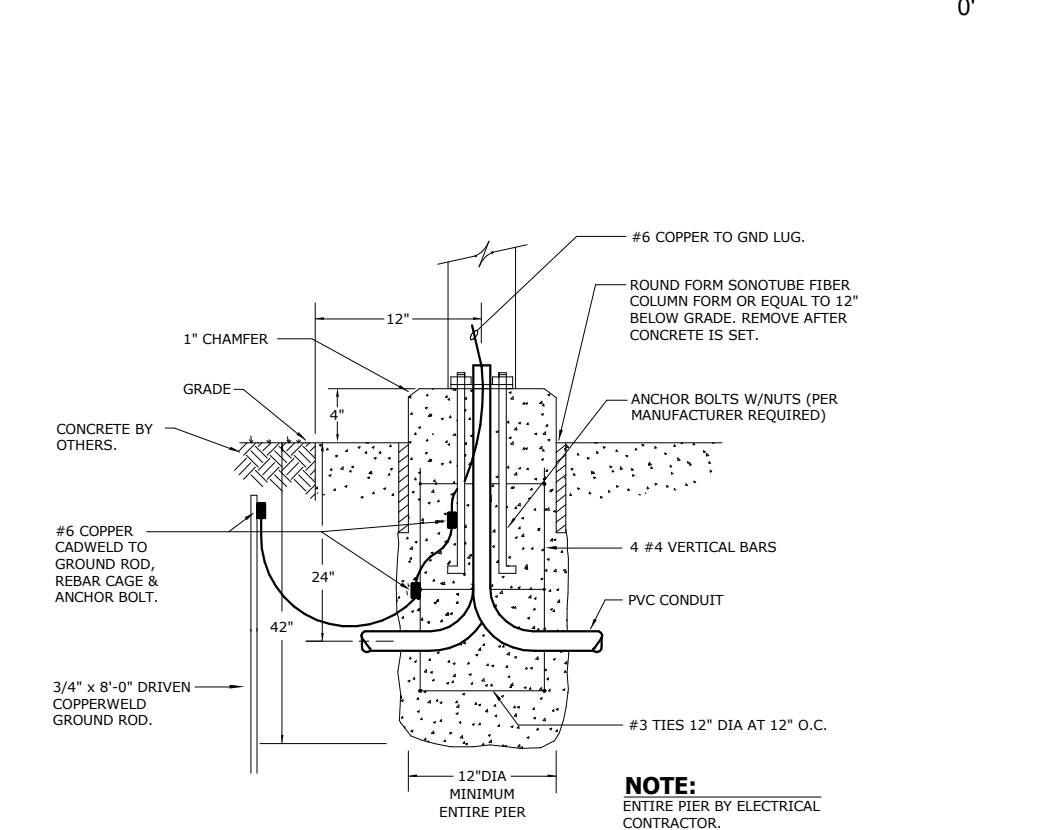
**TYPICAL POLE BASE CONNECTION DETAIL**



**BASE DETAIL - FIXTURE TYPE "BA/BB"**



**BASE DETAIL - FIXTURE TYPE "BC/BD"**



**BASE DETAIL - FIXTURE TYPE "BE"**



**BEECHWOOD APARTMENTS**

330 Forest Ave.  
 Cincinnati, OH 45229

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- NOTE:**
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  - THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL. IN THEIR ENTIRETY, THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
  - ADDITIONALLY, SEE GENERAL INFORMATION ON 'A7' SHEETS.
  - THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
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  - THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR COORDINATE REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

**pta**  
 engineering  
 275 Springside Dr., Suite 300  
 Akron, Ohio 44333  
 Phone: 330-666-3702  
 ptaengineering.com

**BID SET**

PROJECT DATE: 01.05.2024  
 PROJECT #: 20178

Description	Date
1 Addendum 1	01.22.24

**SITE PLAN**

**E.001**

**BERARDI+**  
 ARCHITECTURE | INTERIOR DESIGN | ENGINEERING  
 1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212  
 P 614.221.1110 berardipartners.com





DAVID L. HERNANDEZ  
LICENSE # 74767  
EXPIRES: 12/31/2025

## BEECHWOOD APARTMENTS

330 Forest Ave.  
Cincinnati, OH 45229

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- NOTES:**
1. ALL FEEDERS AND EQUIPMENT SHOWN DASHED SHALL BE REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
  2. ALL EQUIPMENT SHOWN WITH NORMAL LINE WEIGHT AND FEEDERS SHOWN AS "E" OR WITH FEEDER DESIGNATION "E" ARE EXISTING TO REMAIN AND BE MAINTAINED UNLESS NOTED OTHERWISE.
    - a. CONDUCTOR SIZES AND CONDUIT SIZES OF EXISTING FEEDERS ARE BASED ON HISTORICAL DRAWINGS ONLY.
  3. SHADED EQUIPMENT AND ASSOCIATED WIRING IS NEW. ALL FEEDERS SHOWN WITH FEEDER DESIGNATION "E" ARE NEW.
  4. EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE BASED ON HISTORICAL CONSTRUCTION DRAWINGS AND MUST BE FIELD VERIFIED BY THE ELECTRICAL CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  5. SPLICE NEW CONDUCTORS TO EXISTING FEEDERS UTILIZING LONG BARREL CIRCUMFERENTIAL DUAL CRIMP CONNECTORS AND 3M "PST" COLD SHRINK INSULATION IN WIREWAY OR PULLBOX AS INDICATED.
  6. ELECTRICAL CONTRACTOR SHALL EXERCISE EXTREME CARE TO DOCUMENT AND MAINTAIN PROPER PHASE ROTATION ON ALL 3-PHASE FEEDERS AND MOTOR WIRING CIRCUITS.
  7. ALL NEW WORK SHALL CONFIRM TO APPLICABLE SECTIONS OF THE ELECTRICAL SPECIFICATIONS.
  8. ELECTRICAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL NECESSARY POWER OUTAGES WITH THE CONSTRUCTION MANAGER.



### BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

Description	Date
1 Addendum 1	01.22.24

## DISTRIBUTION DIAGRAM NEW WORK

# E.302

**BERARDI + PARTNERS**  
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DESIGNATION	BUS RATING	SCA RATING	MAIN LUGS/BKR	MOUNTING	REMARKS	ACCESSORIES
PH-EM1	225A, 208/120V, 3Ø, 3W	10,000	225A3P TOP/BOTTOM	SURFACE	REFER TO SCHEDULE AND SPECIFICATIONS FOR DETAILS.	1) HINGED FRONT COVER 2) KEY LOCK 3) METAL DIRECTORY FRAME
PH-EM2	250A, 208/120V, 3Ø, 3W	10,000	250A3P TOP/BOTTOM	SURFACE	REFER TO SCHEDULE AND SPECIFICATIONS FOR DETAILS.	4) TYPED DIRECTORY 5) GND BUS 6) BOLT ON BREAKERS AND PROVISIONS AS INDICATED ON SCHEDULE 7) ENGRAVED NAMEPLATE ON FRONT TRIM
LP1-4	225A, 208/120V, 3Ø, 4W	10,000	11LØ TOP	SURFACE	REFER TO SCHEDULE AND SPECIFICATIONS FOR DETAILS.	NORM PWR: BLACK WITH WHITE LETTERS EM PWR: RED WITH WHITE LETTERS

