

GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

BEECHWOOD APARTMENTS

330 Forest Ave.
Cincinnati, OH 45229

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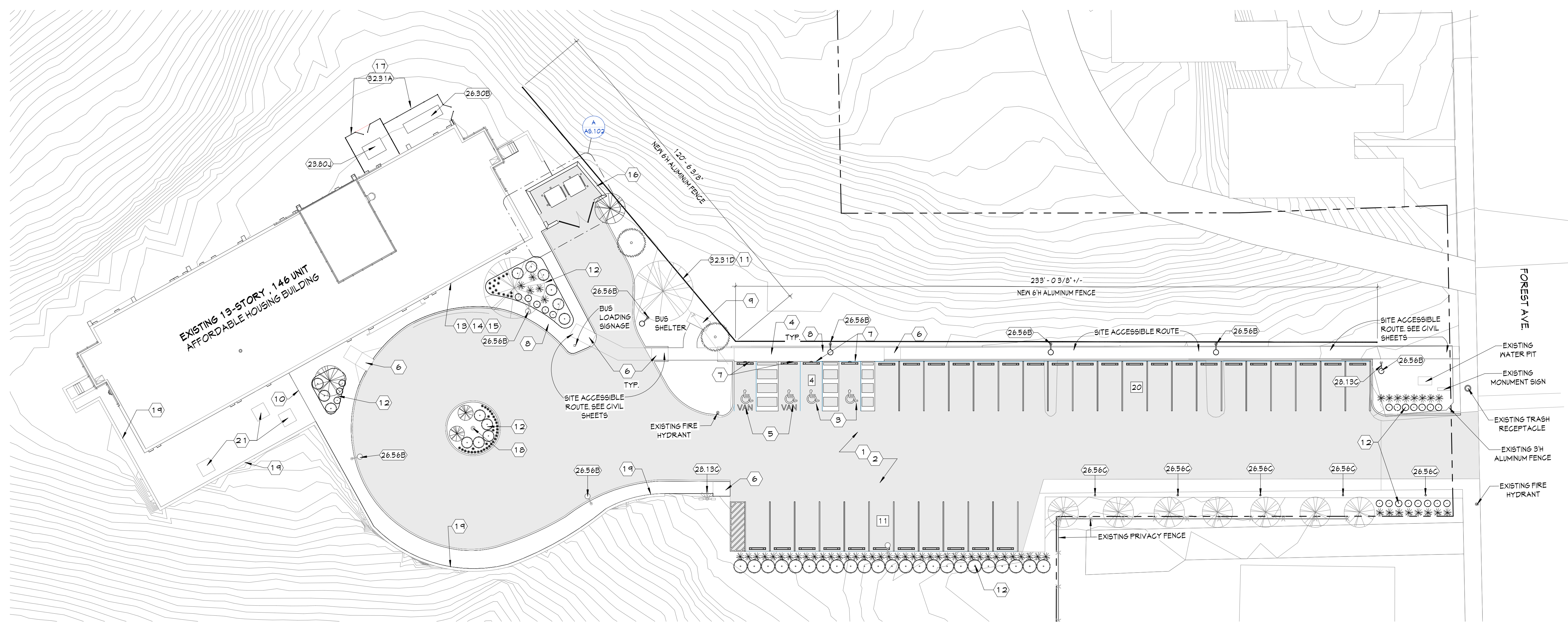
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- ### KEYNOTES
- 23.80J NEW AIR COOLED CONDENSING UNIT
 - 26.30B NEW DIESEL GENERATOR AND CONCRETE PAD
 - 26.56B NEW POLE MOUNTED LIGHTING ON NEW OR EXISTING BASE/FOUNDATION - SEE ELEC. DWGS.
 - 26.56C NEW BOLLARD LIGHTING - SEE ELECTRICAL DRAWINGS
 - 28.13C NEW SECURITY CAMERAS TO BE MOUNTED ON EXISTING POLE - SEE ELEC. DWGS.
 - 32.31A NEW CHAIN LINK FENCE AND GATE
 - 32.31D NEW 6' HIGH ALUMINUM FENCE

*REFER TO CIVIL DRAWINGS FOR FULL EXTENT OF SITE SCOPE OF WORK

- ### CODED NOTES - SITE PLAN
- 1 SEAL AND RESTRIPE PAVEMENT, REINSTALL PARKING BLOCKS AT PARKING SPACES
 - 2 MILL AND OVERLAY PARKING LOT RESURFACE AT 1.5"
 - 3 HG PARKING SPACE, TO BE RECONFIGURED; CONTRACTOR TO CONFIRM CODE COMPLIANCE OF PROPOSED LOCATIONS AND TO NOTIFY ARCHITECT OF ANY NON-COMFORMANCE.
 - 4 R/R ADJACENT SIDEWALKS TO MEET ACCESSIBLE SLOPES AND CONFIGURE SPACES TO MEET CURRENT ACCESSIBILITY. BASE TO BE MODIFIED AS REQUIRED TO PERMIT CODE COMPLIANT SLOPES
 - 5 PROVIDE TWO VAN ACCESSIBLE SPACES
 - 6 INSTALL NEW CURB RAMPS. REFER TO CIVIL DWGS FOR DETAILS.
 - 7 R/R HG PARKING SIGNAGE
 - 8 R/R DAMAGED CONCRETE SIDEWALKS FINISH TO MATCH EXISTING
 - 9 EXISTING BUS SHELTER AND CONCRETE SLAB TO REMAIN.
 - 10 INSTALL CONCRETE JOINT SEALANT AT CONTROL JOINTS, CRACKS AND ABUTMENTS AT EXISTING SIDEWALKS
 - 11 R/R EXISTING FENCES AND GATES
 - 12 NEW PLANTINGS - REFER TO LANDSCAPE PLAN
 - 13 WATER SUPPLY - SEPARATE DOMESTIC FIRE AND FIRE WATER SERVICES IN ACCORDANCE WITH THE GREATER CINCINNATI WATER WORKS. REQUIRES NEW VAULT AND SEPARATE ENTRANCES TO THE BUILDING
 - 14 INSPECT AND CLEAR ALL UNDERGROUND ROOF DRAINAGE CONDUIT. CLEAR ANY SECTIONS BY JET SPRAY METHOD
 - 15 SANITARY/SEWER - EXISTING TO REMAIN. POWER FLUSH TO CLEAR MAINS AND CAMERA FOR CONDITION ASSESSMENT
 - 16 PROVIDE SCREEN WALL AND GATE AROUND DUMPSTER PAD
 - 17 PROVIDE FENCE AROUND CONDENSING UNIT AND GENERATOR
 - 18 EXISTING FLAG POLE TO REMAIN.
 - 19 EXISTING CONCRETE RETAINING WALL TO BE CLEANED, PREPARED AND PAINTED. R/R EXISTING EXPANSION JOINT SEALANTS.
 - 21 EXISTING OUTDOOR PICNIC TABLE TO REMAIN.



- EXISTING WATER PIT
- EXISTING MONUMENT SIGN
- EXISTING TRASH RECEPTACLE
- EXISTING 3H ALUMINUM FENCE
- EXISTING FIRE HYDRANT

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24
3	Addendum 3	02.22.24

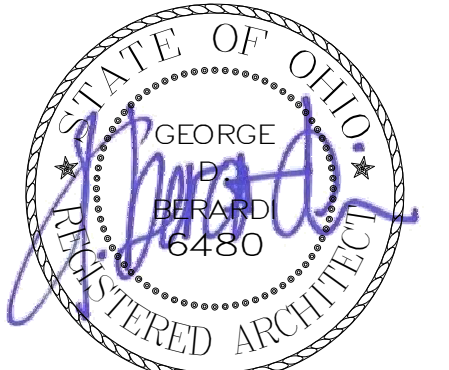
SITE PLAN

AS.101

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1 AS.101 SITE PLAN
1" = 20'-0"

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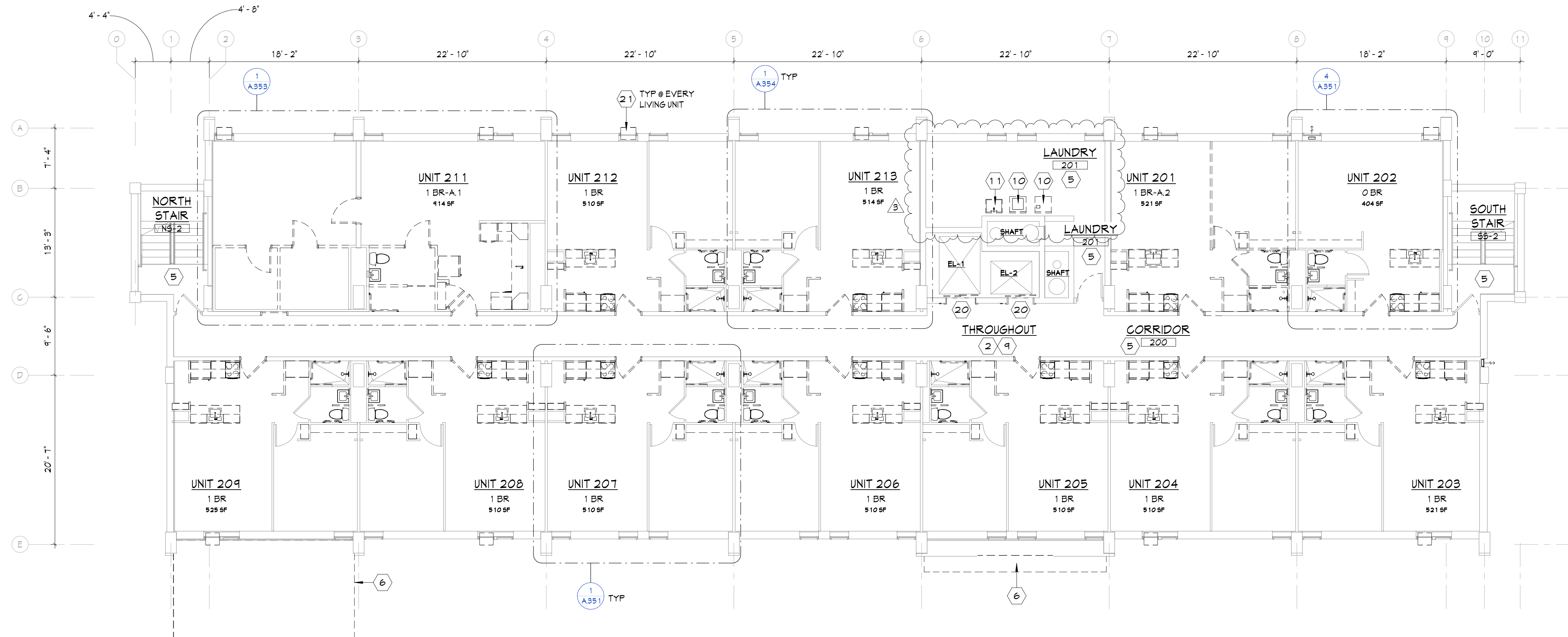
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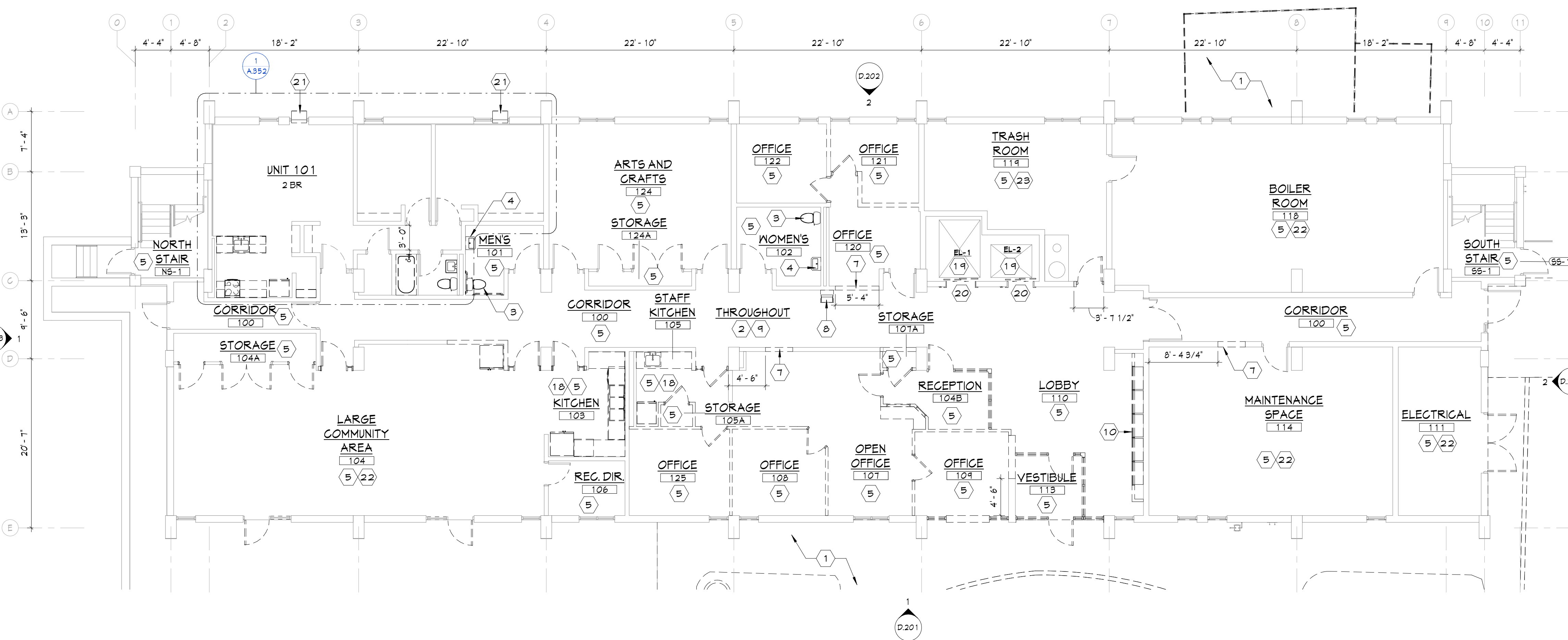
FIRST & SECOND FLOOR DEMO PLANS

D.101

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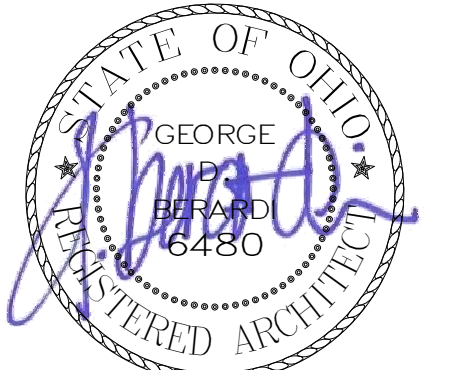


2 SECOND FLOOR DEMO PLAN
1/8" = 1'-0"



1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"

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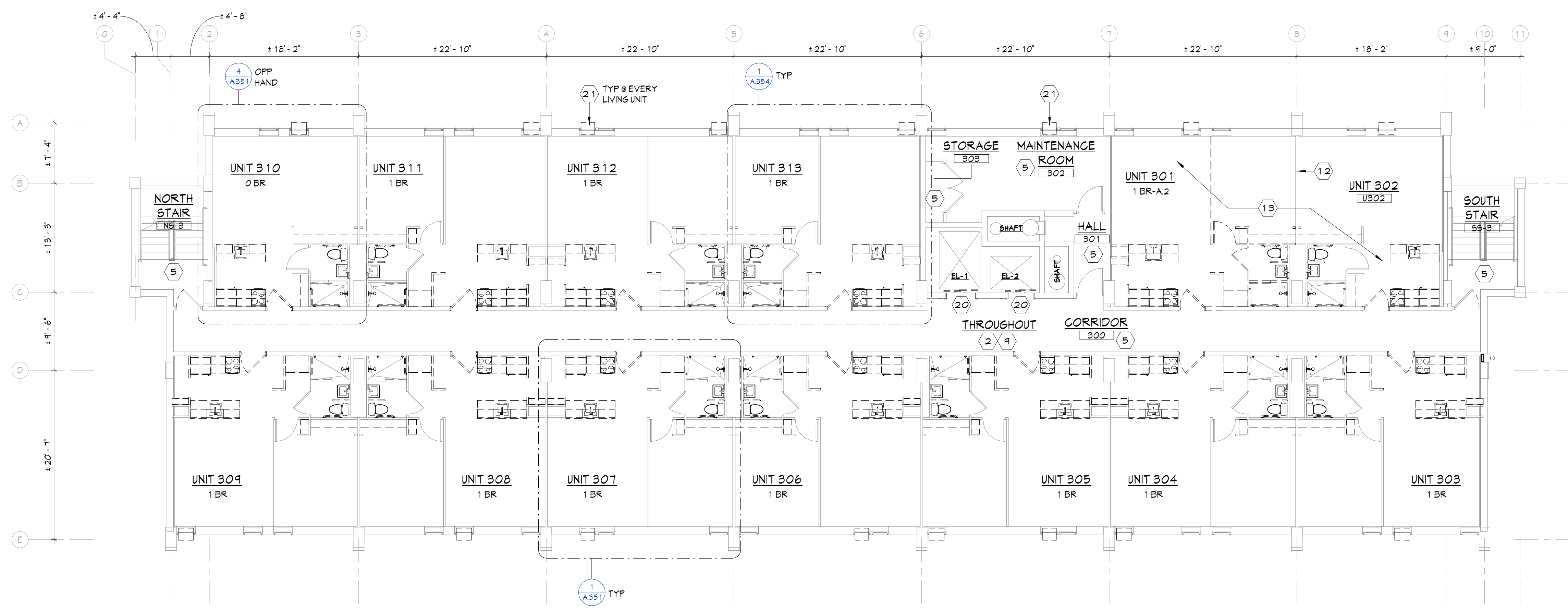
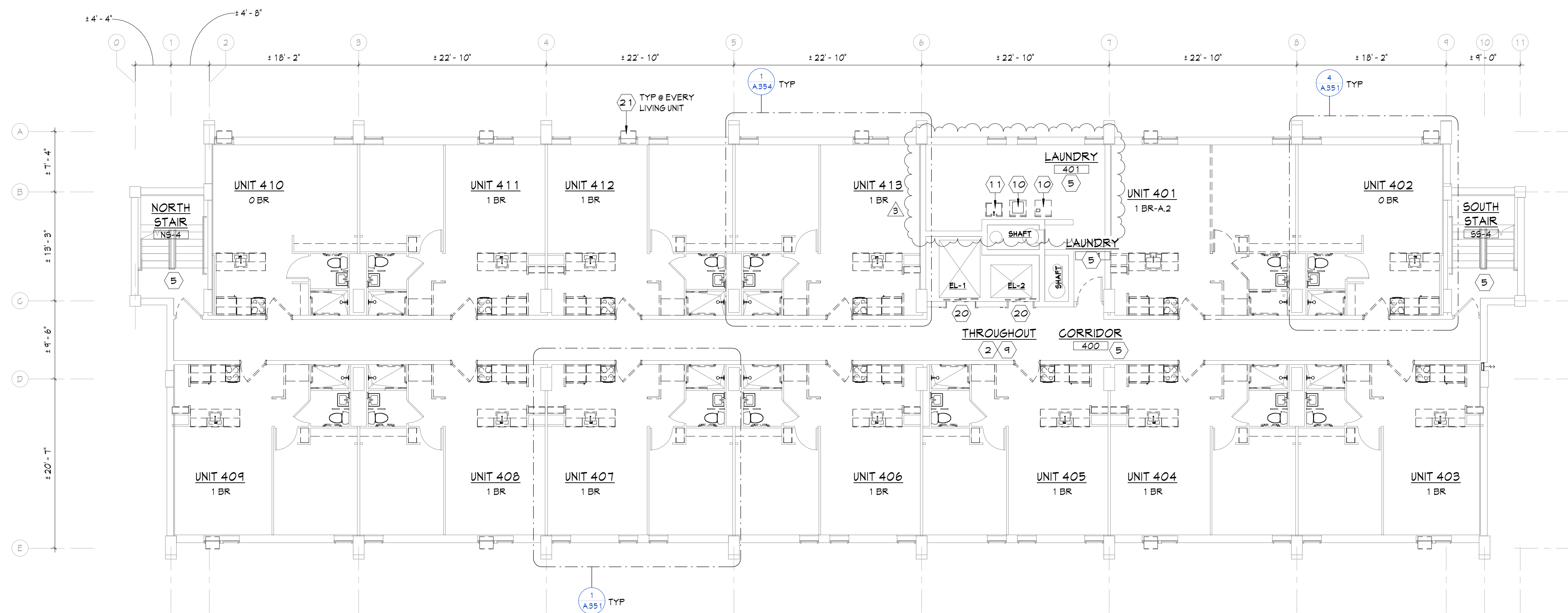
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THIRD & FOURTH FLOOR DEMO PLANS

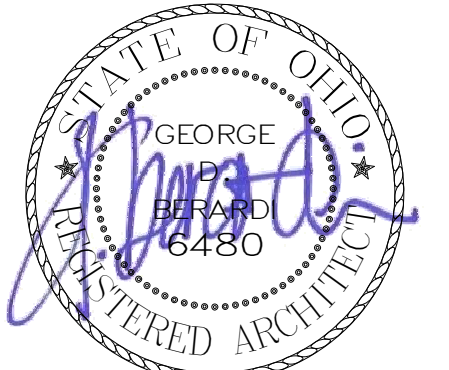
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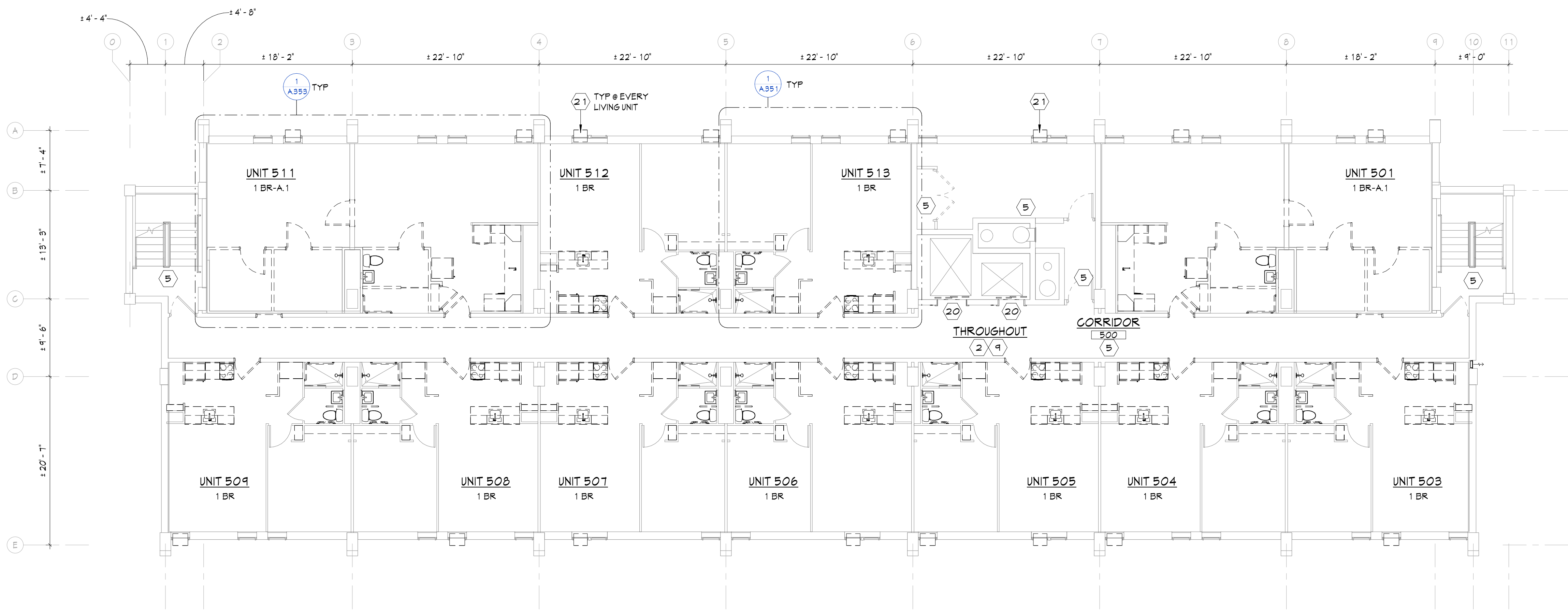
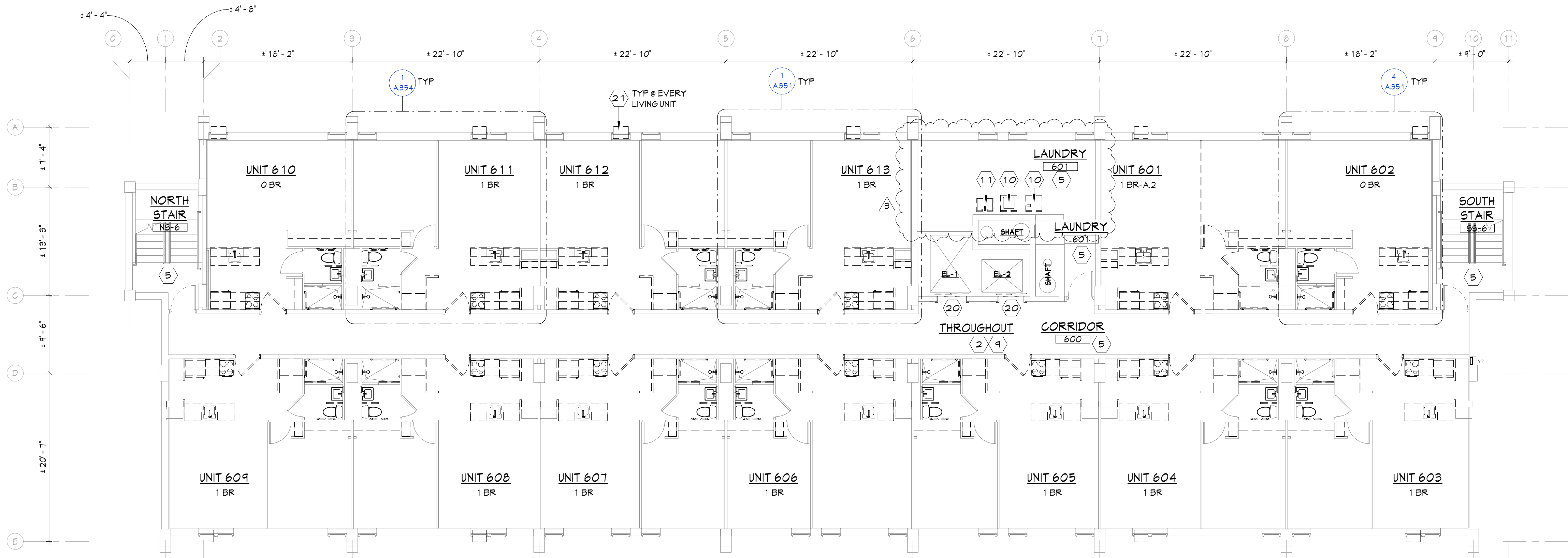
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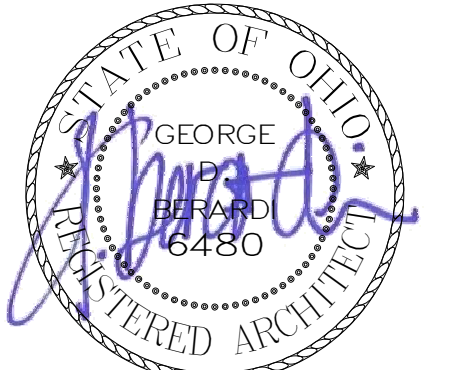
FIFTH & SIXTH FLOOR DEMO PLANS

D.103

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BID SET

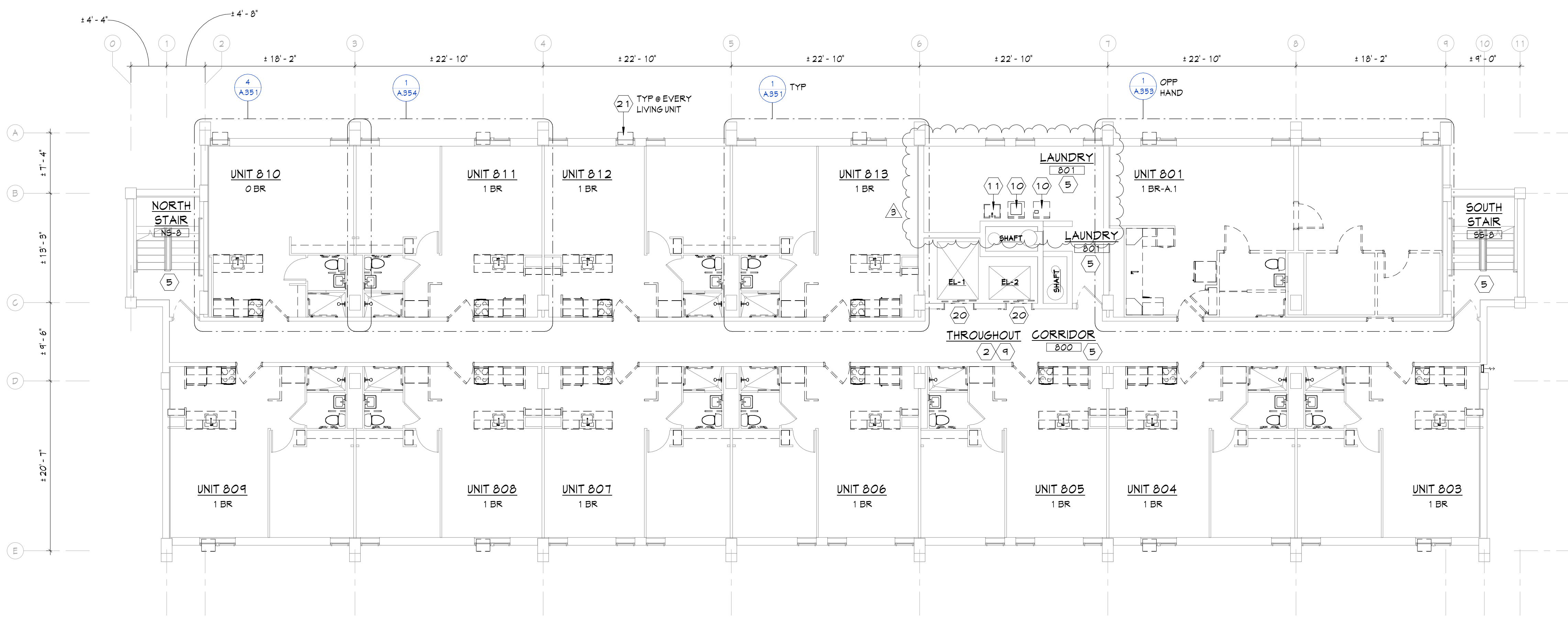
PROJECT DATE: 01.05.2024
 PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24
2	Addendum 2	02.09.24
3	Addendum 3	02.22.24

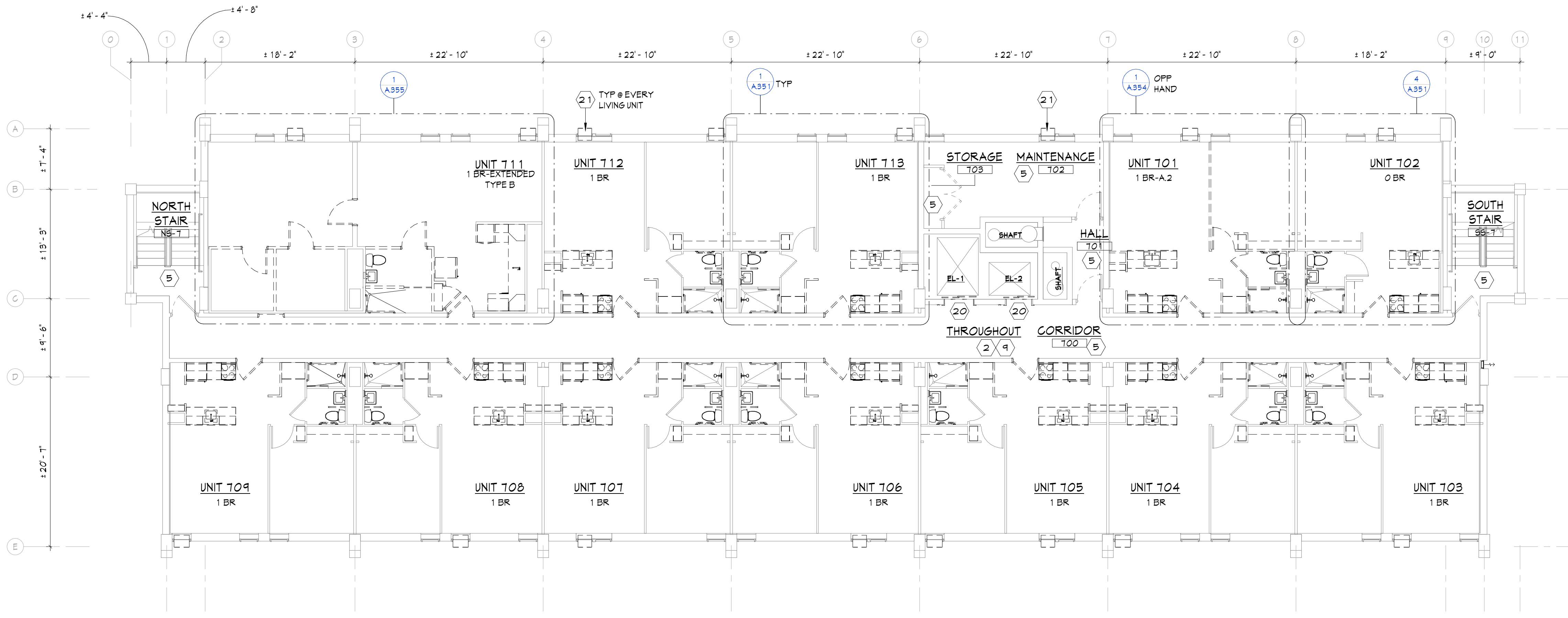
SEVENTH & EIGHTH FLOOR DEMO PLANS

D.104

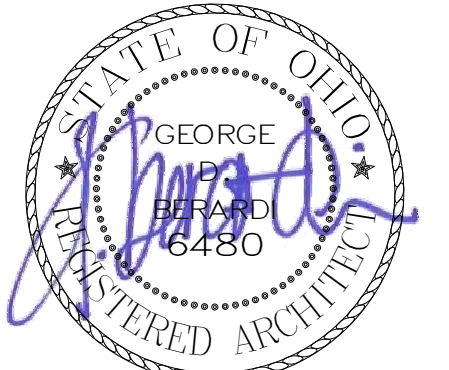
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 P 614.221.1110 berardipartners.com



2
 D.104 EIGHTH FLOOR DEMO PLAN
 1/8" = 1'-0"



1
 D.104 SEVENTH FLOOR DEMO PLAN
 1/8" = 1'-0"



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

BEECHWOOD APARTMENTS

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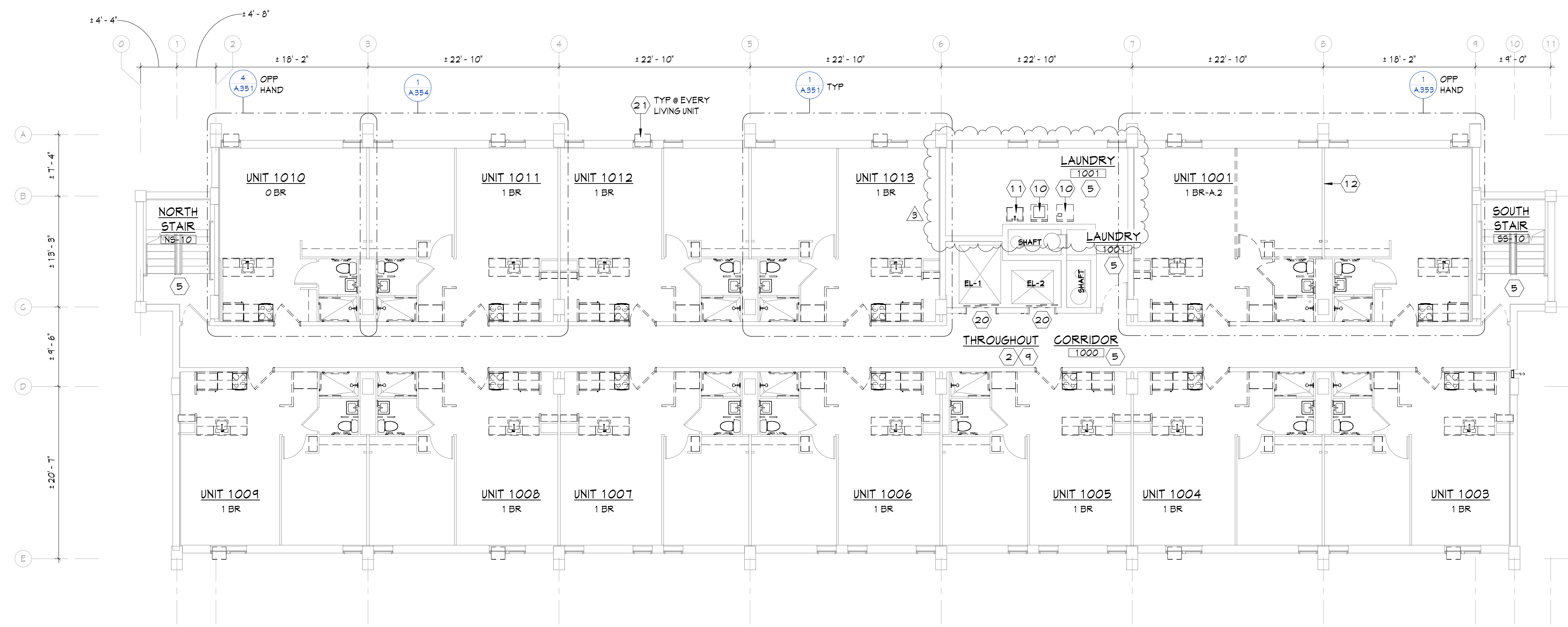
PROJECT DATE: 01.05.2024
PROJECT #: 20178

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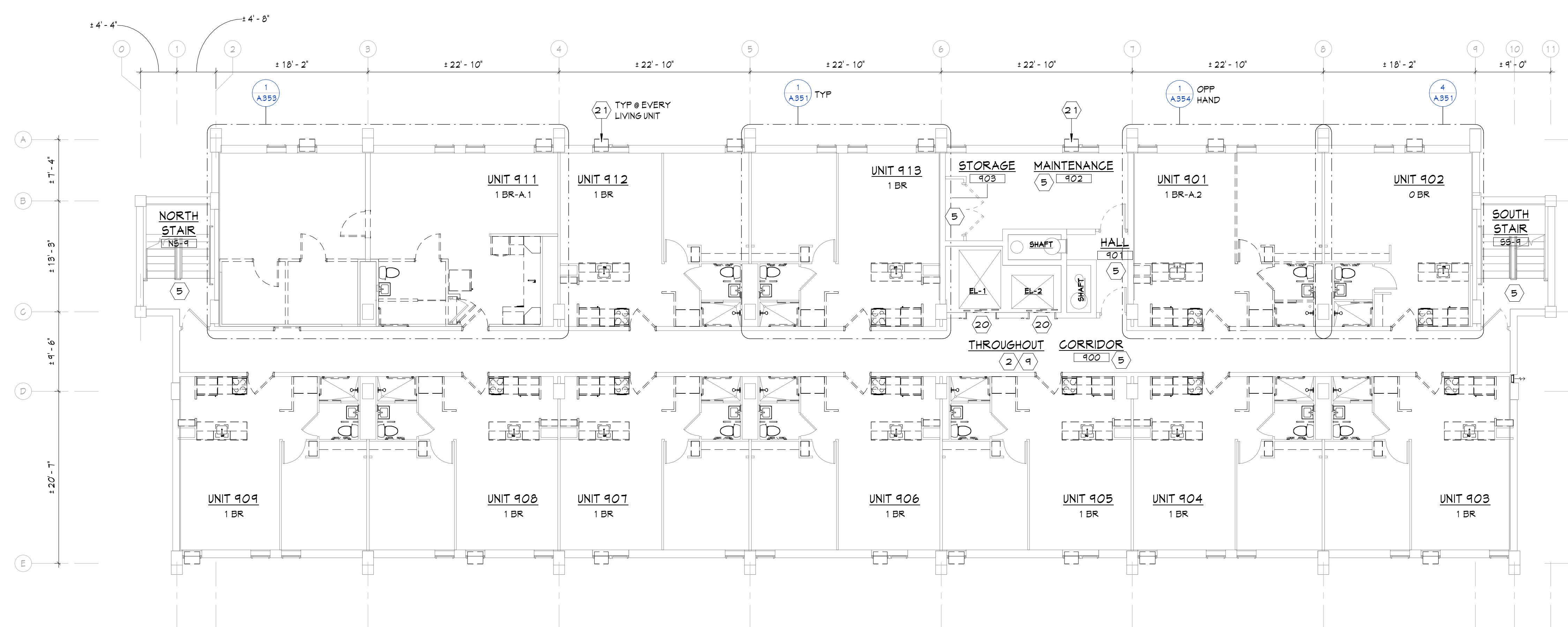
NINTH & TENTH FLOOR DEMO PLANS

D.105

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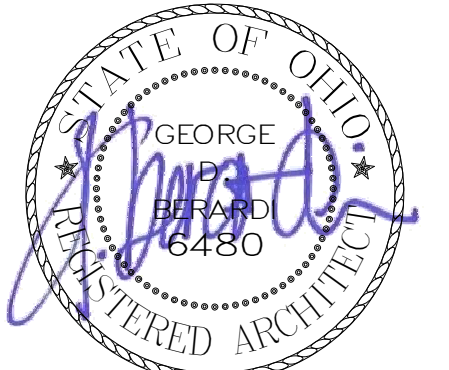


2
D.105
TENTH FLOOR DEMO PLAN
1/8" = 1'-0"



1
D.105
NINTH FLOOR DEMO PLAN
1/8" = 1'-0"

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GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

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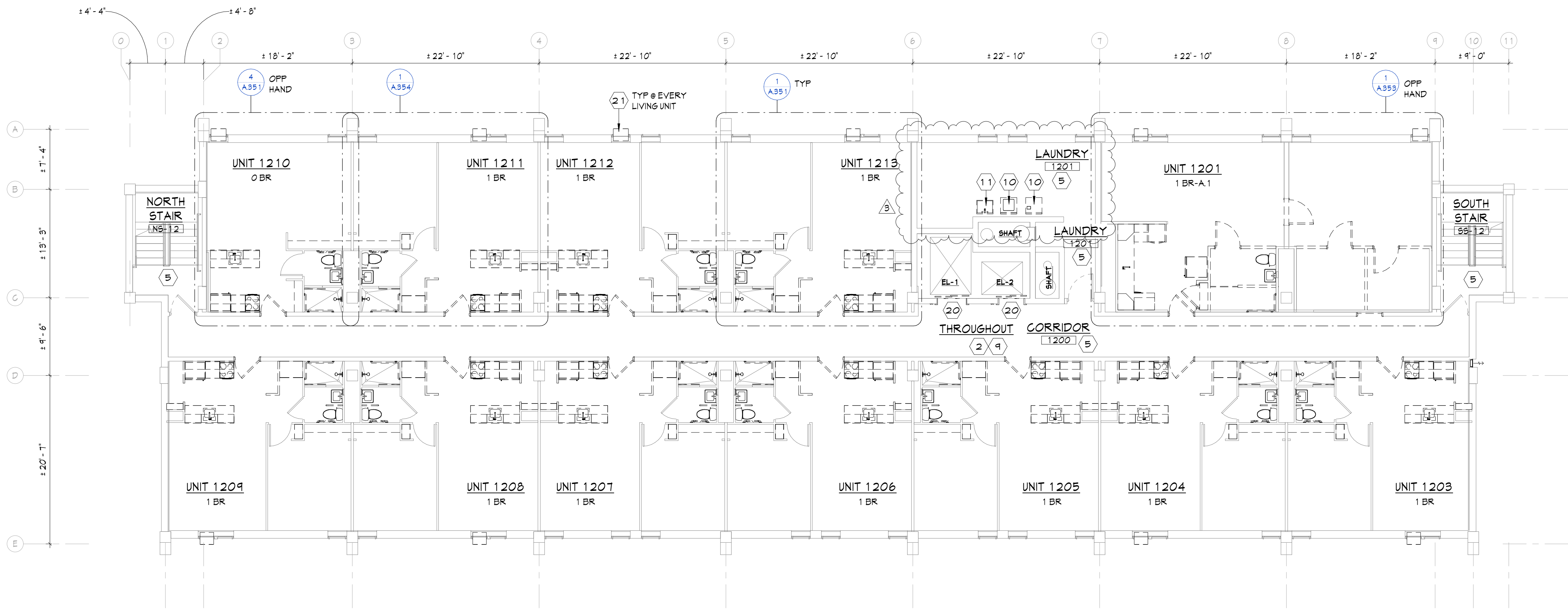
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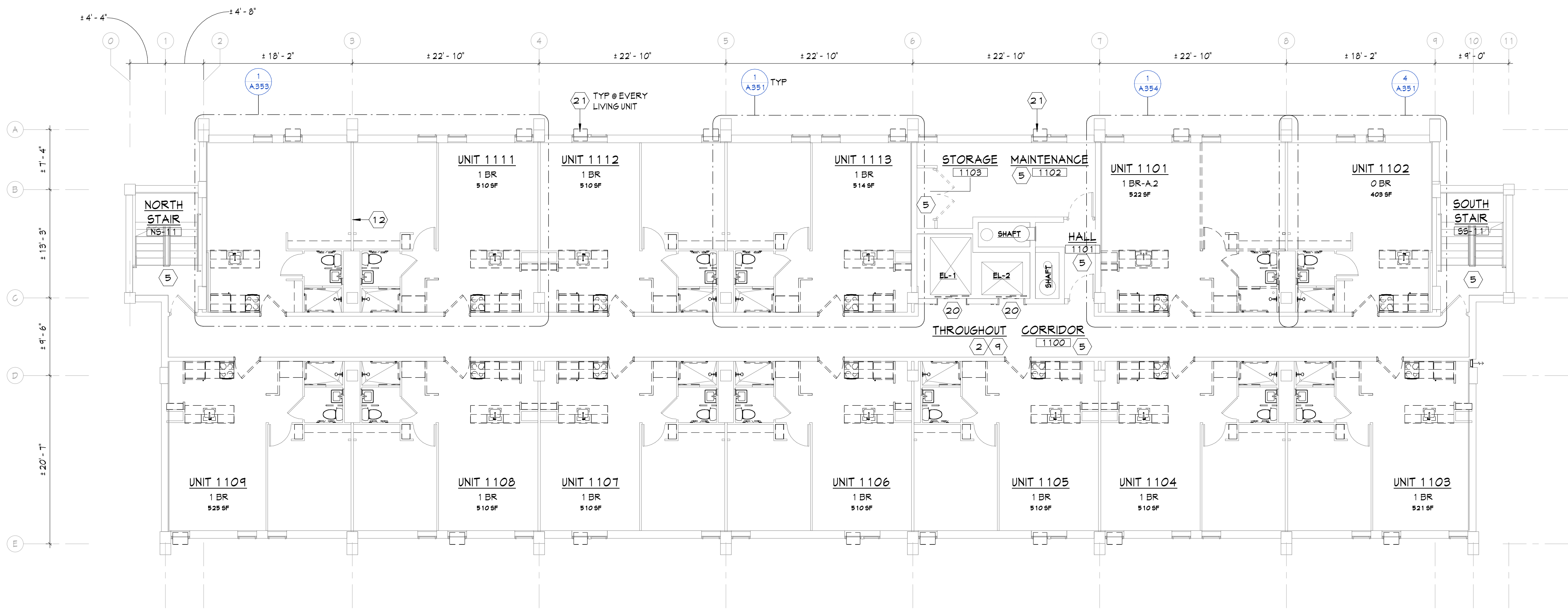
ELEVENTH & TWELFTH FLOOR DEMO PLANS

D.106

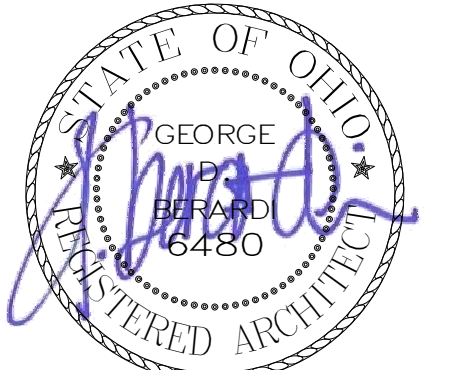
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2
D.106
TWELFTH FLOOR DEMO PLAN
1/8" = 1'-0"



1
D.106
ELEVENTH FLOOR DEMO PLAN
1/8" = 1'-0"



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

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CODED NOTES - FLOOR PLANS

1 ADD ALTERNATE, PROVIDE WALL TYPE #16 ON ALL CMU WALLS IN CORRIDOR.

KEYNOTES

- 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES WHERE SHOWN (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
- 21.12C EXISTING FIRE-DEPARTMENT CONNECTION
- 22.30D EXISTING GAS SERVICE EQUIPMENT - SEE PLUMBING DRAWINGS
- 22.40L JANITOR MOP SINK - SEE FIXTURE SCHEDULE

BID SET

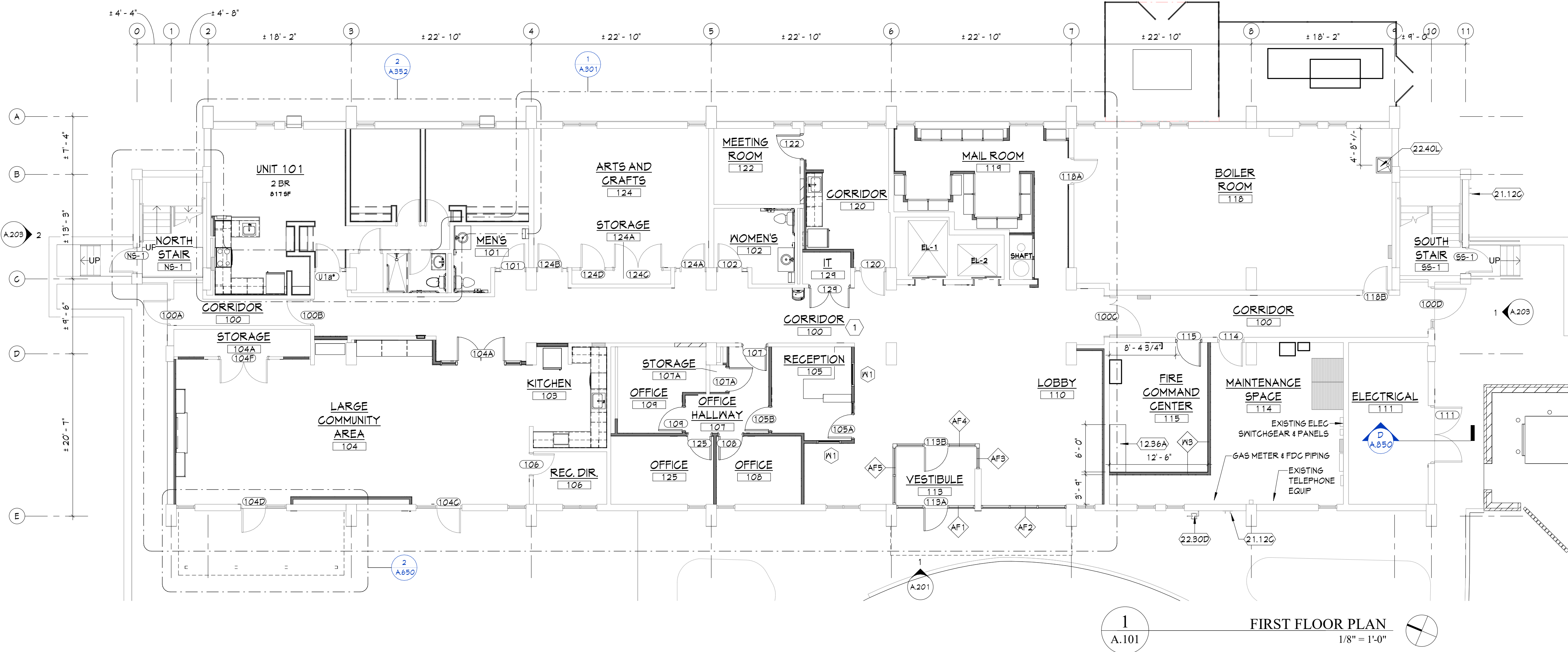
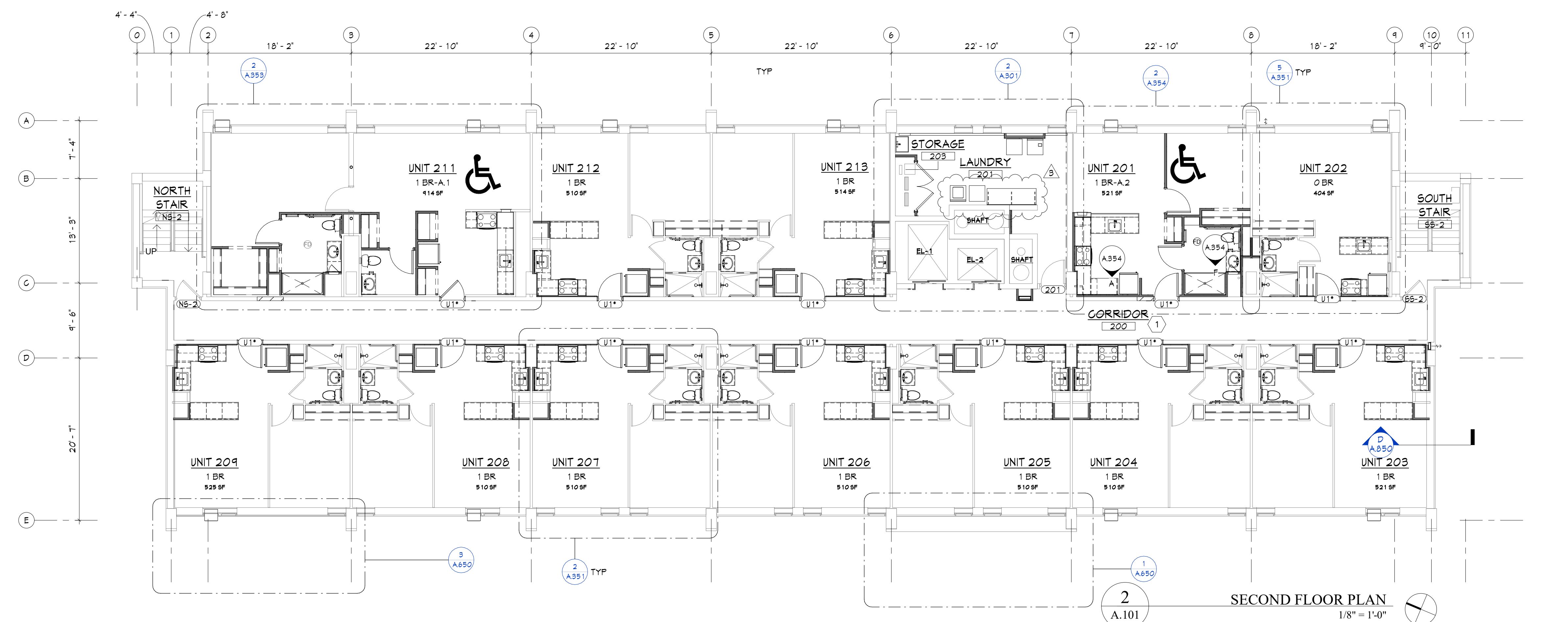
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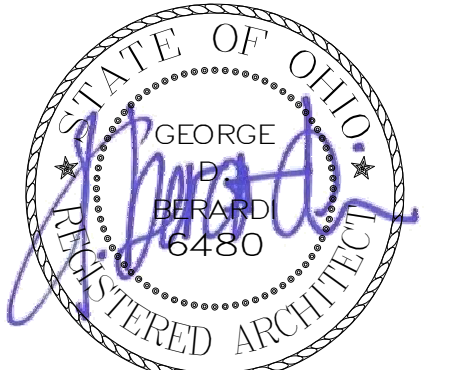
FIRST & SECOND FLOOR PLANS

A.101

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LICENSE # 6480
EXPIRES: 12.31.2025

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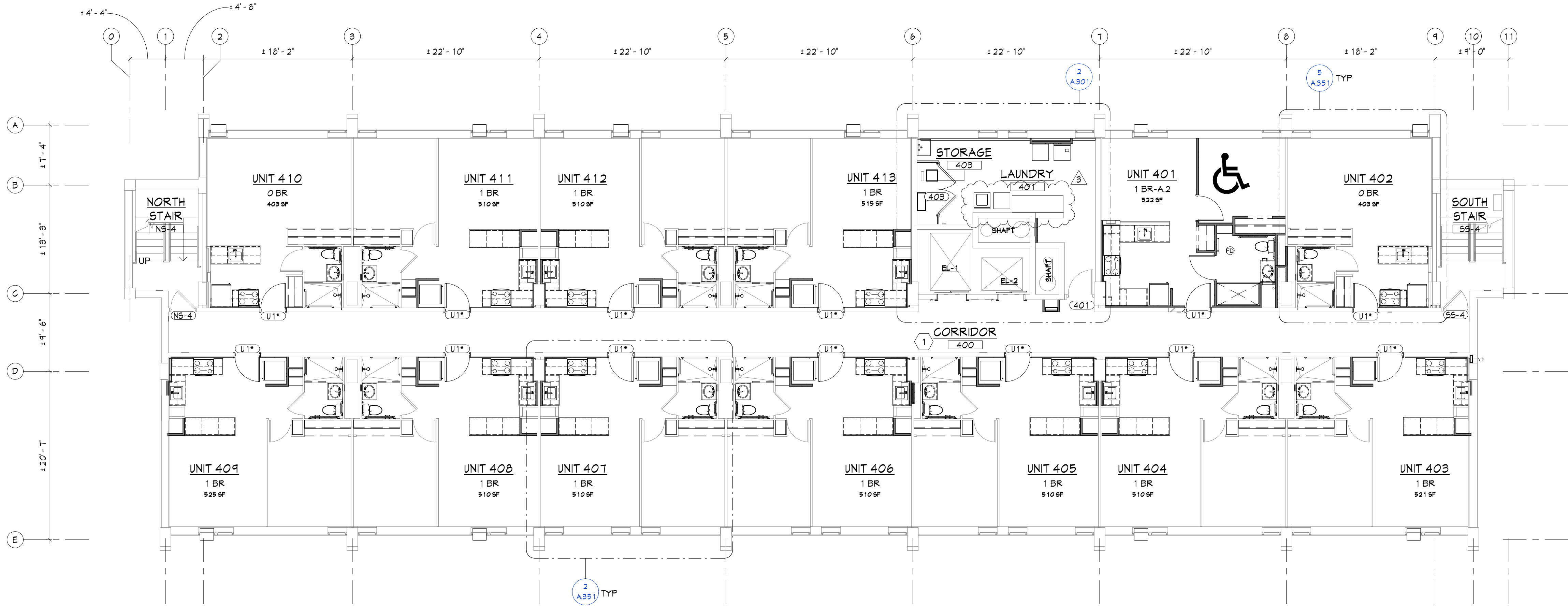
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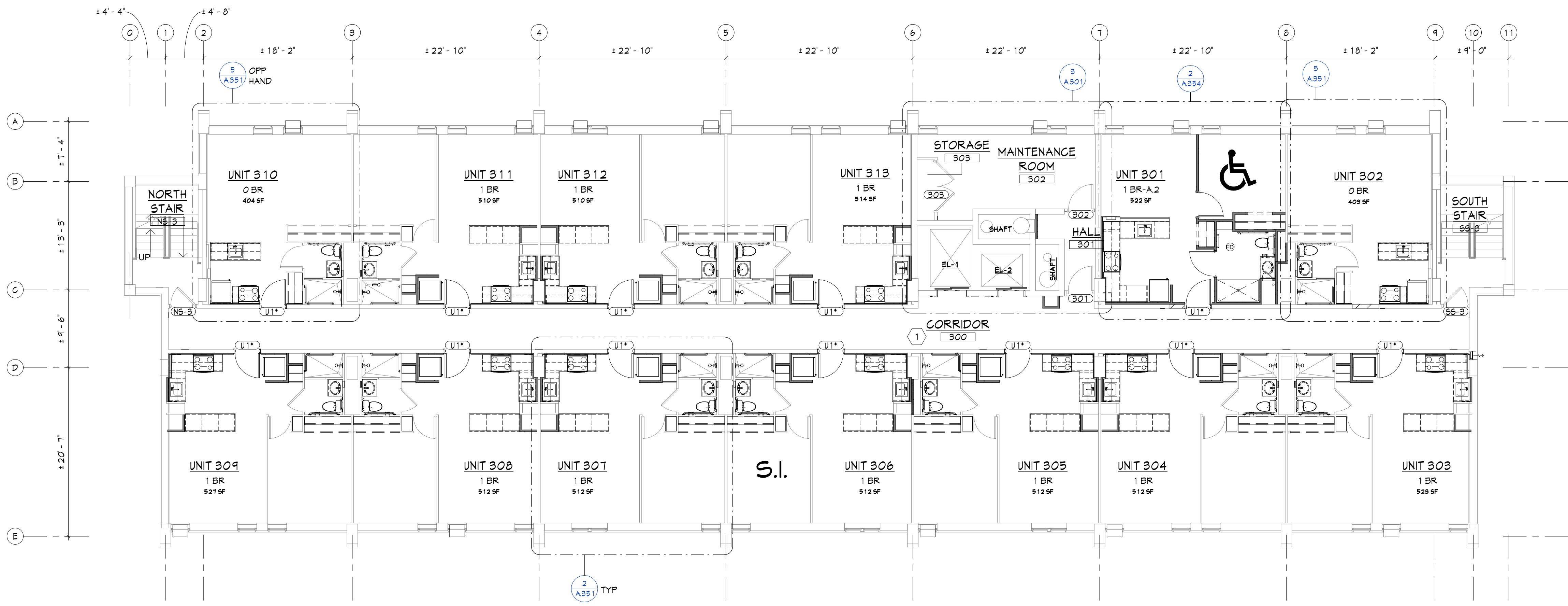
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CODED NOTES - FLOOR PLANS
1 ADD ALTERNATE. PROVIDE WALL TYPE M 16 ON ALL GMM WALLS IN CORRIDOR.



2
A.102
FOURTH FLOOR PLAN
1/8" = 1'-0"



1
A.102
THIRD FLOOR PLAN
1/8" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

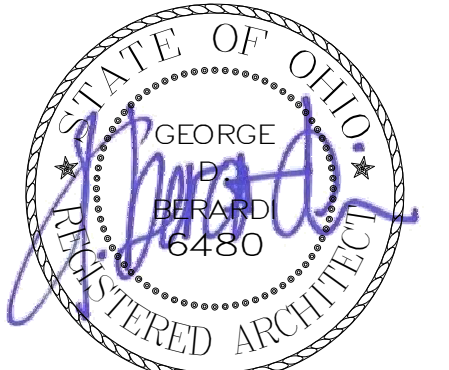
#	Description	Date
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3	Addendum 3	02.22.24

THIRD & FOURTH FLOOR PLANS

A.102

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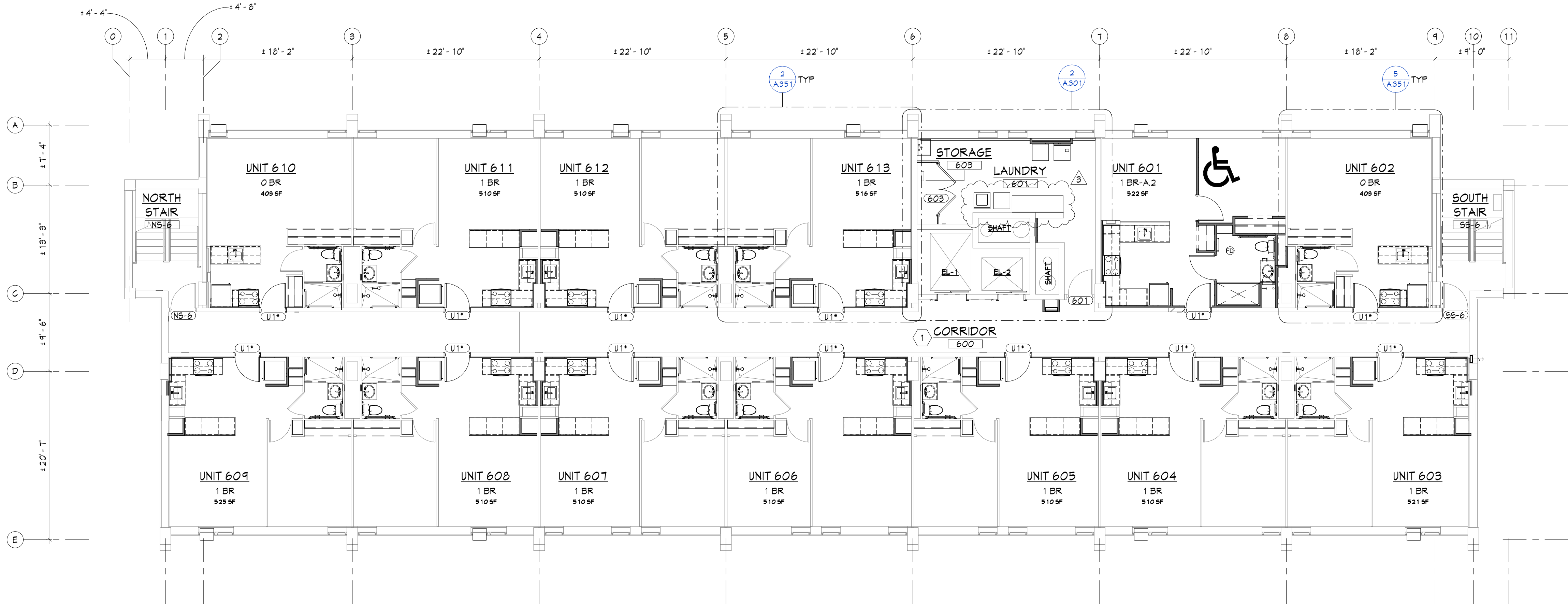
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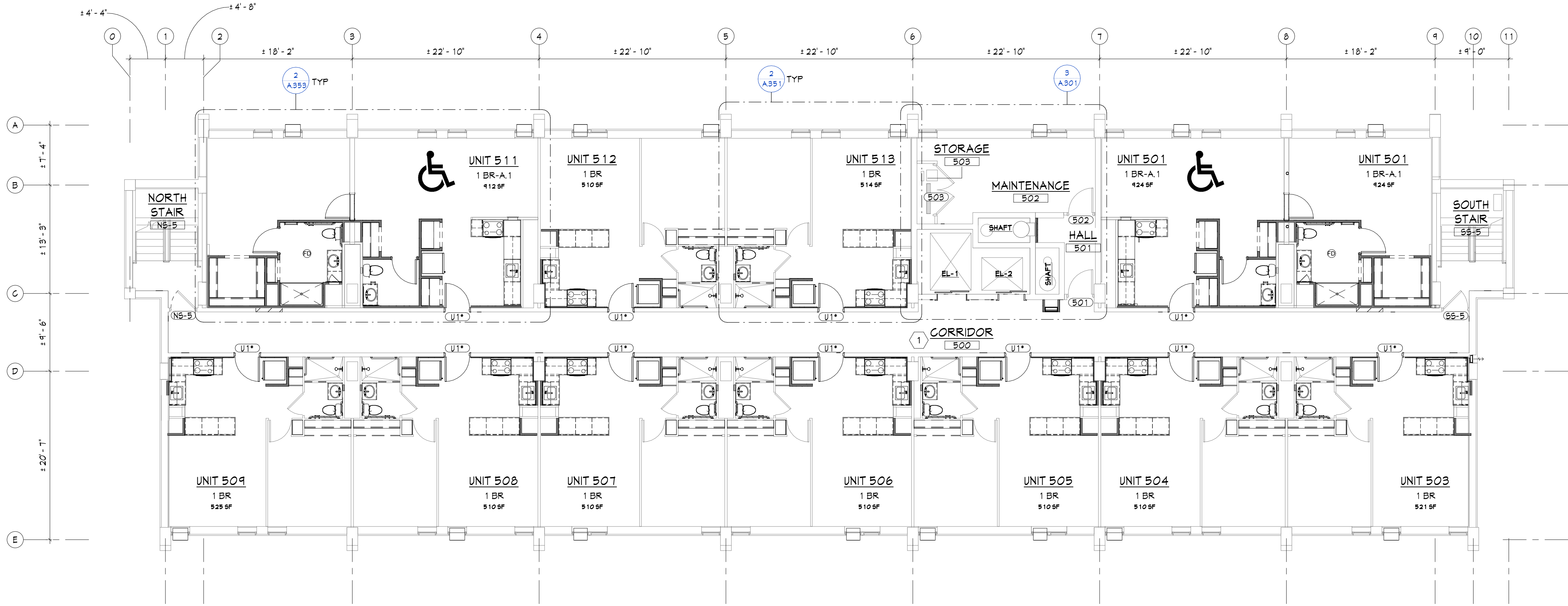
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CODED NOTES - FLOOR PLANS

1. ADD ALTERNATE: PROVIDE WALL TYPE #16 ON ALL CMU WALLS IN CORRIDOR.



2
A.103
SIXTH FLOOR PLAN
1/8" = 1'-0"



1
A.103
FIFTH FLOOR PLAN
1/8" = 1'-0"

BID SET

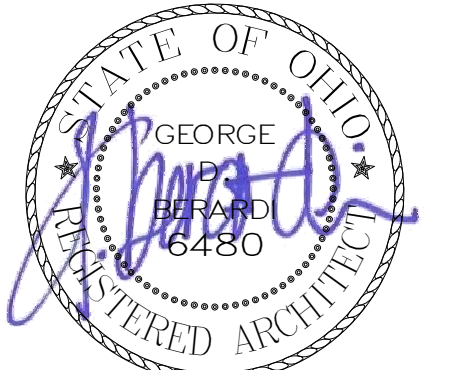
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FIFTH & SIXTH FLOOR PLANS

A.103

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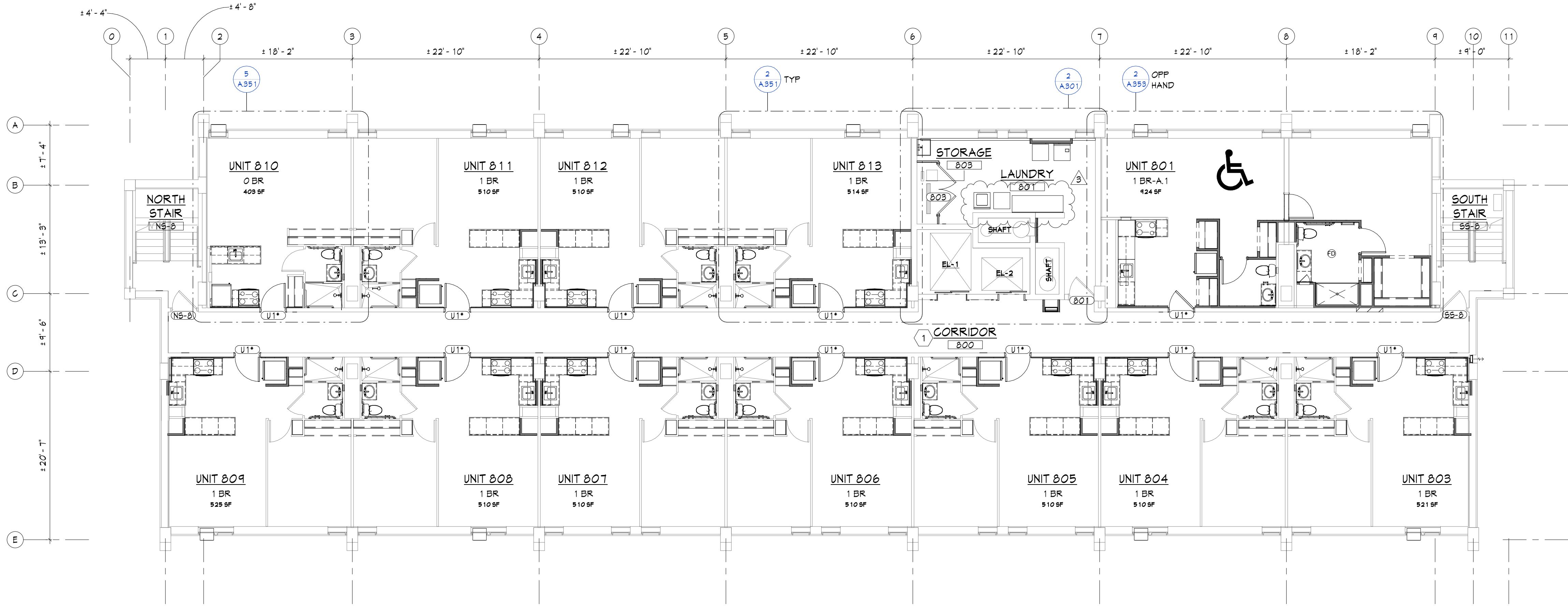
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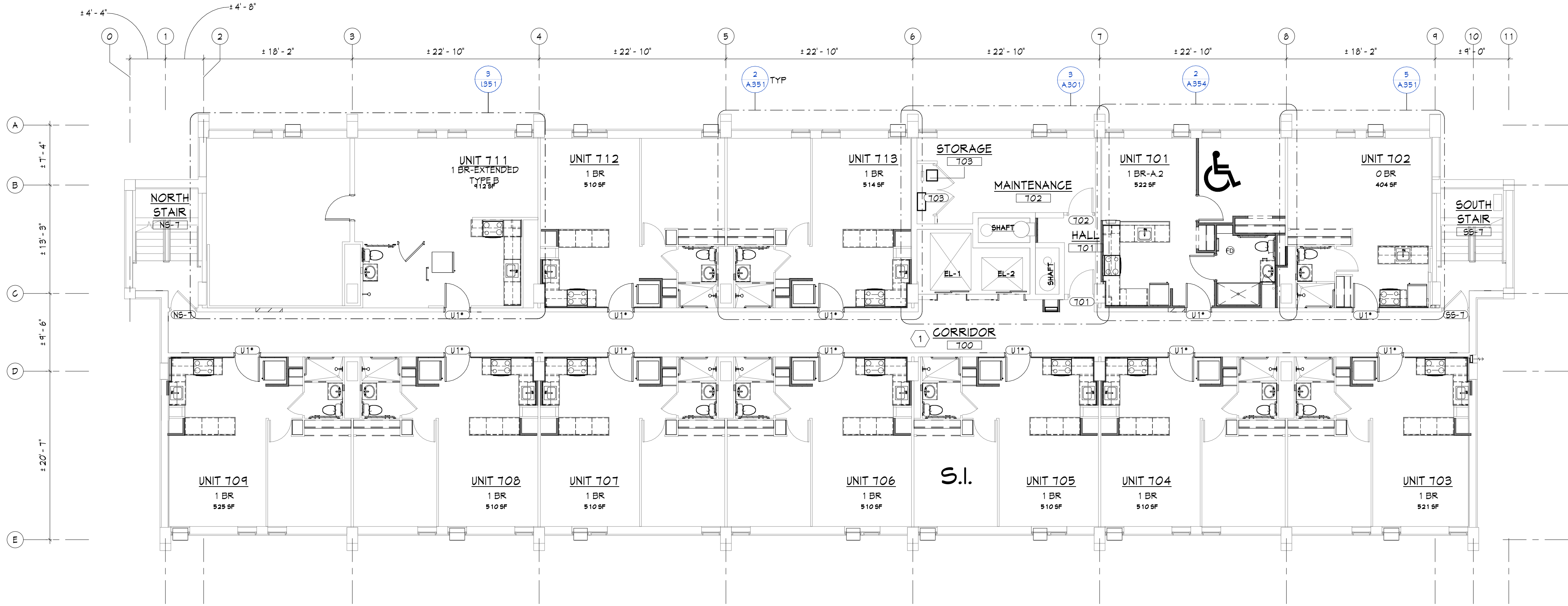
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CODED NOTES - FLOOR PLANS

1. ADD ALTERNATE, PROVIDE WALL TYPE #116 ON ALL CMU WALLS IN CORRIDOR.



2 EIGHTH FLOOR PLAN
1/8" = 1'-0"



1 SEVENTH FLOOR PLAN
1/8" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

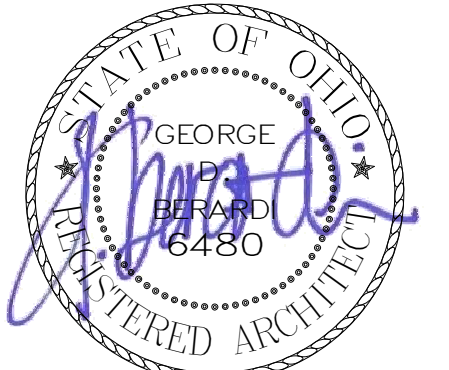
#	Description	Date
1	Addendum 1	01.22.24
2	Addendum 2	02.09.24
3	Addendum 3	02.22.24

SEVENTH & EIGHTH FLOOR PLANS

A.104

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GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

BEECHWOOD APARTMENTS

330 Forest Ave.
Cincinnati, OH 45229

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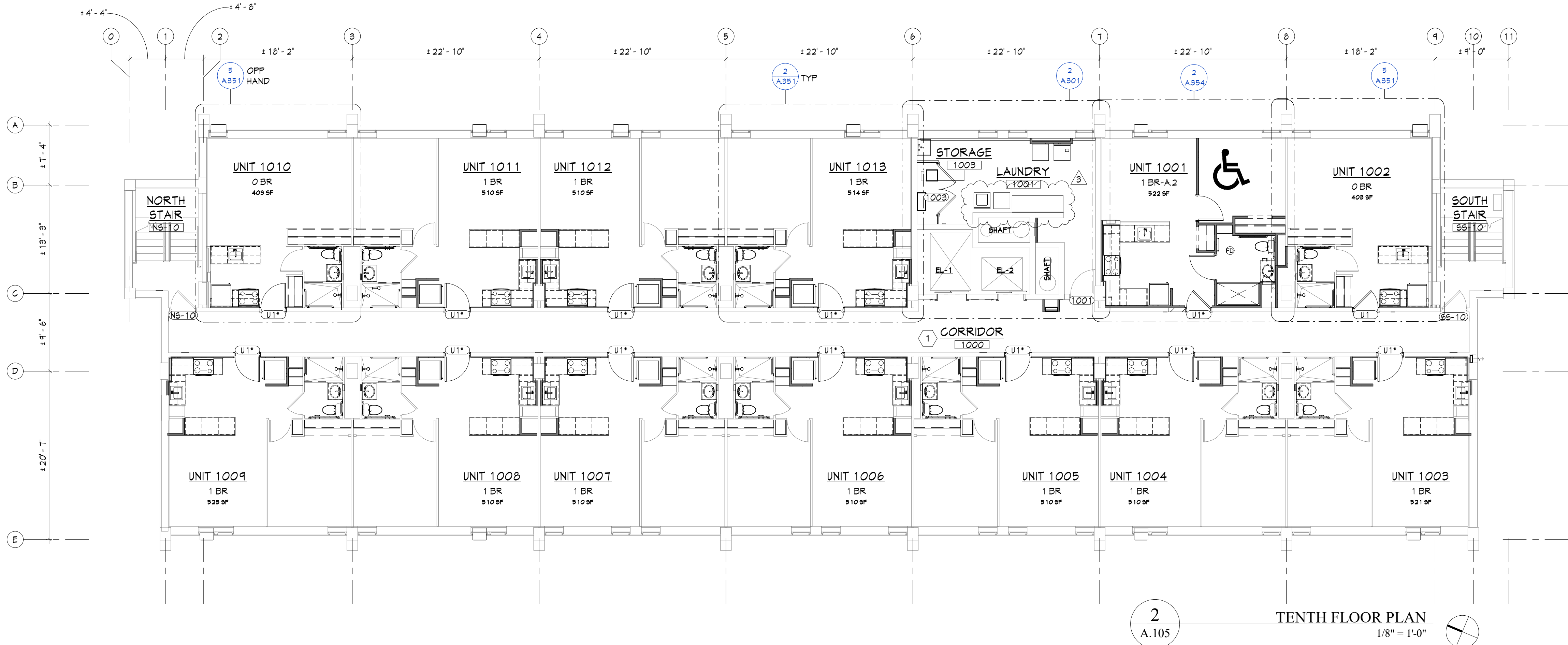
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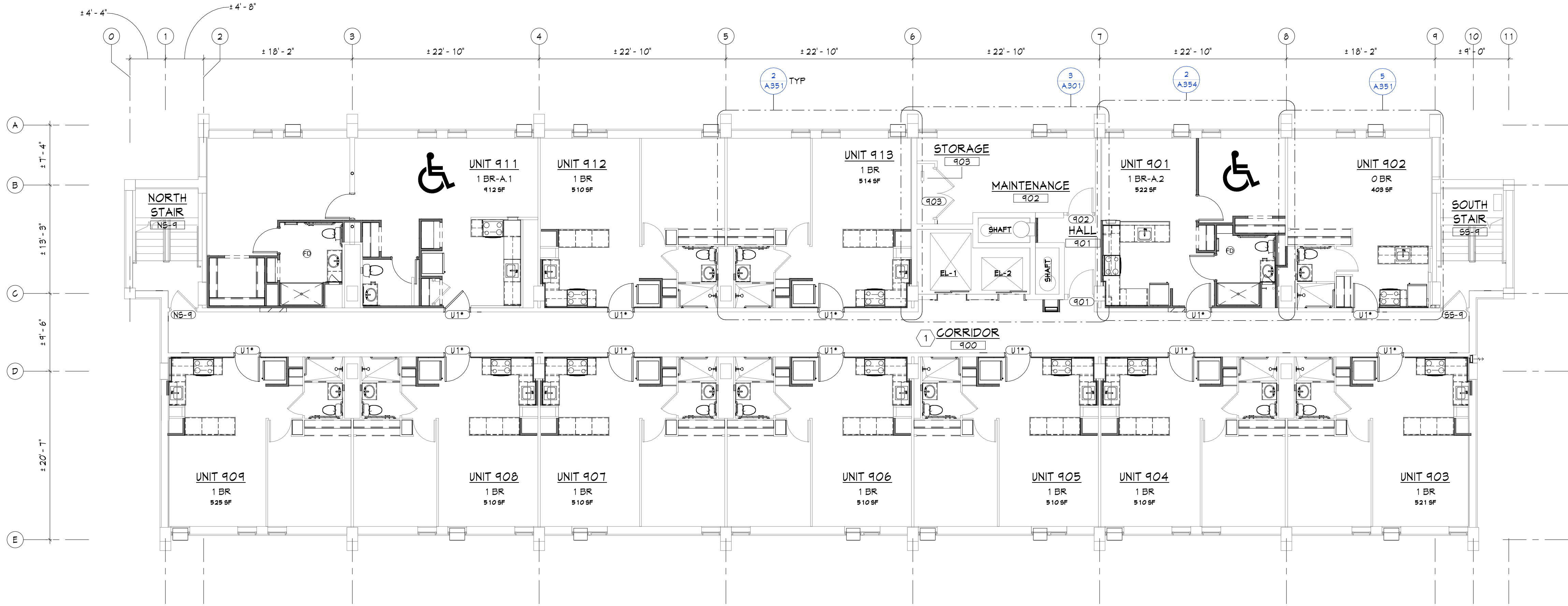
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CODED NOTES - FLOOR PLANS

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2
A.105
TENTH FLOOR PLAN
1/8" = 1'-0"



1
A.105
NINTH FLOOR PLAN
1/8" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

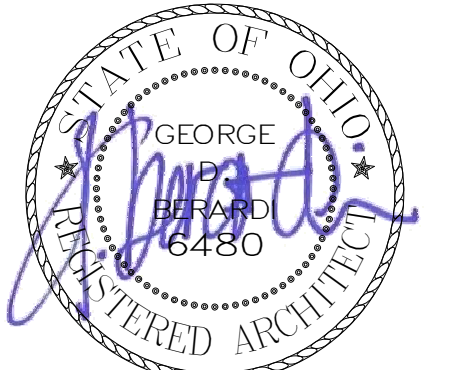
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3	Addendum 3	02.22.24

NINTH & TENTH FLOOR PLANS

A.105

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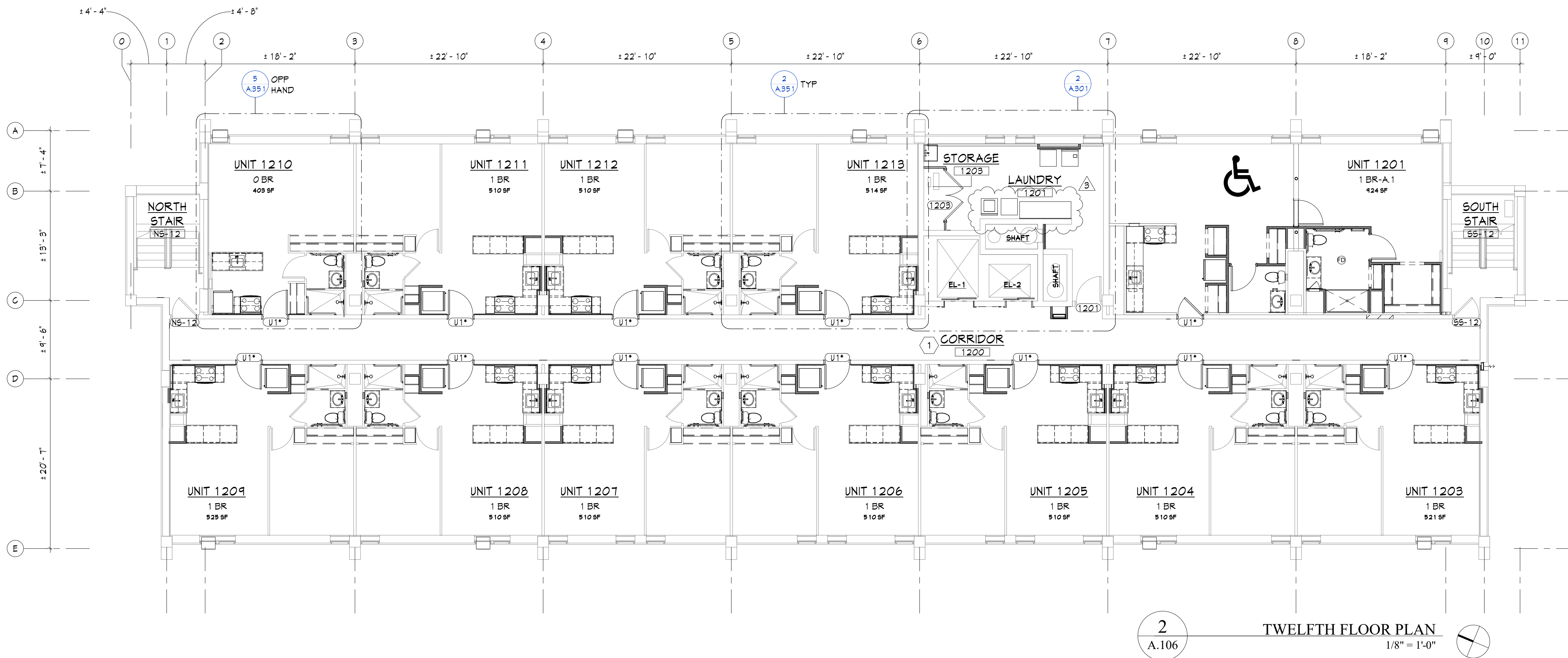
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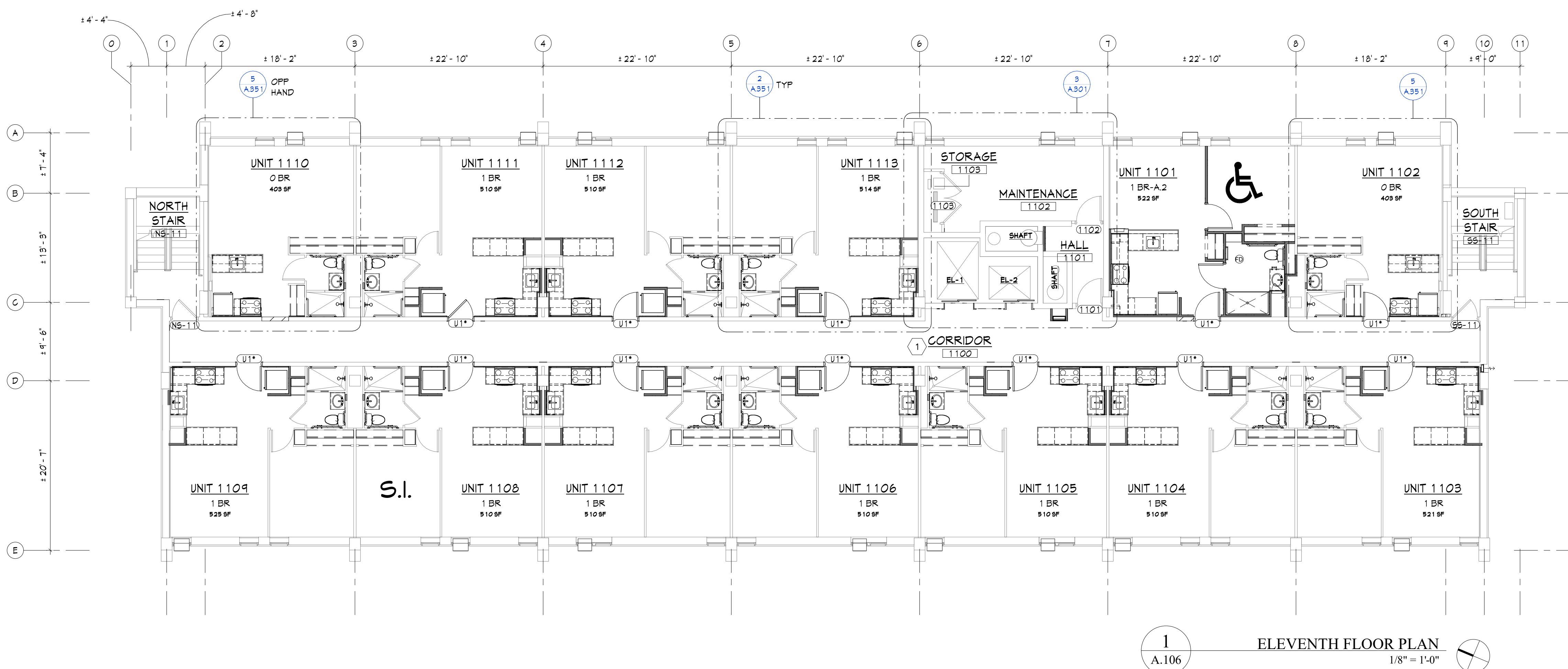
ELEVENTH & TWELFTH FLOOR PLANS

A.106

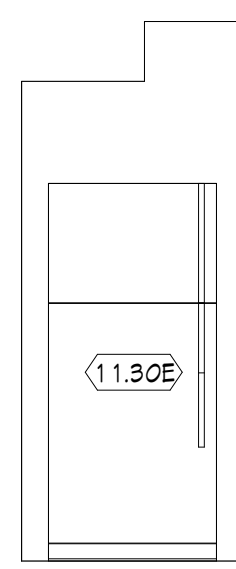
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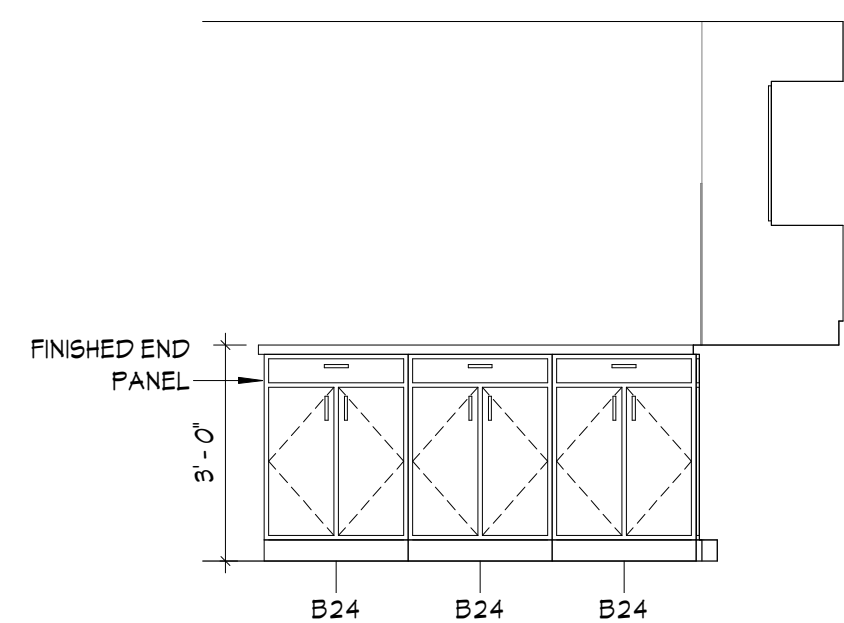
2
A.106
TWELFTH FLOOR PLAN
1/8" = 1'-0"



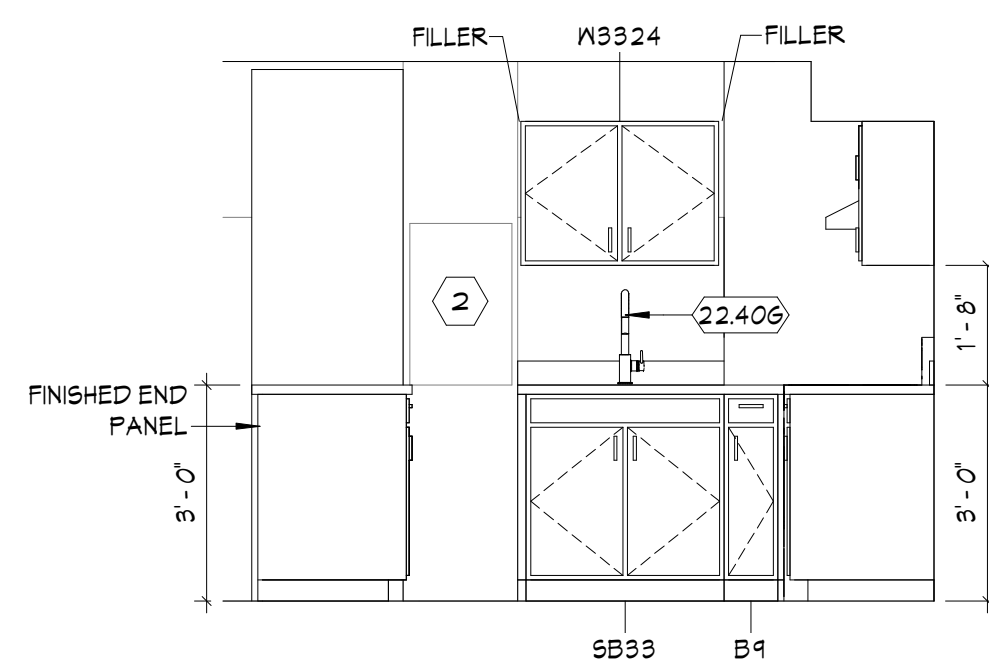
1
A.106
ELEVENTH FLOOR PLAN
1/8" = 1'-0"



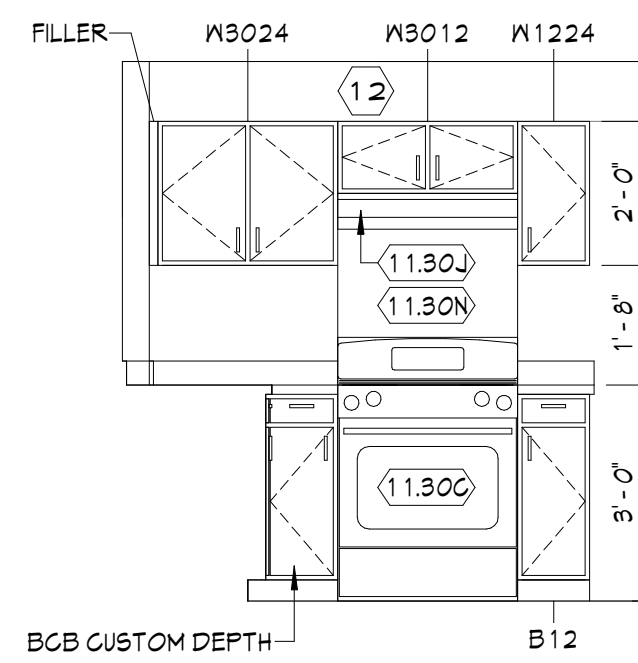
H
A.351
KITCHEN ELEVATION
3/8" = 1'-0"



G
A.351
KITCHEN ELEVATION
3/8" = 1'-0"



F
A.351
KITCHEN ELEVATION
3/8" = 1'-0"



E
A.351
KITCHEN ELEVATION
3/8" = 1'-0"

CASEWORK LEGEND

CASEWORK TAG: XXX | ## | XX
 PREFIX | SUFFIX
 WIDTH (IN INCHES) | HEIGHT (IN INCHES)

PREFIXES:

- B BASE
- BCB BLIND CORNER BASE
- SB SINK BASE
- N WALL
- P PANTRY
- PV PANTRY-OVEN CABINET
- FILLER FILLER PANEL
- FILLER-E FINISHED END FILLER PANEL
- MB MICROWAVE BASE

SUFFIXES:

- RF REMOVABLE FRONT

UNIT RCP LEGEND

- ⊕ SMOKE DETECTOR - SEE ELEC.
- ⊕ SMOKE/GARCON MONOXIDE DETECTOR- SEE ELEC.
- ⊕ FIRE ALARM STROBE - SEE ELEC.
- ⊕ SURFACE MOUNTED KITCHEN LIGHT - SEE ELEC.
- ⊕ SURFACE MOUNTED DISK LIGHT - SEE ELEC.
- ⊕ SHOWER SCONCE - SEE ELEC.
- ⊕ SURFACE MOUNTED VANITY LIGHT - SEE ELEC.
- ⊕ SURFACE MOUNTED STRIP LIGHT - SEE ELEC.
- ⊕ UNDER CABINET MOUNTED STRIP LIGHT - SEE ELEC.