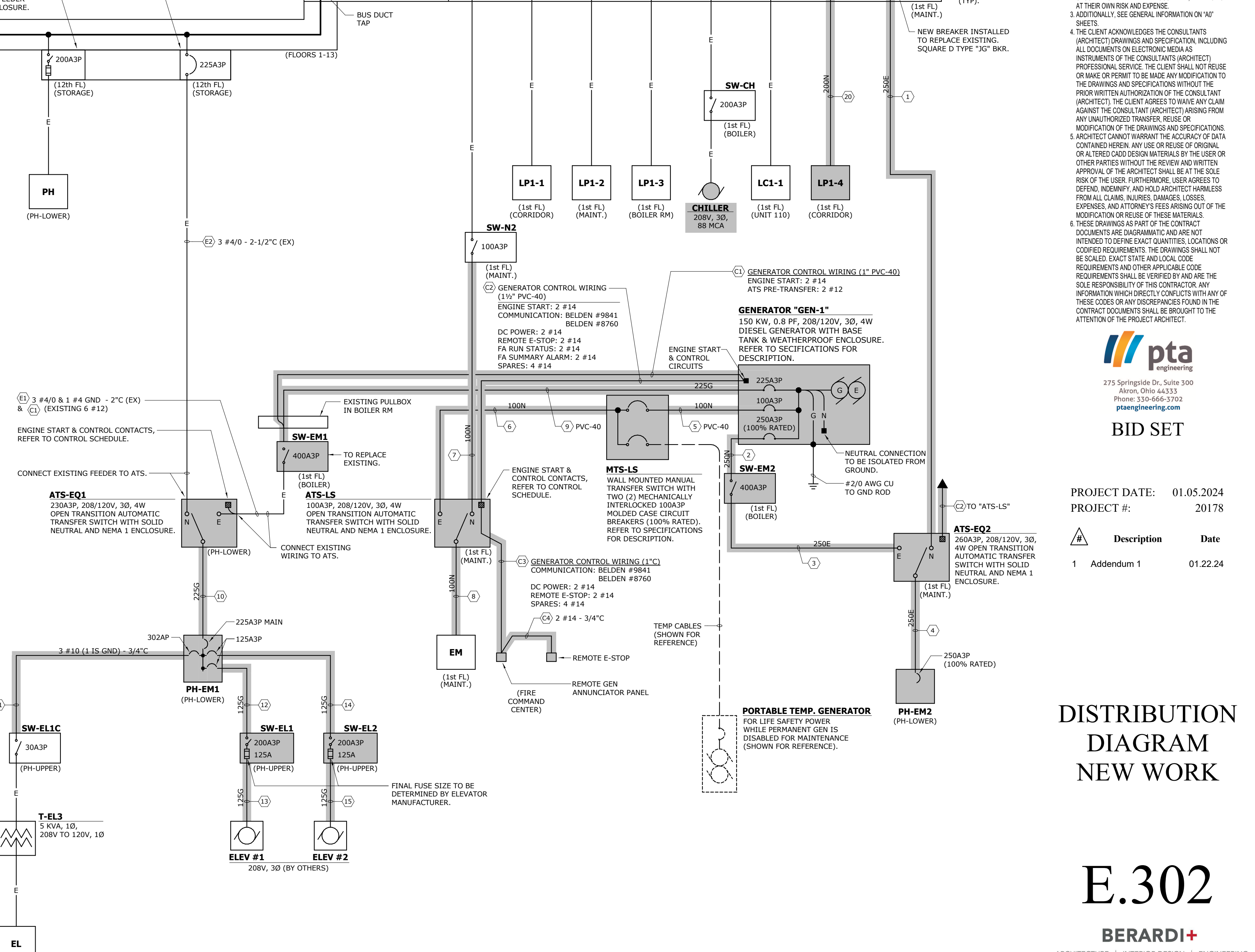
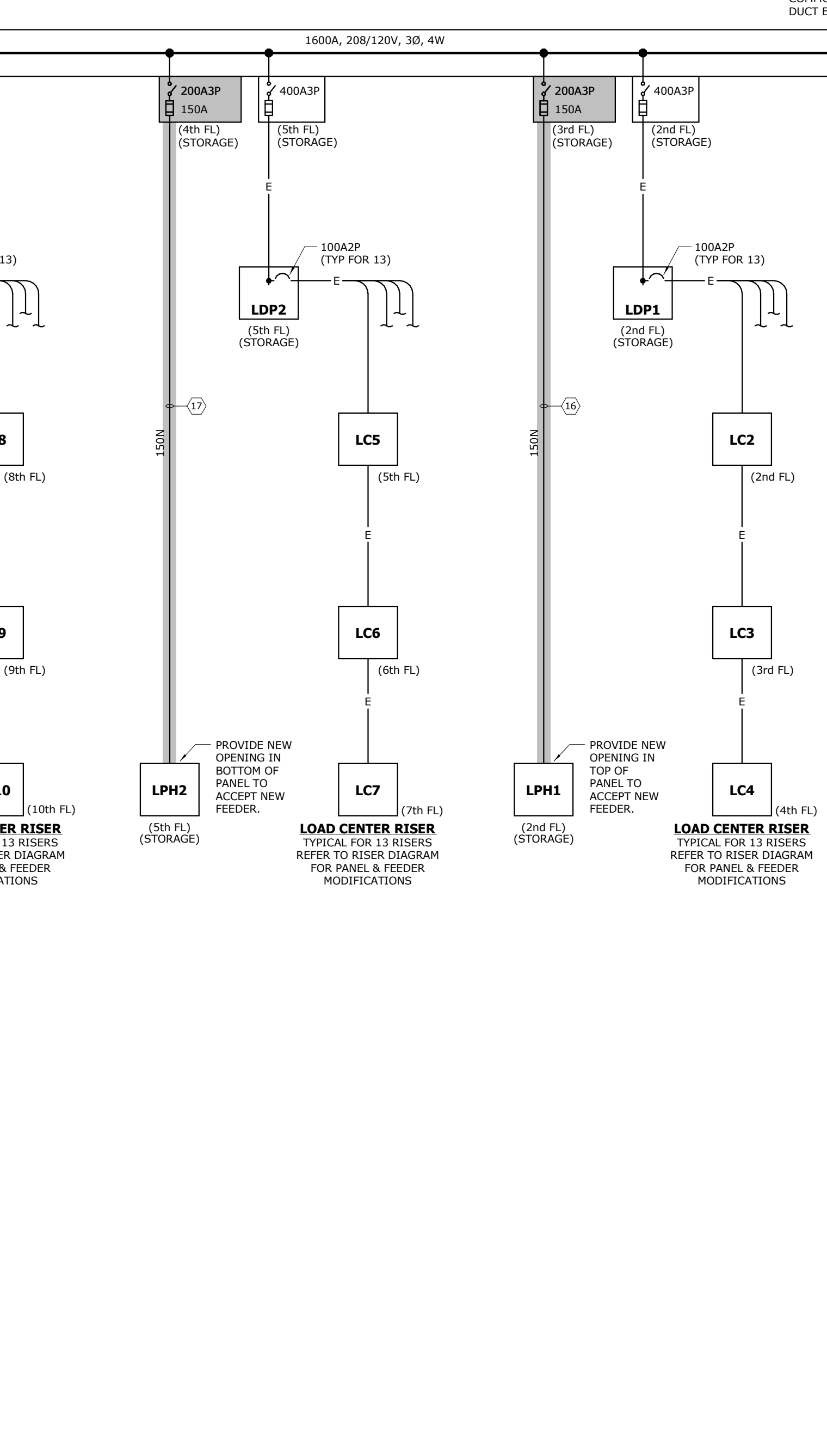
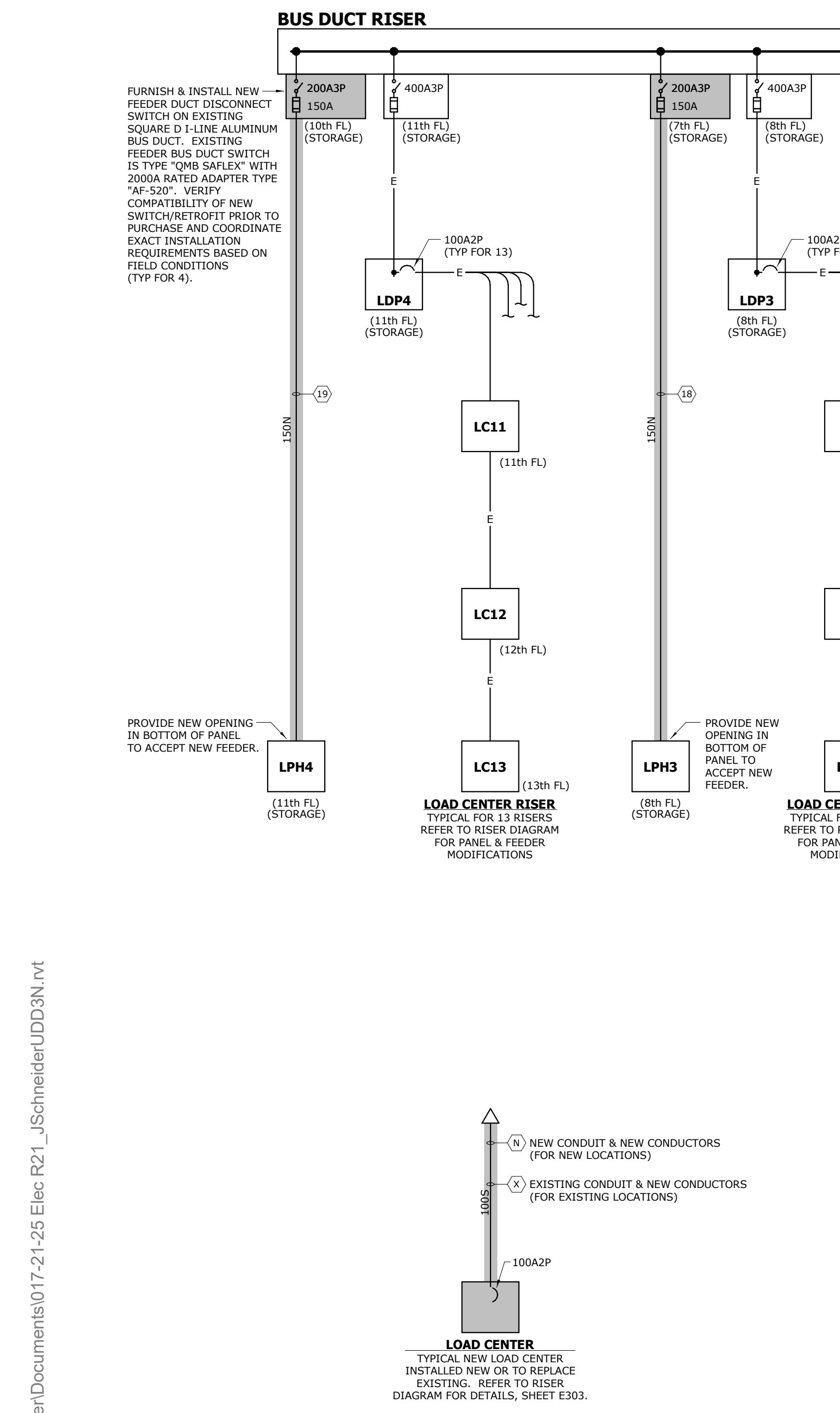
TAG	SIZE	INSTALLATION	COMMENTS
SB1	12" SQ.		SPLICEBOX W/ REMOVABLE SCREW COVER INSTALLED IN CONJUNCTION WITH EXISTING FEEDER. INSTALL NEAR CEILING STRUCTURE OR ON WALL. EXACT LOCATION TO BE DETERMINED IN FIELD BY CONTRACTOR. COORDINATE WITH PROJECT PHASING. INSTALL LABEL ON FRONT COVER TO INDICATE "SOURCE FEED" AND "CONNECTED LOAD".
SB2	18" SQ.	CEILING/WALL	
SB3	24" SQ.		

CONTROL SIGNAL	WIRING	CONNECTION AT EQUIPMENT							
		ATS-EQ	ATS-US	ATS-LS	REMOTE ANNUNCIATOR	REMOTE E-STOP	ELEVATOR #1 CONTROLLER	ELEVATOR #2 CONTROLLER	
ENGINE START	2 # 14	X	X						
DC POWER	2 # 14			X					
GEN E-STOP	2 # 14					X			
SPARE WIRING	4 # 14		X	X					
COMMUNICATION	BELDEN # 9841		X	X					
COMMUNICATION	BELDEN # 8760		X	X					
ATS POSITION	2 # 12						X	X	
ATS PRE-TRANSFER TIME DELAY	2 # 12	X					X	X	

TAG	SETS	PHASE	NEUTRAL	GROUND	CONDUIT
100G	1	3 # 2	-	1 # 8 CU	1-1/4"
100N	1	3 # 2	1 # 2	1 # 8 CU	1-1/4"
100S	1	2 # 2	1 # 2	1 # 8 CU	1-1/4"
125G	1	3 # 1	-	1 # 6 CU	1-1/2"
150N	1	3 # 1/Ø	1 # 1/Ø	1 # 6 CU	1-1/2"
200N	1	3 # 3/Ø	1 # 1/Ø	1 # 6 CU	2"
225G	1	3 # 4/Ø	-	1 # 4 CU	2"
250N	1	3-25Ø MCM	1-25Ø MCM	1 # 4 CU	2-1/2"
250E	1	4-25Ø MCM CABLE ASSEMBLY	1 # 4 CU	2" (NOMINAL)	
2-HR RATED MC CABLE ASSEMBLY (DRAKA # LMC04250)					