GENERAL NOTES

- SEE SHEET A.001 FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
- SEE DETAILS ON A.450 SHEETS FOR REQUIRED GRAB BAR REINFORCEMENT LOCATIONS FOR ALL UNITS.
- GRAB BAR STRENGTH
- BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
- SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
- SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
- TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSILE FORCE OF 250 lbf (1112N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.
- GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- NOTE: BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER ENCLOSURES ARE FACTORY REINFORCED TO AGES. GRAB BARS: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.



BEECHWOOD APARTMENTS

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NOTE:

CODED NOTES - UNIT PLANS

- R/R EXISTING KITCHEN CASEWORK, COUNTERTOPS, PLUMBING FIXTURES AND APPLIANCES. PATCH AND REPAIR WALLS AT LOCATION OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
- EXISTING ELECTRICAL PANEL TO REMAIN (R/R AND LOWER PANEL AT ANSI TYPE A UNIT ONLY) REFER TO ELECTRICAL DRAWINGS.
- R/R EXISTING LIGHTING FIXTURES, FIRE/SMOKE DEVICES AND ASSOCIATED CABLING/WIRING. EXISTING SURFACE CONDUIT AND J-BOXES TO REMAIN. PREP FOR NEW FIXTURES. REFER TO ELECTRICAL DRAWINGS.
- R/R EXISTING BATHROOM PLUMBING FIXTURES (INCLUDES SINK, BATHTUB, SHOWER BASE/DRAIN, FLOOR DRAIN OUTSIDE OF SHOWER), CASEWORK, COUNTER TOPS, BATHROOM ACCESSORIES, ACCESS PANELS, EXHAUST FANS AND TILED SHOWER SURROUND. PATCH AND REPAIR WALLS AT LOCATIONS OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
- R/R EXISTING CLOSET SHELVING AND PREP FOR NEW SHELVES.
- R/R EXISTING WINDOW AIR CONDITIONER UNIT. REFER TO MEP DRAWINGS.
- R/R EXISTING FLOORING AND WALL BASE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
- REMOVE EXISTING CEILING TEXTURE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
- REMOVE WALLS AND/OR DOORS AS SHOWN DASHED. TYP.
- R/R EXISTING UNIT ENTRY DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
- ALIGN.
- EXISTING GYPSUM SOFFIT TO REMAIN. PREP FOR NEW PAINT. SEE DOOR SCHEDULE.
- R/R EXISTING UNIT INTERIOR DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
- INFILL WITH WALL CONSTRUCTION TO MATCH ADJACENT WALL. MAINTAIN ALL REQUIRED WALL RATINGS.
- REMOVE EXISTING GYPSUM SOFFIT (AND FRAMING) ABOVE. PATCH AND REPAIR CEILING.
- PROVIDE SATIN NICKEL CURTAIN ROD WITH HEAVY DUTY FABRIC CURTAIN (OWNER TO SELECT COLOR/PATTERN) AT UNIT CLOSETS.
- REMOVE EXISTING DOOR AND FRAME.
- 3'-0" x 6'-8" FRAMED OPENING.
- 2'-8" x 6'-8" FRAMED OPENING.

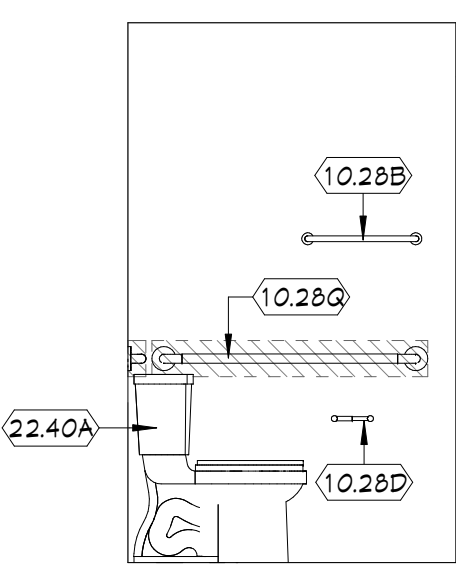
KEYNOTES

Keynote	Description
08.30C	4" x 4" RATED ACCESS PANEL - REFER TO PLUMBING DRAWINGS
09.10C	SOLID SURFACE MATERIAL ON WALLS OF SHOWER - REFER TO INTERIOR FINISH SCHEDULE
10.28B	18" TONEL BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28D	SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28E	SHOWER CURTAIN ROD - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28J	24"X36" PLATE GLASS MIRROR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28Q	42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28U	18" VERTICAL GRAB BAR W/ FACTORY INSTALLED WOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28V	24"X42" L SHAPED GRAB BAR W/ FACTORY INSTALLED WOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.57B	DOUBLE SHELF AND ROD - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
10.57C	5 LINEN SHELVES, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
10.57E	CLOSET CURTAIN AND ROD.
11.30C	30" RANGE
11.30E	REFRIGERATOR
11.30J	RANGE HOOD WITH LIGHT AND FIRE CANISTERS
11.30N	FULL HEIGHT GREASE SHIELD AT RANGE. PANEL TO BE BAKED ENAMEL FINISH OVER STEEL TO MATCH COLOR OF RANGE OR SATIN FINISH STAINLESS STEEL WITH MATCHING SCREWS.
12.36A	COUNTERTOP WITH 4" BACK AND SIDE SPLASHES (WHERE SHOWN) 6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
22.40A	WATER CLOSET - SEE FIXTURE SCHEDULE
22.40C	SHOWER CONTROLS - SEE FIXTURE SCHEDULE
22.40D	SHOWER HEAD - SEE FIXTURE SCHEDULE
22.40E	SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE
22.40H	LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE
23.37C	NEW LOUVER/EXHAUST - REFER TO MEP DRAWINGS.
23.80E	NEW WINDOW AIR CONDITIONING UNIT.
26.51A	WALL SCONCE LIGHT FIXTURE - SEE FIXTURE SCHEDULE.

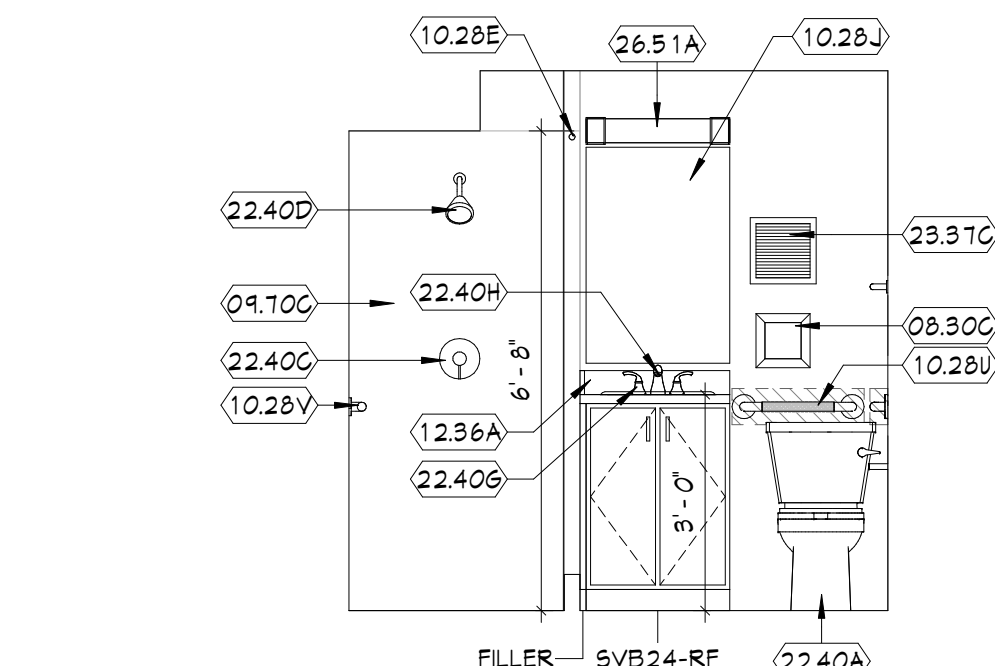
ENLARGED UNIT PLANS - 0 BR & 1 BR TYPE B UNITS

A.351

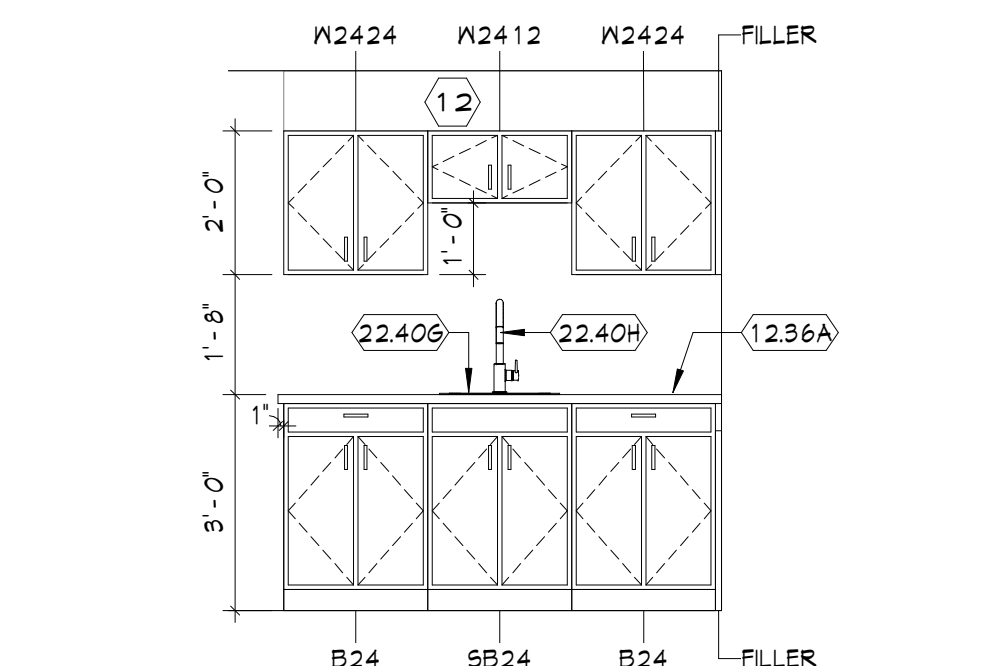
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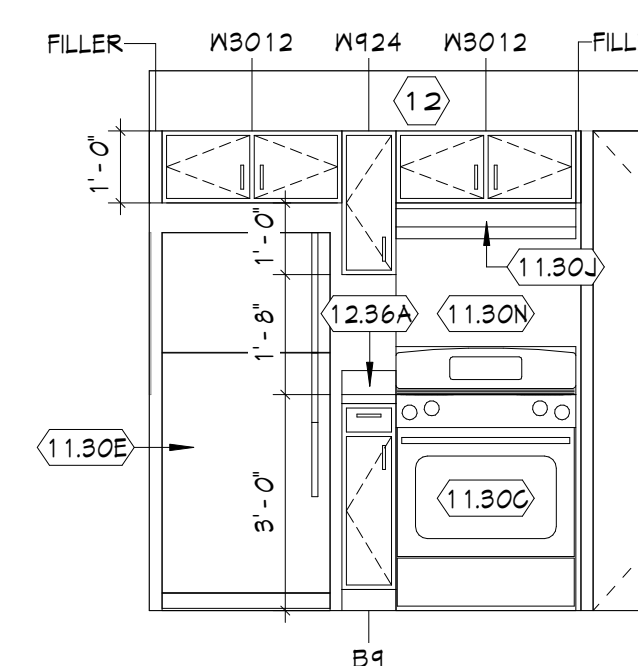
D
A.351
BATHROOM ELEVATION
3/8" = 1'-0"



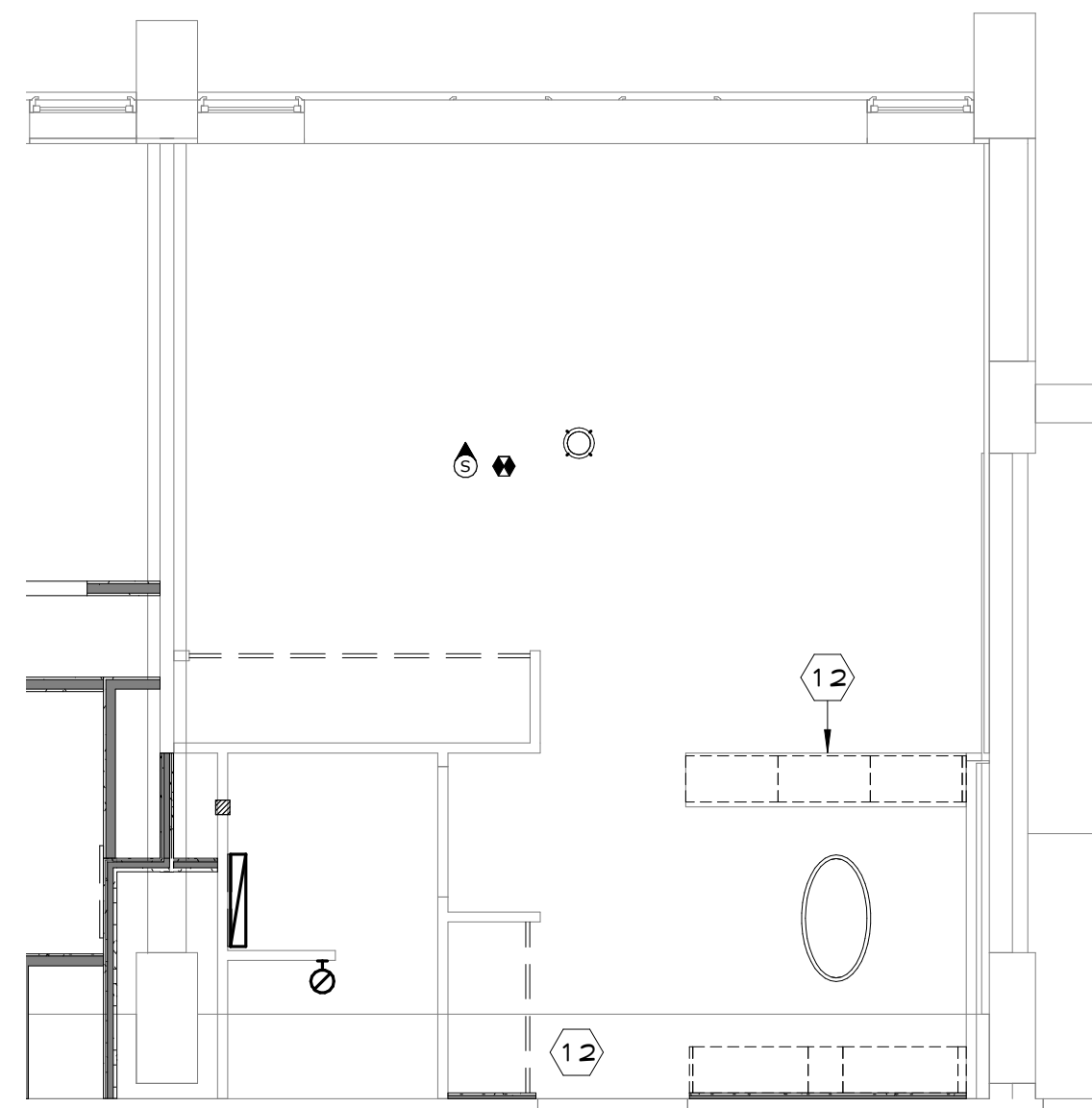
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3/8" = 1'-0"



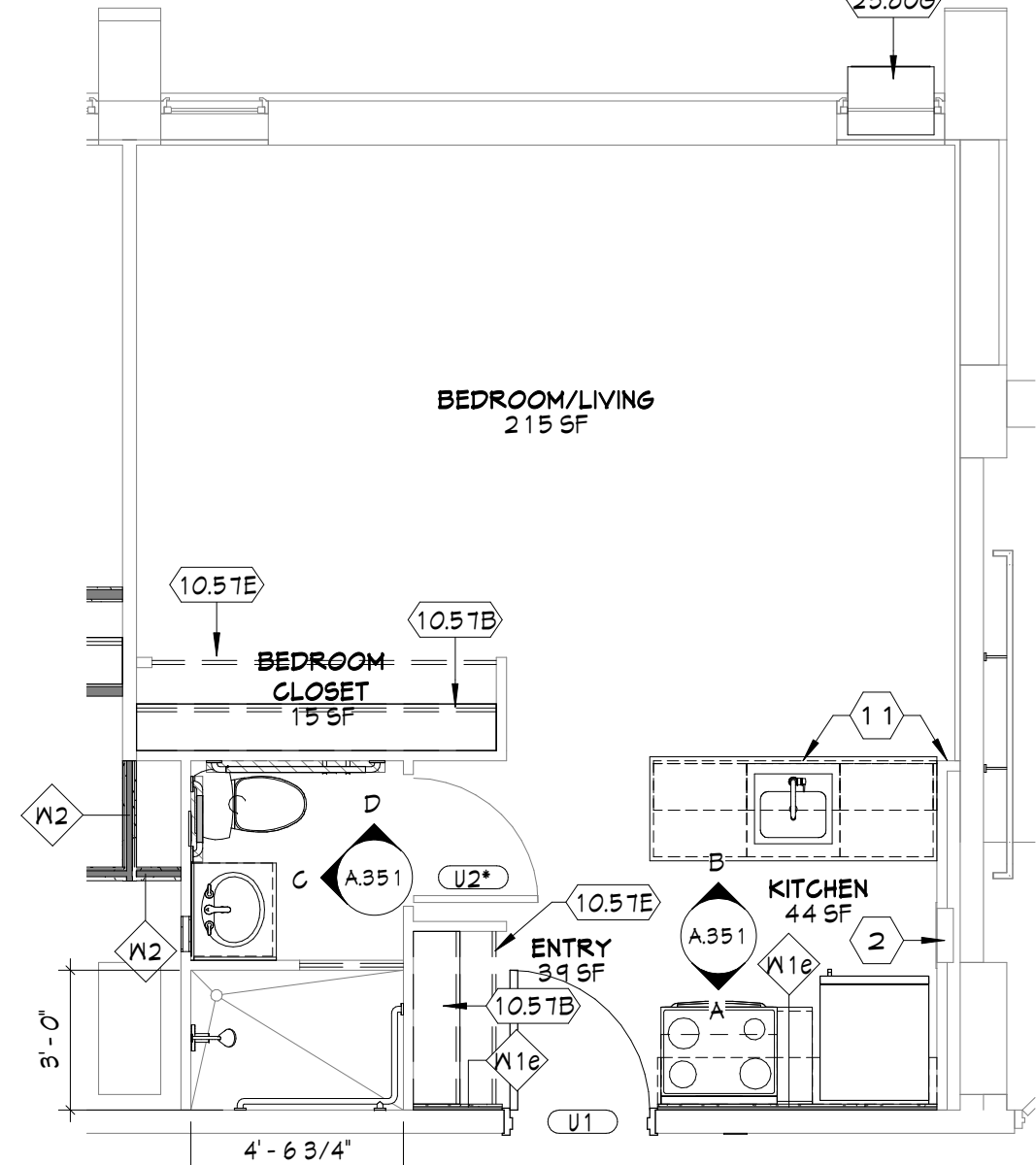
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A.351
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3/8" = 1'-0"



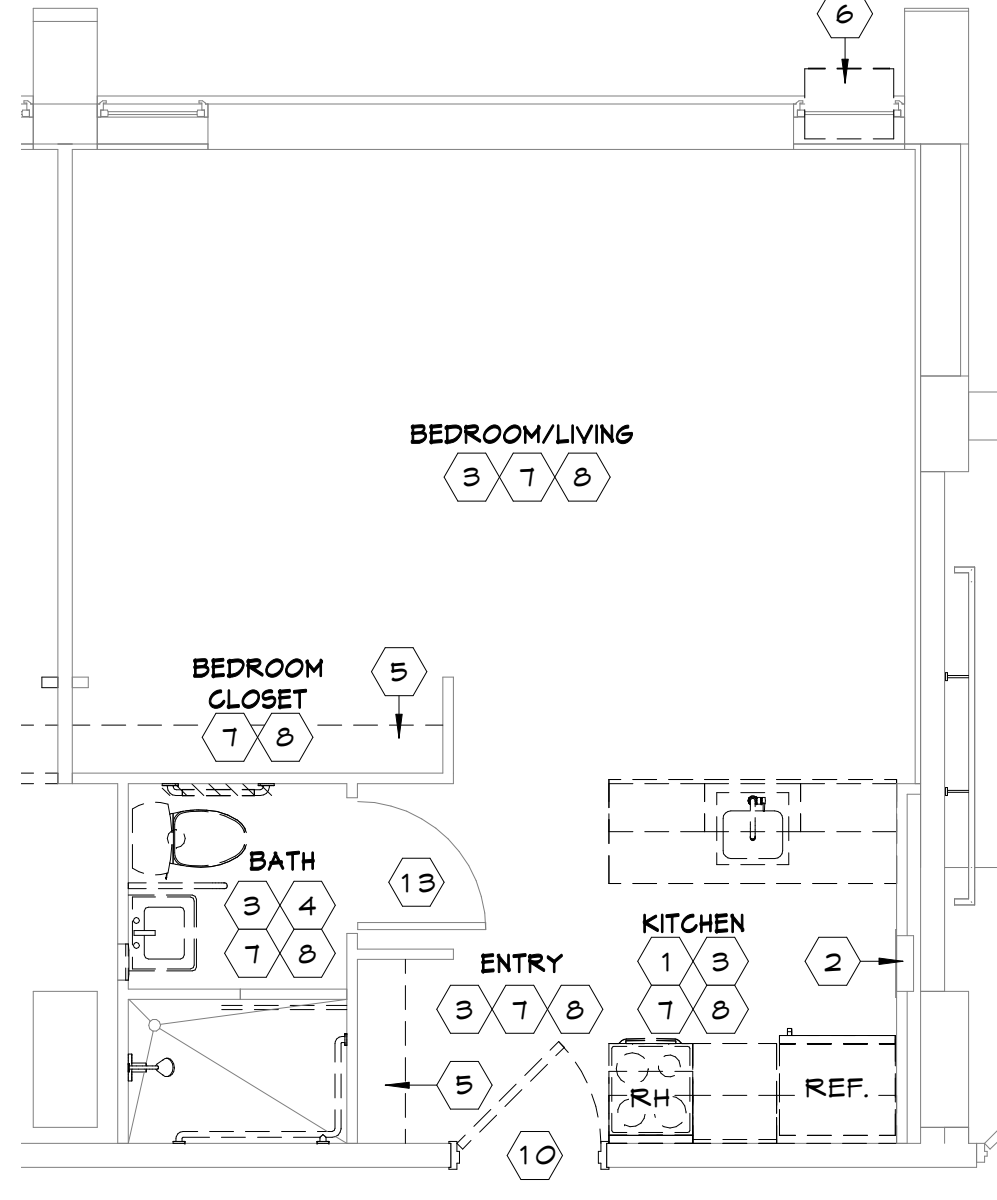
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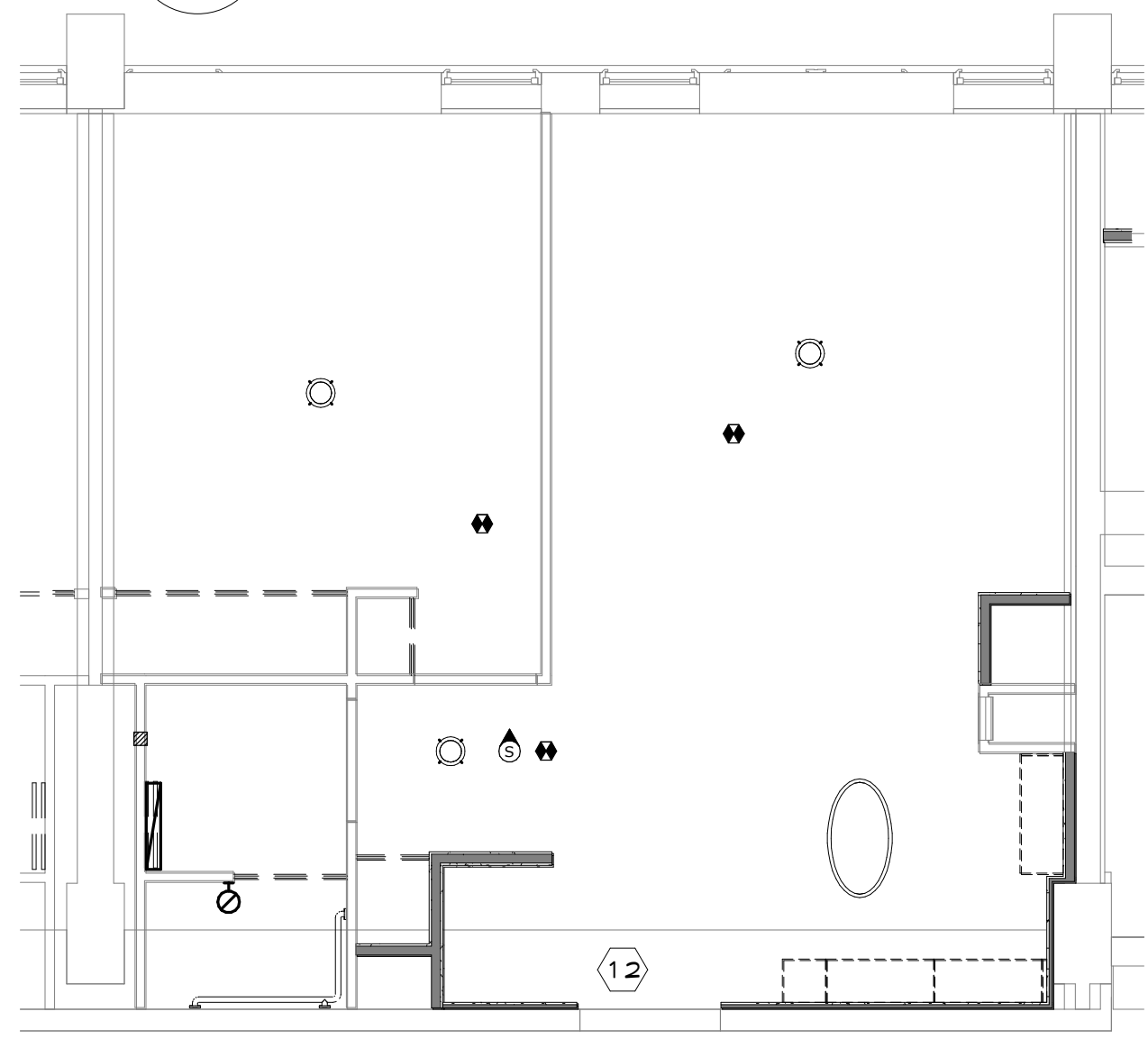
6
A.351
0 BR UNIT RCP
1/4" = 1'-0"



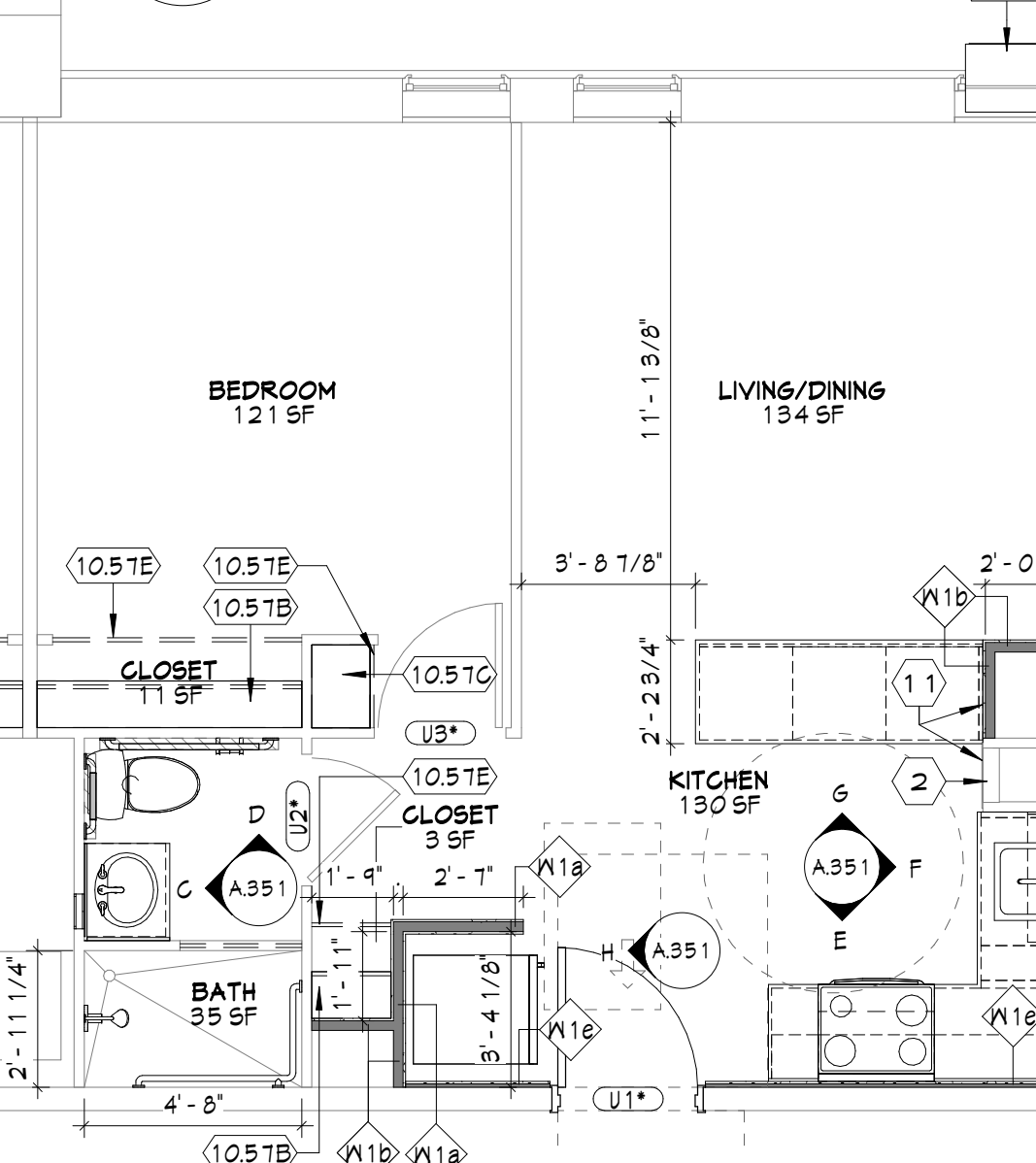
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A.351
TYP. 0 BR UNIT PLAN
1/4" = 1'-0"



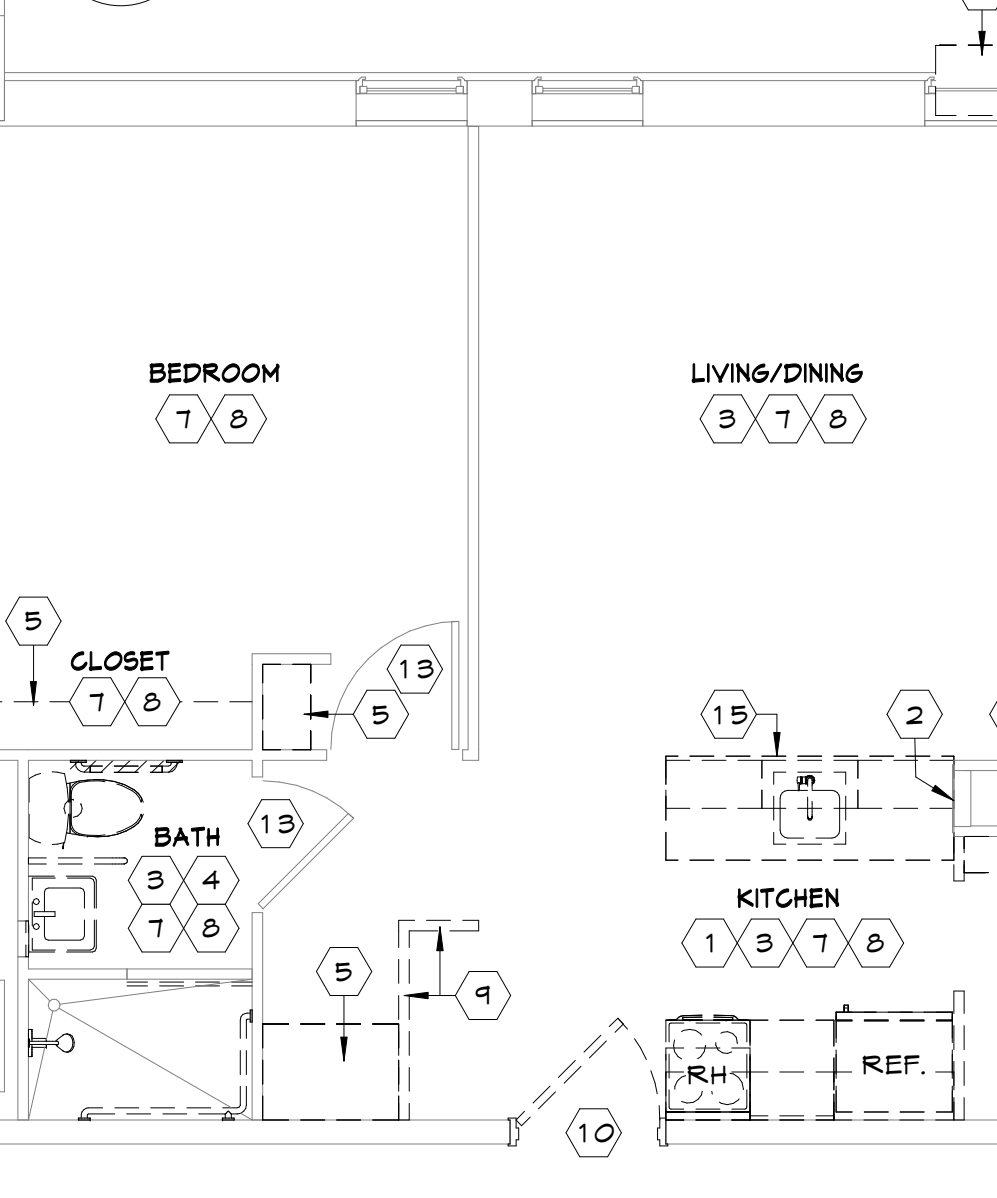
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A.351
TYP. 0 BR UNIT DEMO PLAN
1/4" = 1'-0"



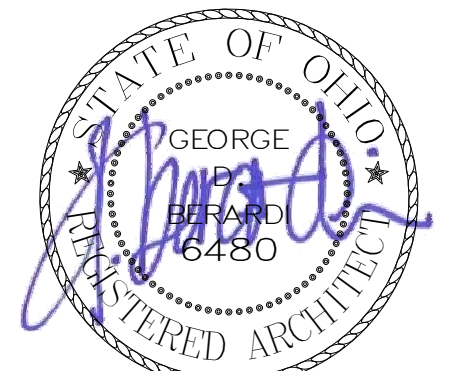
3
A.351
TYP. 1 BR UNIT RCP
1/4" = 1'-0"



2
A.351
TYP. 1 BR UNIT PLAN
1/4" = 1'-0"



1
A.351
TYP. 1 BR UNIT DEMO PLAN
1/4" = 1'-0"



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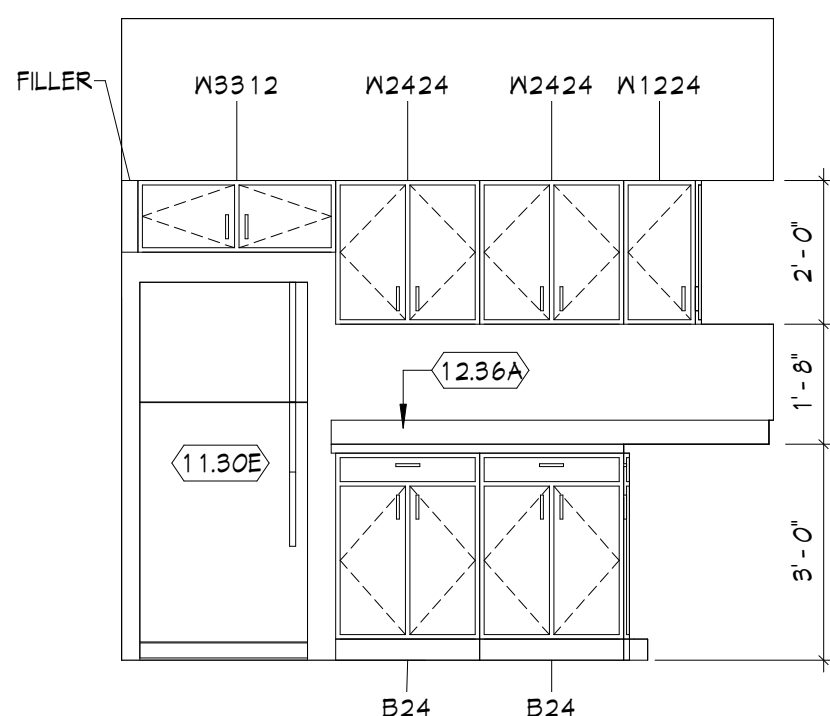
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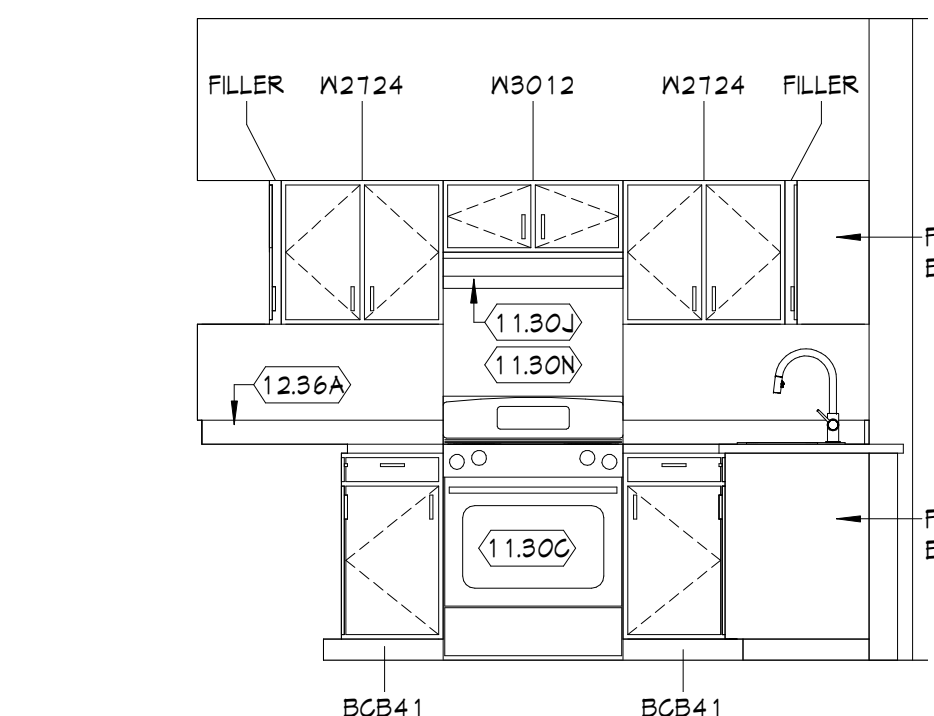
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NOTE:

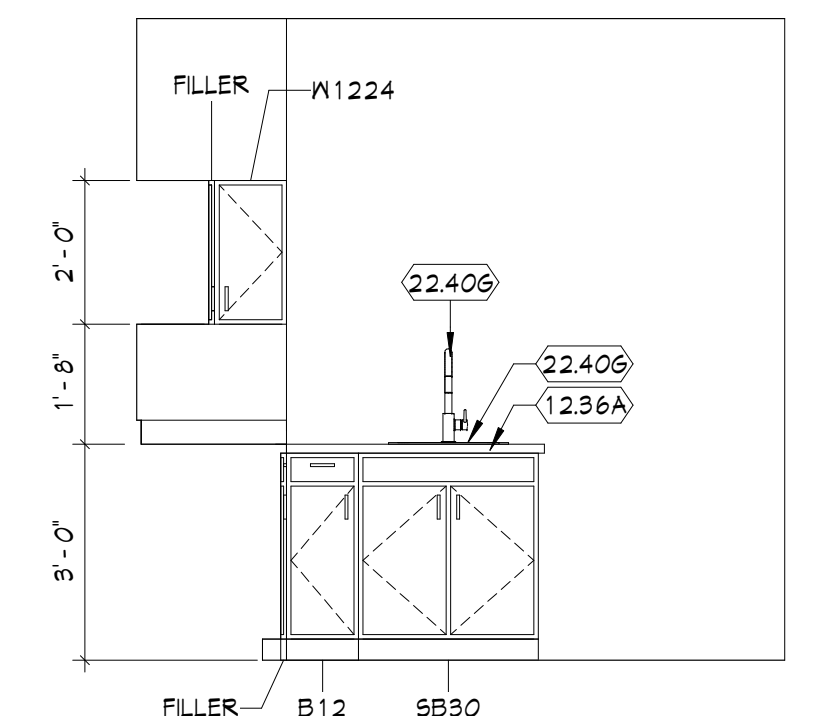
1. ALL BIDDERS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS AND OMISSIONS SUBSEQUENTLY DISCOVERED IN THE CONTRACT DOCUMENTS.
2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER.
3. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
4. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.
5. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRIC MEDIA AS INSTRUMENTS OF THE CONSULTANTS (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO MAKE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
6. ARCHITECT CANNOT WARRANT THE ACCURACY OF DATA CONTAINED HEREIN, ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD DESIGN MATERIALS BY THE USER OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE ARCHITECT SHALL BE AT THE SOLE RISK OF THE USER. FURTHERMORE, USER AGREES TO DEFEND, INDEMNIFY, AND HOLD ARCHITECT HARMLESS FROM ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.
7. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EXACT QUANTITIES, LOCATIONS OR CODED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.