DIST PNL	PANEL NAME	CONNECTED LOAD (VA)				DEMAND LOAD (VA) **REFER TO NOTES				
		LTG	REC	MISC	HVAC	LTG	REC	MISC	HVAC	
MDP	Bus Duct	(see below)	(see below)	(see below)	(see below)	(see below)	(see below)	(see below)	(see below)	
	Dist. Section	(see below)	(see below)	(see below)	(see below)	(see below)	(see below)	(see below)	(see below)	
<b>TOTAL (VA)</b>					<b>882,088</b>					
MDP (Distribution Section)	LP1-1	0	0	4,317	0	0	4,317	0	4,317	
	LP1-2	190	0	2,348	0	238	2,348	0	2,586	
	LP1-3	0	0	15,196	0	15,196	0	15,196	0	
	LP1-4	1,911	8,460	5,000	3,800	19,111	2,389	8,460	5,000	4,372
	Chiller	0	0	31,703	0	31,703	7,926	39,629	0	39,629
	LC1-1	2,397	11,000	375	0	13,772	2,996	10,500	375	13,871
	EM	7,642	0	1,180	0	8,822	9,953	0	1,180	10,733
	PH-EM2	0	0	0	56,632	56,632	0	0	0	63,667
	<b>TOTAL (VA)</b>					<b>170,219</b>				
	MDP (Bus Duct Riser)	LDP1	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)
		LDP2	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)
LDP3		(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	
LDP4		(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	(see schedule)	
LPH1		432	0	9,440	0	9,872	540	0	9,440	0
LPH2		432	0	18,880	0	19,312	540	0	18,880	0
LPH3		432	0	9,440	0	9,872	540	0	9,440	0
LPH4		432	0	18,880	0	19,312	540	0	18,880	0
PH		0	360	4,669	0	5,029	0	360	4,669	0
PH-EM1	1,000	0	58,679	0	59,679	1,250	0	58,679	0	
<b>TOTAL (VA)</b>					<b>711,868</b>					

- DEMAND CALCULATION NOTES:**
1. LIGHTING ASSUMED TO BE CONTINUOUS LOAD CALCULATED AT 125%
  2. RECEPTACLES CALCULATED AT 100% FOR FIRST 10kVA, AND 50% FOR REMAINDER kVA
  3. MISC. CATEGORY IS RESERVED FOR NON-CONTINUOUS LOAD (NOT HVAC MOTOR LOAD, ELECTRIC HEAT, WATER HEATERS, AND SPECIFIC PLUG LOAD FOR EQUIPMENT THAT WILL NOT BE CONTINUOUS. THIS LOAD IS CALCULATED AT 100%.
  4. HVAC LOAD CALCULATED AT 125% OF THE LARGEST LOAD, PLUS 100% OF THE REMAINING LOAD.
  5. ALL INDIVIDUAL CONNECTED LOADS ARE INDICATED WITHIN PANELBOARD SCHEDULES.
  6. EACH PANEL LOAD SUMMARY INCLUDES ALL SUB-FEED LOADS AND DOWNSTREAM PANELS.
  7. REFER TO INDIVIDUAL PANELBOARD SCHEDULES FOR CONNECTED LOAD AND NEC CALCULATIONS.

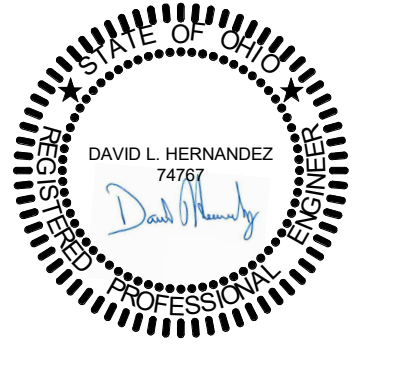


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## DISTRIBUTION DIAGRAM - NEW WORK

APARTMENT UNIT LIGHTING FIXTURE SCHEDULE
LIGHT FIXTURES FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. REFER TO SPECIFICATIONS.
Table with columns: TYPE, SIZE, VOLTS, WATT, CCT, DRIVER, LUMENS, DIMMING, LENS/ REFLECTORS, SURF./ REC., MOUNTING, REMARKS, MANUFACTURER AND CATALOG NUMBER.

LIGHTING FIXTURE SCHEDULE
LIGHT FIXTURES FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. REFER TO SPECIFICATIONS.
Table with columns: TYPE, SIZE, VOLTS, WATT, CCT, DRIVER, LUMENS, DIMMING, LENS/ REFLECTORS, SURF./ REC., MOUNTING, REMARKS, MANUFACTURER AND CATALOG NUMBER.



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NOTE: 1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT...



BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

Table with 2 columns: Description, Date. Row 1: Addendum 1, 01.22.24

FIXTURE SCHEDULES

E.601
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**SYMBOLS SCHEDULE:**

	EXISTING TROFFER. DISCONNECT AND REMOVE TOGETHER WITH ASSOCIATED WIRING, U.N.O.
	EXISTING TROFFER TO REMAIN AND BE MAINTAINED.
	SHADING INDICATES LIGHT FIXTURE IS CONNECTED TO A LIFE SAFETY CIRCUIT. "NL" SUBSCRIPT INDICATES FIXTURE IS UNSWITCHED FOR USE AS A NIGHT LIGHT.
	EXISTING RECESSED DOWNLIGHT. DISCONNECT AND REMOVE FIXTURE, U.N.O.
	EXISTING SURFACE MOUNTED LINEAR FIXTURE. DISCONNECT AND REMOVE TOGETHER WITH ASSOCIATED WIRING, U.N.O.
	EXISTING SUSPENDED LINEAR FIXTURE. DISCONNECT AND REMOVE TOGETHER WITH ASSOCIATED WIRING, U.N.O.
	EXISTING EXTERIOR BUILDING-MOUNTED WALL PACK TO BE REPLACED IN PLACE WITH NEW LED FIXTURE.
	EXISTING EXTERIOR BUILDING-MOUNTED CANOPY LIGHT TO BE REPLACED IN PLACE WITH NEW LED FIXTURE.
	EXISTING SURFACE WALL-MOUNTED LIGHT FIXTURE. DISCONNECT AND REMOVE TOGETHER WITH ASSOCIATED WIRING, U.N.O.
	EXISTING SURFACE CEILING-MOUNTED LIGHT FIXTURE. DISCONNECT AND REMOVE TOGETHER WITH ASSOCIATED WIRING, U.N.O.
	EXISTING POLE-MOUNTED LIGHT FIXTURE AND ASSOCIATED POLE TO BE REPLACED IN PLACE.
	EXISTING CEILING MOUNTED EXIT SIGN. DISCONNECT AND REMOVE TOGETHER WITH ASSOCIATED WIRING, U.N.O.
	EXISTING WALL MOUNTED EXIT SIGN. DISCONNECT AND REMOVE TOGETHER WITH ASSOCIATED WIRING, U.N.O.
	EXISTING WALL SWITCH TO REMAIN AND BE MAINTAINED.
	EXISTING THREE-WAY WALL SWITCH TO REMAIN AND BE MAINTAINED.
	EXISTING FOUR-WAY WALL SWITCH TO REMAIN AND BE MAINTAINED.
	EXISTING PHOTOCCELL. REMOVE TOGETHER WITH ASSOCIATED WIRING.
	EXISTING DUPLEX RECEPTACLE TO REMAIN AND BE MAINTAINED.
	EXISTING DUPLEX RECEPTACLE TO BE REPLACED. REMOVE RECEPTACLE. MAINTAIN WIRING FOR CONNECTION TO REPLACEMENT DEVICE.
	EXISTING ELECTRIC RANGE RECEPTACLE TO BE REMOVED TOGETHER WITH ASSOCIATED WIRING.
	EXISTING DRYER RECEPTACLE TO BE REMOVED TOGETHER WITH ASSOCIATED WIRING, UNLESS NOTED OTHERWISE ON PLANS.
	EXISTING DRYER RECEPTACLE TO REMAIN AND BE MAINTAINED.
	EXISTING VOICE/DATA OUTLET TO REMAIN AND BE MAINTAINED.
	EXISTING TV OUTLET TO BE REMOVED. SALVAGE COAXIAL CABLING FOR SPLICE/EXTENSION TO NEW TV OUTLET LOCATION.
	EXISTING FIRE ALARM SYSTEM PULL STATION. REMOVE TOGETHER WITH ASSOCIATED WIRING FOLLOWING COMPLETION OF REPLACEMENT FIRE ALARM SYSTEM.
	EXISTING FIRE ALARM SYSTEM SMOKE DETECTOR. REMOVE TOGETHER WITH ASSOCIATED WIRING FOLLOWING COMPLETION OF REPLACEMENT FIRE ALARM SYSTEM.
	EXISTING FIRE ALARM SYSTEM SMOKE DETECTOR FOR ELEVATOR CAPTURE. REMOVE TOGETHER WITH ASSOCIATED WIRING FOLLOWING COMPLETION OF REPLACEMENT FIRE ALARM SYSTEM.
	EXISTING FIRE ALARM SYSTEM HEAT DETECTOR. REMOVE TOGETHER WITH ASSOCIATED WIRING FOLLOWING COMPLETION OF REPLACEMENT FIRE ALARM SYSTEM.
	EXISTING FIRE ALARM SYSTEM HORN/STROBE NOTIFICATION DEVICE. REMOVE TOGETHER WITH ASSOCIATED WIRING FOLLOWING COMPLETION OF REPLACEMENT FIRE ALARM SYSTEM.
	EXISTING FIRE ALARM SYSTEM HORN-ONLY NOTIFICATION DEVICE. REMOVE TOGETHER WITH ASSOCIATED WIRING FOLLOWING COMPLETION OF REPLACEMENT FIRE ALARM SYSTEM.
	EXISTING FIRE ALARM SYSTEM REMOTE ANNUNCIATOR. REMOVE TOGETHER WITH ASSOCIATED WIRING FOLLOWING COMPLETION OF REPLACEMENT FIRE ALARM SYSTEM.
	EXISTING FIRE ALARM SYSTEM DIGITAL DIALER. REMOVE TOGETHER WITH ASSOCIATED WIRING FOLLOWING COMPLETION OF REPLACEMENT FIRE ALARM SYSTEM.
	EXISTING FIRE ALARM SYSTEM DIGITAL DIALER. REMOVE TOGETHER WITH ASSOCIATED WIRING FOLLOWING COMPLETION OF REPLACEMENT FIRE ALARM SYSTEM.
	EXISTING LOCAL SMOKE ALARM DEVICE. REMOVE TOGETHER WITH ASSOCIATED WIRING.
	EXISTING TERMINAL CONNECTION FOR EQUIPMENT TO BE REMOVED BY OTHERS. DISCONNECT WIRING AND REMOVE FULL LENGTH BACK TO SOURCE UNLESS NOTED OTHERWISE ON PLANS.
	EXISTING MOTOR STARTER. REMOVE TOGETHER WITH ASSOCIATED WIRING.
	EXISTING DISCONNECT TO REMAIN AND BE MAINTAINED.
	EXISTING DISCONNECT WITH TO BE REMOVED TOGETHER WITH ASSOCIATED WIRING, UNLESS NOTED OTHERWISE ON PLANS.
	EXISTING MOTOR. DISCONNECT POWER FOR SAFE REMOVAL BY OTHERS. UNLESS NOTED OTHERWISE, REMOVE ASSOCIATED WIRING AND RACEWAY BACK TO ELECTRICAL PANEL OR NEAREST JUNCTION.
	EXISTING FLUSH MOUNTED 208/120V PANELBOARD TO BE REMOVED TOGETHER WITH ASSOCIATED WIRING.
	FLUSH MOUNTED 208/120V PANELBOARD. REFER TO DISTRIBUTION DIAGRAMS AND PANELBOARD SCHEDULES FOR EXISTING/NEW DESIGNATIONS.
	SURFACE MOUNTED 208/120V PANELBOARD. REFER TO DISTRIBUTION DIAGRAMS AND PANELBOARD SCHEDULES FOR EXISTING/NEW DESIGNATIONS.
	EXISTING DRY TYPE TRANSFORMER TO BE REMOVING TOGETHER WITH ASSOCIATED WIRING. REFER TO DISTRIBUTION DIAGRAMS FOR DETAILS.
	EXISTING CONDUIT AND WIRING TO REMAIN AND BE MAINTAINED, U.N.O.
	CONDUIT AND WIRING TO BE REMOVED BY THE ELECTRICAL CONTRACTOR.
	EXISTING TEKSTONE EMERGENCY CALL CORD DEVICE TO BE REMOVED TOGETHER WITH ASSOCIATED WIRING. INSTALL BLANK WHITE COVERPLATE OVER ABANDONED OUTLET BOX.
	RECESSED TROFFER. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	LETTER DESIGNATION "B1" INDICATES THE FIXTURE TYPE AS NOTED IN THE FIXTURE SCHEDULE. "8" INDICATES THE BRANCH CIRCUIT NUMBER TO WHICH THE LIGHT FIXTURE IS WIRED.
	RECESSED DOWNLIGHT. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	SURFACE WALL- OR CEILING-MOUNT LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.