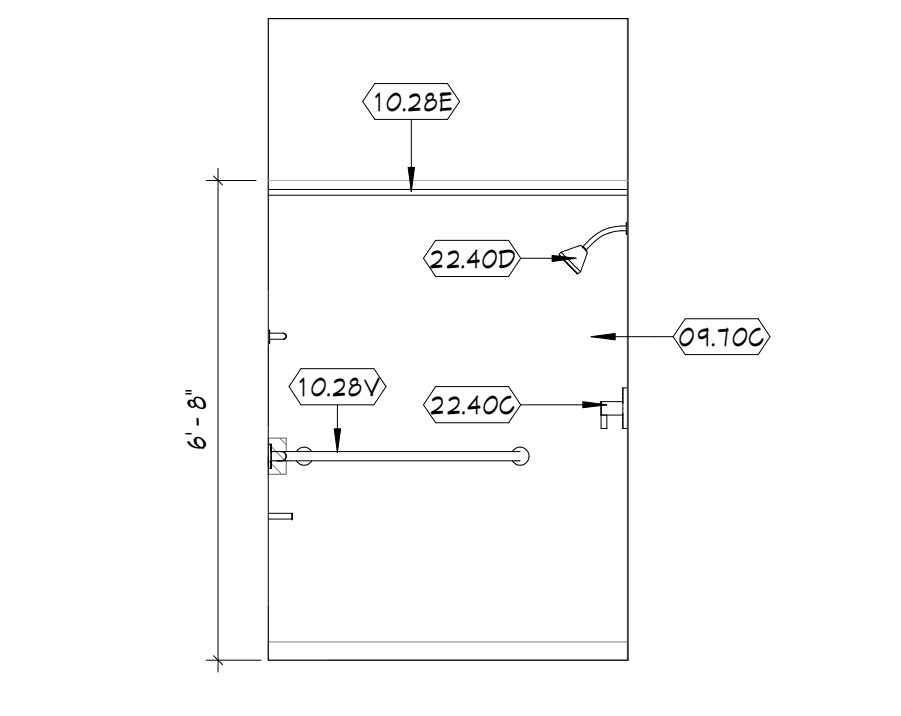
F A.352 KITCHEN ELEVATION 3/8" = 1'-0"



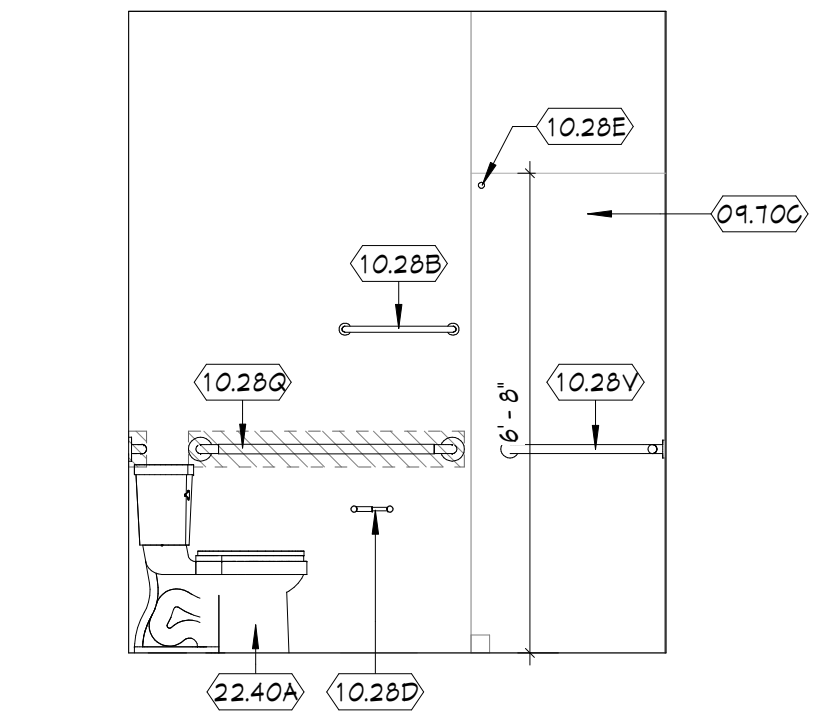
E A.352 KITCHEN ELEVATION 3/8" = 1'-0"



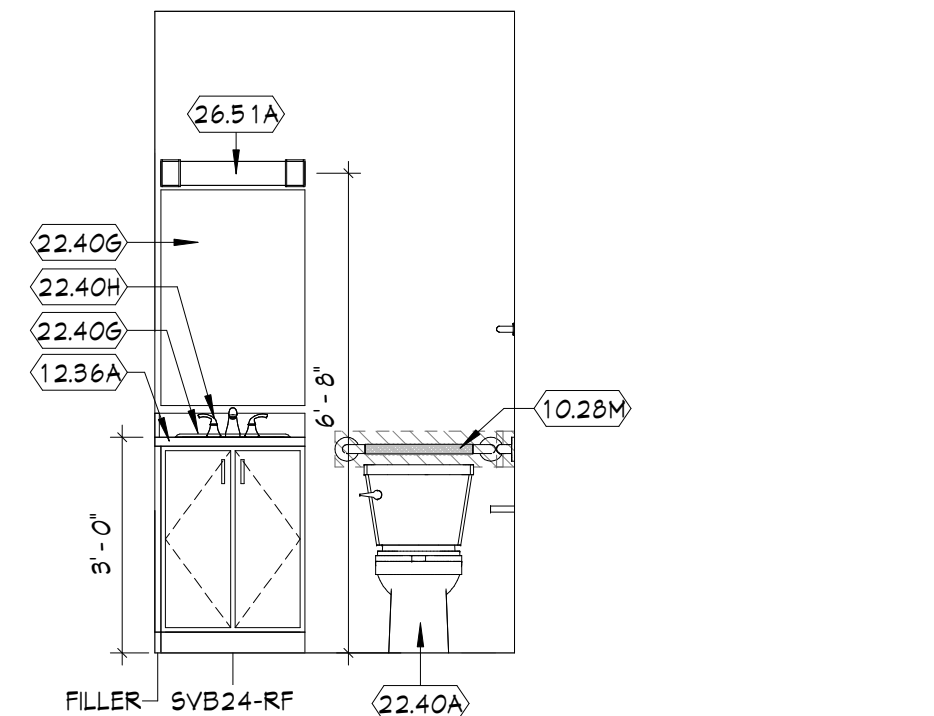
D A.352 KITCHEN ELEVATION 3/8" = 1'-0"



C A.352 BATHROOM ELEVATION 3/8" = 1'-0"



B A.352 BATHROOM ELEVATION 3/8" = 1'-0"



A A.352 BATHROOM ELEVATION 3/8" = 1'-0"

CASEWORK LEGEND

CASEWORK TAG: PREFIX WIDTH (IN INCHES) SUFFIX HEIGHT (IN INCHES)

PREFIXES:

- B BASE
- B/CB BLIND CORNER BASE
- SB SINK BASE
- N WALL
- P PANTRY
- PV PANTRY-OVEN CABINET
- FILLER FILLER PANEL
- FILLER-E FINISHED END FILLER PANEL
- MB MICROWAVE BASE

SUFFIXES:

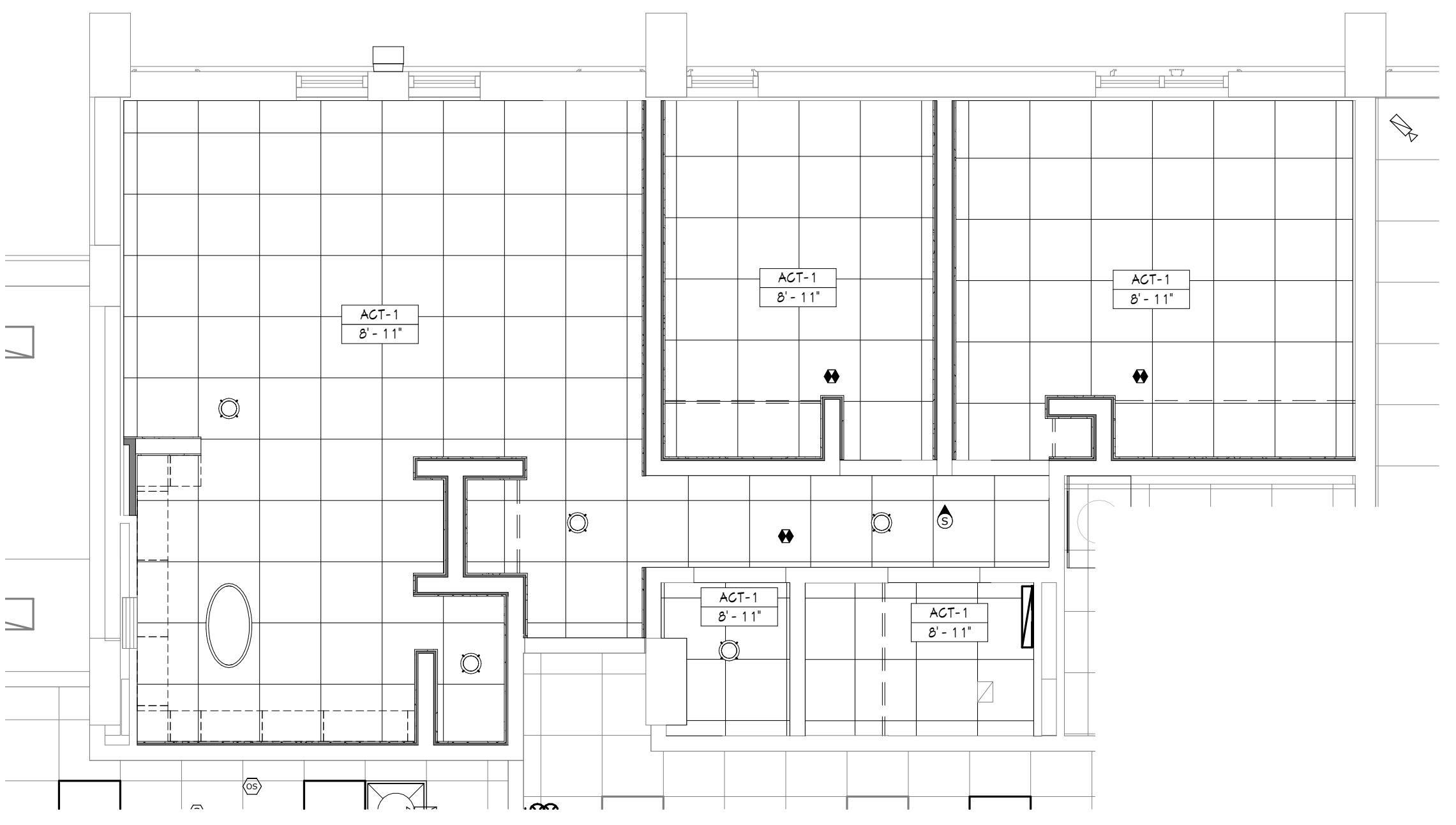
- RF REMOVABLE FRONT

UNIT RCP LEGEND

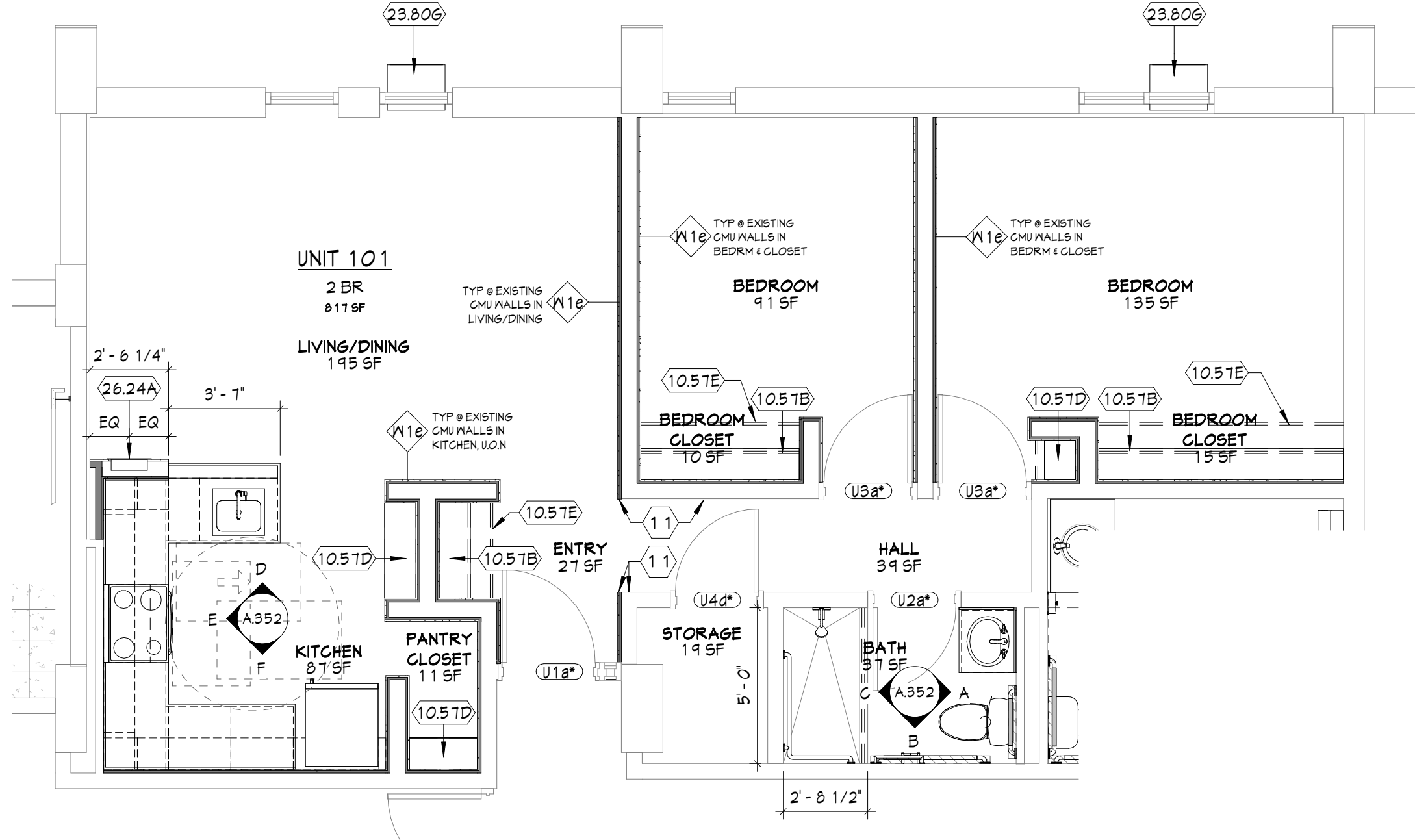
- Ⓢ SMOKE DETECTOR - SEE ELEC.
- Ⓢ SMOKE/GARBCON MONOXIDE DETECTOR- SEE ELEC.
- Ⓢ FIRE ALARM STROBE - SEE ELEC.
- Ⓢ SURFACE MOUNTED KITCHEN LIGHT- SEE ELEC.
- Ⓢ SURFACE MOUNTED DISK LIGHT-SEE ELEC.
- Ⓢ SHOWER SCONCE - SEE ELEC.
- Ⓢ SURFACE MOUNTED VANITY LIGHT - SEE ELEC.
- Ⓢ SURFACE MOUNTED STRIP LIGHT - SEE ELEC.
- Ⓢ UNDER CABINET MOUNTED STRIP LIGHT - SEE ELEC.

- GENERAL NOTES**
1. SEE SHEET A.001a FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
 2. SEE DETAILS ON A.450 SHEETS FOR REQUIRED GRAB BAR REINFORCEMENT LOCATIONS FOR ALL UNITS.
 3. GRAB BAR STRENGTH
 4. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
 5. SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
 6. SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
 7. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 lbf (1112N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 lbf (1112N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.
 8. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 9. NOTE: BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER ENCLOSURES ARE FACTORY REINFORCED TO TYPICAL GRAB BAR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.

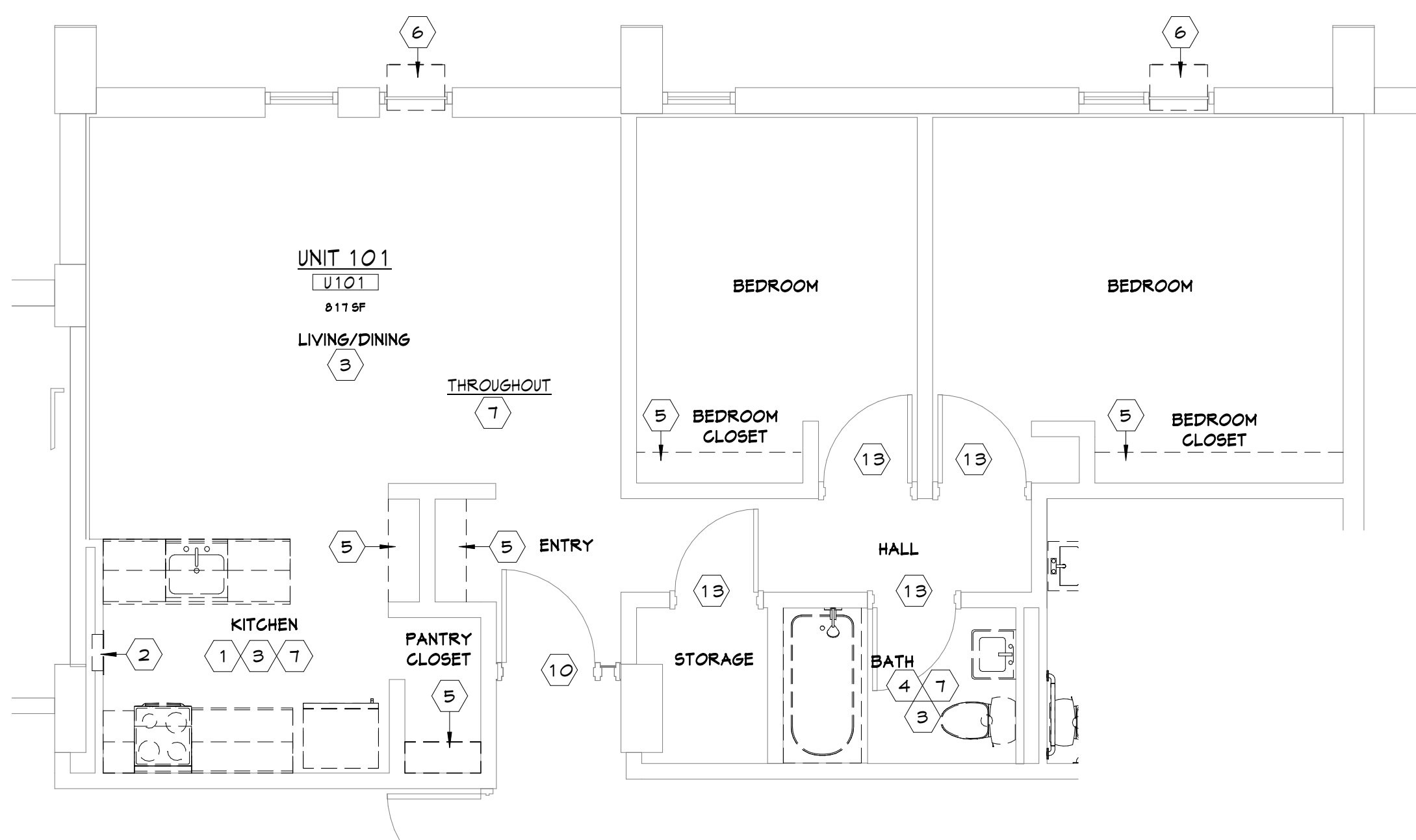
- CODING NOTES - UNIT PLANS**
1. R/R EXISTING KITCHEN CASEWORK, COUNTERTOPS, PLUMBING FIXTURES AND APPLIANCES. PATCH AND REPAIR WALLS AT LOCATION OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
 2. EXISTING ELECTRICAL PANEL TO REMAIN (R/R AND LOWER PANEL AT ANSI TYPE A UNIT ONLY) REFER TO ELECTRICAL DRAWINGS.
 3. R/R EXISTING LIGHTING FIXTURES, FIRE/SMOKE DEVICES AND ASSOCIATED CABLING/WIRING. EXISTING SURFACE CONDUIT AND J-BOXES TO REMAIN. PREP FOR NEW FIXTURES. REFER TO ELECTRICAL DRAWINGS.
 4. R/R EXISTING BATHROOM PLUMBING FIXTURES (INCLUDES SINK, BATHTUB, SHOWER BASE/DRAIN, FLOOR DRAIN OUTSIDE OF SHOWER), CASEWORK, COUNTER TOPS, BATHROOM ACCESSORIES, ACCESS PANELS, EXHAUST FANS AND TILED SHOWER SURROUND. PATCH AND REPAIR WALLS AT LOCATIONS OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
 5. R/R EXISTING WINDOW SHELVEYS AND PREP FOR NEW SHELVEYS.
 6. R/R EXISTING WINDOW AIR CONDITIONER UNIT. REFER TO MEP DRAWINGS.
 7. R/R EXISTING FLOORING AND WALL BASE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
 8. REMOVE EXISTING CEILING TEXTURE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
 9. REMOVE WALLS AND/OR DOORS AS SHOWN DASHED. TYP.
 10. R/R EXISTING UNIT ENTRY DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
 11. ALIGN.
 12. EXISTING GYPSUM SOFFIT TO REMAIN. PREP FOR NEW PAINT.
 13. R/R EXISTING UNIT INTERIOR DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
 14. INFILL WITH WALL CONSTRUCTION TO MATCH ADJACENT WALL. MAINTAIN ALL REQUIRED WALL RATINGS.
 15. REMOVE EXISTING GYPSUM SOFFIT (AND FRAMING) ABOVE. PATCH AND REPAIR CEILING.
 16. PROVIDE SATIN NICKEL CURTAIN ROD WITH HEAVY DUTY FABRIC CURTAIN (OWNER TO SELECT COLOR/PATTERN) AT UNIT CLOSETS.
 17. REMOVE EXISTING DOOR AND FRAME.
 18. 3'-0" x 6'-8" FRAMED OPENING.
 19. 2'-8" x 6'-8" FRAMED OPENING.



3 A.352 1ST FLOOR UNIT RCP 1/4" = 1'-0"



2 A.352 1ST FLOOR UNIT PLAN 1/4" = 1'-0"



1 A.352 1ST FLOOR UNIT DEMO PLAN 1/4" = 1'-0"

KEYNOTES

- 09.10C SOLID SURFACE MATERIAL ON WALLS OF SHOWER - REFER TO INTERIOR FINISH SCHEDULE.
- 10.28B 18" TOWEL BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28D SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28E SHOWER CURTAIN ROD - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28M 24" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28Q 42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.28V 24"x42" L SHAPED GRAB BAR w/ FACTORY INSTALLED WOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER, J) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT.
- 10.57B DOUBLE SHELF AND ROD - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS.
- 10.57D 4 PANTRY SHELVEYS, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS.
- 10.57E CLOSET CURTAIN AND ROD.
- 11.30C 30" RANGE
- 11.30E REFRIGERATOR
- 11.30J RANGE HOOD WITH LIGHT AND FIRE CANISTERS
- 11.30N FULL HEIGHT GREASE SHIELD AT RANGE. PANEL TO BE BAKED ENAMEL FINISH OVER STEEL TO MATCH COLOR OF RANGE OR SATIN FINISH STAINLESS STEEL WITH MATCHING SCREWS.
- 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES (WHERE SHOWN (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE.
- 22.40A WATER CLOSET - SEE FIXTURE SCHEDULE.
- 22.40C SHOWER CONTROLS - SEE FIXTURE SCHEDULE.
- 22.40D SHOWER HEAD - SEE FIXTURE SCHEDULE.
- 22.40G SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE.
- 22.40H LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE.
- 23.806 NEW WINDOW AIR CONDITIONING UNIT.
- 26.24A NEW ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS.
- 26.51A WALL SCONCE LIGHT FIXTURE - SEE FIXTURE SCHEDULE.

BID SET

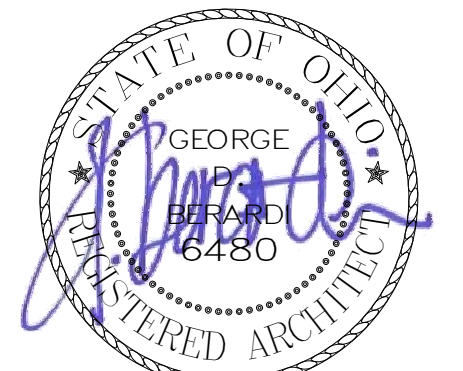
PROJECT DATE: 01.05.2024
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24
2	Addendum 2	02.09.24
3	Addendum 3	02.22.24

ENLARGED UNIT PLANS - 2 BR TYPE B UNIT

A.352

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GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

BEECHWOOD APARTMENTS

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Cincinnati, OH 45229

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BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24
3	Addendum 3	02.22.24

ENLARGED UNIT PLANS - 1 BR-A.1

A.353

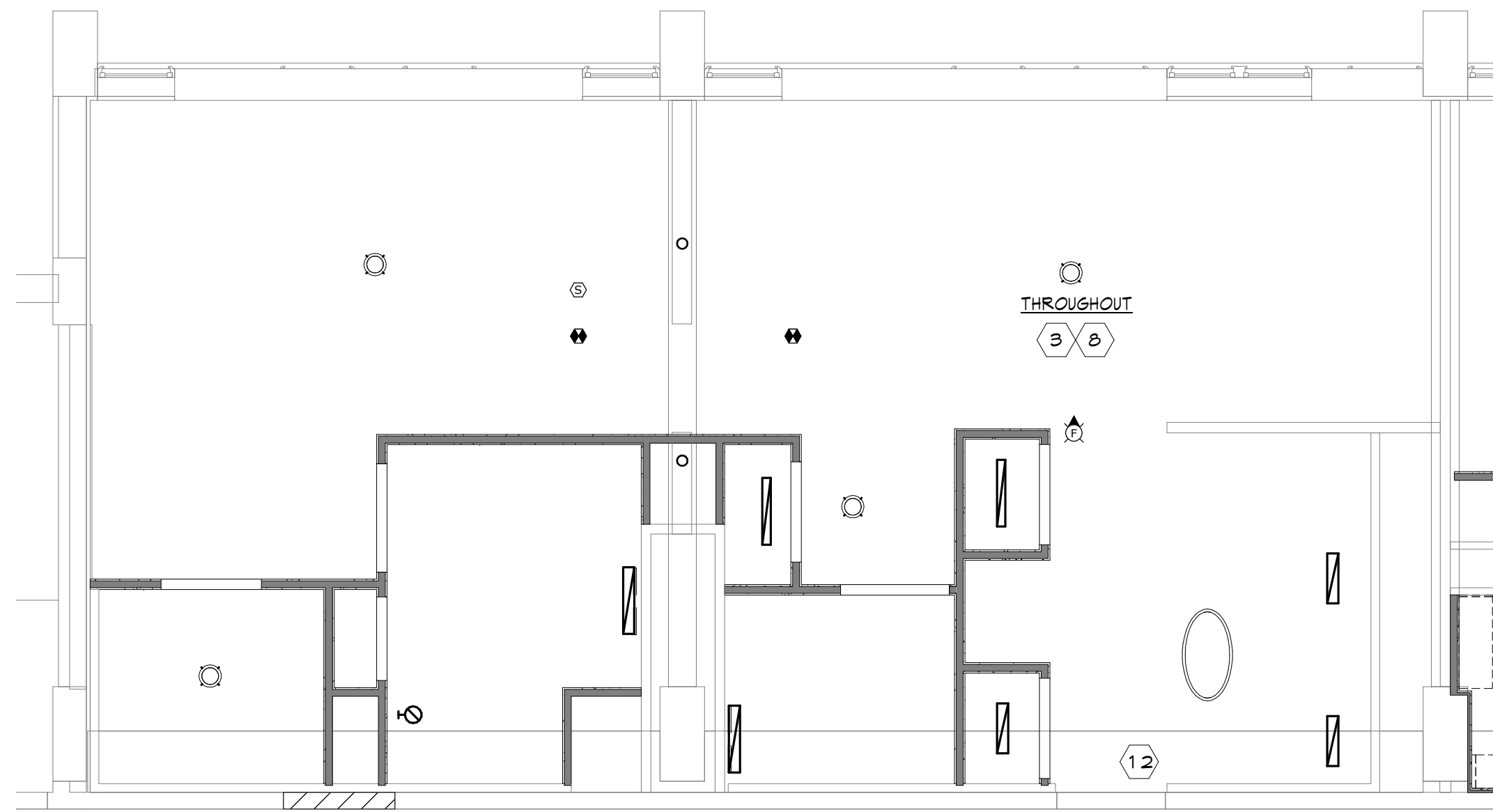
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P 614.221.1110 berardipartners.com

- ### CODING NOTES - UNIT PLANS
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 - EXISTING ELECTRICAL PANEL TO REMAIN. (R/R AND LOWER PANEL AT ANSI TYPE A UNIT ONLY) REFER TO ELECTRICAL DRAWINGS.
 - R/R EXISTING LIGHTING FIXTURES, FIRE/SMOKE DEVICES AND ASSOCIATED CABLING/WIRING. EXISTING SURFACE CONDUIT AND J-BOXES TO REMAIN. PREP FOR NEW FIXTURES. REFER TO ELECTRICAL DRAWINGS.
 - R/R EXISTING BATHROOM PLUMBING FIXTURES (INCLUDES SINK, BATHTUB, SHOWER BASE/DRAIN, FLOOR DRAIN OUTSIDE OF SHOWER), CASEWORK, COUNTER TOPS, BATHROOM ACCESSORIES, ACCESS PANELS, EXHAUST FANS AND TILED SHOWER SURROUND. PATCH AND REPAIR WALLS AT LOCATIONS OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
 - R/R EXISTING CLOSET SHELVING AND PREP FOR NEW SHELVES.
 - R/R EXISTING WINDOW AIR CONDITIONER UNIT. REFER TO MEP DRAWINGS.
 - R/R EXISTING FLOORING AND WALL BASE THROUGHOUT. PROVIDE LINE ITEM COST FOR ABBEY'S ABATEMENT.
 - REMOVE EXISTING CEILING TEXTURE THROUGHOUT. PROVIDE LINE ITEM COST FOR ABBEY'S ABATEMENT.
 - REMOVE WALLS AND/OR DOORS AS SHOWN DASHED, TYP.
 - R/R EXISTING UNIT ENTRY DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
 - ALIGN.
 - EXISTING GYPSUM SOFFIT TO REMAIN. PREP FOR NEW PAINT. SEE DOOR SCHEDULE.
 - R/R EXISTING UNIT INTERIOR DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
 - INFILL WITH WALL CONSTRUCTION TO MATCH ADJACENT WALL. MAINTAIN ALL REQUIRED WALL RATINGS.
 - REMOVE EXISTING GYPSUM SOFFIT (AND FRAMING) ABOVE. PATCH AND REPAIR CEILING.
 - PROVIDE SATIN NICKEL CURTAIN ROD WITH HEAVY DUTY FABRIC CURTAIN (OWNER TO SELECT COLOR/PATTERN) AT UNIT CLOSETS.
 - REMOVE EXISTING DOOR AND FRAME.
 - 3'-0" X 6'-8" FRAMED OPENING
 - 2'-8" X 6'-8" FRAMED OPENING

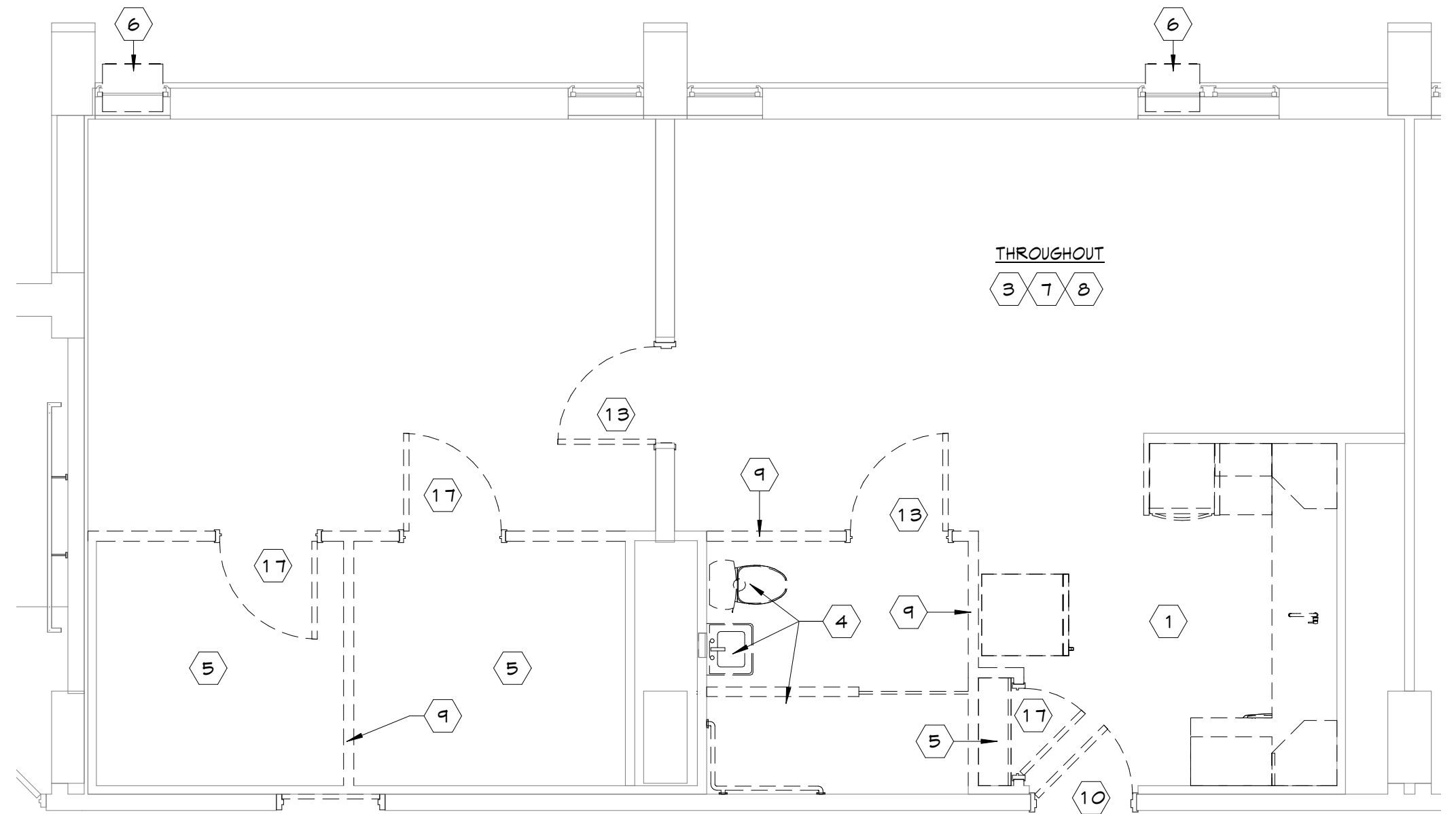
- ### KEYNOTES
- 08.30C 4' X 4' RATED ACCESS PANEL - REFER TO PLUMBING DRAWINGS
 - 10.28A RECESSED MEDICINE CABINET - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28B 18" TONEL BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28D SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28E SHOWER CURTAIN ROD - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28J 24" X 36" PLATE GLASS MIRROR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28N 30" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28Q 42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28U 18" VERTICAL GRAB BAR (V) FACTORY INSTALLED MOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28V 24" X 42" SHARPED GRAB BAR (V) FACTORY INSTALLED MOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28W FIXED SHOWER SEAT - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.57B DOUBLE SHELF AND ROD - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
 - 10.57C 5 LINEN SHELVES, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
 - 10.57D 4 PANTRY SHELVES, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
 - 11.30C 30" RANGE
 - 11.30E REFRIGERATOR
 - 11.30J RANGE HOOD WITH LIGHT AND FIRE CANISTERS
 - 11.30N FULL HEIGHT GREASE SHIELD AT RANGE. PANEL TO BE BAKED ENAMEL FINISH OVER STEEL TO MATCH COLOR OF RANGE OR SATIN FINISH STAINLESS STEEL WITH MATCHING SCREWS.
 - 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES (WHERE SHOWN) (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
 - 22.40A WATER CLOSET - SEE FIXTURE SCHEDULE
 - 22.40B FIBERGLASS SHOWER UNIT WITH FACTORY INSTALLED GRAB BARS - GENERAL CONTRACTOR TO COORDINATE EXACT DIMENSIONS WITH SHOWER MANUFACTURER - SEE FIXTURE SCHEDULE
 - 22.40C SHOWER CONTROLS - SEE FIXTURE SCHEDULE
 - 22.40E ROD MOUNTED ADJUSTABLE SHOWER HEAD - SEE FIXTURE SCHEDULE
 - 22.40G SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE
 - 22.40H LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE
 - 23.37C NEW LOUVER/EXHAUST - REFER TO MEP DRAWINGS.
 - 23.80G NEW WINDOW AIR CONDITIONING UNIT.
 - 26.24A NEW ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
 - 26.51A WALL SCONCE LIGHT FIXTURE - SEE FIXTURE SCHEDULE.

- ### GENERAL NOTES
- SEE SHEET A001a FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
 - SEE DETAILS ON A450 SHEETS FOR REQUIRED GRAB BAR REINFORCEMENT LOCATIONS FOR ALL UNITS.
- ### GRAB BAR STRENGTH
- BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
 - SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
 - SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
 - TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 Lbf (111.2N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. NOTE: BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER IF ENCLOSURES ARE FACTORY REINFORCED TO ACCEPT GRAB BARS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.

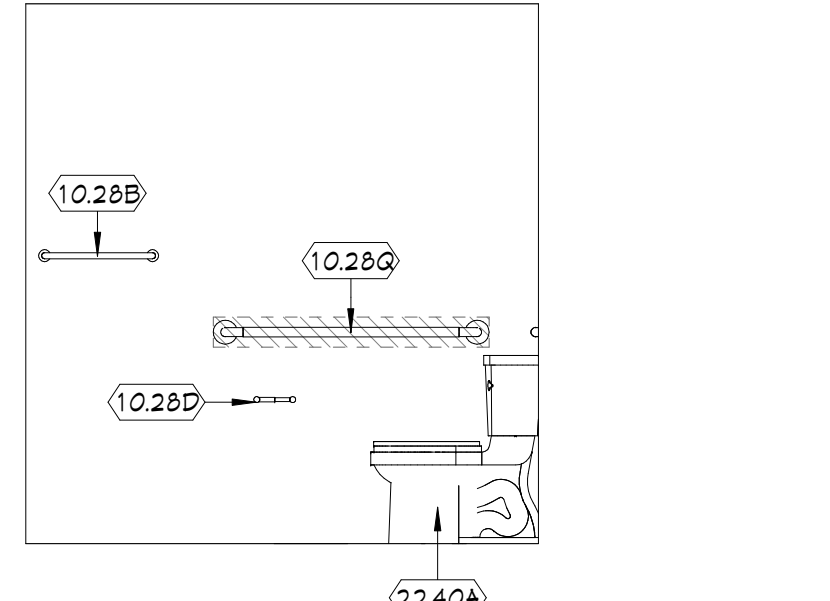
- ### CASEWORK LEGEND
- CASEWORK TAG: **XXX##XX**
PREFIX ## SUFFIX
WIDTH (IN INCHES) HEIGHT (IN INCHES)
- PREFIXES:**
B BASE
BCB BLIND CORNER BASE
SB SINK BASE
M MALL
P PANTRY
PV PANTRY-OVEN CABINET
FILLER FILLER PANEL
FILLER-E FINISHED END FILLER PANEL
MB MICROWAVE BASE
SUFFIXES:
RF REMOVABLE FRONT
- ### UNIT RCP LEGEND
- ⊙ SMOKE DETECTOR - SEE ELEC.
 - ⊕ SMOKE/CARBON MONOXIDE DETECTOR - SEE ELEC.
 - ⚡ FIRE ALARM STROBE - SEE ELEC.
 - SURFACE MOUNTED KITCHEN LIGHT - SEE ELEC.
 - SURFACE MOUNTED DISK LIGHT - SEE ELEC.
 - SHOWER SCONCE - SEE ELEC.
 - SURFACE MOUNTED VANITY LIGHT - SEE ELEC.
 - SURFACE MOUNTED STRIP LIGHT - SEE ELEC.
 - UNDER CABINET MOUNTED STRIP LIGHT - SEE ELEC.



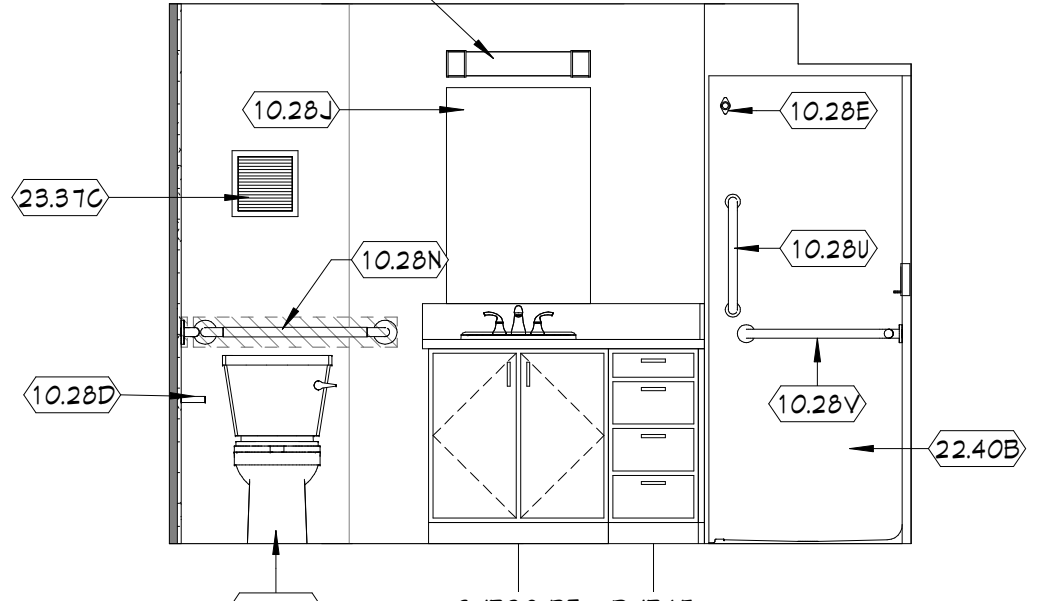
3 1 BR-A.1 EXPANDED UNIT RCP
1/4" = 1'-0"



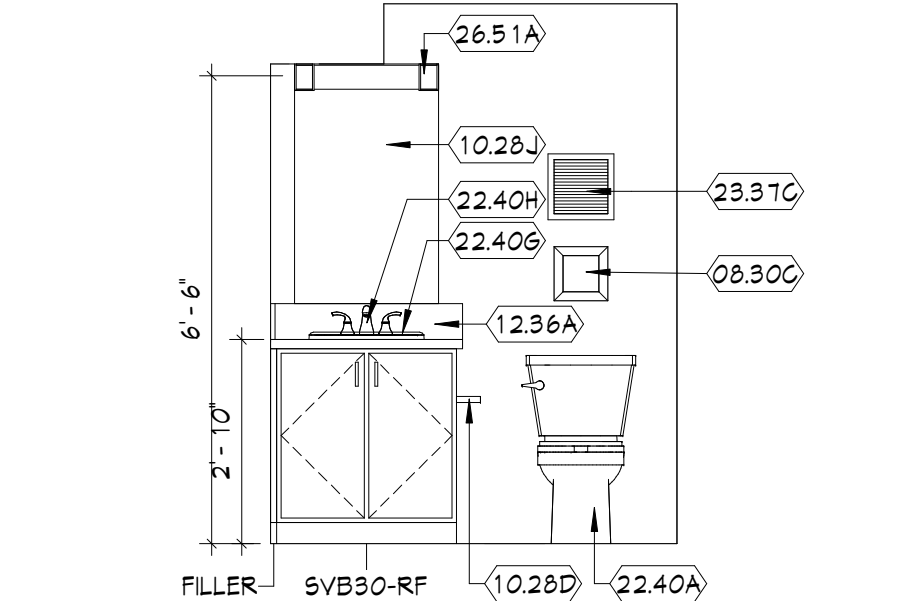
1 1 BR-A.1 EXPANDED UNIT DEMO PLAN
1/4" = 1'-0"



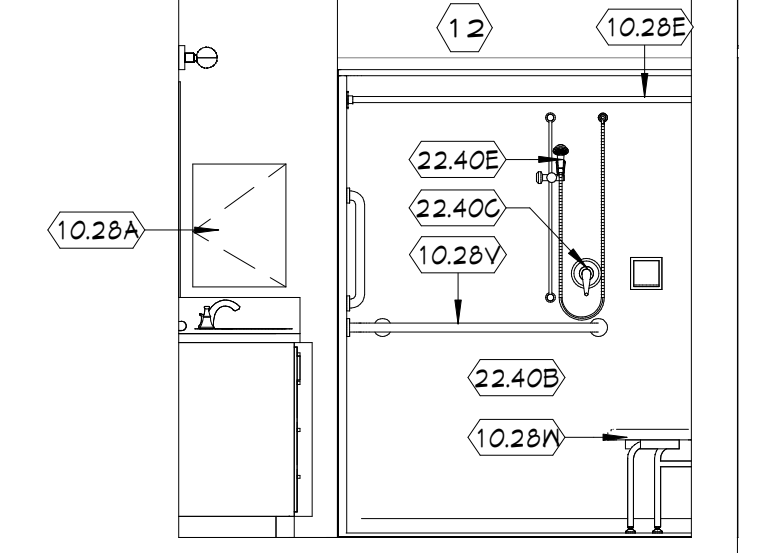
F 1 BR-A.1 EXPANDED BATH 3
3/8" = 1'-0"



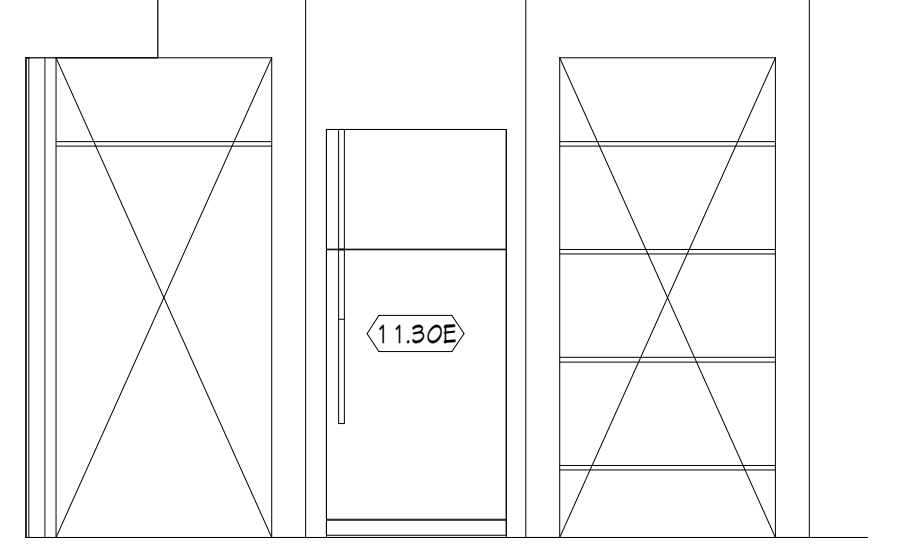
E BATHROOM ELEVATION
3/8" = 1'-0"



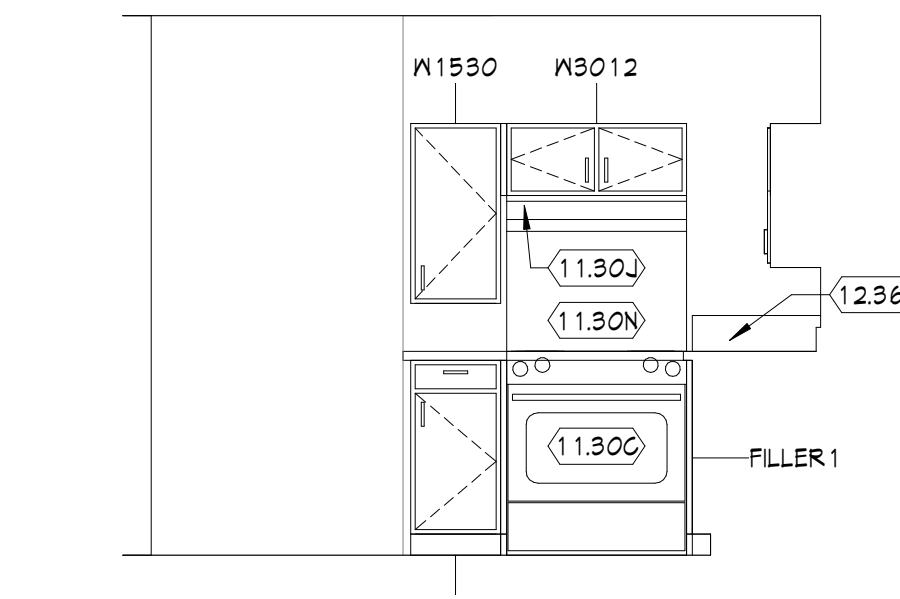
G 1/2 BATH ELEVATION
3/8" = 1'-0"



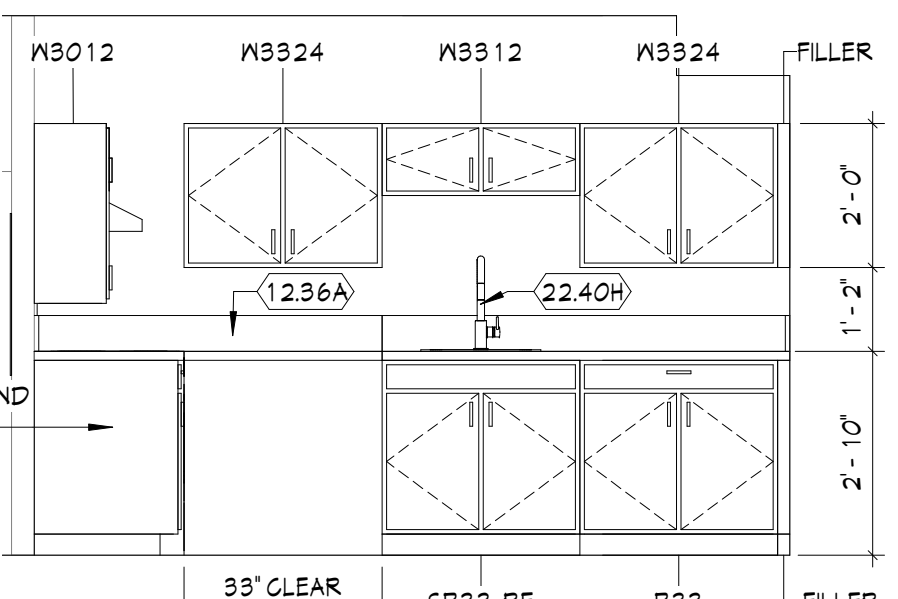
D BATHROOM ELEVATION
3/8" = 1'-0"



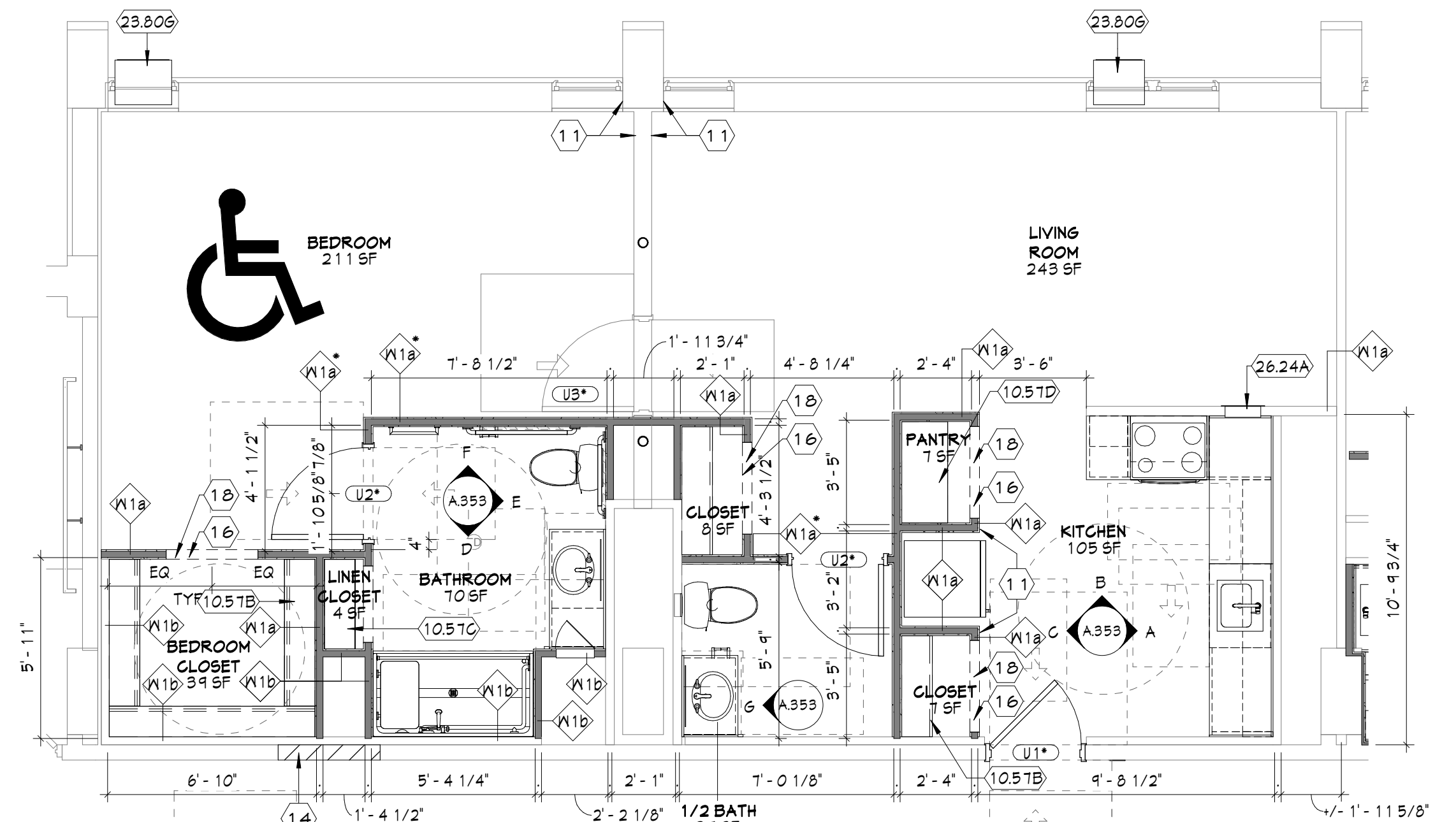
C KITCHEN ELEVATION
3/8" = 1'-0"



B KITCHEN ELEVATION
3/8" = 1'-0"



A KITCHEN ELEVATION
3/8" = 1'-0"



2 1 BR-A.1 EXPANDED UNIT PLAN
1/4" = 1'-0"



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

BEECHWOOD APARTMENTS

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Cincinnati, OH 45229

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- ### KEYNOTES
- 08.30C 9" X 9" RATED ACCESS PANEL - REFER TO PLUMBING DRAWINGS
 - 10.28A RECESSED MEDICINE CABINET - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28B 18" TOWEL BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28D SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28J 24" X 36" PLATE GLASS MIRROR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28L 18" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28N 30" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28Q 42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28V 24" X 42" L SHAPED GRAB BAR - V/ FACTORY INSTALLED WOOD BLOCKING (BY SHOWER SURROUND MANUFACTURER) - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28W FIXED SHOWER SEAT - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT

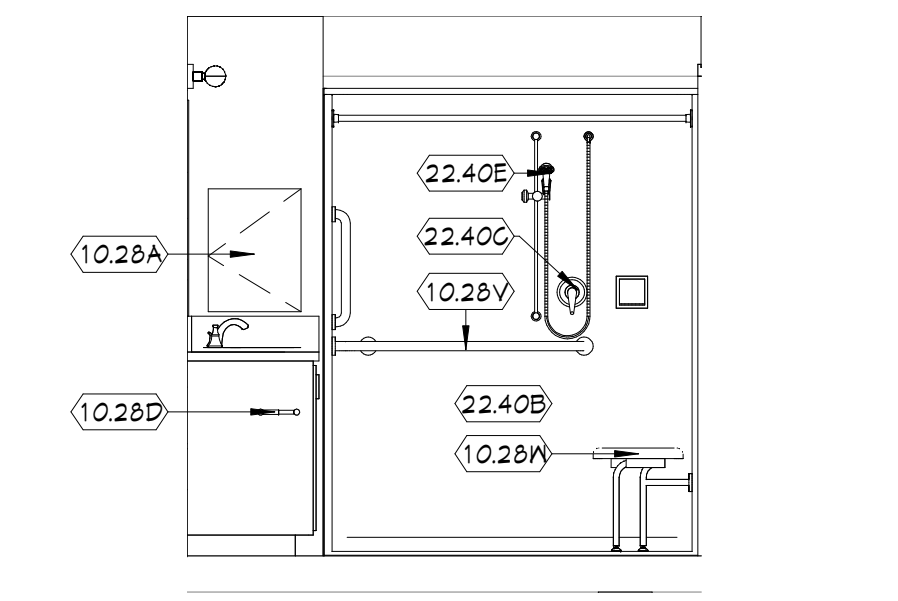
- ### KEYNOTES
- 10.57B DOUBLE SHELF AND ROD - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
 - 10.57C 5 LINEN SHELVES, EQUALLY SPACED - REFER TO ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHTS
 - 11.30C 30" RANGE
 - 11.30E REFRIGERATOR
 - 11.30J RANGE HOOD WITH LIGHT AND FIRE CANISTERS
 - 11.30N FULL-HEIGHT GREASE SHIELD AT RANGE PANEL TO BE BAKED ENAMEL FINISH OVER STEEL TO MATCH COLOR OF RANGE OR SATIN FINISH STAINLESS STEEL WITH MATCHING SCREENS.
 - 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES WHERE SHOWN (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
 - 22.40A WATER CLOSET - SEE FIXTURE SCHEDULE
 - 22.40B FIBERGLASS SHOWER UNIT WITH FACTORY INSTALLED GRAB BARS - GENERAL CONTRACTOR TO COORDINATE EXACT DIMENSIONS WITH SHOWER MANUFACTURER - SEE FIXTURE SCHEDULE
 - 22.40C SHOWER CONTROLS - SEE FIXTURE SCHEDULE
 - 22.40E ROD MOUNTED ADJUSTABLE SHOWER HEAD - SEE FIXTURE SCHEDULE
 - 22.40G SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE
 - 22.40H LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE
 - 23.30C NEW LOUVER/EXHAUST - REFER TO MEP DRAWINGS.
 - 23.80G NEW WINDOW AIR CONDITIONING UNIT.
 - 26.24A NEW ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
 - 26.51A WALL SCONCE LIGHT FIXTURE - SEE FIXTURE SCHEDULE

- ### CASEWORK LEGEND
- CASEWORK TAG: XXX | ### | XX
PREFIX | SUFFIX
WIDTH (IN INCHES) | HEIGHT (IN INCHES)
- PREFIXES:
B BASE
BCB BLIND CORNER BASE
SB SINK BASE
N WALL
P PANTRY
PV PANTRY-OVEN CABINET
FILLER FILLER PANEL
FILLER-E FINISHED END FILLER PANEL
MB MICROWAVE BASE
RF REMOVABLE FRONT

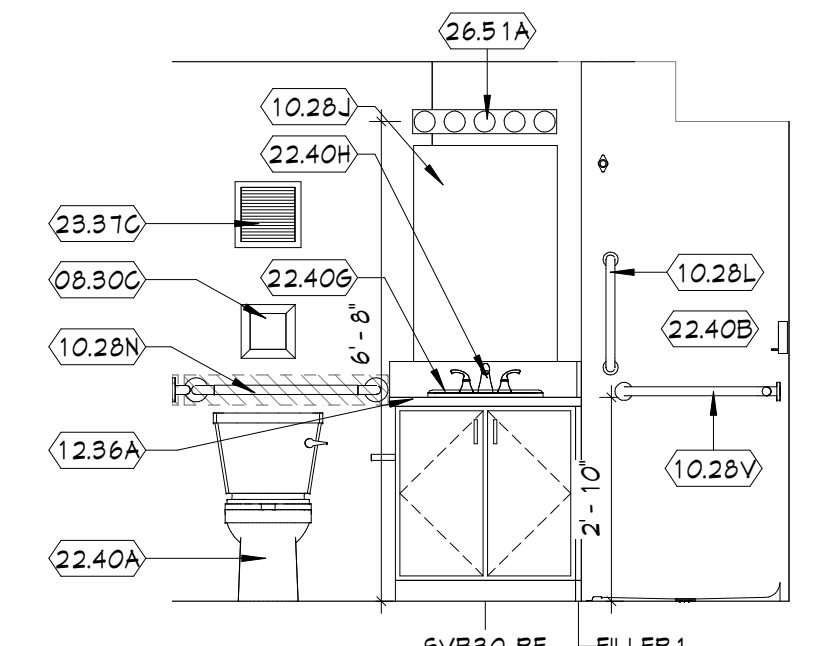
- ### UNIT RCP LEGEND
- ⊕ SMOKE DETECTOR - SEE ELEC.
 - ⊕ SMOKE/GARCON MONOXIDE DETECTOR - SEE ELEC.
 - ⊕ FIRE ALARM STROBE - SEE ELEC.
 - ⊕ SURFACE MOUNTED KITCHEN LIGHT - SEE ELEC.
 - ⊕ SURFACE MOUNTED DISK LIGHT - SEE ELEC.
 - ⊕ SHOWER SCONCE - SEE ELEC.
 - ⊕ SURFACE MOUNTED VANITY LIGHT - SEE ELEC.
 - ⊕ SURFACE MOUNTED STRIP LIGHT - SEE ELEC.
 - ⊕ UNDER CABINET MOUNTED STRIP LIGHT - SEE ELEC.

- ### GENERAL NOTES
1. SEE SHEET A.001a FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
 2. SEE DETAILS ON A.450 SHEETS FOR REQUIRED GRAB BAR REINFORCEMENT LOCATIONS FOR ALL UNITS.
 3. GRAB BAR STRENGTH
1. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
2. SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
 4. SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
 5. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSILE FORCE OF 250 Lbf (111.2N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 Lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.
 6. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- NOTE: BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER IF ENCL. IS REINFORCED TO GRAB BAR CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.

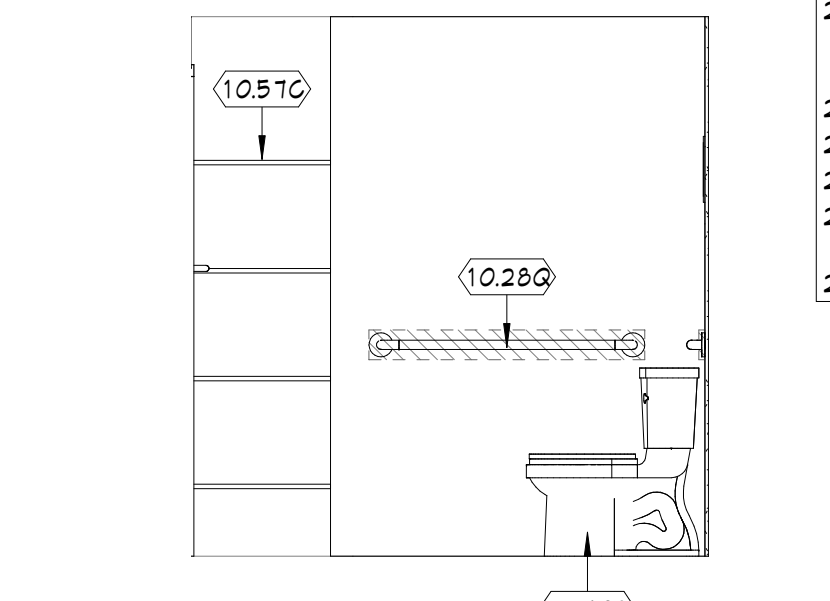
- ### CODED NOTES - UNIT PLANS
1. R/R EXISTING KITCHEN CASEWORK, COUNTERTOPS, PLUMBING FIXTURES AND APPLIANCES. PATCH AND REPAIR WALLS AT LOCATION OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
 2. EXISTING ELECTRICAL PANEL TO REMAIN. (R/R AND LOWER PANEL AT ANSI TYPE A UNIT ONLY) REFER TO ELECTRICAL DRAWINGS.
 3. R/R EXISTING LIGHTING FIXTURES, FIRE/SMOKE DEVICES AND ASSOCIATED CABLING/WIRING. EXISTING SURFACE CONDUIT AND J-BOXES TO REMAIN. PREP FOR NEW FIXTURES. REFER TO ELECTRICAL DRAWINGS.
 4. R/R EXISTING BATHROOM PLUMBING FIXTURES (INCLUDES SINK, BATHTUB, SHOWER BASE/DRAIN, FLOOR DRAIN OUTSIDE OF SHOWER), CASEWORK, COUNTER TOPS, BATHROOM ACCESSORIES, ACCESS PANELS, EXHAUST FANS AND TILED SHOWER SURROUND. PATCH AND REPAIR WALLS AT LOCATIONS OF REMOVED. REFER TO MEP DRAWINGS FOR ADDITIONAL INFO.
 5. R/R EXISTING CLOSET SHELVING AND PREP FOR NEW SHELVES.
 6. R/R EXISTING WINDOW AIR CONDITIONER UNIT. REFER TO MEP DRAWINGS.
 7. R/R EXISTING FLOORING AND WALL BASE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
 8. REMOVE EXISTING CEILING TEXTURE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
 9. REMOVE WALLS AND/OR DOORS AS SHOWN DASHED, TYP.
 10. R/R EXISTING UNIT ENTRY DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE
 11. ALIGN
 12. EXISTING GYPSUM SOFFIT TO REMAIN. PREP FOR NEW PAINT
 13. R/R EXISTING UNIT INTERIOR DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE
 14. INFILL WITH WALL CONSTRUCTION TO MATCH ADJACENT WALL. MAINTAIN ALL REQUIRED WALL RATINGS.
 15. REMOVE EXISTING GYPSUM SOFFIT (AND FRAMING) ABOVE. PATCH AND REPAIR CEILING.
 16. PROVIDE SATIN NICKEL CURTAIN ROD WITH HEAVY DUTY FABRIC CURTAIN (OWNER TO SELECT COLOR/PATTERN) AT UNIT CLOSETS.
 17. REMOVE EXISTING DOOR AND FRAME
 18. 3'-0" X 6'-8" FRAMED OPENING
 19. 2'-8" X 6'-8" FRAMED OPENING



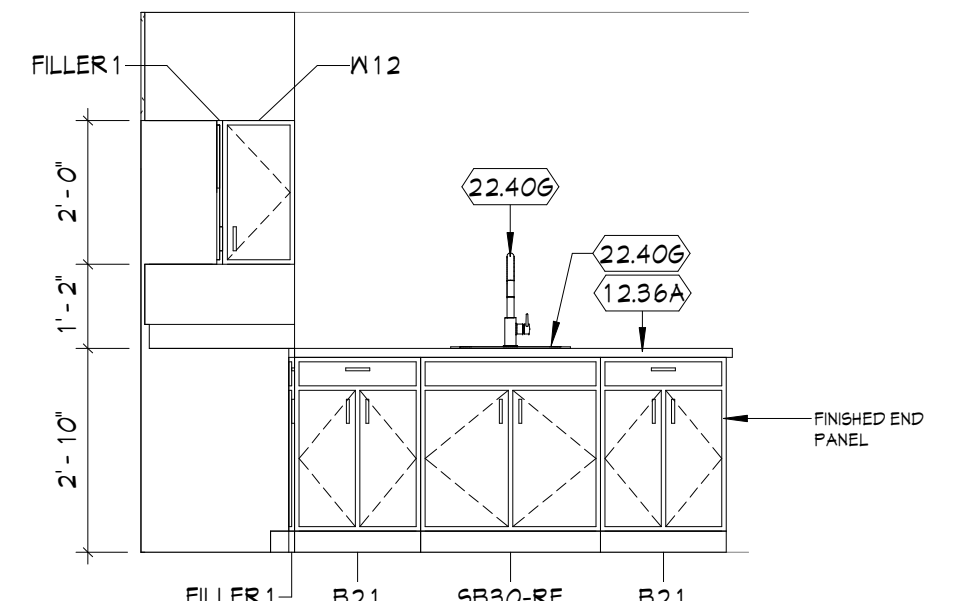
F
A.354
BATHROOM ELEVATION
3/8" = 1'-0"



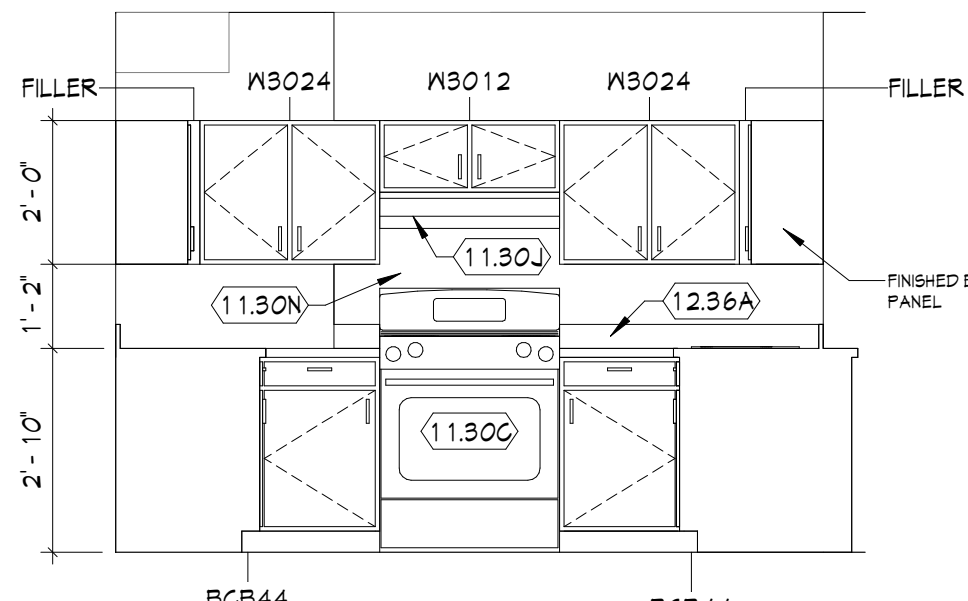
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A.354
BATHROOM ELEVATION
3/8" = 1'-0"



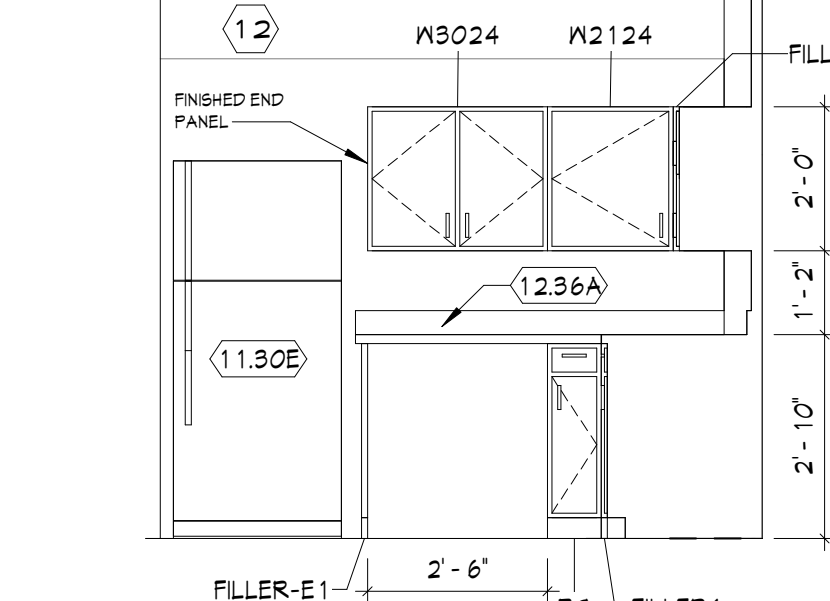
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A.354
BATHROOM ELEVATION
3/8" = 1'-0"



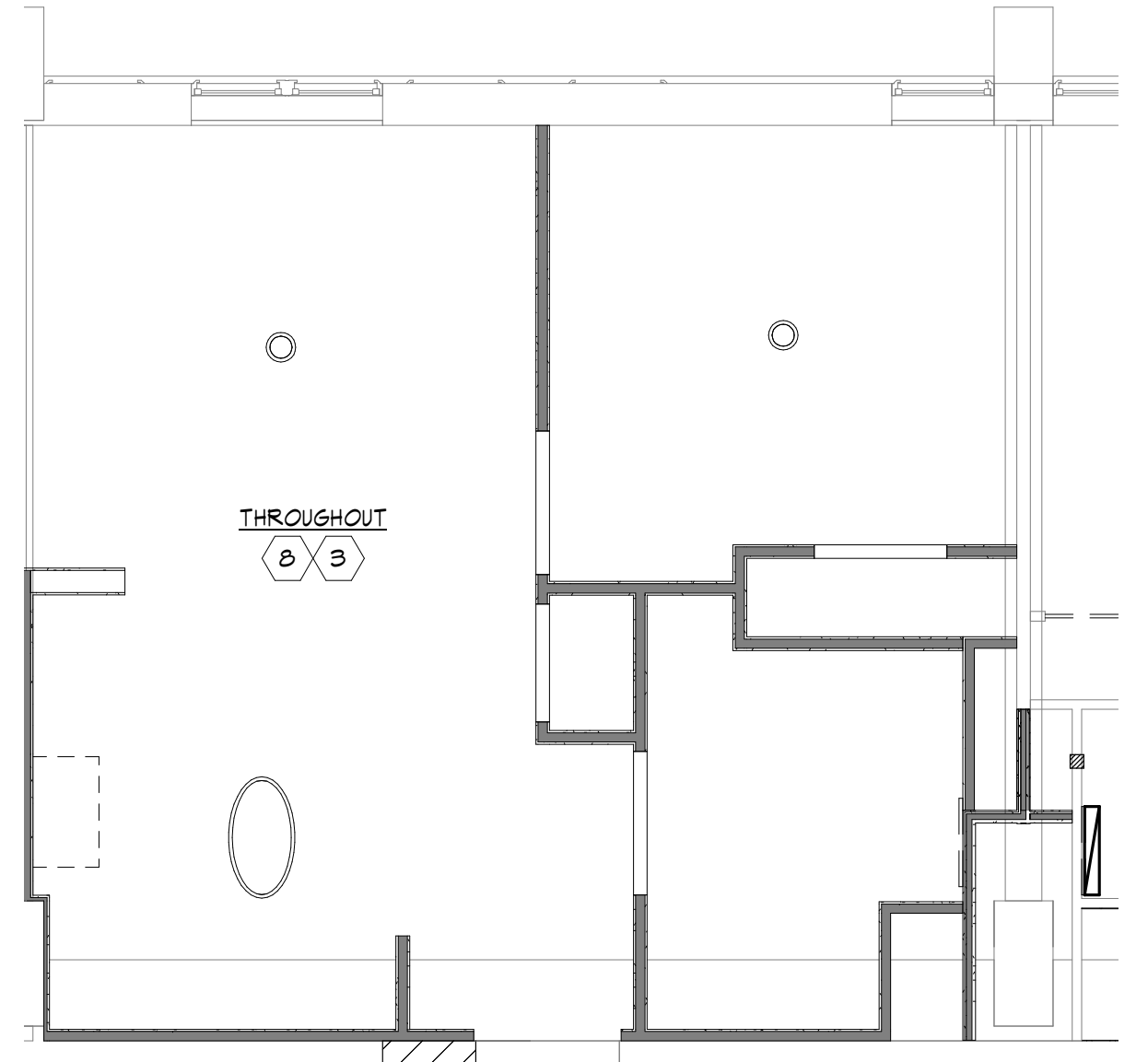
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A.354
KITCHEN ELEVATION
3/8" = 1'-0"



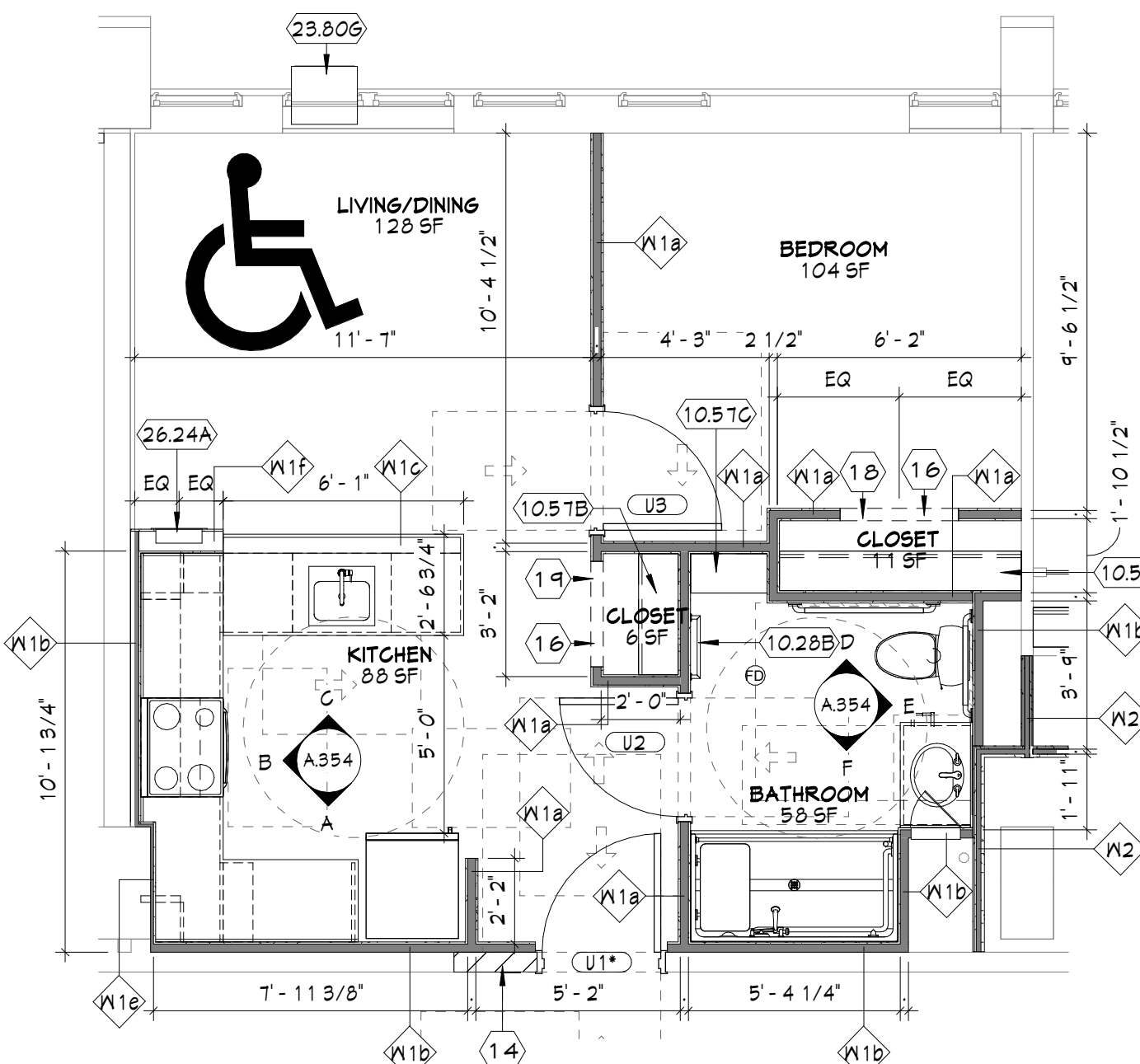
B
A.354
KITCHEN ELEVATION
3/8" = 1'-0"



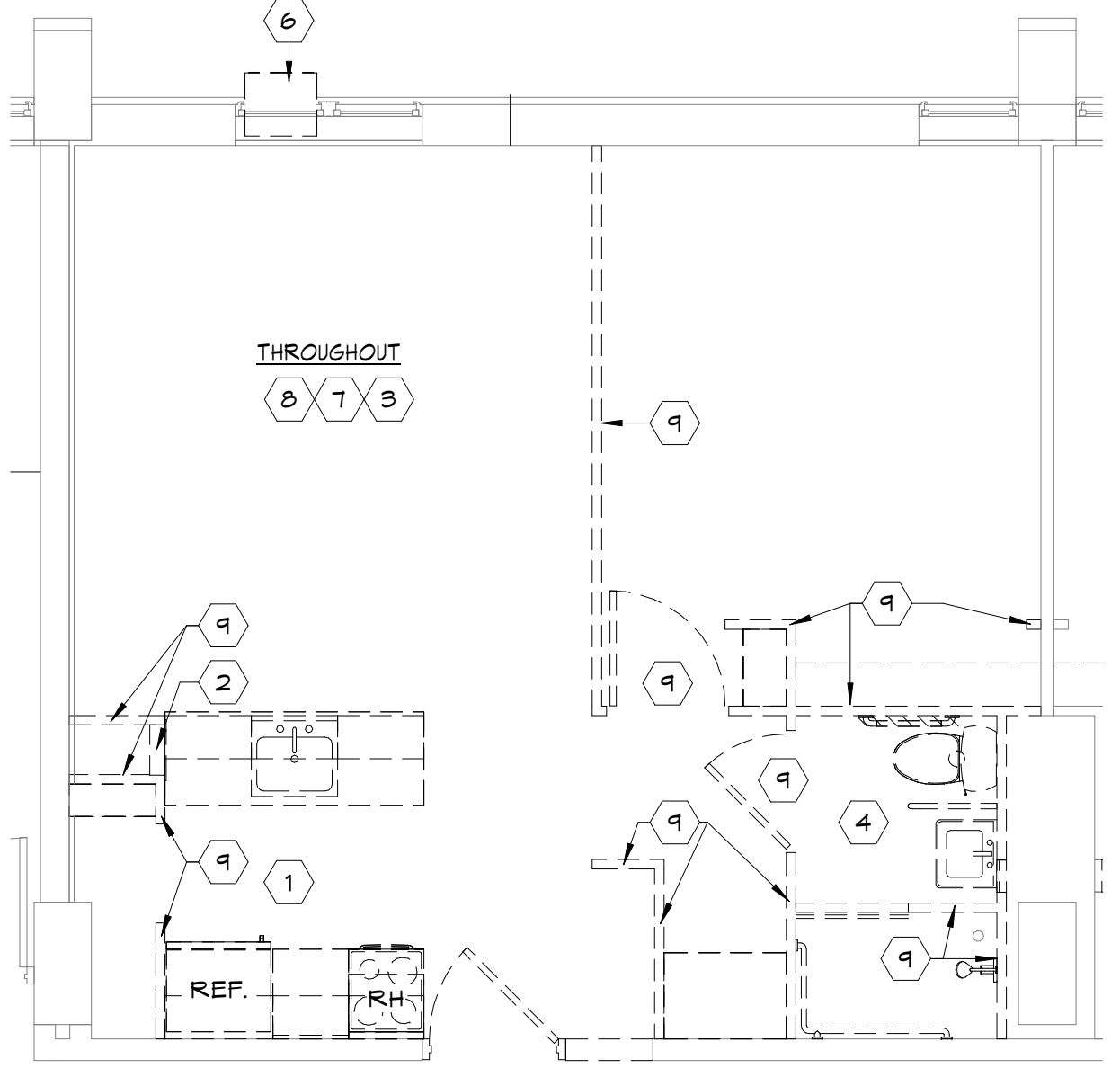
A
A.354
KITCHEN ELEVATION
3/8" = 1'-0"



3
A.354
1 BR-A.2 UNIT RCP
1/4" = 1'-0"



2
A.354
1 BR-A.2 UNIT PLAN
1/4" = 1'-0"



1
A.354
1 BR-A.2 UNIT DEMO PLAN
1/4" = 1'-0"

BID SET

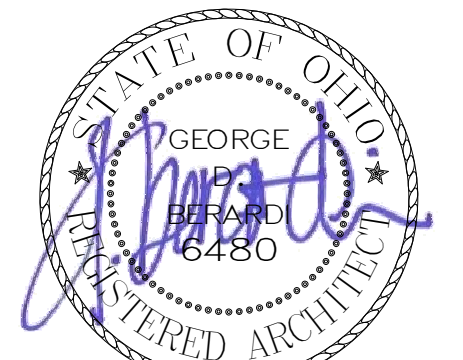
PROJECT DATE: 01.05.2024
PROJECT #: 20178

#	Description	Date
1	Addendum 1	01.22.24
2	Addendum 2	02.09.24
3	Addendum 3	02.22.24

ENLARGED UNIT PLANS - 1 BR-A.2

A.354

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GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

BEECHWOOD APARTMENTS

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BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

#	Description	Date
2	Addendum 2	02.09.24
3	Addendum 3	02.22.24

ENLARGED UNIT PLANS - 1 BR-EXTENDED TYPE B UNIT

A.355

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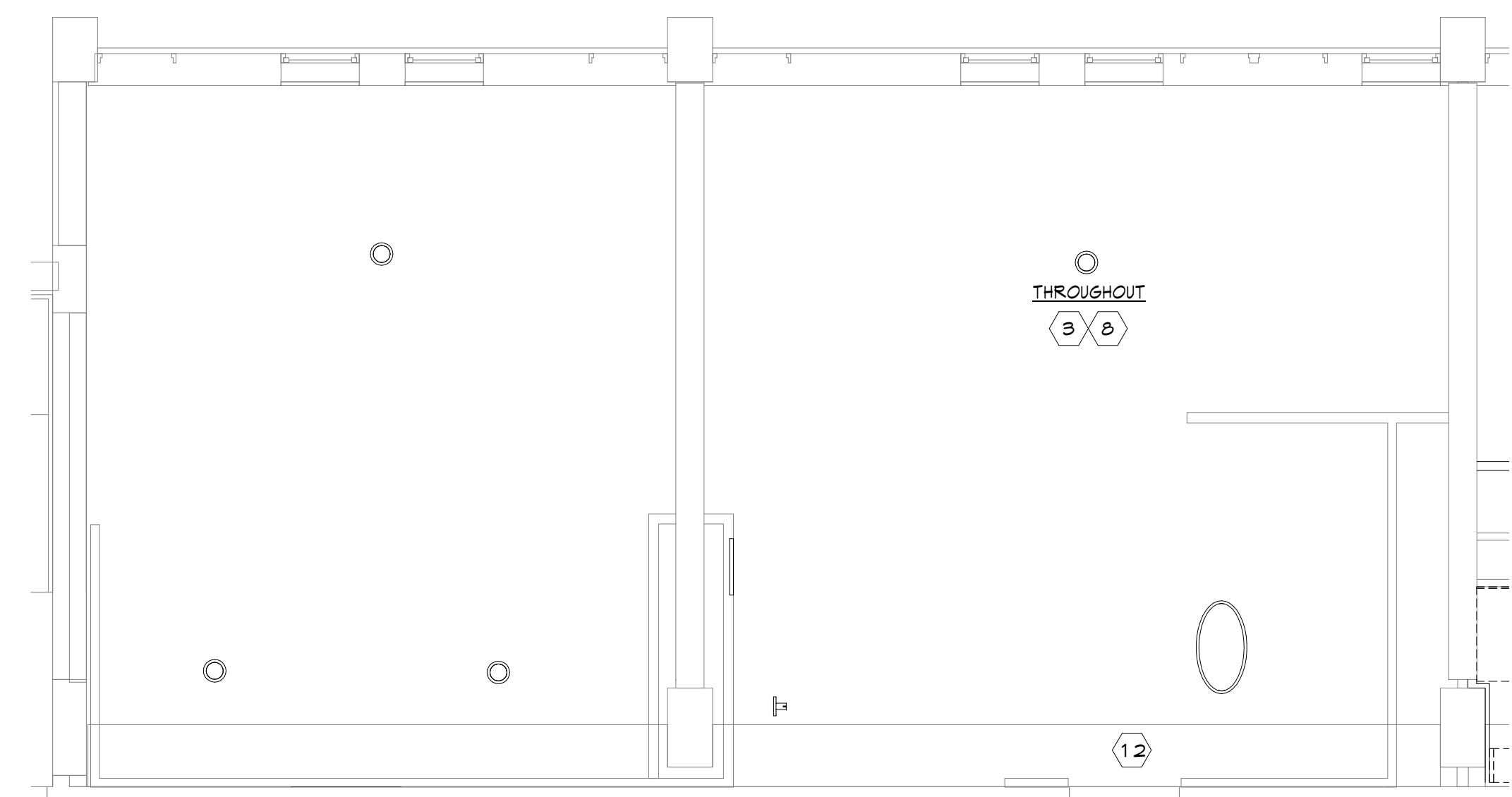
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 - REMOVE EXISTING CEILING TEXTURE THROUGHOUT. PROVIDE LINE ITEM COST FOR ASBESTOS ABATEMENT.
 - REMOVE WALLS AND/OR DOORS AS SHOWN DASHED, TYP. SEE DOOR SCHEDULE.
 - ALIGN.
 - EXISTING GYPSUM SOFFIT TO REMAIN. PREP FOR NEW PAINT.
 - R/R EXISTING UNIT INTERIOR DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE.
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 - PROVIDE SATIN NICKEL CURTAIN ROD WITH HEAVY DUTY FABRIC CURTAIN (OWNER TO SELECT COLOR/PATTERN) AT UNIT CLOSETS.
 - REMOVE EXISTING DOOR AND FRAME.
 - 3'-0" X 6'-8" FRAMED OPENING.
 - 2'-8" X 6'-8" FRAMED OPENING.

- ### KEYNOTES
- 08.30C 4' X 9' RATED ACCESS PANEL - REFER TO PLUMBING DRAWINGS
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 - 10.28D SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28J 24" X 36" PLATE GLASS MIRROR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
 - 10.28Q 42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
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 - 11.30E REFRIGERATOR
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 - 12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES WHERE SHOWN (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
 - 22.40A WATER CLOSET - SEE FIXTURE SCHEDULE
 - 22.40B SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE
 - 22.40H LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE
 - 23.37C NEW LOUVER/EXHAUST - REFER TO MEP DRAWINGS.
 - 23.80G NEW WINDOW AIR CONDITIONING UNIT.
 - 26.51A WALL SCONCE LIGHT FIXTURE - SEE FIXTURE SCHEDULE.

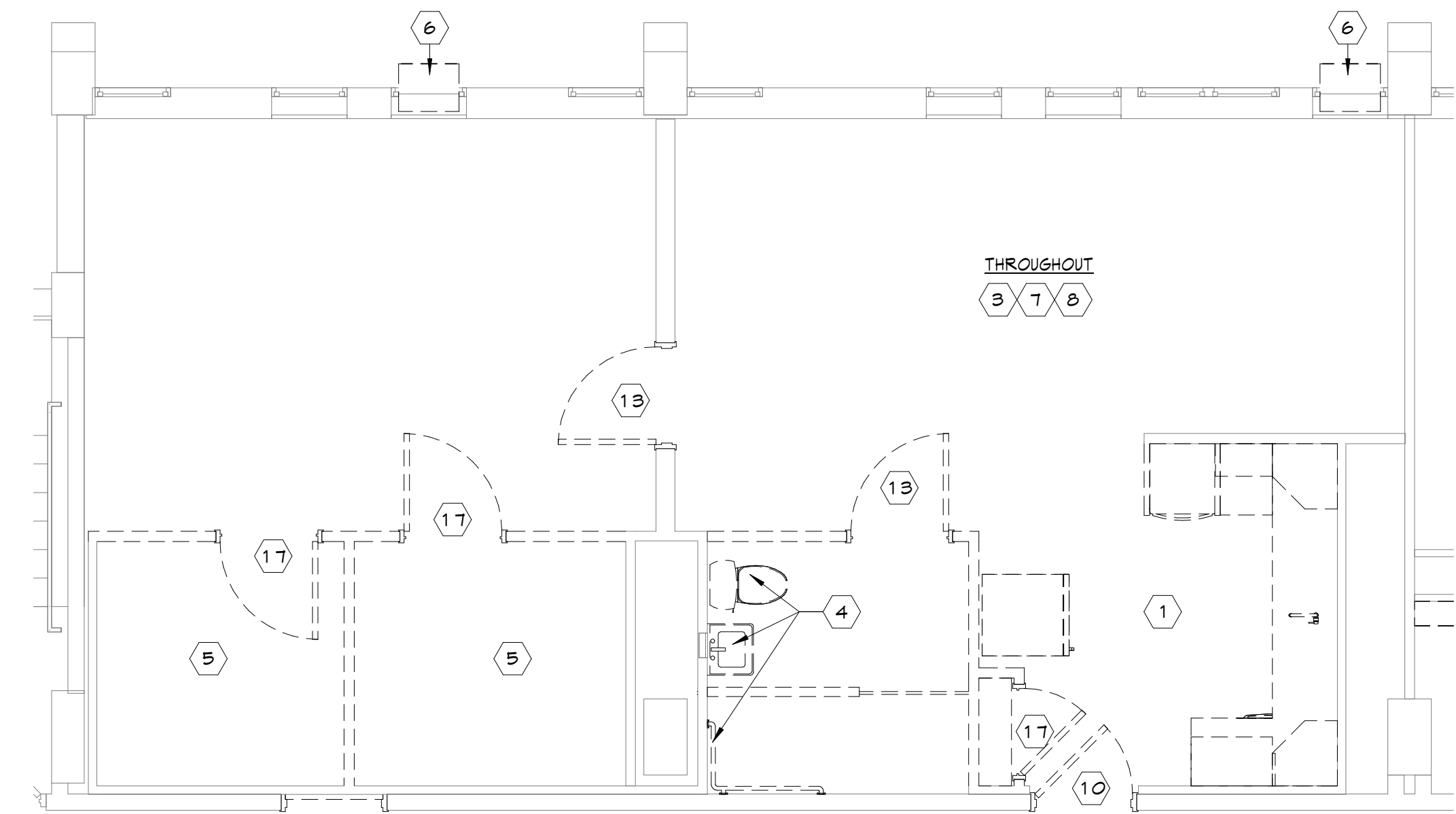
- ### GENERAL NOTES
- SEE SHEET A001a FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
 - SEE DETAILS ON A450 SHEETS FOR REQUIRED GRAB BAR REINFORCEMENT LOCATIONS FOR ALL UNITS.
- ### GRAB BAR STRENGTH
- BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
 - SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
 - SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
 - TENSION FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 lbf (111.2N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- NOTE: BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER IF ENCLOSURES ARE FACTORY REINFORCED TO ACCEPT GRAB BARS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.