	CEILING-SUSPENDED LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION. EXTERIOR BUILDING-MOUNTED WALL PACK. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	SURFACE MOUNTED FLOOD LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	EXTERIOR BUILDING-MOUNTED CANOPY LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	EXTERIOR GROUND MOUNTED BOLLARD. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	SURFACE WALL-MOUNTED LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	SURFACE CEILING-MOUNTED LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	SIMILAR TO "X" * EXCEPT FIXTURE SHALL BE PROVIDED WITH A WIREMOLD FIXTURE BOX FOR MOUNTING ON HARD CEILING.
	POLE-MOUNTED LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	CEILING-MOUNTED EXIT SIGN. SHADING INDICATES ILLUMINATED FACES. DIRECTIONAL ARROWS SHALL BE AS INDICATED ON PLANS. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	WALL-MOUNTED EXIT SIGN. SHADING INDICATES ILLUMINATED FACES. DIRECTIONAL ARROWS SHALL BE AS INDICATED ON PLANS. REFER TO FIXTURE SCHEDULE FOR DESCRIPTION.
	20 AMP, 277V-RATED, SINGLE POLE TOGGLE SWITCH (WHITE FINISH). INSTALL IN A FLUSH MOUNTED, SINGLE GANG OUTLET BOX AT 48" AFF. PROVIDE STAINLESS STEEL SWITCH PLATE. REFER TO SPECIFICATION SECTION 260140 FOR ACCEPTED MANUFACTURERS AND PART NUMBERS.
	SIMILAR TO "S" * EXCEPT SWITCH SHALL BE MOUNTED IN A SURFACE WIREMOLD BOX.
	WALL MOUNTED, LINE VOLTAGE COMBINATION PIR OCCUPANCY SENSOR AND 0-10V DIMMER (WHITE FINISH WITH WHITE COVERPLATE). REFER TO SPECIFICATION SECTION 260932 FOR DETAILS. FURNISH AND INSTALL IN A SINGLE GANG OUTLET BOX AT 48" AFF. PROVIDE SURFACE WIREMOLD BOX AND SURFACE METAL RACEWAY WHEN OUTLET BOX CANNOT BE FLUSH MOUNTED.
	WALL MOUNTED, LOW VOLTAGE SINGLE ZONE DIGITAL LIGHTING CONTROL SWITCH WITH ON/OFF PUSHBUTTONS. REFER TO SPECIFICATION SECTION 260932 FOR DETAILS. FURNISH AND INSTALL IN A SINGLE GANG OUTLET BOX AT 48" AFF. PROVIDE SURFACE WIREMOLD BOX AND SURFACE METAL RACEWAY WHEN OUTLET BOX CANNOT BE FLUSH MOUNTED.
	SIMILAR TO "LV" * EXCEPT TWO ZONE CONTROL.
	LINE VOLTAGE OCCUPANCY SENSOR, FURNISHED AND INSTALLED ON UNDERSIDE OF CEILING. REFER TO SPECIFICATION SECTION 260932 FOR DESCRIPTION.
	LOW VOLTAGE OCCUPANCY SENSOR, FURNISHED AND INSTALLED ON UNDERSIDE OF LAY-IN CEILING. PROVIDE POWER PACK AND PLENUM RATED LOW-VOLTAGE CABLING (SUPPORT CABLING 4'-0" ON CENTER WITH J-HOOKS OR BRIDAL RINGS) AS REQUIRED PER MANUFACTURERS INSTRUCTIONS. REFER TO SPECIFICATION SECTION 260932 FOR DETAILS. WHERE TWO OR MORE SENSORS ARE INTENDED TO CONTROL A SHARED ZONE, SENSORS SHALL BE DAISY CHAINED TOGETHER.
	SIMILAR TO "LV" * EXCEPT SENSOR SHALL BE SET TO VACANCY MODE WITH MANUAL ON/AUTO OFF CONTROL.
	20 AMP, 120V DUPLEX TAMPER-RESISTANT RECEPTACLE (WHITE FINISH). INSTALL IN A FLUSH MOUNTED, SINGLE GANG OUTLET BOX AT 18" AFF, U.N.O. PROVIDE WHITE NYLON COVERPLATE. REFER TO SPECIFICATION SECTION 260140 FOR ACCEPTED MANUFACTURERS AND PART NUMBERS.
	SIMILAR TO "D" * EXCEPT DEVICE SHALL BE MOUNTED IN A SURFACE WIREMOLD BOX.
	20 AMP, 120V DUPLEX TAMPER-RESISTANT RECEPTACLE (WHITE FINISH). INSTALL IN EXISTING OUTLET BOX AND TERMINATE EXISTING WIRING. PROVIDE WHITE NYLON COVERPLATE. REFER TO SPECIFICATION SECTION 260140 FOR ACCEPTED MANUFACTURERS AND PART NUMBERS.
	20 AMP, 120V DUPLEX TAMPER-RESISTANT RECEPTACLE WITH INTEGRAL GFCI (WHITE FINISH). INSTALL IN A FLUSH MOUNTED, SINGLE GANG OUTLET BOX AT 18" AFF, U.N.O. PROVIDE WHITE NYLON COVERPLATE. REFER TO SPECIFICATION SECTION 260140 FOR ACCEPTED MANUFACTURERS AND PART NUMBERS.
	20 AMP, 120V DUPLEX WEATHER- AND TAMPER-RESISTANT RECEPTACLE WITH INTEGRAL GFCI (WHITE FINISH). INSTALL IN SURFACE WEATHERPROOF BEEL BOX AND PROVIDE A "WHILE-IN-USE" COVER. REFER TO SPECIFICATION SECTION 260140 FOR ACCEPTED MANUFACTURERS AND PART NUMBERS.
	SIMILAR TO "D" * EXCEPT DEVICE SHALL BE MOUNTED IN A SURFACE WIREMOLD BOX.
	20 AMP, 120V DUPLEX TAMPER-RESISTANT RECEPTACLE WITH INTEGRAL GFCI (WHITE FINISH). INSTALL IN EXISTING OUTLET BOX AND TERMINATE EXISTING WIRING. PROVIDE WHITE NYLON COVERPLATE. REFER TO SPECIFICATION SECTION 260140 FOR ACCEPTED MANUFACTURERS AND PART NUMBERS.
	20 AMP, 120V DUPLEX WEATHER- AND TAMPER-RESISTANT RECEPTACLE WITH INTEGRAL GFCI (WHITE FINISH). INSTALL IN EXISTING OUTLET BOX AND TERMINATE EXISTING WIRING. PROVIDE NEW "WHILE-IN-USE" COVER. REFER TO SPECIFICATION SECTION 260140 FOR ACCEPTED MANUFACTURERS AND PART NUMBERS.
	NEMA 14-50 RECEPTACLE, FURNISHED AND INSTALLED AT 30" AFF. MOUNT FLUSH IN WALL WHERE POSSIBLE, OTHERWISE PROVIDE A SURFACE OUTLET BOX. PROVIDE STAMPED STEEL COVERPLATE.
	NEMA 14-50 RECEPTACLE, FURNISHED AND INSTALLED INSIDE EXISTING OUTLET BOX. DRYER RECEPTACLE (NEMA 14-30R), FURNISHED AND INSTALLED IN A SURFACE OUTLET BOX WITH STAMPED STEEL COVERPLATE AT APPROXIMATELY 44" AFF.
	PUSH-BUTTON DEVICE ASSOCIATED WITH APARTMENT UNIT ANNUNCIATOR KIT FOR USE IN ADA UNITS. FURNISH AND INSTALL IN A SINGLE GANG BOX AT 48" AFF. EDWARDS # 7005-G5/620.
	WALL MOUNTED ANNUNCIATOR AND TRANSFORMER ASSOCIATED WITH APARTMENT UNIT ANNUNCIATOR KIT FOR USE IN ADA UNITS. MOUNT ANNUNCIATOR IN A TWO-GANG OUTLET BOX AT 80" AFF TO BOTTOM. MOUNT TRANSFORMER IN AN ADJACENT TWO-GANG OUTLET BOX WITH CATALOG #593 MOUNTING PLATE. FURNISH AND INSTALL UNSWITCHED LINE VOLTAGE WIRING AS REQUIRED PER MANUFACTURER'S INSTRUCTIONS. EDWARDS # 7005-G5/592/6536-G5.
	TV COAX OUTLET CONSISTING OF A BLONDER TONGUE #V-1GF-FTA JACK AND WHITE COVERPLATE. MOUNT OVER A FLUSH TWO-GANG OUTLET BOX WITH SINGLE GANG PLASTER RING AT 18" AFF WHERE POSSIBLE, OTHERWISE INSTALLED DEVICE OVER A SURFACE WIREMOLD BOX.
	1-PORT PHONE OUTLET (HUBBELL #SP6R, OR EQUAL) WITH ONE CATEGORY 6 JACK (ONE VOICE, HUBBELL HJX6B, OR EQUAL). INSTALL IN A SURFACE, WALL MOUNTED TWO-GANG WIREMOLD OUTLET BOX WITH SINGLE GANG PLASTER RING AT 44" AFF. INSTALL SURFACE METAL RACEWAY PER PLANS. PROVIDE WHITE COVERPLATE WITH INTEGRAL MOUNTING STUDS FOR WALL TELEPHONE. CABLING SHALL BE ROUTED BACK TO TELEPHONE BLOCKS ON FIRST FLOOR VIA NEW LOW-VOLTAGE RISER.
	DATA OUTLET PROVISION CONSISTING OF A FLUSH MOUNTED, TWO-GANG DEEP OUTLET BOX WITH SINGLE GANG PLASTER RING AT 18" AFF, U.N.O. STUB A 1" (WITH INSULATING BUSHING EACH END) FROM BOX UP TO CEILING SPACE FOR CABLE INSTALLATION BY OTHERS. PROVIDE SURFACE WIREMOLD BOX AND SURFACE METAL RACEWAY WHEN BOX CANNOT BE FLUSH MOUNTED. COORDINATE ROUGH-IN LOCATION WITH OWNER AND LOW-VOLTAGE CONTRACTOR PRIOR TO EXECUTION OF WORK.
	EXISTING EXTERIOR CCTV CAMERA TO BE REPLACED BY SECURITY VENDOR.
	CEILING MOUNTED CCTV CAMERA FURNISHED AND INSTALLED BY SECURITY VENDOR. DEVICE SHOWN FOR REFERENCE ONLY.