- ### CASEWORK LEGEND
- CASEWORK TAG: $\frac{XXX}{\text{PREFIX}} \frac{###}{\text{SUFFIX}} \frac{XX}{\text{HEIGHT (IN INCHES)}}$
- PREFIXES:
 B BASE
 BCB BLIND CORNER BASE
 SB SINK BASE
 M MALL
 P PANTRY
 PV PANTRY-OVEN CABINET
 FILLER FILLER PANEL
 FILLER-E FINISHED END FILLER PANEL
 MB MICROWAVE BASE
 SUFFIXES:
 RF REMOVABLE FRONT

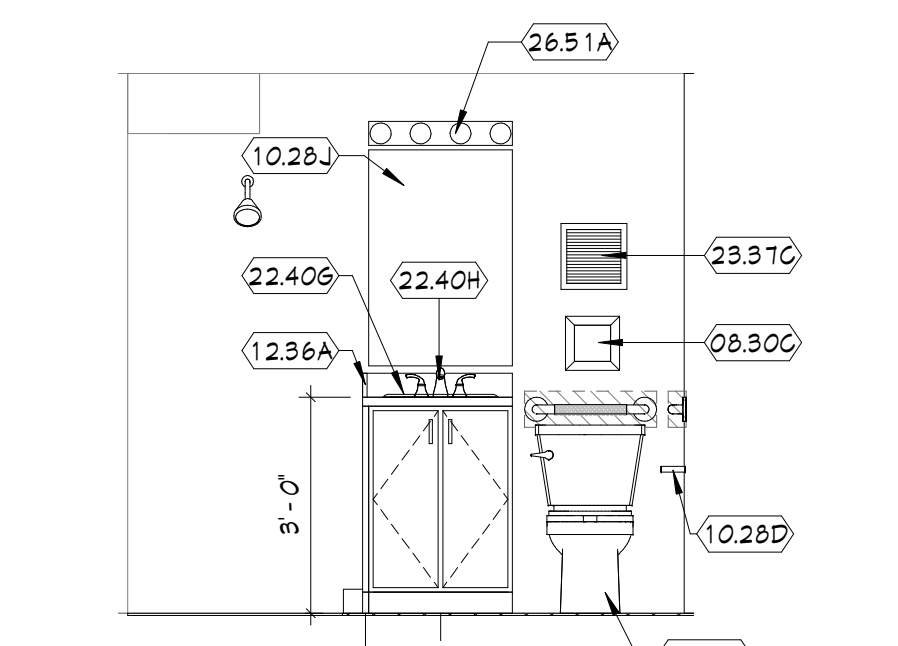
- ### UNIT RCP LEGEND
- ⊕ SMOKE DETECTOR - SEE ELEC.
 - ⊕ SMOKE/CARBON MONOXIDE DETECTOR - SEE ELEC.
 - ⊕ FIRE ALARM STROBE - SEE ELEC.
 - ⊕ SURFACE MOUNTED KITCHEN LIGHT - SEE ELEC.
 - ⊕ SURFACE MOUNTED DISK LIGHT - SEE ELEC.
 - ⊕ SHOWER SCONCE - SEE ELEC.
 - ⊕ SURFACE MOUNTED VANITY LIGHT - SEE ELEC.
 - ⊕ SURFACE MOUNTED STRIP LIGHT - SEE ELEC.
 - ⊕ UNDER CABINET MOUNTED STRIP LIGHT - SEE ELEC.



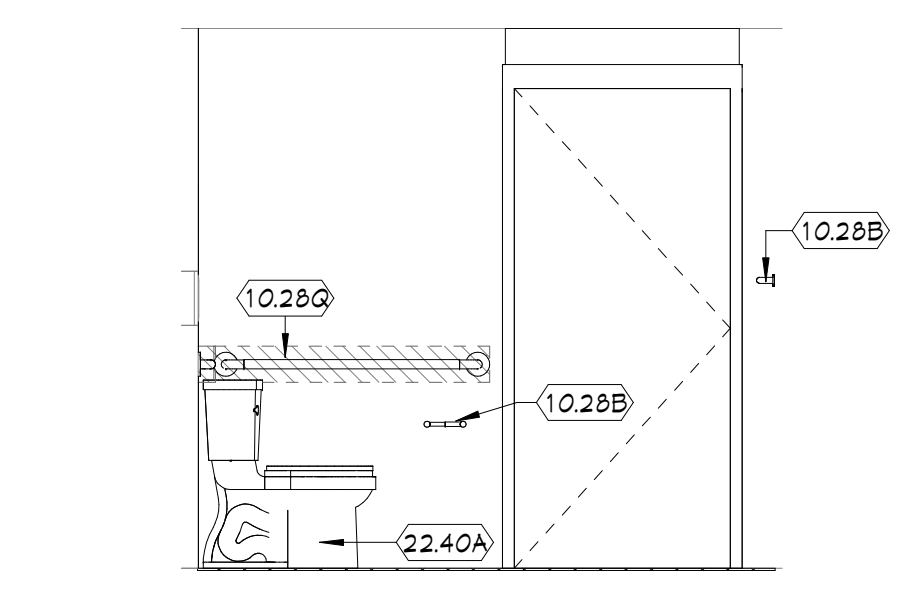
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A.355
1 BR-EXTENDED TYPE B UNIT RCP
1/4" = 1'-0"



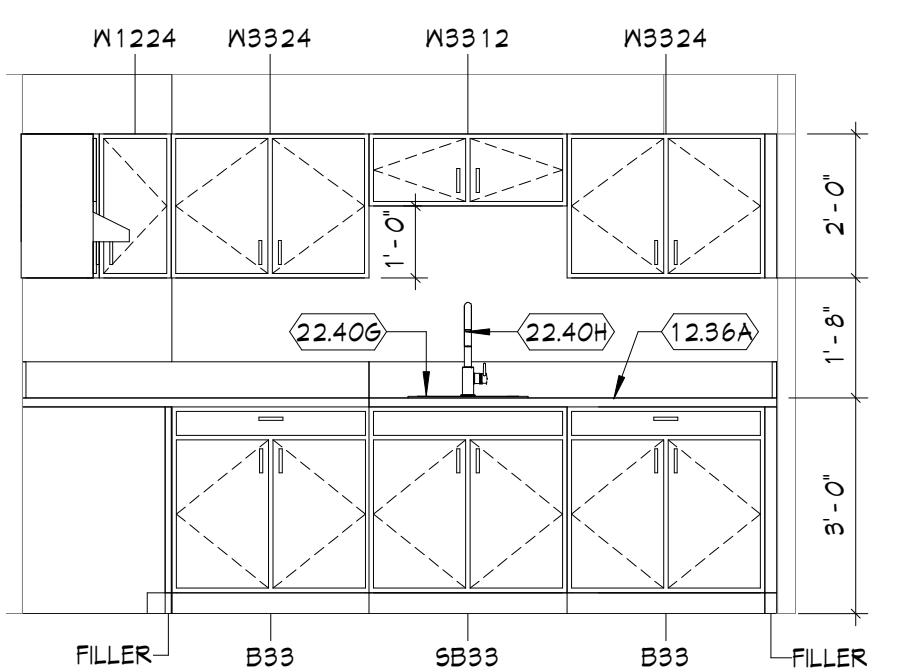
1
A.355
1 BR-EXTENDED TYPE B UNIT DEMO PLAN
1/4" = 1'-0"



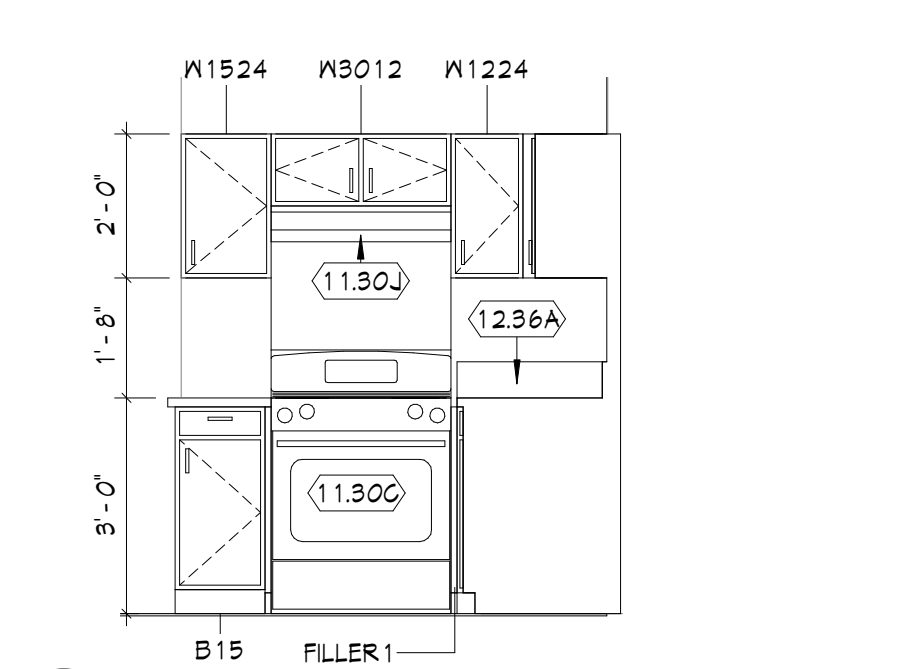
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A.355
BATHROOM ELEVATION
3/8" = 1'-0"



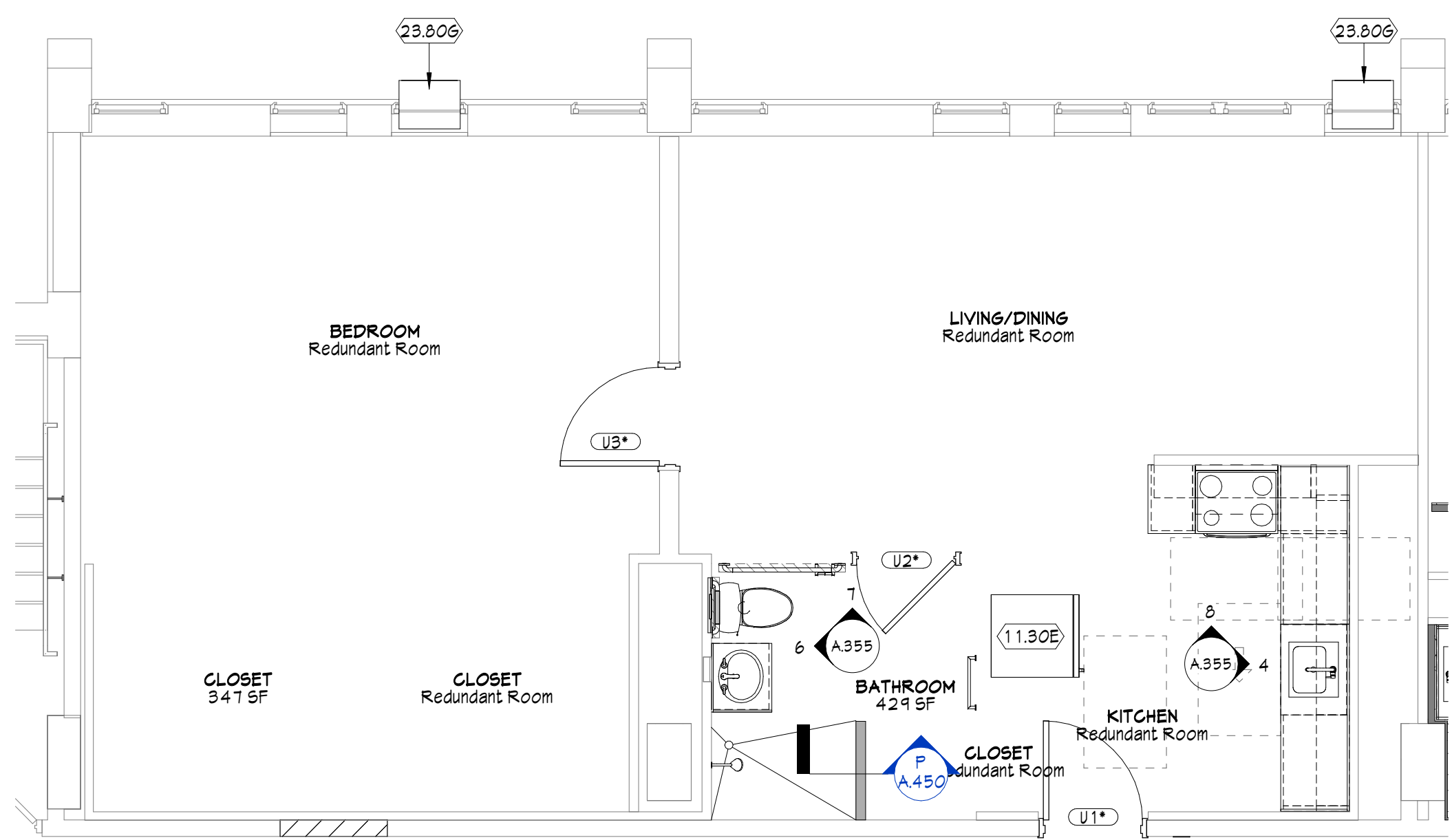
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A.355
BATHROOM ELEVATION
3/8" = 1'-0"



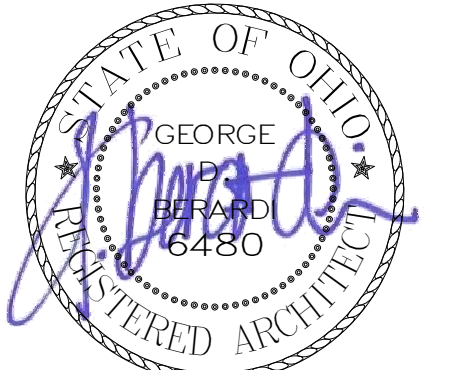
4
A.355
KITCHEN ELEVATION
3/8" = 1'-0"



8
A.355
KITCHEN ELEVATION
3/8" = 1'-0"



2
A.355
1 BR-EXTENDED TYPE B UNIT PLAN
1/4" = 1'-0"



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

BEECHWOOD APARTMENTS

330 Forest Ave.
Cincinnati, OH 45229

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2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS AND THE PROJECT MANUAL IN THEIR ENTIRETY. THE INFORMATION IN THESE DOCUMENTS IS DEPENDENT UPON AND COMPLEMENTARY OF EACH OTHER.
3. SEPARATION OF THE CONTRACT DOCUMENTS SHALL NOT BE PERMITTED. IF THE CONTRACTOR CHOOSES TO SEPARATE THE DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND EXPENSE.
4. THE CLIENT ACKNOWLEDGES THE CONSULTANTS (ARCHITECT) DRAWINGS AND SPECIFICATION INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA AS INSTRUMENTS OF THE CONSULTANT (ARCHITECT) PROFESSIONAL SERVICE. THE CLIENT SHALL NOT REUSE OR MAKE OR PERMIT TO BE MADE ANY MODIFICATION TO THE DRAWINGS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE CONSULTANT (ARCHITECT). THE CLIENT AGREES TO MAKE ANY CLAIM AGAINST THE CONSULTANT (ARCHITECT) ARISING FROM ANY UNAUTHORIZED TRANSFER, REUSE OR MODIFICATION OF THE DRAWINGS AND SPECIFICATIONS.
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GENERAL NOTES

- SEE SHEET A.001.8 FOR MOUNTING HEIGHTS, SYMBOLS, AND ADDITIONAL NOTES.
- SEE DETAILS ON A.450 SHEETS FOR REQUIRED GRAB BAR REINFORCEMENT LOCATIONS FOR ALL UNITS.

GRAB BAR STRENGTH

- BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
- SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
- SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
- TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 lbf (111.2N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 lbf (111.2N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL AND THE SUPPORTING STRUCTURE.

NOTE: BLOCKING FOR GRAB BARS NOT REQUIRED AT TUB/SHOWER IF ENCLOSURES ARE FACTORY REINFORCED TO ACCEPT GRAB BARS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THIS COORDINATION.

CASEWORK LEGEND

CASEWORK TAG: [XXX]###[XX]
PREFIX SUFFIX
WIDTH (IN INCHES) HEIGHT (IN INCHES)

PREFIXES:
B BASE
BCB BLIND CORNER BASE
SB SINK BASE
W WALL
P PANTRY
PV PANTRY-OVEN CABINET
FILLER FILLER PANEL
FILLER-E FINISHED END FILLER PANEL
MB MICROWAVE BASE
SUFFIXES:
RF REMOVABLE FRONT

KEYNOTES

04.30B CERAMIC TILE BASE
04.30C CERAMIC TILE APPLIED TO WALL
04.10B GLASS FIBER REINFORCED PLASTIC PANELS
10.28D SURFACE MOUNTED TOILET PAPER HOLDER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28H SOAP DISPENSER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28J 24"x36" PLATE GLASS MIRROR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28L 18" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28P 36" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28Q 42" HORIZONTAL GRAB BAR - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28S SURFACE MOUNTED SANITARY NAPKIN DISPENSER (WOMEN'S RESTROOM ONLY). SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
10.28T SURFACE MOUNTED PAPER TOWEL DISPENSER - SEE ACCESSORY LOCATION TABLE FOR MOUNTING HEIGHT
11.30A COMMERCIAL WASHING MACHINE - BY OTHERS
11.30D MICROWAVE
11.30E REFRIGERATOR
11.30F DISHWASHER
11.30M ACCESSIBLE FRONT LOADING COMMERCIAL WASHING MACHINE - BY OTHERS
12.30C SINK APRON TO MATCH ADJACENT CABINETS
12.30D REMOVABLE PLUMBING SHIELD. PROVIDE FINISHED END PANEL AT OPEN ENDS AS SHOWN ON ELEVATIONS
12.30F MANUFACTURED CASEWORK - BASE CABINET
12.30G MANUFACTURED CASEWORK - UPPER CABINET
12.36A COUNTERTOP WITH 4" BACK AND SIDE SPLASHES WHERE SHOWN (6" SPLASH AT ANSI TYPE 'A' UNITS). SEE INTERIOR FINISH SCHEDULE
22.40A WATER CLOSET - SEE FIXTURE SCHEDULE
22.40G SINK BASIN AS SPECIFIED - INSULATE ALL EXPOSED PLUMBING AS REQUIRED FOR ANTI-SCALD ON HOT WATER SUPPLY AND WASTE - SEE FIXTURE SCHEDULE
22.40H LEVER STYLE FAUCET - SEE FIXTURE SCHEDULE
22.40S ACCESSIBLE WATER FOUNTAIN WITH BOTTLE FILLING STATION - SEE FIXTURE SCHEDULE
27.40A NEW TV BY OWNER - PROVIDE CABLE AND ELECTRICAL OUTLETS AS SHOWN ON MEP DRAWINGS. COORDINATE FINAL LOCATION WITH OWNER.

CODED NOTES - INT. ELEVATIONS

- SIDE OF CABINET TO BE FINISHED
- PAINT SPANDEL PANEL TO MATCH MULLIONS, TYP.

BID SET

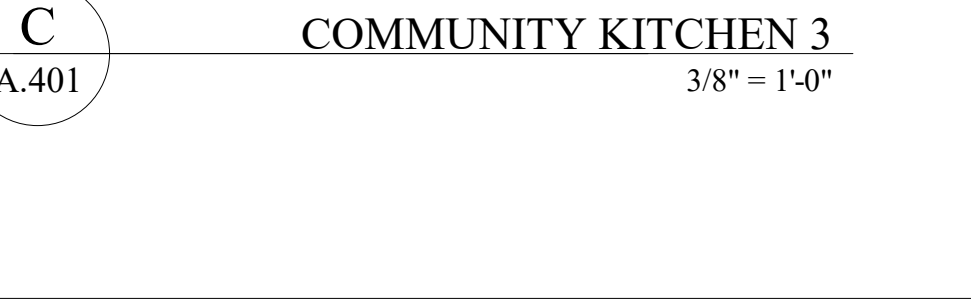
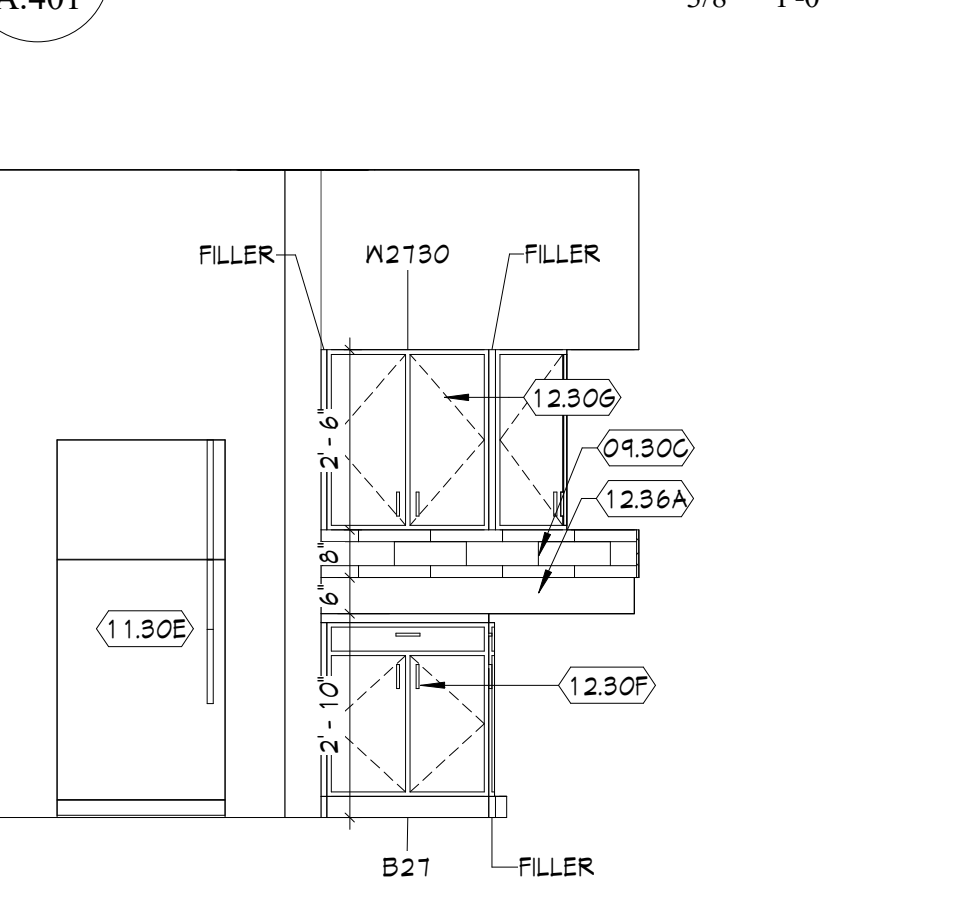
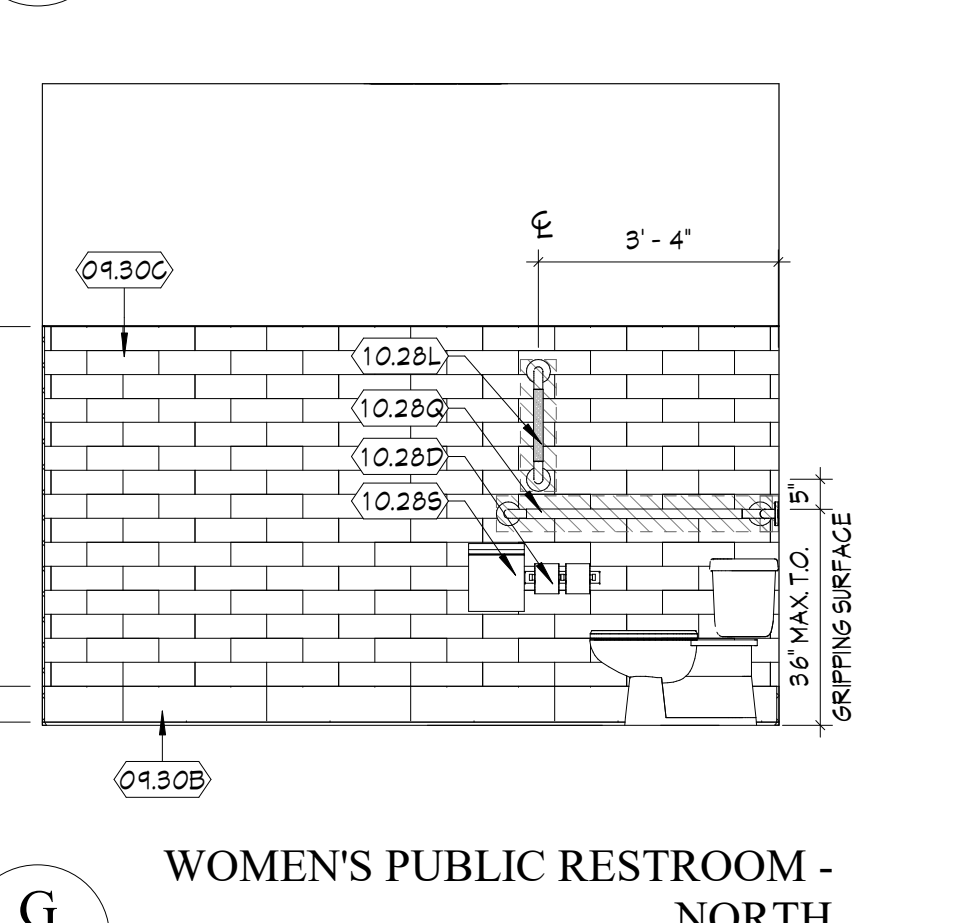
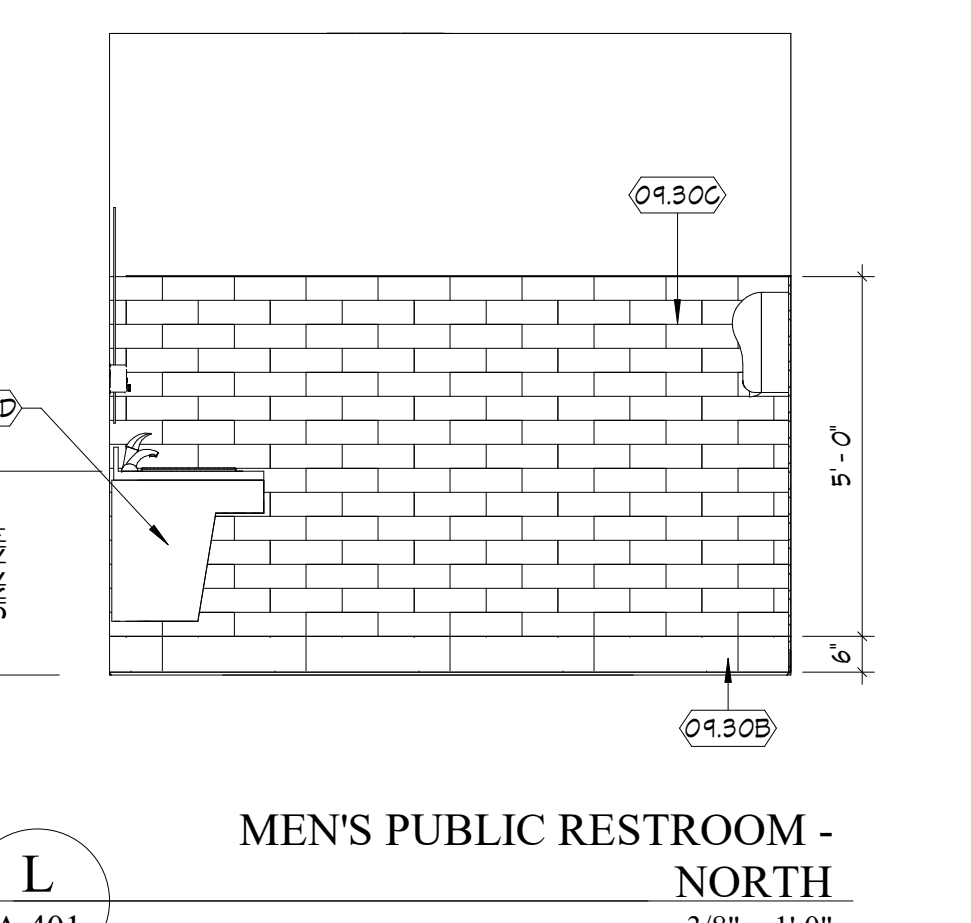
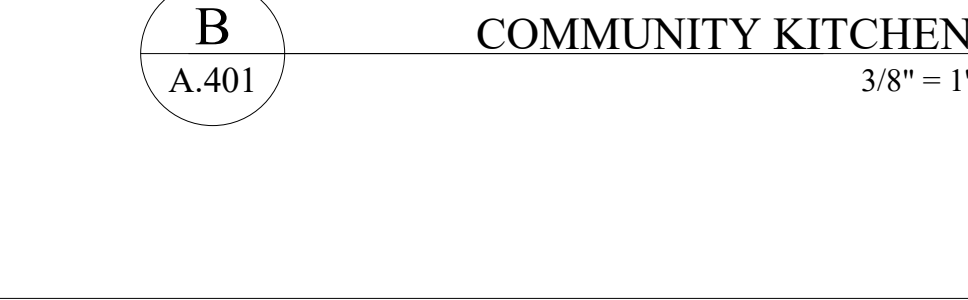
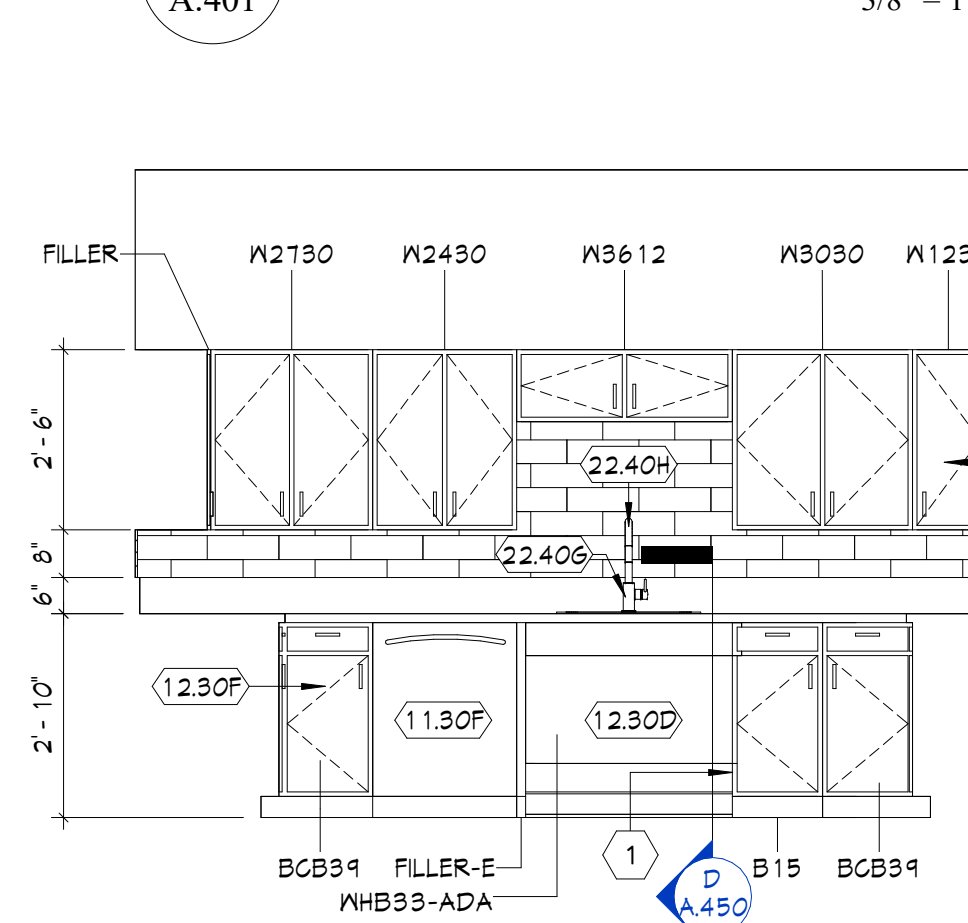
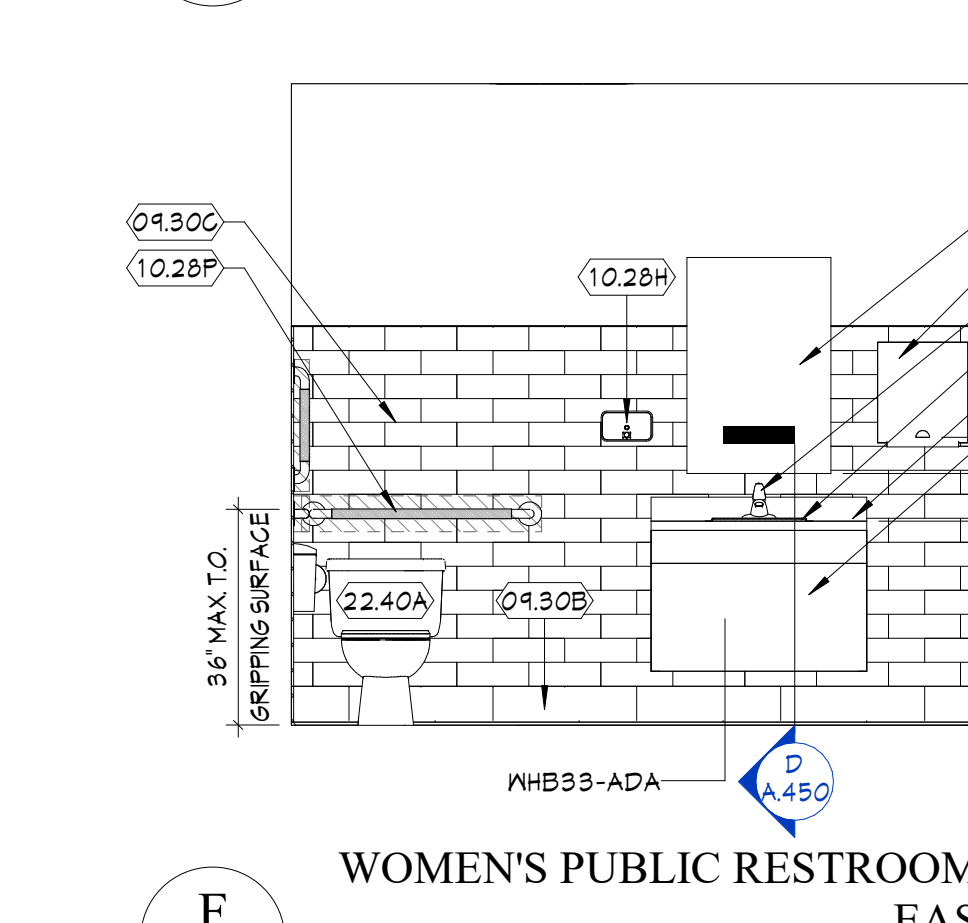
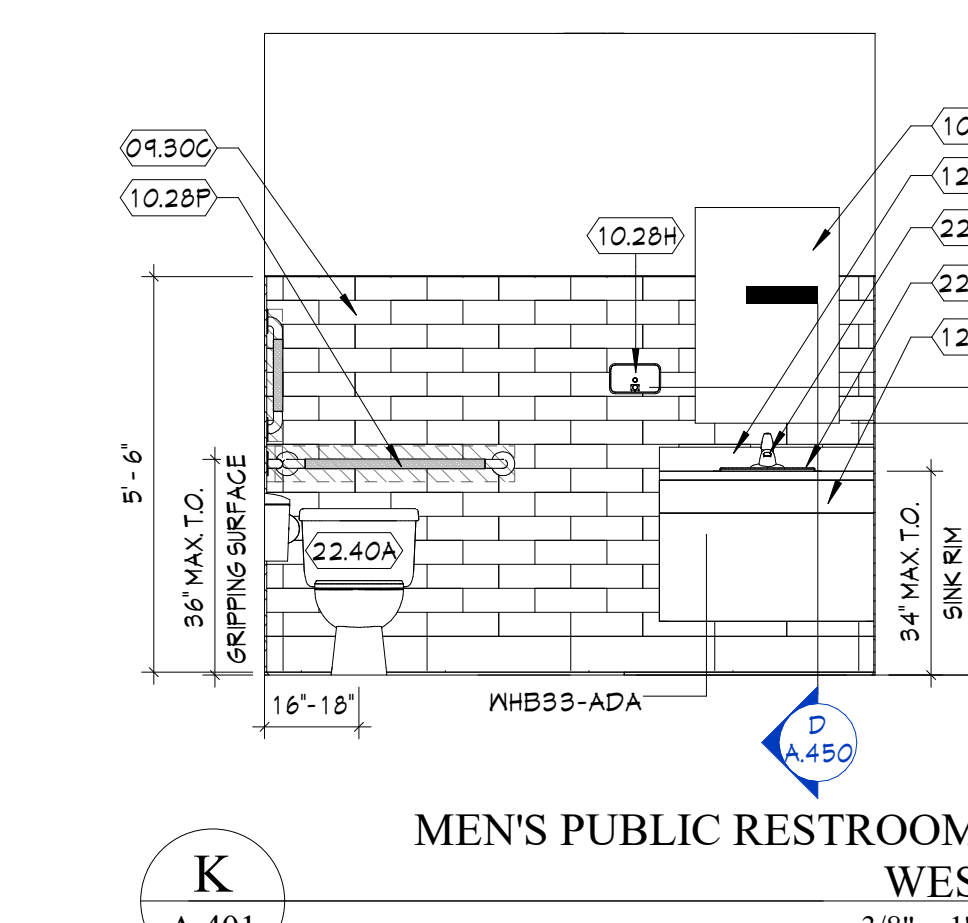
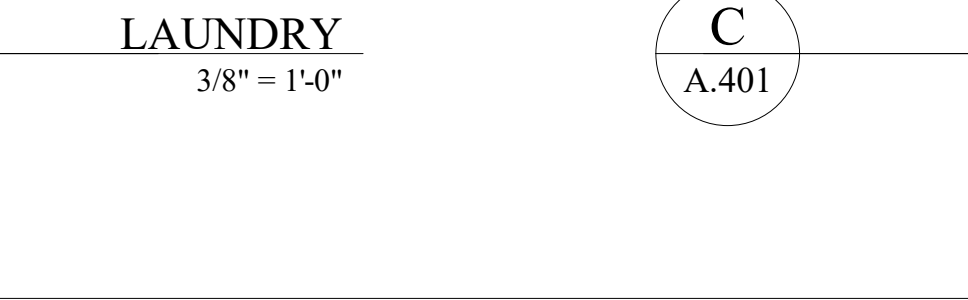
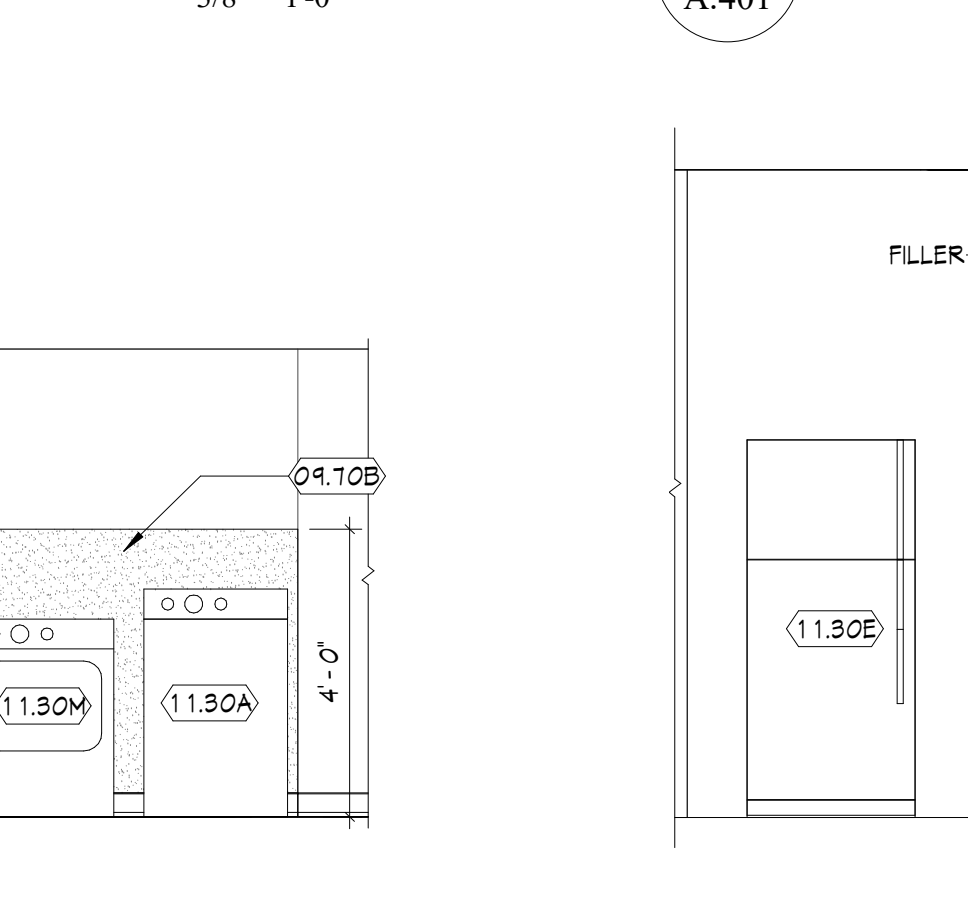
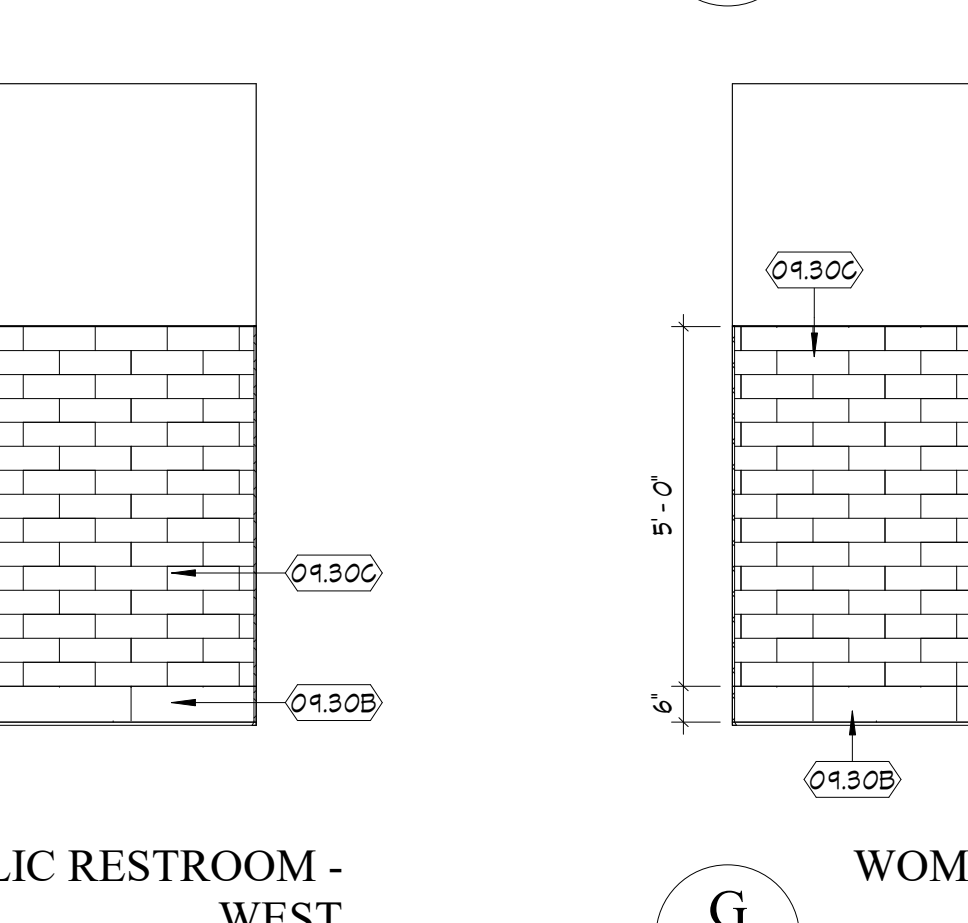
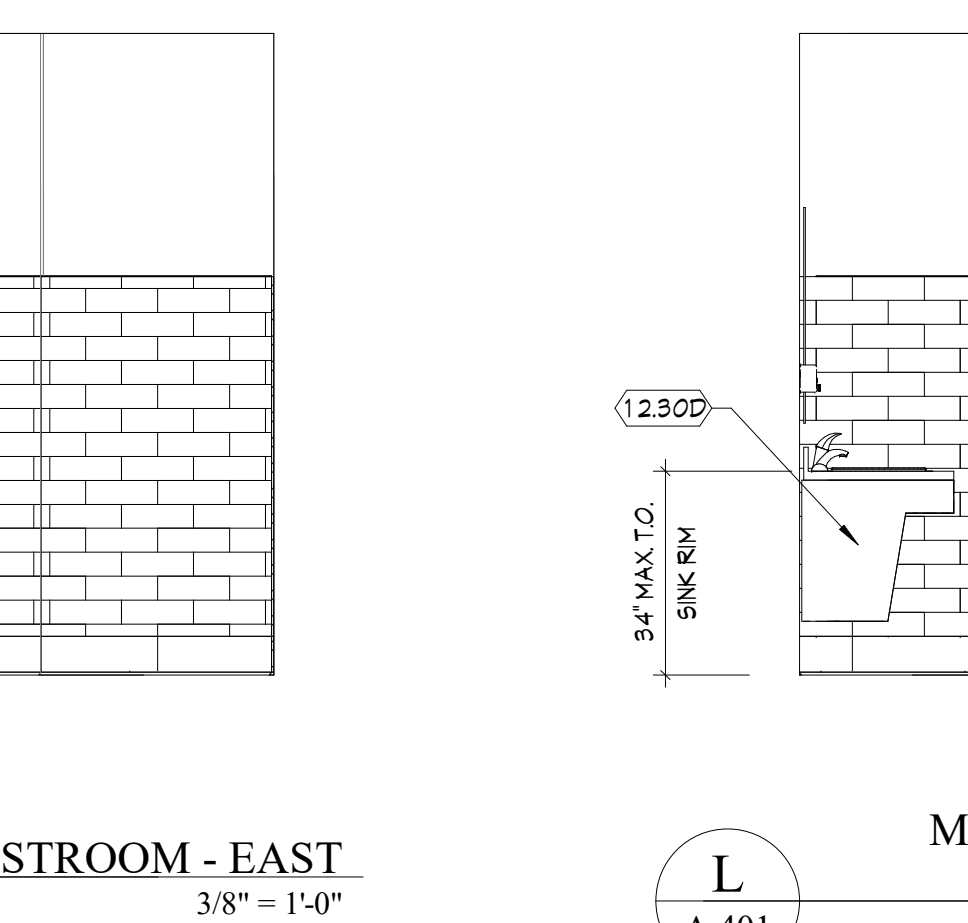
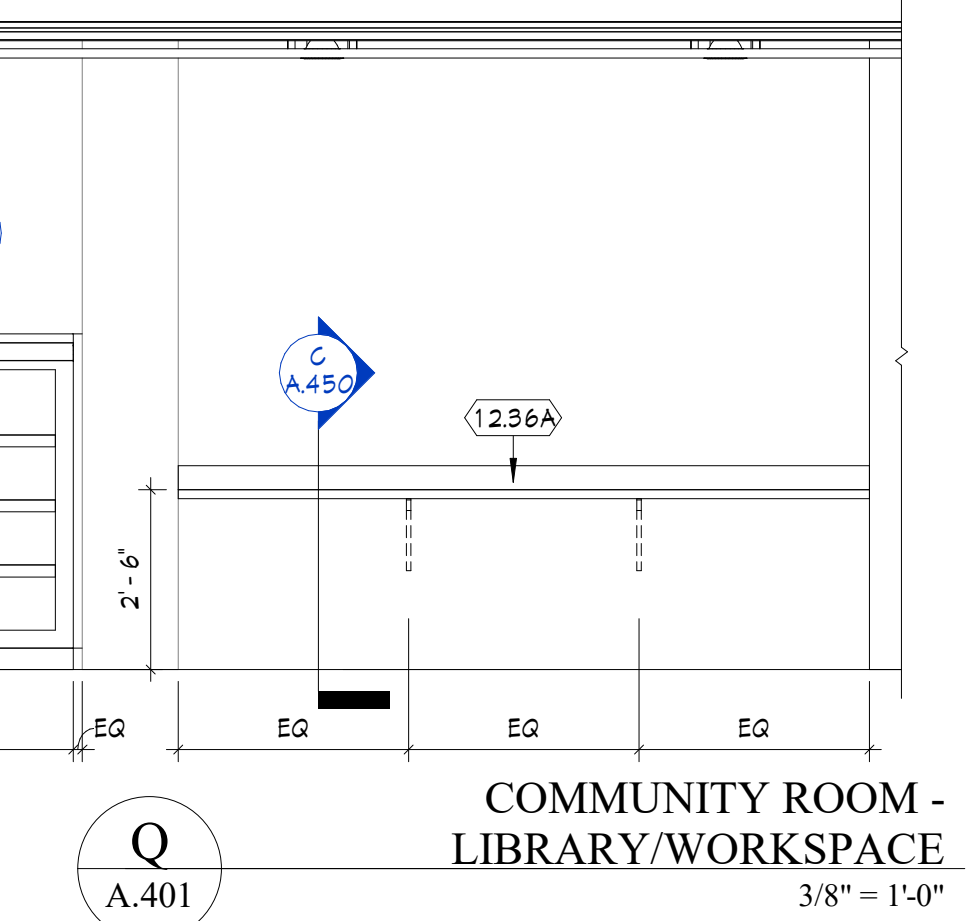
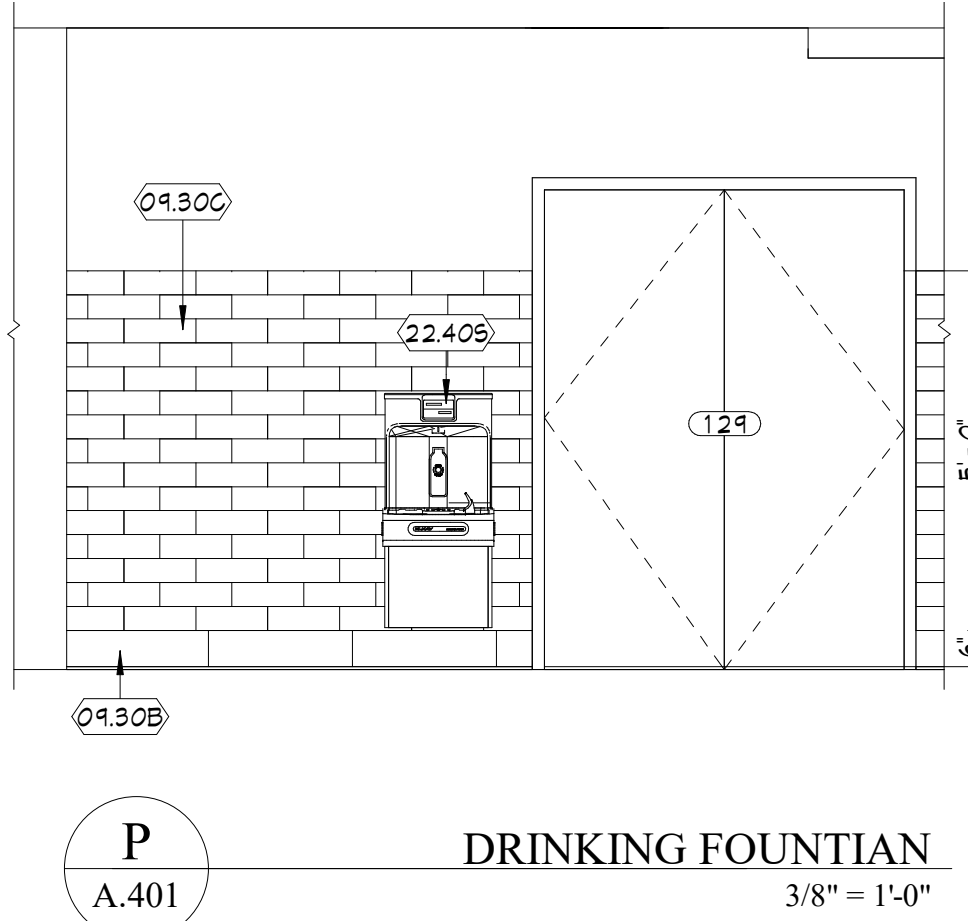
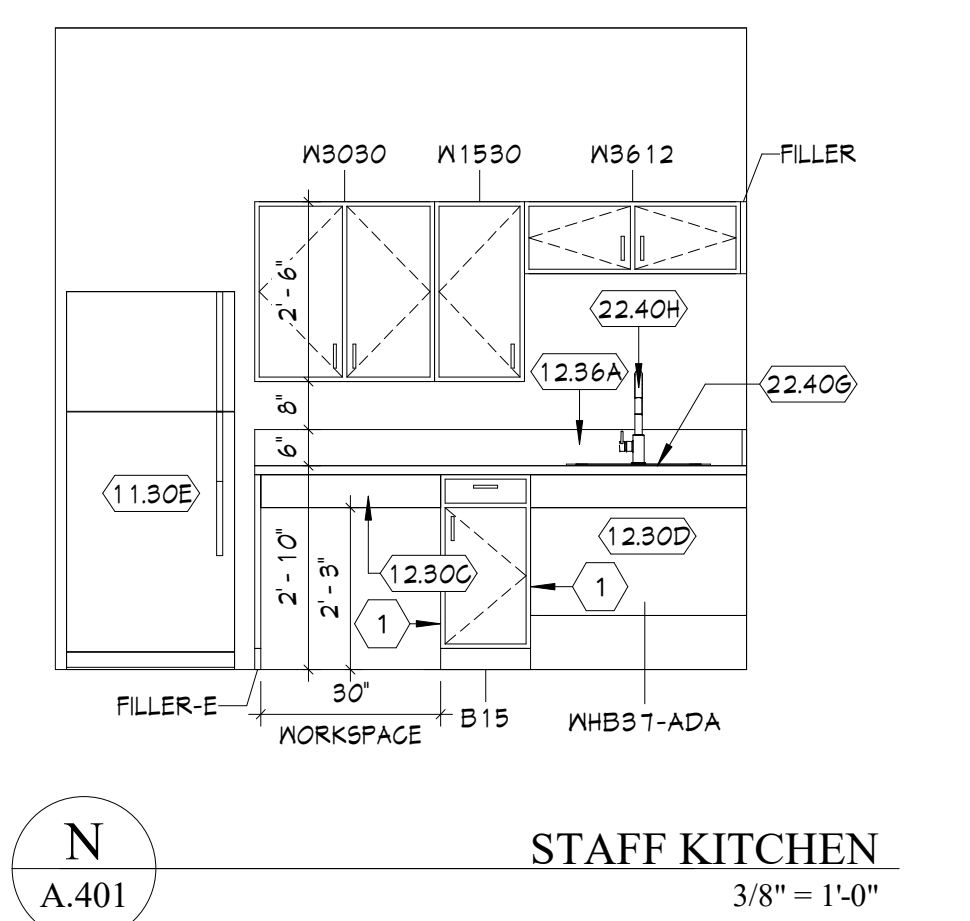
PROJECT DATE: 01.05.2024
PROJECT #: 20178

#	Description	Date
3	Addendum 3	02.22.24

INTERIOR ELEVATIONS

A.401

BERARDI+
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardipartners.com



C:\Users\pmasteller\Documents\21-201 TB_CMAA Beechwood_Central_pmasteller.rvt

FINISH KEY										
Division	Image	Key Name	Product Type	Manufacturer	Name	Color	Size	Description	Rep Contact	
09 3000 Concrete		SC	-	-	-	-	-	-	-	-
06 2000 Finish Carpentry		CM-1	Crown	-	-	-	-	-	-	-
06 2000 Finish Carpentry		CM-2	Crown	-	-	-	-	-	-	-
06 2000 Finish Carpentry		WB-1	Wood Base	-	-	-	-	-	-	-
06 2000 Finish Carpentry		WB-2	Wood Base	-	-	-	-	-	-	-
04 3000 Tiling		CT-1	Ceramic Tile	Daltile	Articulo ARO6	Editorial White	12' X 24'	Use GT-1 Grout	Lynda Gundling: lyndagundling@daltile.com; 740.815.3643	
04 3000 Tiling		CT-2	Ceramic Tile	Daltile	Linden Point LP21	Grigio	12' X 24'	Use GT-2 Grout	Lynda Gundling: lyndagundling@daltile.com; 740.815.3643	
04 3000 Tiling		CT-3	Ceramic Tile	Daltile	Color Wheel Collection, Linear	Arctic White	4' X 12'	Use GT-1 Grout	Lynda Gundling: lyndagundling@daltile.com; 740.815.3643	
04 3000 Tiling		CT-4	Ceramic Tile	Daltile	Articulo ARO6	Editorial White	1'x3'	Use GT-1 Grout	Lynda Gundling: lyndagundling@daltile.com; 740.815.3643	
04 3000 Tiling		CT-5	Ceramic Tile	American Olean	Montesano	TBD	-	-	-	
04 3000 Tiling		CTB-1	Ceramic Tile	Daltile	Articulo ARO6	Editorial White	12' X 6'	Use GT-1 Grout	Lynda Gundling: lyndagundling@daltile.com; 740.815.3643	
04 3000 Tiling		CTB-2	Ceramic Tile	Daltile	Linden Point LP21	Grigio	12' X 6'	Use GT-2 Grout	Lynda Gundling: lyndagundling@daltile.com; 740.815.3643	
04 3000 Tiling		GT-1	Grout	TEC	Power Grout	908 Dove Gray	-	-	-	
04 3000 Tiling		GT-2	Grout	TEC	Power Grout	939 Mist	-	-	-	
04 5100 Acoustical Ceilings		ACT-1	Acoustical Ceiling Tile	Armstrong	Dune Second Look II	White	24' X 48'	-	Monty Gillespie: mgillespie@armstrongceilings.com; 513.309.1495	
04 6000 Flooring Accessories		TS-1	Floor Transition	Schluter	DILEX-AHKA	TS6B-GRIEGE TEXTURED	-	-	Craig Weiss: cwelss@schluter.com; 989.310.6002	
04 6000 Flooring Accessories		TS-2	Floor Transition	Schluter	Jolly- AT6B	Brushed Nickel	-	-	Craig Weiss: cwelss@schluter.com; 989.310.6002	
04 6000 Flooring Accessories		TS-3	Floor Transition	Johnsonite	55R-31-B	31 Zephyr	-	-	Joe Schuler: joeschuler@tarke.com; 614.309.8658	
04 6000 Flooring Accessories		TS-4	Floor Transition	Schluter	RENO-U	Aluminum	-	-	Craig Weiss: cwelss@schluter.com; 989.310.6002	

FINISH KEY										
Division	Image	Key Name	Product Type	Manufacturer	Name	Color	Size	Description	Rep Contact	
04 6000 Flooring Accessories		TS-5	Floor Transition	Johnsonite	CTA-31-N	31 Zephyr	-	-	Joe Schuler: joeschuler@tarke.com; 614.309.8658	
04 6000 Flooring Accessories		TS-6	Floor Transition	Schluter	VINPRO-5	Aluminum	-	-	Craig Weiss: cwelss@schluter.com; 989.310.6002	
04 6500 Resilient Flooring		LVP-1	Luxury Vinyl Plank	Gerflor	Creation Clic	TBD	8.4' x 48.8'	20 Mil	Ken Theissen: ktheissen@gerflor.usa.com	
04 6500 Resilient Flooring		LVP-2	Luxury Vinyl Plank	Gerflor	Creation Clic	TBD	8.4' x 48.8'	20 Mil	Ken Theissen: ktheissen@gerflor.usa.com	
04 6500 Resilient Flooring		ST-1	Treads and Risers	Tarkett	Safe-T-Grip Treads and Matching Riser	24 Grey Haze	-	Contrasting Grit Strip	Joe Schuler: joeschuler@tarke.com; 614.309.8658	
04 6500 Resilient Flooring		VCB-1	Vinyl Cove Base	Tarkett	Traditional 4' Cove Base	24 Grey Haze	4'	-	Joe Schuler: joeschuler@tarke.com; 614.309.8658	
04 6500 Resilient Flooring		VCB-2	Vinyl Cove Base	Tarkett	Traditional 4' Cove Base	08 Ickle	4'	-	Joe Schuler: joeschuler@tarke.com; 614.309.8658	
04 6500 Resilient Flooring		VGT-1	Vinyl Composition Tile	Armstrong Flooring	Standard Excelon Imperial Texture	59234 Silk	12' X 12'	-	Jack Maceverican: jmaceverican@armstrongflooring.com; 614.361.5165	
04 6800 Carpeting		WO-1	Walk off Carpet	TBD	TBD	TBD	24' x 24'	-	-	
04 7000 Wall Finishes		SS-1	Solid Surface	Corian	Corian Solid Surface	Designer White	144 X 30	1/2" Wide	-	
04 7000 Wall Finishes		WC-1	Vinyl Wallcovering	Mammutum	Stacy & Garcia	Edge 56294	-	-	Megan Guda: mguda@montex.com	
04 9000 Painting and Coating		PT-1	Paint	Sherwin Williams	ProMar Zero 200	SW1006 - Extra White	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-2	Paint	Sherwin Williams	ProMar Zero 200	SW1006 - Extra White	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-3	Paint	Sherwin Williams	ProMar Zero 200	SW1651 - Front Porch	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-4	Paint	Sherwin Williams	ProMar Zero 200	SW6221 - Moody Blue	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-5	Paint	Sherwin Williams	ProMar Zero 200	SW6213 - Halcyon Green	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-6	Paint	Sherwin Williams	ProMar Zero 200	SW1015 - Repose Gray	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-7	Paint	Sherwin Williams	ProMar Zero 200	SW1015 - Repose Gray	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-8	Paint	Sherwin Williams	ProMar Zero 200	SW6004 - Mink	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-9	Paint	Sherwin Williams	ProMar Zero 200	SW9131 - Niebla Azul	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	

FINISH KEY										
Division	Image	Key Name	Product Type	Manufacturer	Name	Color	Size	Description	Rep Contact	
04 9000 Painting and Coating		PT-10	Paint	Sherwin Williams	ProMar Zero 200	SW9131 - Niebla Azul	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-11	Paint	Sherwin Williams	ProMar Zero 200	SW9132 - Acacia Haze	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
04 9000 Painting and Coating		PT-12	Paint	Sherwin Williams	ProMar Zero 200	SW6227 - Meditative	-	-	Roger Hall: roger.hall@sherwin.com; 614.841.7123	
12 2000 Window Treatments		WT-1	Solar Shades	SWF Contract	Draper Solar Sheerweave 5% Open	Linen	-	Cordless	Michelle Dye: michelldye@sprin.gswindowfashions.com; 614.563.2142	
12 2000 Window Treatments		WT-2	Mini Blinds	SWF Contract	Mini Blinds 1" Vinyl	205 White	-	-	Michelle Dye: michelldye@sprin.gswindowfashions.com; 614.563.2142	
12 3500 Casework		GAB-1	Cabinets	Smart Cabinetry	Brighton Maple	Slate	-	-	Mike Beer: mikbeer@smartcabinetry.com	
12 3500 Casework		HW-1	Hardware	Amerock	Blackrock	Brushed Nickel	3 3/4"	-	Tony DiCristoforo: tonydicristoforo@enuecentury.com	
12 3600 Countertops		GR-1	Granite	-	Level-1	-	-	-	-	
12 3600 Countertops		FLAM-2	Plastic Laminate	Formica	ColorCore2	961C-58 Fog	-	Matte Finish	Michael Hertensteiner: Michael.Hertensteiner@formica.com	
12 3600 Countertops		FLAM-3	Plastic Laminate	Formica	ColorCore2	949C-58 White	-	Matte Finish	Michael Hertensteiner: Michael.Hertensteiner@formica.com	
14 2000 Elevators		PLAM-1	Plastic Laminate	Schindler	High Pressure Laminate	Hampton Classic Linen	-	-	-	
14 2000 Elevators		SS-1	Stainless Steel	Schindler	Brushed Stainless Steel	-	-	-	-	

GENERAL NOTES	
1.	ALL COLORS ARE TO BE SELECTED BY THE ARCHITECT. ALL MATERIAL SAMPLES TO BE SUBMITTED IN ONE SUBMITTAL FOR REVIEW AND APPROVED BY THE ARCHITECT.
2.	SEE CEILING PLANS FOR CEILING HEIGHTS.
3.	WALL AND CEILING FINISH MATERIALS SHALL HAVE FLAME SPREAD RATING OF CLASS I (ONE) IN VERTICAL EXITS AND PASSAGEWAYS AND CLASS II (TWO) AT CORRIDORS AND ALL OTHER ROOMS.
4.	TRIM THROUGH OUT TO BE PAINTED SEMI-GLOSS, CHAIR RAILS, CROWN, BASE MOLDING, AND CASING. COLOR PT-1 BY ARCHITECT.
5.	PAINT, PRIMERS, ADHESIVES, AND SEALANTS TO BE LOW VOC. ALL TILE AND CARPET TO BE GREEN LABEL CERTIFIED.
6.	CARPET: LOW DENSITY (LESS THAN 1/2" HIGH PILE).
7.	KITCHEN FLOORING: SLIP RESISTANT FLOORING TO EXTEND WALL TO WALL (CONTINUOUS UNDER APPLIANCES AND REMOVABLE SINK FRONT CABINET).
8.	ELECTRICAL: ROCKER TYPE LIGHT SWITCHES INSTALLED THROUGHOUT. ELECTRICAL SWITCHES, OUTLETS, PLATES, ETC. TO BE WHITE.
9.	KITCHEN CABINETS: LOOP STYLE PULLS ON DRAWERS AND CABINETS.
10.	SEE SHEET 1001 FOR BASE AND TRIM PROFILES.
11.	FLOORING TO BE NON-SLIP.
12.	CLOSET FINISHES TO MATCH ADJACENT ROOM FINISHES UNLESS SPECIFIED OTHERWISE.



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

BEECHWOOD APARTMENTS

330 Forest Ave.
Cincinnati, OH 45229

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3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.
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6. THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO DEFINE EXACT QUANTITIES, LOCATIONS OR CODED REQUIREMENTS. THE DRAWINGS SHALL NOT BE SCALED. EXACT STATE AND LOCAL CODE REQUIREMENTS AND OTHER APPLICABLE CODE REQUIREMENTS SHALL BE VERIFIED BY AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY INFORMATION WHICH DIRECTLY CONFLICTS WITH ANY OF THESE CODES OR ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT.

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

#	Description	Date
2	Addendum 2	02.09.24

FINISH SCHEDULE & DETAILS

I.001

BERARDI+
ARCHITECTURE | INTERIOR DESIGN | ENGINEERING
1398 GOODALE BOULEVARD, COLUMBUS, OHIO 43212
P 614.221.1110 berardi@partners.com



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BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

#	Description	Date
3	Addendum 3	02.22.24

FINISH SCHEDULE & DETAILS

I.002

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common area finish schedule

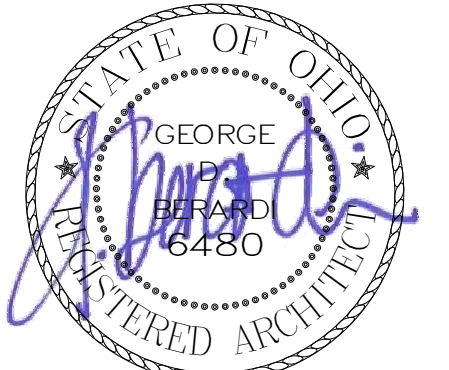
Room Number	Room Name	Base Finish	Floor Finish	Wall Finish	Ceiling Finish	Cabinet	Countertop	Remarks
FIRST FLOOR								
100	CORRIDOR	NB-2	LVP-1	PT-3/PT-5	ACT-1/PT-2	-	-	1,3,8,9
101	MEN'S	CTB-2	CT-2	PT-10/CT-3	ACT-1	GAB-1	GR-1	3,11,12,18
102	WOMEN'S	CTB-2	CT-2	PT-10/CT-3	ACT-1	GAB-1	GR-1	3,11,12,18
103	KITCHEN	NB-2	LVP-1	PT-3/CT-3	ACT-1	GAB-1	GR-1	3,5,1,16
104	LARGE COMMUNITY AREA	NB-2	LVP-1	PT-3/PT-11	ACT-1/PT-2	GAB-1	GR-1	1,3
104A	STORAGE	VGB-1	LVP-1	PT-3	ACT-1	-	-	-
105	RECEPTION	NB-2	LVP-1	PT-3	ACT-1	-	-	1,3
106	REC. DIR.	NB-2	LVP-1	PT-3	ACT-1	-	-	1,3
107	OFFICE HALLWAY	NB-2	LVP-1	PT-3	ACT-1	-	-	1,3
107A	STORAGE	VGB-1	LVP-1	PT-3	ACT-1	-	-	-
108	OFFICE	NB-2	LVP-1	PT-3	ACT-1	-	-	1,3
109	OFFICE	NB-2	LVP-1	PT-3/CT-3	ACT-1	-	-	1,3,6,9,16
110	LOBBY	NB-2	CT-5	PT-3/PT-4	ACT-1/PT-2	-	-	-
111	ELECTRICAL	VGB-1	SC	PT-3	ACT-1	-	-	-
113	VESTIBULE	NB-2	MO-1	PT-3	ACT-1	-	-	-
114	MAINTENANCE SPACE	VGB-1	SC	PT-3	ACT-1	-	-	-
115	FIRE COMMAND CENTER	VGB-1	SC	PT-3	ACT-1	-	-	-
118	BOILER ROOM	VGB-1	SC	PT-3	ACT-1	-	-	-
119	WALL ROOM	VGB-1	SC	PT-3	ACT-1	-	-	-
120	CORRIDOR	NB-2	LVP-1	PT-3	ACT-1	-	-	1,3
122	MEETING ROOM	NB-2	LVP-1	PT-3	ACT-1	-	-	1,3
124	ARTS AND CRAFTS	NB-2	LVP-1	PT-3/PT-11	ACT-1/PT-2	-	-	1,3
124A	STORAGE	VGB-1	LVP-1	PT-3	ACT-1	-	-	-
125	OFFICE	NB-2	LVP-1	PT-3	ACT-1	-	-	1,3
128	IT	VGB-1	LVP-1	PT-3	ACT-1	-	-	-
SECOND FLOOR								
200	CORRIDOR	NB-2	LVP-1	PT-3/PT-4	ACT-1/PT-2	-	-	1,3,8,9
201	LAUNDRY	NB-2	LVP-1	PT-3	PT-2	-	GR-1	-
203	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
THIRD FLOOR								
300	CORRIDOR	NB-2	LVP-1	PT-3/PT-5	ACT-1/PT-2	-	-	1,3,8,9
301	HALL	VGB-1	VGT-1	PT-3	PT-2	-	-	-
302	MAINTENANCE ROOM	VGB-1	VGT-1	PT-3	PT-2	-	-	-
303	STORAGE	VGB-1	VGT-1	PT-3	PT-2	-	-	-
FOURTH FLOOR								
400	CORRIDOR	NB-2	LVP-1	PT-3/PT-4	ACT-1/PT-2	-	-	1,3,8,9
401	LAUNDRY	NB-2	LVP-1	PT-3	PT-2	-	GR-1	-
403	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
FIFTH FLOOR								
500	CORRIDOR	NB-2	LVP-1	PT-3/PT-5	ACT-1/PT-2	-	-	1,3,8,9
501	HALL	VGB-1	VGT-1	PT-3	PT-2	-	-	-
502	MAINTENANCE	VGB-1	VGT-1	PT-3	PT-2	-	-	-
503	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
SIXTH FLOOR								
600	CORRIDOR	NB-2	LVP-1	PT-3/PT-4	ACT-1/PT-2	-	-	1,3,8,9
601	LAUNDRY	NB-2	LVP-1	PT-3	PT-2	-	GR-1	-
603	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
SEVENTH FLOOR								
700	CORRIDOR	NB-2	LVP-1	PT-3/PT-5	ACT-1/PT-2	-	-	1,3,8,9
701	HALL	VGB-1	VGT-1	PT-3	PT-2	-	-	-
702	MAINTENANCE	VGB-1	VGT-1	PT-3	PT-2	-	-	-
703	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
EIGHTH FLOOR								
800	CORRIDOR	NB-2	LVP-1	PT-3/PT-4	ACT-1/PT-2	-	-	1,3,8,9
801	LAUNDRY	NB-2	LVP-1	PT-3	PT-2	-	GR-1	-
803	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
NINTH FLOOR								
900	CORRIDOR	VGB-1	VGT-1	PT-3	PT-2	-	-	-
901	HALL	VGB-1	VGT-1	PT-3	PT-2	-	-	-
902	MAINTENANCE	VGB-1	VGT-1	PT-3	PT-2	-	-	-
903	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
TENTH FLOOR								
1000	CORRIDOR	NB-2	LVP-1	PT-3/PT-4	ACT-1/PT-2	-	-	1,3,8,9
1001	LAUNDRY	NB-2	LVP-1	PT-3	PT-2	-	GR-1	-
1003	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
ELEVENTH FLOOR								
1100	CORRIDOR	NB-2	LVP-1	PT-3/PT-5	ACT-1/PT-2	-	-	1,3,8,9
1101	HALL	VGB-1	VGT-1	PT-3	PT-2	-	-	-
1102	MAINTENANCE	VGB-1	VGT-1	PT-3	PT-2	-	-	-
1103	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
TWELFTH FLOOR								
1200	CORRIDOR	NB-2	LVP-1	PT-3/PT-4	ACT-1/PT-2	-	-	1,3,8,9
1201	LAUNDRY	NB-2	LVP-1	PT-3	PT-2	-	GR-1	-
1203	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
THIRTEENTH FLOOR								
1300	CORRIDOR	NB-2	LVP-1	PT-3/PT-5	ACT-1/PT-2	-	-	1,3,8,9
1301	HALL	VGB-1	VGT-1	PT-3	PT-2	-	-	-
1302	MAINTENANCE	VGB-1	VGT-1	PT-3	PT-2	-	-	-
1303	STORAGE	VGB-1	LVP-1	PT-3	PT-2	-	-	-
CIRCULATION								
112	EL-1	SS-1	LVP-1	FLAM-1	SS-1	-	-	3
115	EL-2	SS-1	LVP-1	FLAM-1	SS-1	-	-	3
123	EL-2	SS-1	LVP-1	FLAM-1	SS-1	-	-	3
126	EL-1	SS-1	LVP-1	FLAM-1	SS-1	-	-	3
127	SHAFT	SS-1	LVP-1	FLAM-1	SS-1	-	-	3

common area finish schedule

Room Number	Room Name	Base Finish	Floor Finish	Wall Finish	Ceiling Finish	Cabinet	Countertop	Remarks
128								
EL-1	SHAFT	SS-1	LVP-1	FLAM-1	SS-1	-	-	3
EL-1	SHAFT	SS-1	LVP-1	FLAM-1	SS-1	-	-	3
EL-2	SHAFT	SS-1	LVP-1	FLAM-1	SS-1	-	-	3
EL-5	SHAFT	-	-	-	-	-	-	-
EL-6	SHAFT	-	-	-	-	-	-	-
NB-1	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-2	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-3	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-4	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-5	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-6	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-7	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-8	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-9	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-10	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-11	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-12	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
NB-13	NORTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SH-1	SHAFT	-	-	-	-	-	-	-
SH-2	SHAFT	-	-	-	-	-	-	-
SS-1	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-2	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-3	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-4	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-5	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-6	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-7	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-8	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-9	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-10	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-11	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-12	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14
SS-13	SOUTH STAIR	VGB-1	ST-1/VGT-1	PT-3	PT-2	-	-	2,14

unit finish schedule

Name	Base Finish	Floor Finish	Wall Finish	Ceiling Finish	Cabinet Finish	Counter Finish	Remarks
Room							
0 BR UNIT							
BATH	CTB-1	CT-1/CT-4	PT-7	PT-2	GAB-1	GR-1	4,7,12
BEDROOM CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
BEDROOM/LIVING	NB-1	LVP-2	PT-6	PT-2	-	-	1,6
CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
ENTRY	NB-1	LVP-2	PT-6	PT-2	-	-	6
KITCHEN	NB-1	LVP-2	PT-6	PT-2	GAB-1	GR-1	5,6,7
LIVING ROOM	NB-1	LVP-2	PT-6	PT-2	-	-	1,6
1 BR A.1 UNIT	-	-	-	-	-	-	4,7,12
1/2 BATH	CTB-1	CT-1	PT-7	PT-2	GAB-1	GR-1	4,7,12
BATHROOM	CTB-1	CT-1	PT-7	PT-2	GAB-1	GR-1	4,7,12
BEDROOM	NB-1	LVP-2	PT-6	PT-2	-	-	1,6
BEDROOM CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
ENTRY	NB-1	LVP-2	PT-6	PT-2	-	-	6
KITCHEN	NB-1	LVP-2	PT-6	PT-2	GAB-1	GR-1	5,6,7
LINEN CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
LIVING ROOM	NB-1	LVP-2	PT-6	PT-2	-	-	1,6
PANTRY	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
1 BR A.2 UNIT	-	-	-	-	-	-	4,7,12
BATH	CTB-1	CT-1	PT-7	PT-2	GAB-1	GR-1	4,7,12
BATHROOM	CTB-1	CT-1	PT-7	PT-2	GAB-1	GR-1	4,7,12
BEDROOM	NB-1	LVP-2	PT-6	PT-2	-	-	1,6
BEDROOM CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
ENTRY	NB-1	LVP-2	PT-6	PT-2	-	-	6
KITCHEN	NB-1	LVP-2	PT-6	PT-2	GAB-1	GR-1	5,6,7
LIVING/DINING	NB-1	LVP-2	PT-6	PT-2	-	-	1,6
PANTRY	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
PANTRY CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
1 BR UNIT	-	-	-	-	-	-	4,7,12
BATH	CTB-1	CT-1/CT-4	PT-7	PT-2	GAB-1	GR-1	4,7,12
BEDROOM	NB-1	LVP-2	PT-6	PT-2	-	-	1,6
BEDROOM CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
ENTRY	NB-1	LVP-2	PT-6	PT-2	-	-	6
KITCHEN	NB-1	LVP-2	PT-6	PT-2	GAB-1	GR-1	5,6,7
LIVING/DINING	NB-1	LVP-2	PT-6	PT-2	-	-	1,6
PANTRY CLOSET	NB-1	LVP-2	PT-6	PT-2	-	-	6,13
2 BR UNIT							



GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

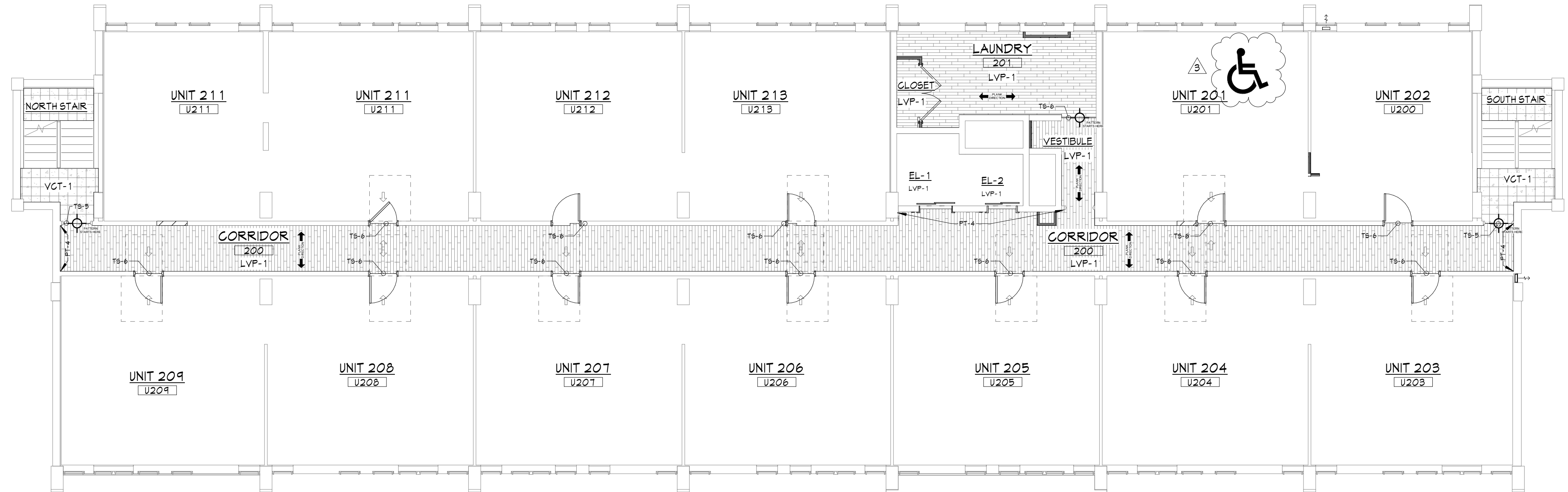
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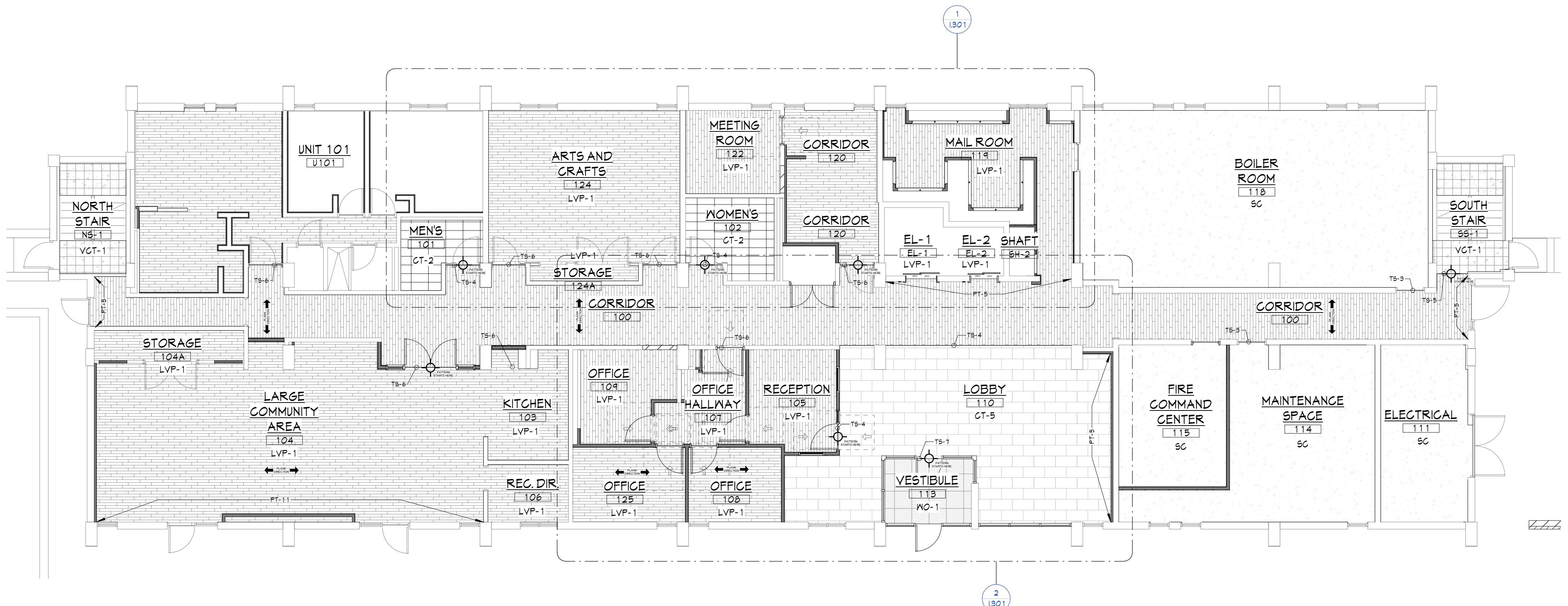
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2ND FLOOR FINISH PLAN

1/8" = 1'-0"



1ST FLOOR FINISH PLAN

1/8" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

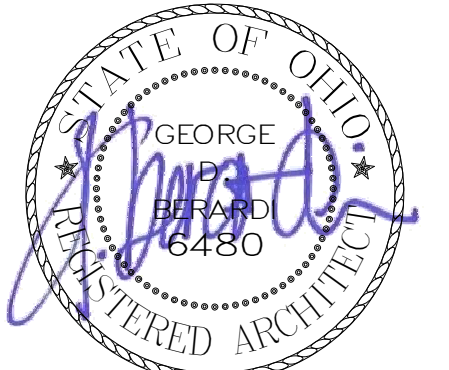
#	Description	Date
3	Addendum 3	02.22.24

FIRST & SECOND FLOOR FINISH PLAN

I.101

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P 614.221.1110 berardipartners.com

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GEORGE D. BERARDI
 LICENSE # 6480
 EXPIRES: 12.31.2025

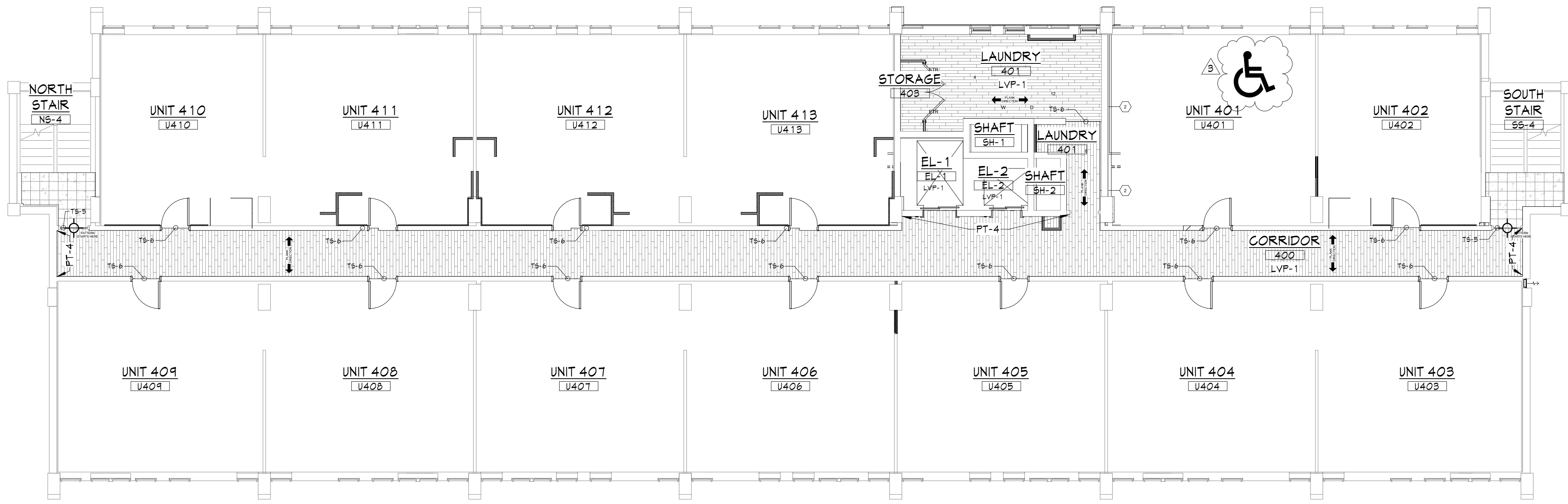
BEECHWOOD APARTMENTS

330 Forest Ave.
 Cincinnati, OH 45229

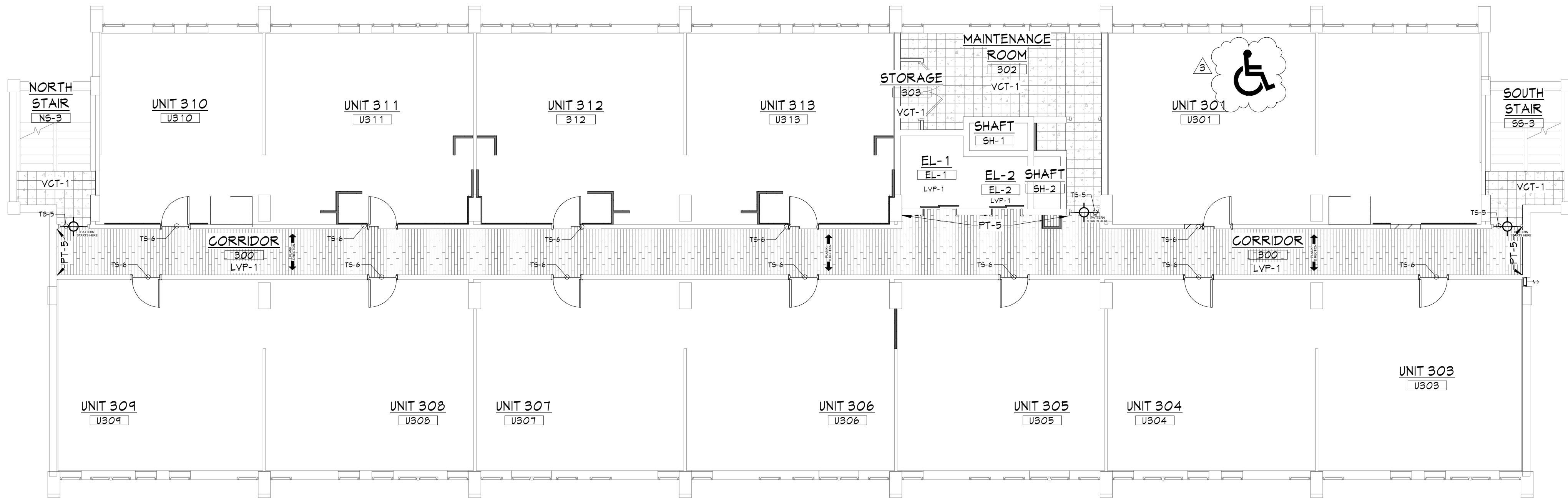
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4TH FLOOR FINISH PLAN 1/8" = 1'-0"



3RD FLOOR FINISH PLAN 1/8" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
 PROJECT #: 20178

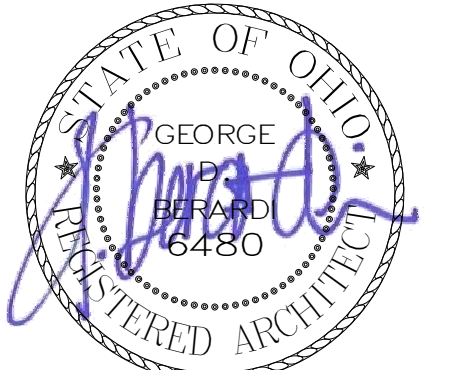
#	Description	Date
3	Addendum 3	02.22.24

THIRD & FOURTH FLOOR FINISH PLAN

I.102

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GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

BEECHWOOD APARTMENTS

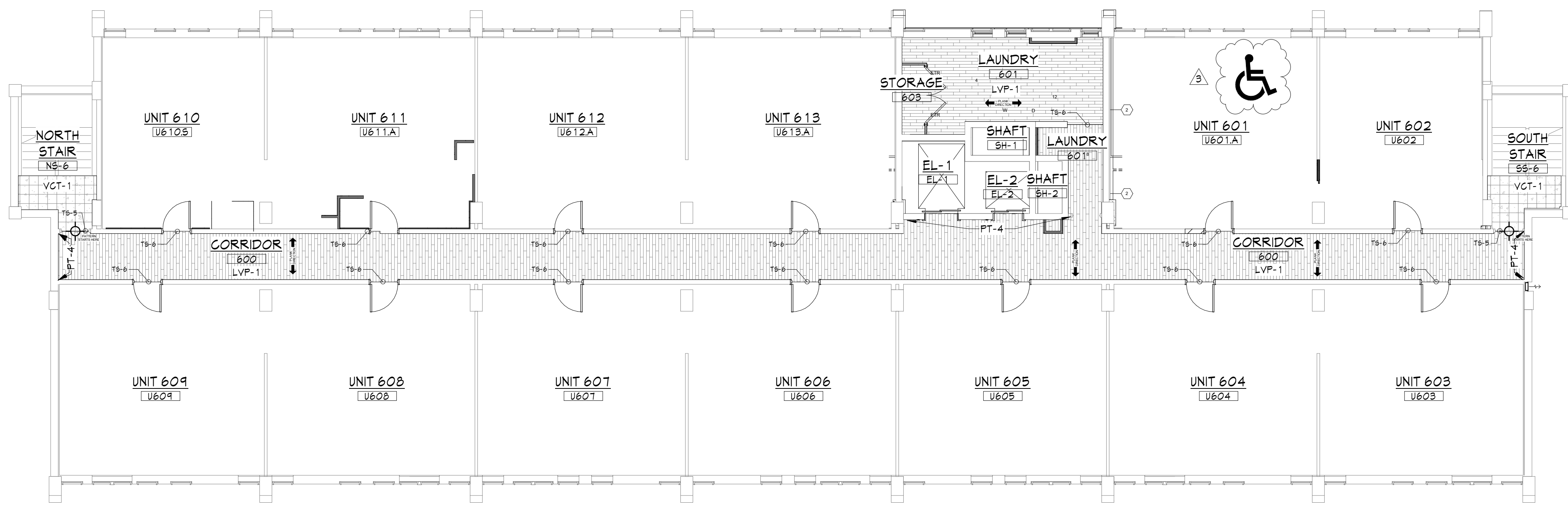
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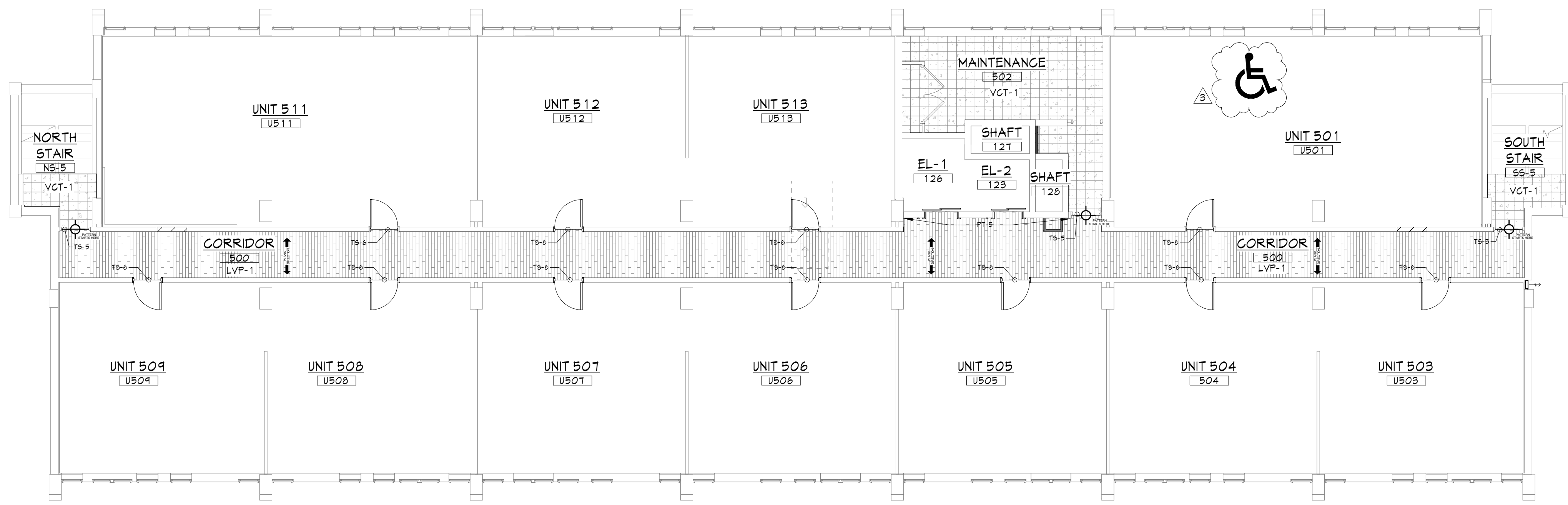
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6TH FLOOR FINISH PLAN 1/8" = 1'-0"