	EXTERIOR POLE MOUNTED CCTV CAMERA FURNISHED AND INSTALLED BY SECURITY VENDOR ON EXISTING POLE/MAST ARM. DEVICE SHOWN FOR REFERENCE ONLY.
	EXTERIOR WALL MOUNTED CCTV CAMERA FURNISHED AND INSTALLED BY SECURITY VENDOR.
	ACCESS CONTROLS CARD READER, FURNISH AND INSTALLED BY SECURITY VENDOR. EC SHALL FURNISH AND INSTALL RACEWAYS AND OUTLET BOXES AS REQUIRED (42" AFF). CABLING AND HEAD END EQUIPMENT BY SECURITY VENDOR.
	FIRE ALARM SYSTEM ADDRESSABLE PULL STATION. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. MOUNT OVER A SURFACE MOUNTED, TWO-GANG RED-COLORED WIREMOLD OUTLET BOX AT 48" AFF TO PULL STATION HANDLE HANDLE. PROVIDE SELF-LAMINATING LABEL IDENTIFYING DEVICE ADDRESS.
	FIRE ALARM SYSTEM ADDRESSABLE SMOKE DETECTOR. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. MOUNT OVER A 4" OUTLET BOX ON UNDERSIDE OF CEILING (FLUSH MOUNT IN AREAS WITH LAY-IN CEILINGS). PROVIDE SELF-LAMINATING LABEL IDENTIFYING DEVICE ADDRESS.
	SIMILAR TO "S" * EXCEPT PROGRAMMED FOR ELEVATOR RECALL.
	FIRE ALARM SYSTEM ADDRESSABLE COMBINATION TYPE SMOKE DETECTOR WITH HEAT SENSOR AND CARBON MONOXIDE BASE. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. MOUNT OVER A 4" OUTLET BOX ON UNDERSIDE OF CEILING (FLUSH MOUNT IN AREAS WITH LAY-IN CEILINGS). PROVIDE SELF-LAMINATING LABEL IDENTIFYING DEVICE ADDRESS.
	FIRE ALARM SYSTEM ADDRESSABLE HEAT DETECTOR. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. MOUNT OVER A 4" OUTLET BOX ON UNDERSIDE OF CEILING (FLUSH MOUNT IN AREAS WITH LAY-IN CEILINGS). PROVIDE SELF-LAMINATING LABEL IDENTIFYING DEVICE ADDRESS.
	FIRE ALARM SYSTEM ADDRESSABLE CONTROL MODULE. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. FURNISH AND INSTALL INSIDE A RED COLORED JUNCTION BOX ADJACENT TO EQUIPMENT. PROVIDE 2 #14 THHN CONDUCTORS FROM CONTROL MODULE TO EQUIPMENT. PROVIDE SELF-LAMINATING LABEL IDENTIFYING DEVICE ADDRESS.
	FIRE ALARM SYSTEM ADDRESSABLE MONITOR MODULE. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. FURNISH AND INSTALL INSIDE A RED COLORED JUNCTION BOX ADJACENT TO EQUIPMENT. PROVIDE 2 #14 THHN CONDUCTORS FROM MONITOR MODULE TO EQUIPMENT. PROVIDE SELF-LAMINATING LABEL IDENTIFYING DEVICE ADDRESS.
	FIRE ALARM SYSTEM ELEVATOR RECALL CONTROL CONSISTING OF THREE CONTROL MODULES (PRIMARY RECALL, SECONDARY RECALL, FIRE HAT) MOUNTED INSIDE A COMMON ENCLOSURE. PROVIDE 6 #14 THHN CONDUCTORS FROM CONTROL MODULES TO EQUIPMENT. PROVIDE SELF-LAMINATING LABELS IDENTIFYING DEVICE ADDRESSES ON THE OUTSIDE OF THE ENCLOSURE.
	FIRE ALARM SYSTEM ADDRESSABLE WALL MOUNTED COMBINATION SPOAKER/STROBE NOTIFICATION APPLIANCE. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. MOUNT OVER A FLUSH TWO-GANG 4" X 1-1/2" DEEP BOX WITH ADDITIONAL 1-1/2" EXTENSION RING AT 80" AFF. FOR INSTALLATIONS ON MASONRY/BLOCK WALLS, SURFACE MOUNT OUTLET BOX AND PROVIDE ADAPTER SKIRT.
	SIMILAR TO "D" * EXCEPT DEVICE SHALL BE CEILING-MOUNT TYPE. PROVIDE SURFACE ADAPTER SKIRT.
	FIRE ALARM SYSTEM ADDRESSABLE WALL MOUNTED VISUAL-ONLY NOTIFICATION APPLIANCE. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. MOUNT OVER A FLUSH TWO-GANG 4" X 1-1/2" DEEP BOX AND SINGLE GANG PLASTER RING AT 80" AFF. FOR INSTALLATIONS ON MASONRY/BLOCK WALLS, SURFACE MOUNT OUTLET BOX AND PROVIDE ADAPTER SKIRT.
	SIMILAR TO "D" * EXCEPT PROVIDED WITH A GASKETED WEATHERPROOF COVER FOR USE IN DAMP/WET LOCATIONS.
	FIRE ALARM SYSTEM ADDRESSABLE CEILING MOUNTED SPEAKER-ONLY NOTIFICATION APPLIANCE. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. MOUNT OVER A FLUSH TWO-GANG 4" X 2-1/8" OUTLET BOX. FOR INSTALLATIONS ON CONCRETE CEILINGS, SURFACE MOUNT OUTLET BOX AND PROVIDE SURFACE ADAPTER SKIRT.
	FIRE ALARM SYSTEM ADDRESSABLE WALL MOUNTED SPEAKER NOTIFICATION APPLIANCE. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION. MOUNT OVER A FLUSH TWO-GANG 4" X 1-1/2" DEEP BOX WITH ADDITIONAL 1-1/2" EXTENSION RING AT 80" AFF. FOR INSTALLATIONS ON MASONRY/BLOCK WALLS, SURFACE MOUNT OUTLET BOX AND PROVIDE ADAPTER SKIRT.
	FIRE ALARM SYSTEM REMOTE ANNUNCIATOR. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION.
	FIRE ALARM CONTROL PANEL. REFER TO SPECIFICATION SECTION 280721 FOR DESCRIPTION.
	TERMINAL CONNECTION FOR EQUIPMENT FURNISHED AND INSTALLED BY OTHERS. LINE CONNECTION BY THE ELECTRICAL CONTRACTOR.
	MANUAL MOTOR STARTER TOGGLE SWITCH WITH NEMA 1 ENCLOSURE, SURFACE MOUNTED ON WALL AT APPROXIMATELY 48" AFF. REFER TO SPECIFICATION SECTION 260154 FOR DESCRIPTION.
	AUTOMATIC DOOR OPERATOR FURNISH AND SET BY THE GENERAL TRADES CONTRACTOR AND WIRED BY THE ELECTRICAL CONTRACTOR. THE EC SHALL BE RESPONSIBLE FOR ALL ASSOCIATED WIRING, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO: LINE VOLTAGE INPUT, LOW-VOLTAGE CONNECTIONS TO EXTERNAL DEVICES SUCH AS PUSH PLATES OR CARD ACCESS SYSTEMS, FIRE ALARM INTERFACES, ETC. REFER TO MANUFACTURER'S INSTALLATION GUIDE FOR QUANTITY AND SIZE OF CONDUCTORS REQUIRED.
	DOOR OPERATOR PUSH PLATE, FURNISHED BY THE GENERAL TRADES CONTRACTOR, SET AND WIRED BY THE ELECTRICAL CONTRACTOR OVER A TWO-GANG OUTLET BOX AT 42" AFF. THE EC SHALL BE RESPONSIBLE FOR ALL ASSOCIATED WIRING.
	NON-FUSED, HEAVY-DUTY DISCONNECT SWITCH (NEMA 1 INDOORS, NEMA 3R OUTDOORS) FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. REFER TO PLANS FOR AMPERE RATING AND QTY. OF POLES. PROVIDE GROUND LUG. REFER TO SPECIFICATION SECTION 260170 FOR DETAILS.
	SIMILAR TO "X" * EXCEPT FUSED DISCONNECT.
	DRY TYPE TRANSFORMER.
	JUNCTION BOX WITH BLANK SCREW COVERPLATE, INSTALLED ABOVE ACCESSIBLE CEILINGS. SIZE AS REQUIRED PER NEC.
	JUNCTION BOX WITH BLANK SCREW COVERPLATE, INSTALLED ON CEILING AND WALL SURFACES IN CONJUNCTION WITH SURFACE WIRING. SIZE AS REQUIRED PER NEC.
	CONDUIT AND WIRING FURNISHED AND INSTALLED ABOVE CEILINGS AND INSIDE WALLS BY THE ELECTRICAL CONTRACTOR. LONG HASH MARKS INDICATE QUANTITY OF #12 THHN CONDUCTORS (UNLESS NOTED OTHERWISE). SHORT HASH MARK INDICATES A GREEN, INSULATED COPPER GROUND SIZED IN ACCORDANCE WITH NEC TABLE 250-122.
	CONDUIT AND WIRING FURNISHED AND INSTALLED ON CEILINGS AND WALL SURFACES BY THE ELECTRICAL CONTRACTOR. LONG HASH MARKS INDICATE QUANTITY OF #12 THHN CONDUCTORS (UNLESS NOTED OTHERWISE). SHORT HASH MARK INDICATES A GREEN, INSULATED COPPER GROUND SIZED IN ACCORDANCE WITH NEC TABLE 250-122.
	ELECTRICAL FEEDER, FURNISHED AND INSTALLED ON CEILING AND WALL SURFACES BY THE ELECTRICAL CONTRACTOR, U.N.O. REFER TO DISTRIBUTION DIAGRAMS.
	ELECTRICAL FEEDER, FURNISHED AND INSTALLED AT APPROXIMATELY 30" BELOW GRADE BY THE ELECTRICAL CONTRACTOR. REFER TO DISTRIBUTION DIAGRAMS.
	SURFACE-MOUNTED, WHITE, WIREMOLD #2000 SERIES METALLIC RACEWAY FOR ROUTING LOW-VOLTAGE CABLING PER UNIT PLANS, COMPLETE WITH ALL ENTRANCE FITTINGS AND INTERNAL/EXTERNAL ELBOWS AS REQUIRED.
	FIRE ALARM SYSTEM RACEWAY AND CABLING BY THE ELECTRICAL CONTRACTOR. UNLESS NOTED OTHERWISE ON PLANS, FURNISH AND INSTALL CABLING INSIDE 1" EMT CONDUIT (PAINTED RED).



DAVID L. HERNANDEZ  
LICENSE # 74767  
EXPIRES: 12.31.2025

## BEECHWOOD APARTMENTS

330 Forest Ave.  
Cincinnati, OH 45229

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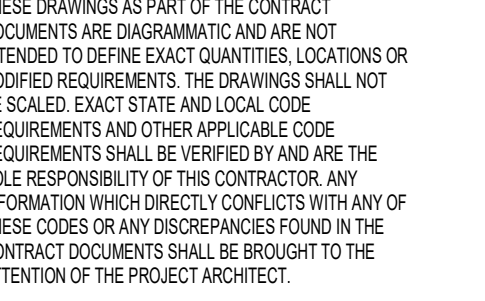
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## BID SET

PROJECT DATE: 01.05.2024  
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24

## SYMBOL SCHEDULE

# E.701

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