5TH FLOOR FINISH PLAN 1/8" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

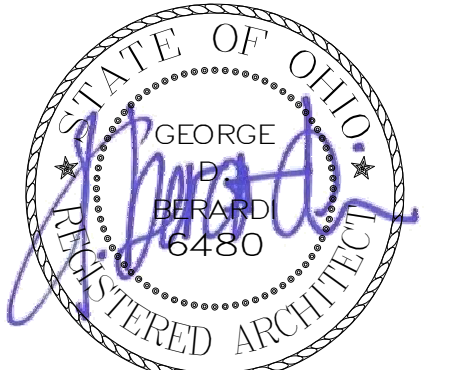
#	Description	Date
3	Addendum 3	02.22.24

FIFTH & SIXTH FLOOR FINISH PLAN

I.103

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LICENSE # 6480
EXPIRES: 12.31.2025

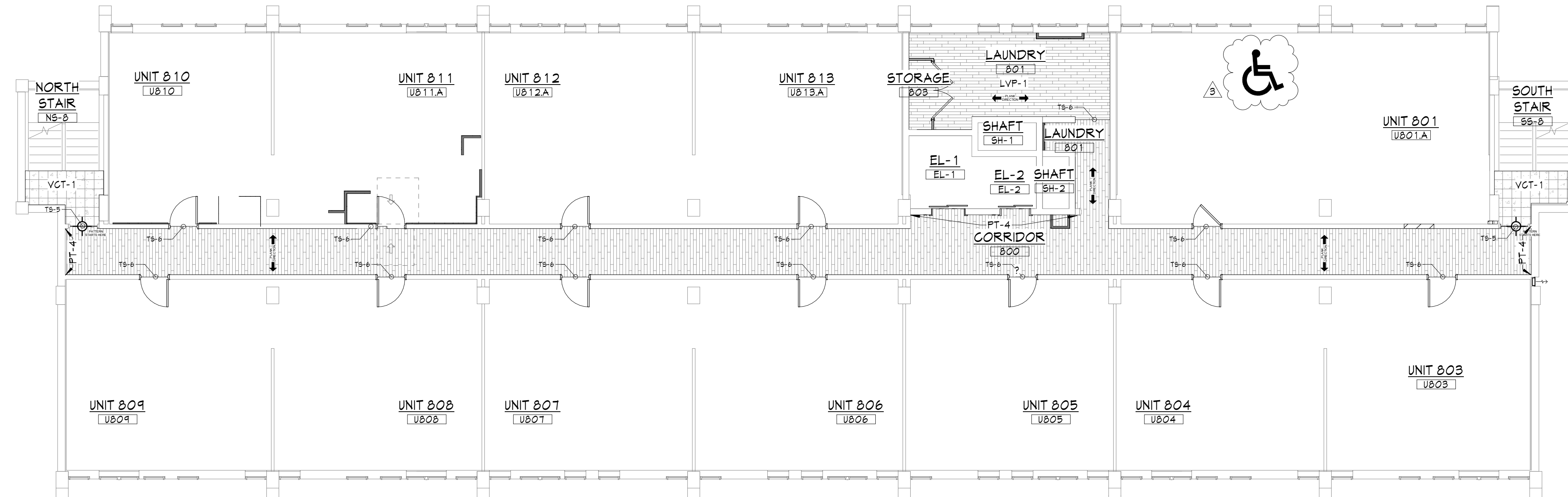
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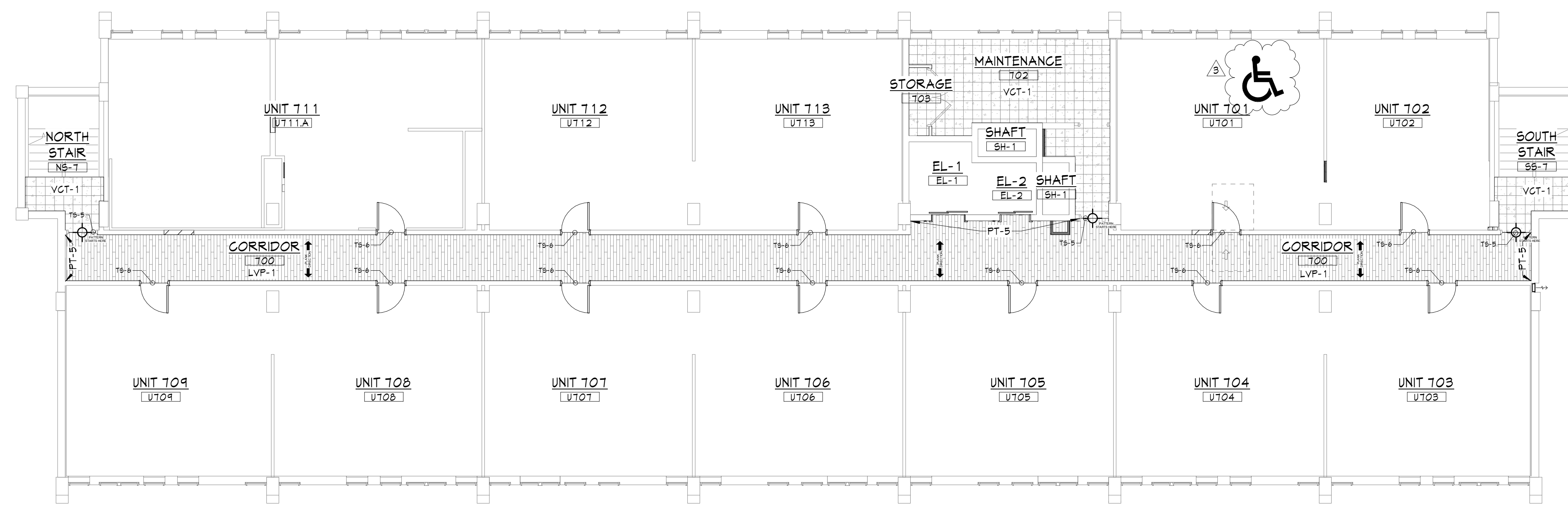
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8TH FLOOR FINISH PLAN

1/8" = 1'-0"



7TH FLOOR FINISH PLAN

1/8" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

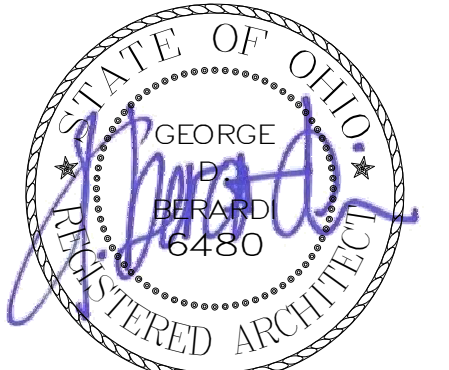
#	Description	Date
3	Addendum 3	02.22.24

SEVENTH & EIGHTH FLOOR FINISH PLAN

I.104

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GEORGE D. BERARDI
LICENSE # 6480
EXPIRES: 12.31.2025

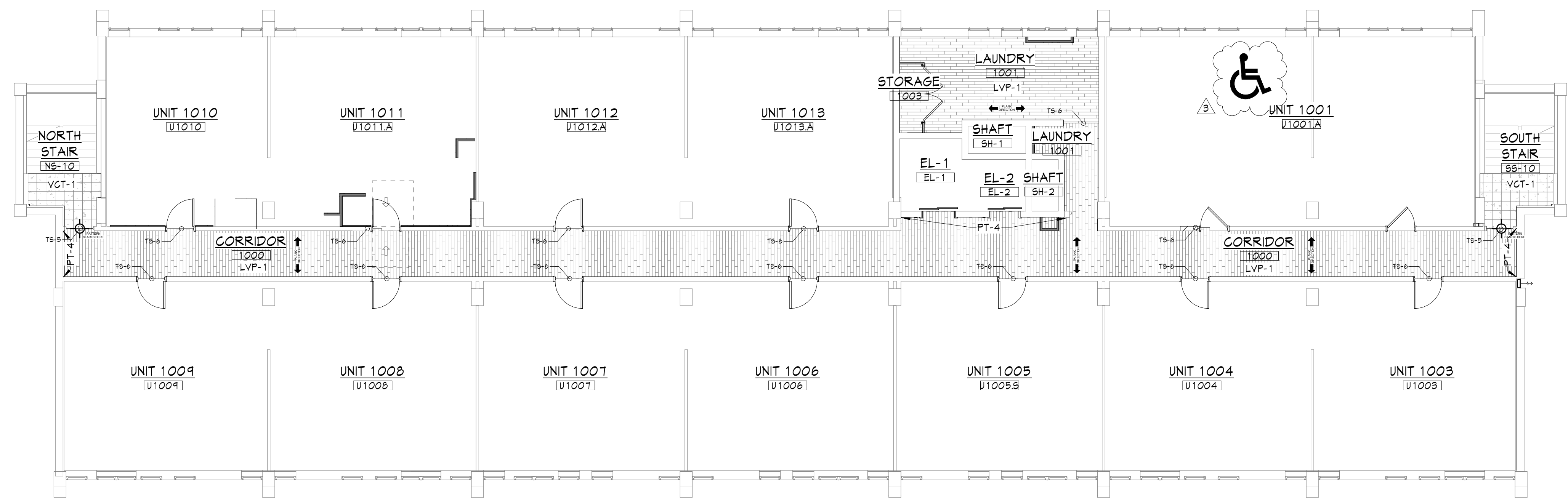
BEECHWOOD APARTMENTS

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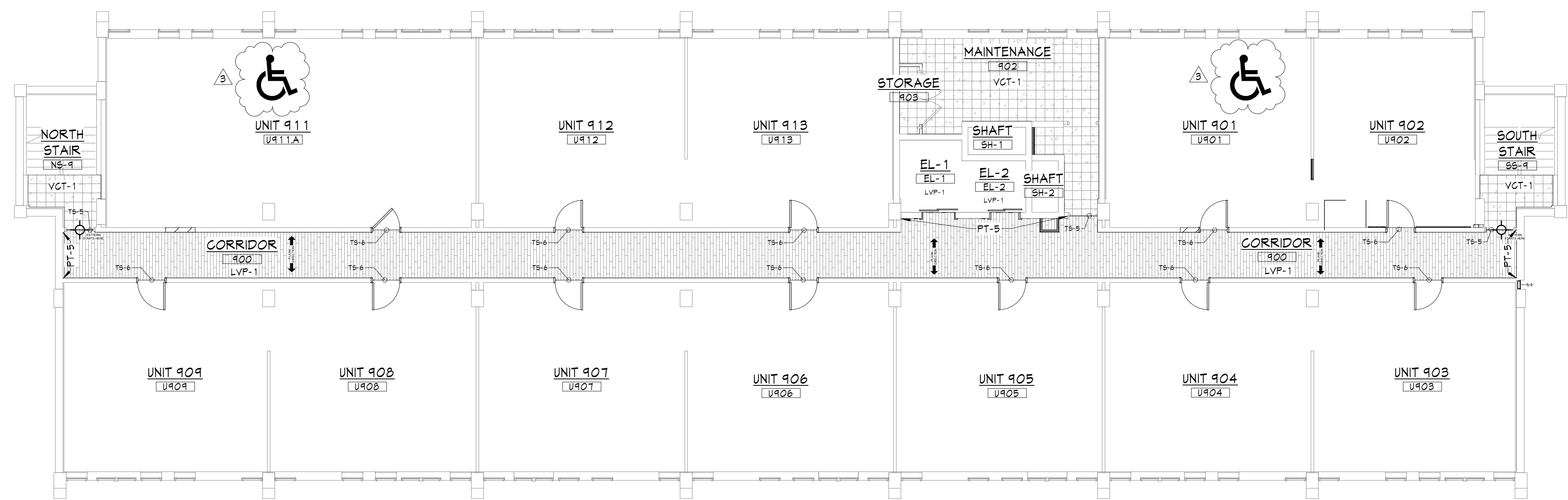
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10TH FLOOR FINISH PLAN

1/8" = 1'-0"



9TH FLOOR FINISH PLAN

1/8" = 1'-0"

BID SET

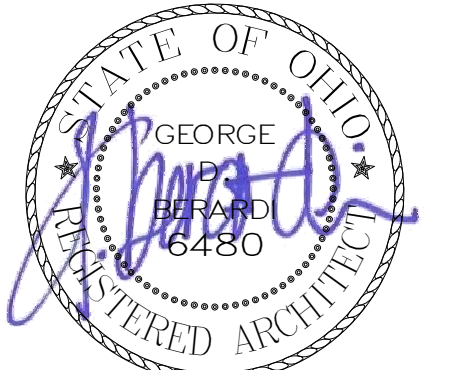
PROJECT DATE: 01.05.2024
PROJECT #: 20178

#	Description	Date
3	Addendum 3	02.22.24

NINTH & TENTH FLOOR FINISH PLAN

I.105

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LICENSE # 6480
EXPIRES: 12.31.2025

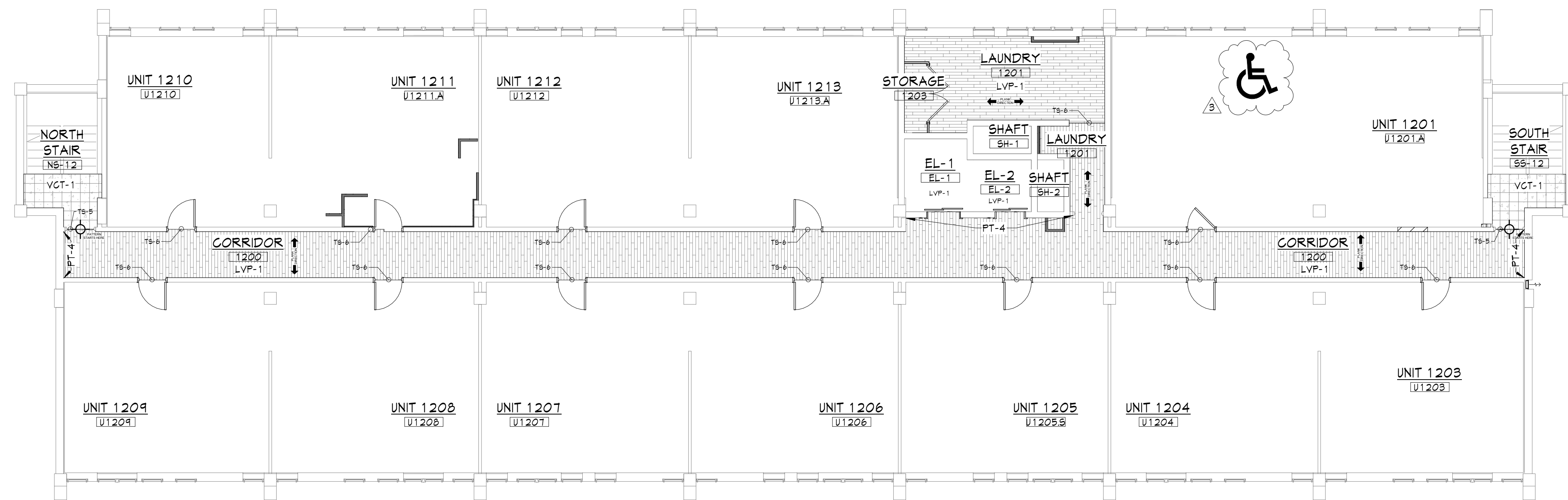
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Cincinnati, OH 45229

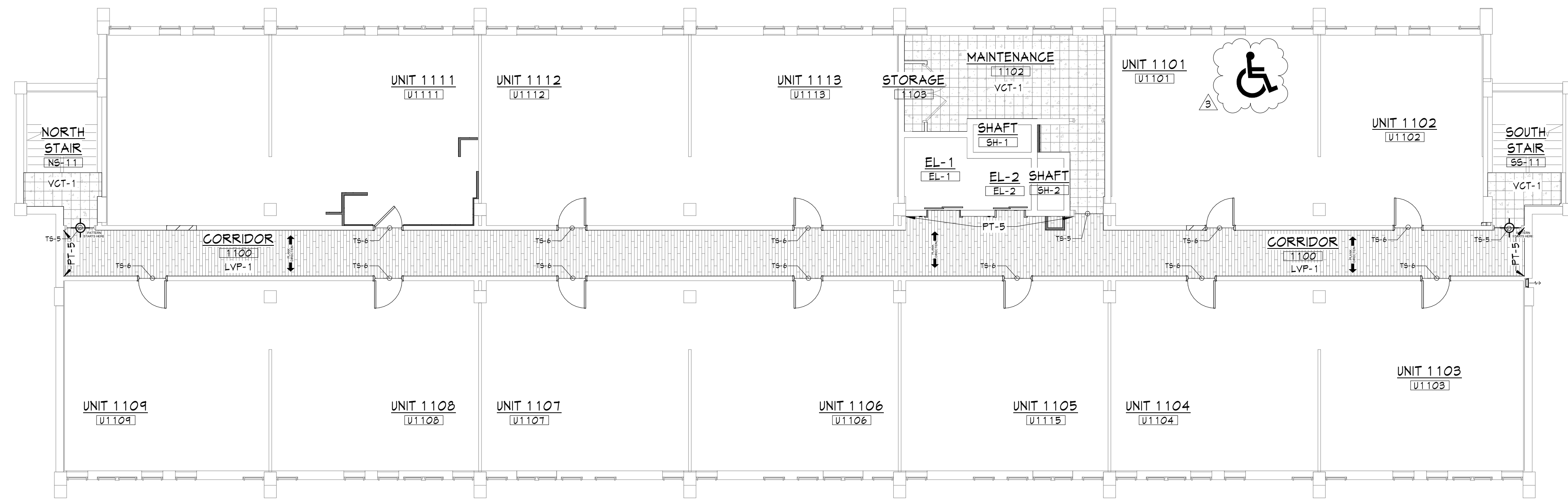
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12TH FLOOR FINISH PLAN 1/8" = 1'-0"



11TH FLOOR FINISH PLAN 1/8" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

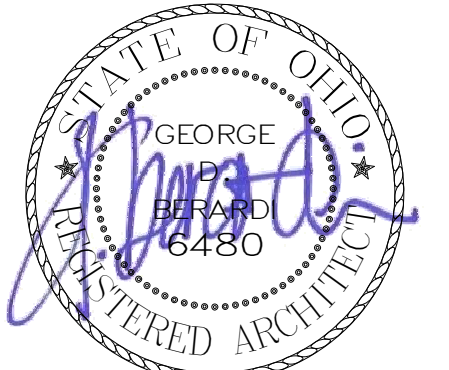
#	Description	Date
3	Addendum 3	02.22.24

ELEVENTH AND TWELFTH FLOOR FINISH PLAN

I.106

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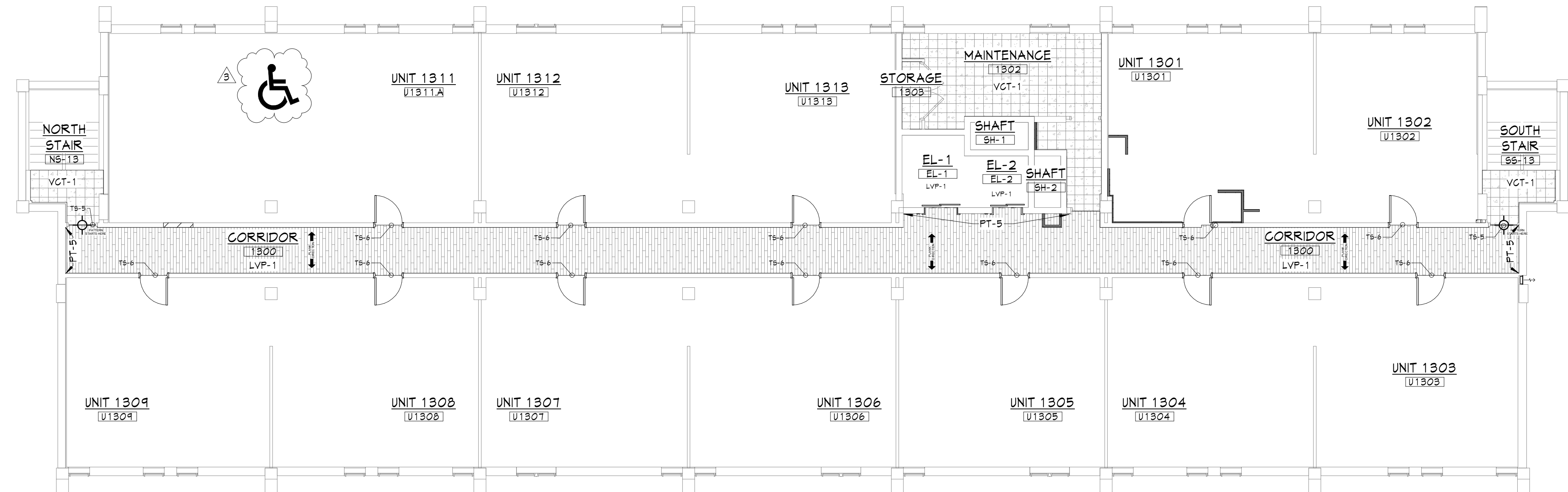
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13TH FLOOR FINISH PLAN

1/8" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
PROJECT #: 20178

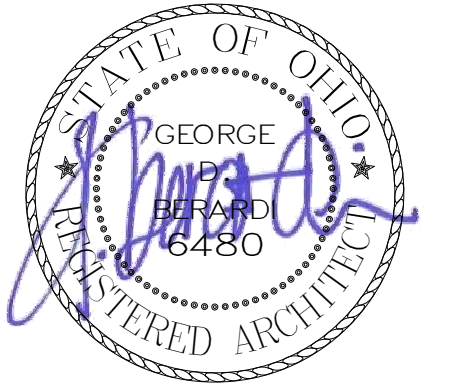
#	Description	Date
3	Addendum 3	02.22.24

THIRTEENTH FLOOR FINISH PLAN

I.107

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GEORGE D. BERARDI
 LICENSE # 6480
 EXPIRES: 12.31.2025

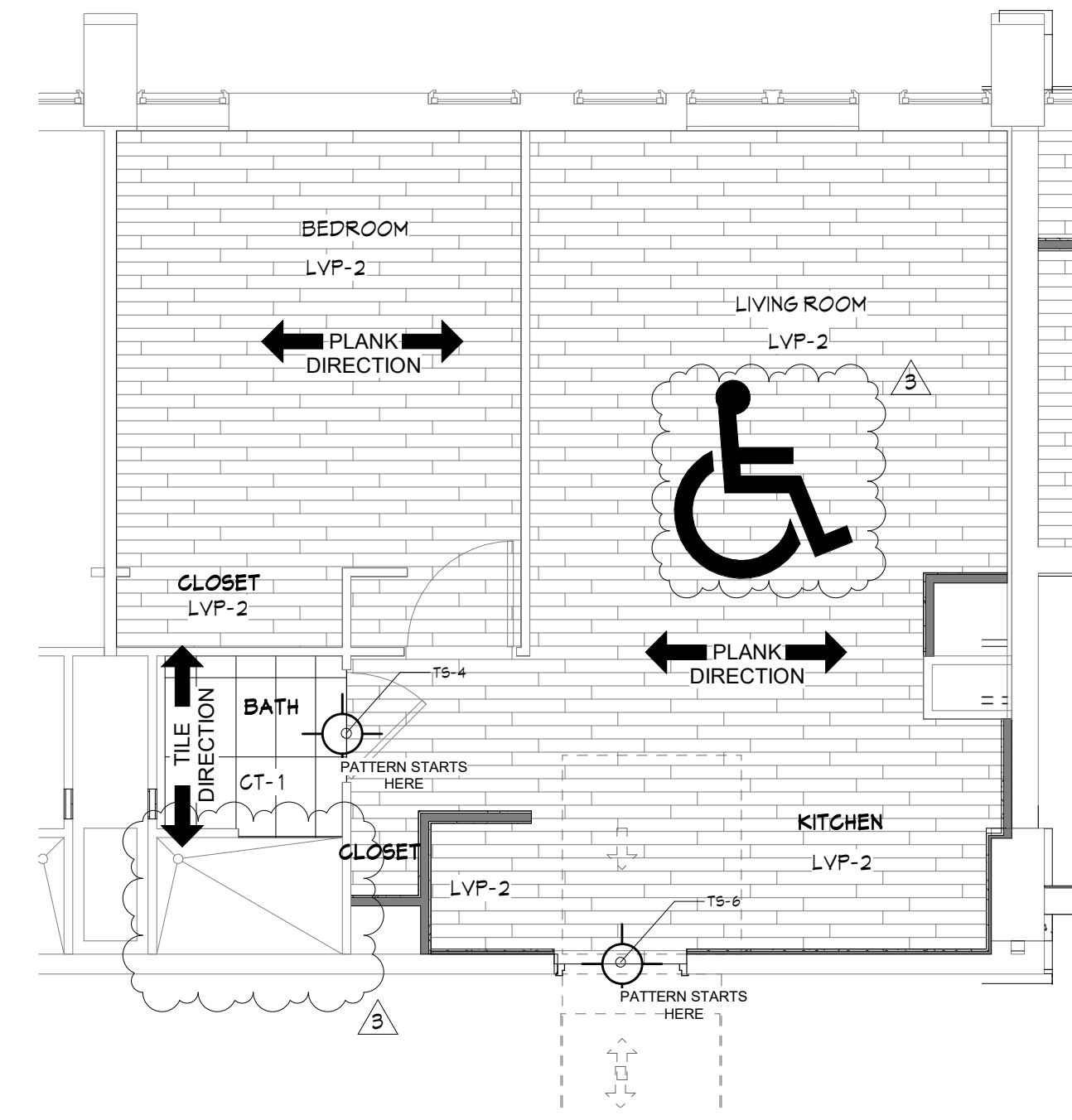
BEECHWOOD APARTMENTS

330 Forest Ave.
 Cincinnati, OH 45229

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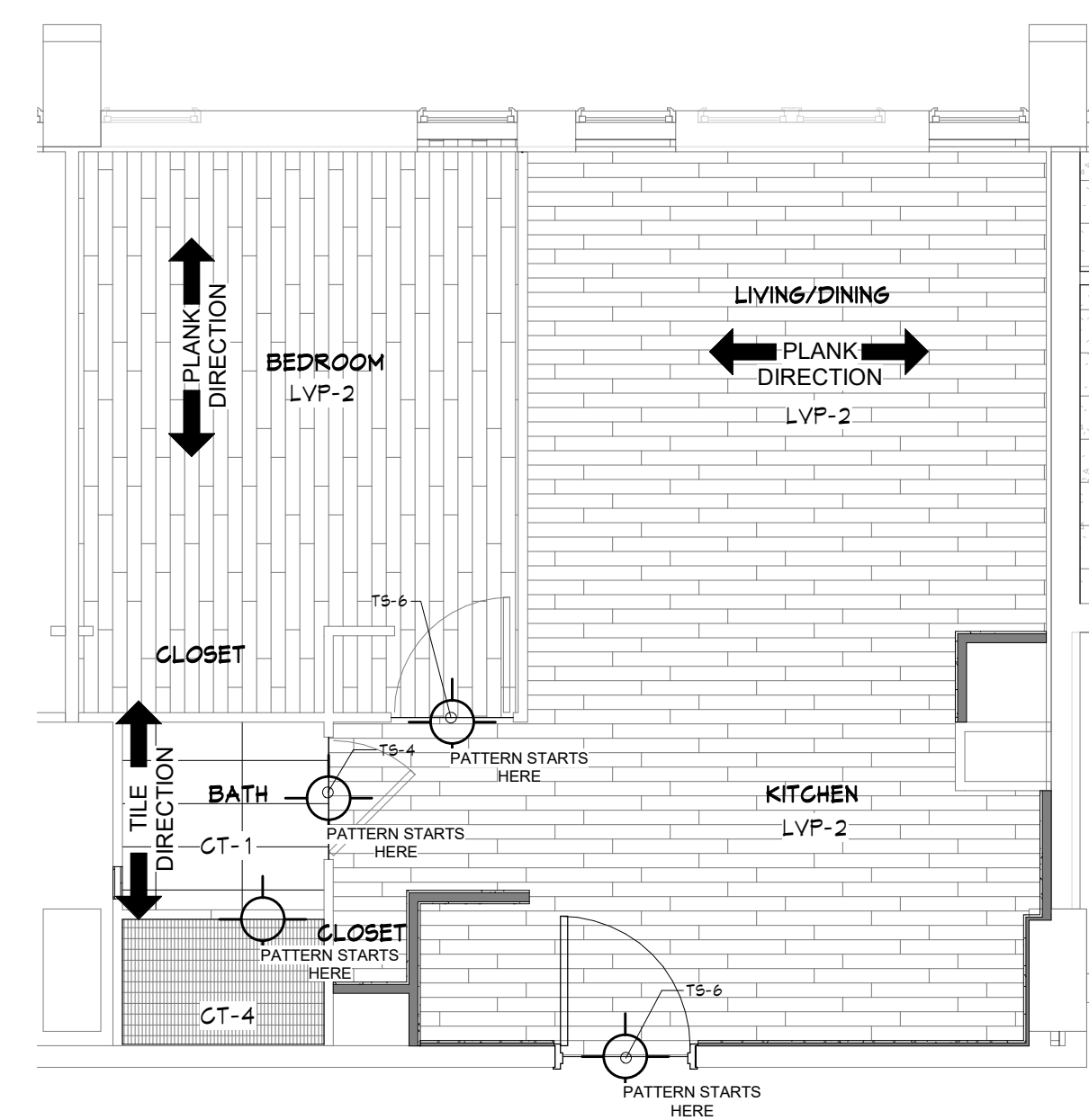
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 3. ADDITIONALLY, SEE GENERAL INFORMATION ON "A0" SHEETS.
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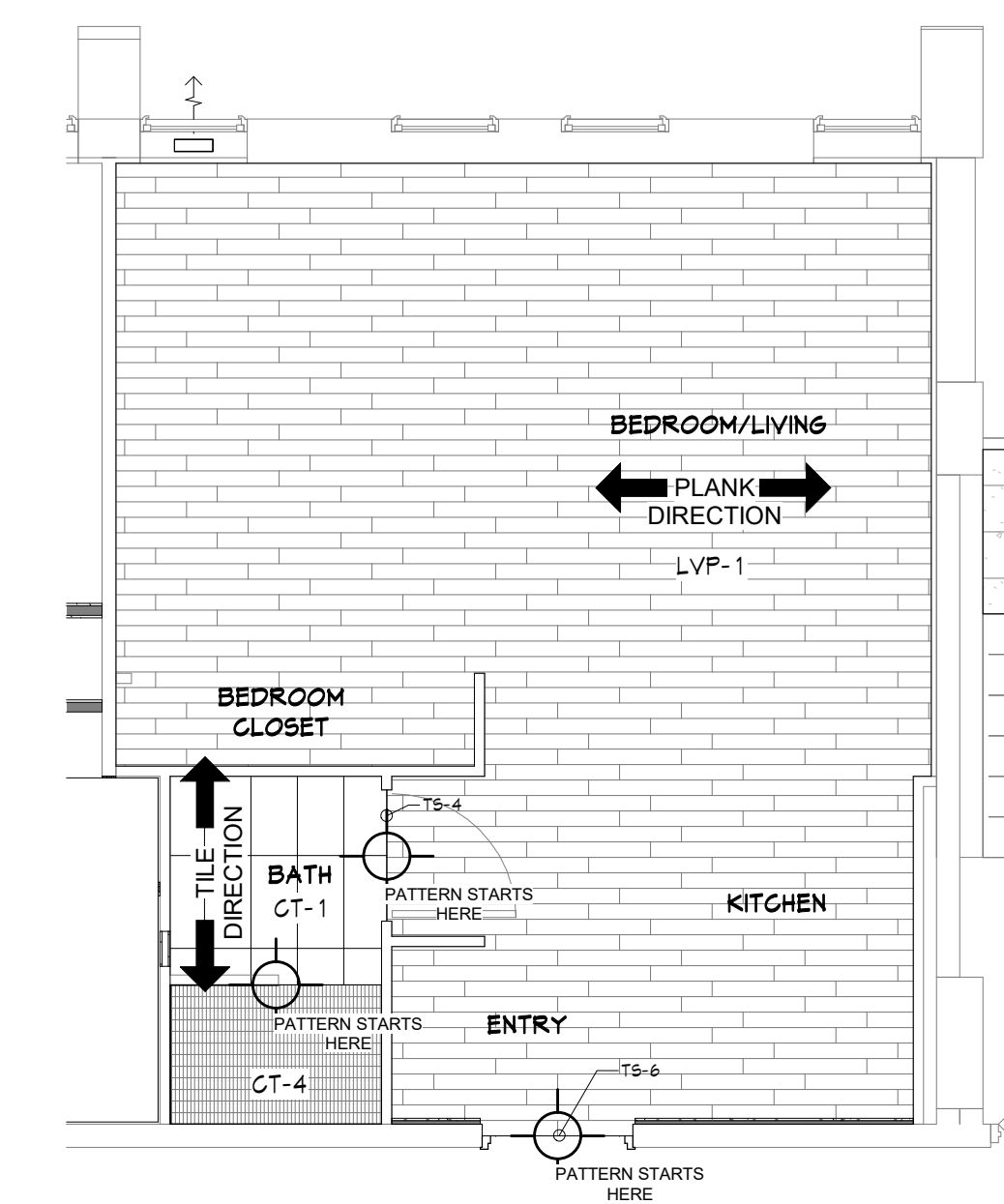
1 BR.A UNIT FINISH PLAN

1/4" = 1'-0"



TYP. 1 BR UNIT FINISH PLAN

1/4" = 1'-0"



TYP. 0 BR UNIT FINISH PLAN

1/4" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
 PROJECT #: 20178

#	Description	Date
2	Addendum 2	02.09.24
3	Addendum 3	02.22.24

UNIT FLOOR FINISH PLANS

I.350

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GEORGE D. BERARDI
 LICENSE # 6480
 EXPIRES: 12.31.2025

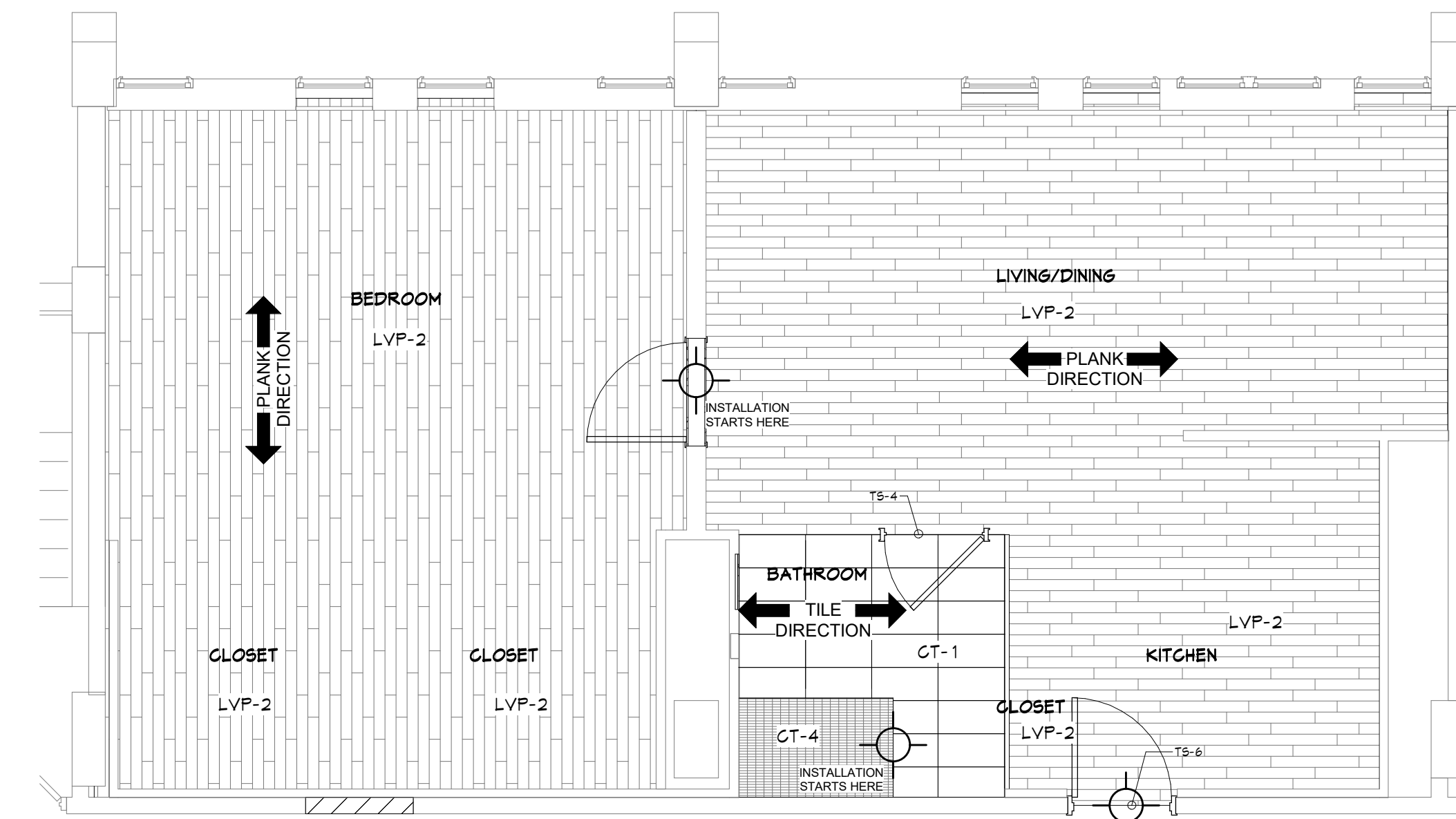
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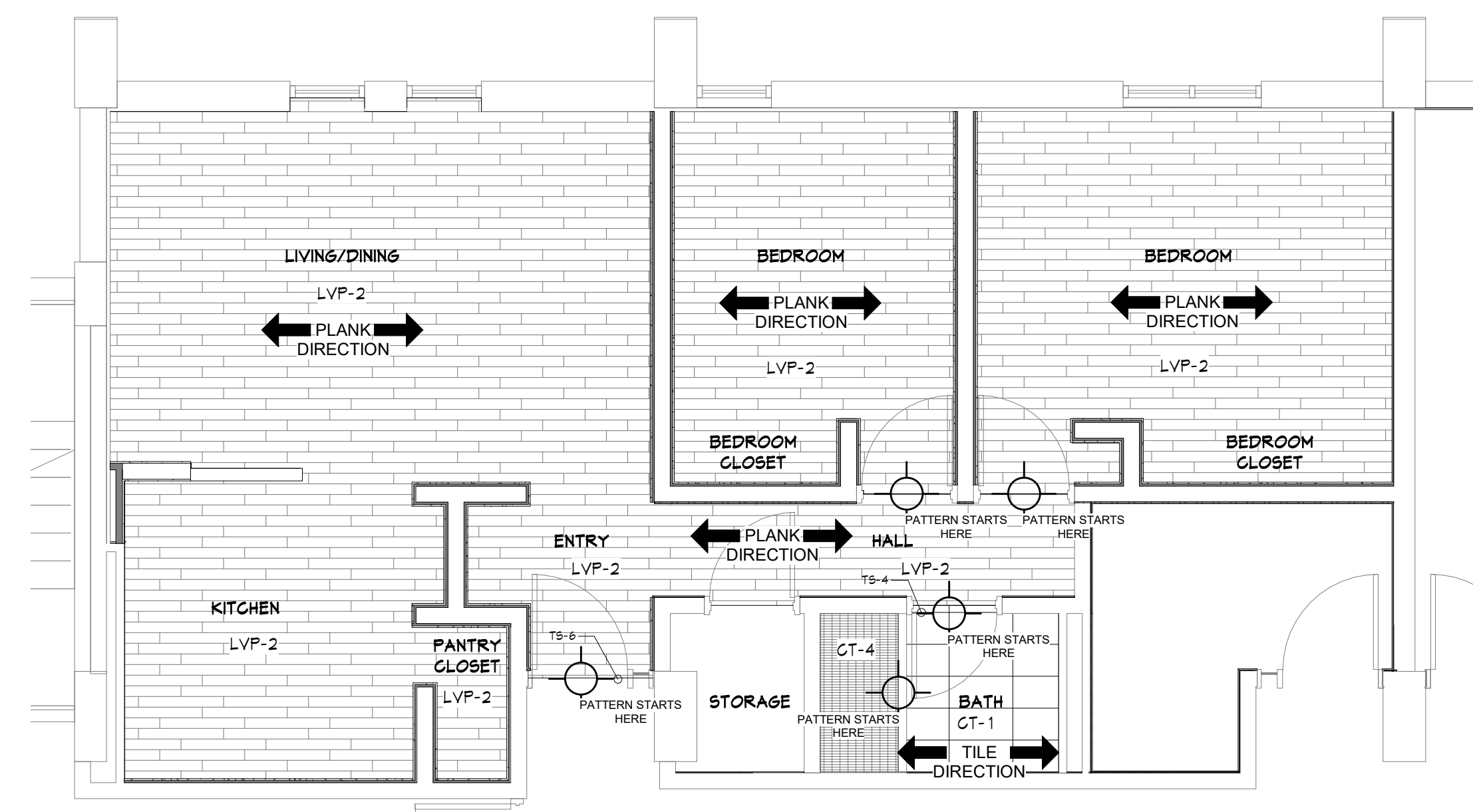
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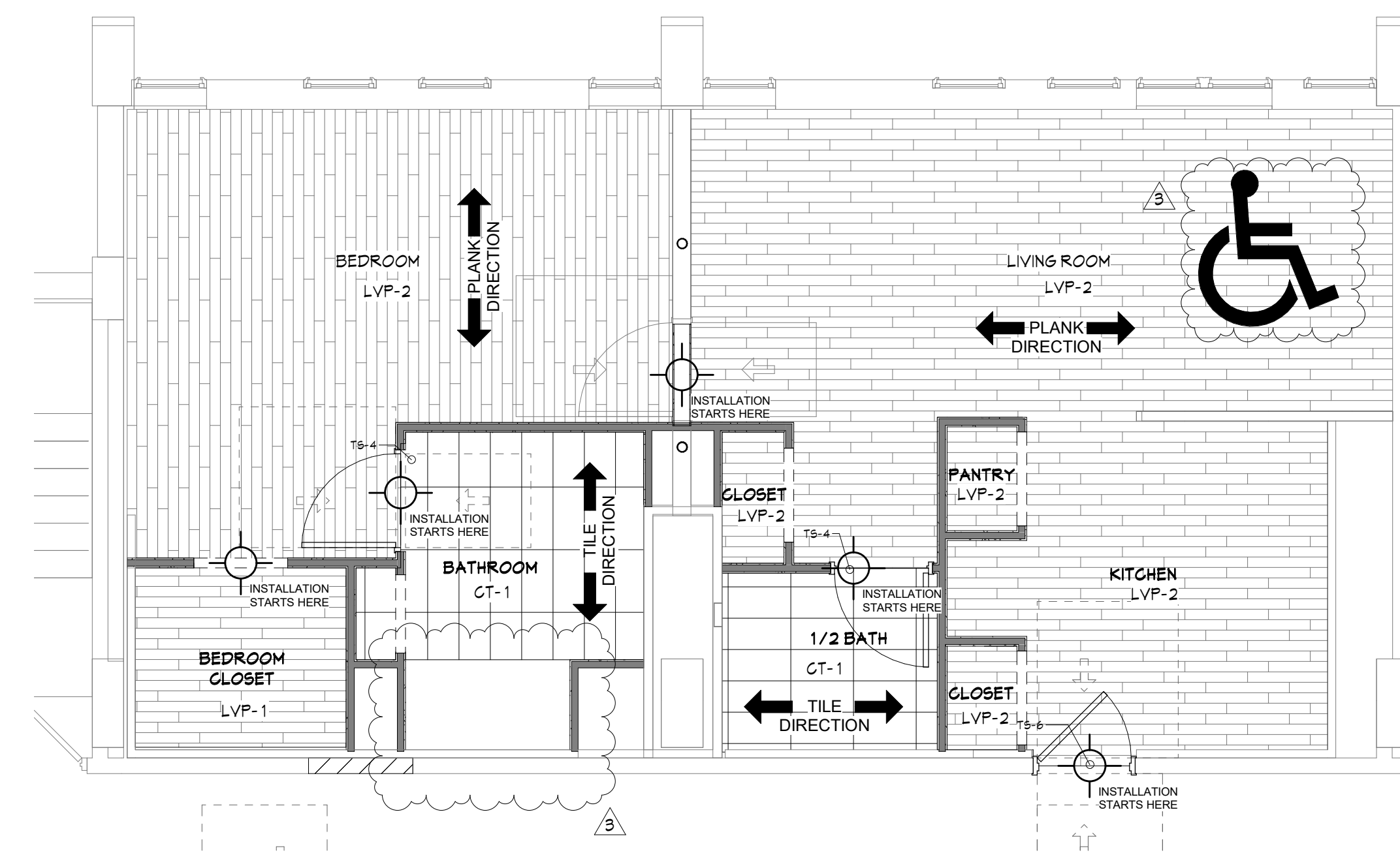
1 BR.B - EXTENDED UNIT FINISH PLAN

1/4" = 1'-0"



1ST FLOOR UNIT FINISH PLAN

1/4" = 1'-0"



1 BR.A EXPANDED UNIT FINISH PLAN

1/4" = 1'-0"

BID SET

PROJECT DATE: 01.05.2024
 PROJECT #: 20178

#	Description	Date
2	Addendum 2	02.09.24
3	Addendum 3	02.22.24

UNIT FLOOR FINISH PLANS

I.351

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