

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT
2024.04.12		ISSUED FOR ADDENDUM 1
2024.04.26		ISSUED FOR ADDENDUM 3

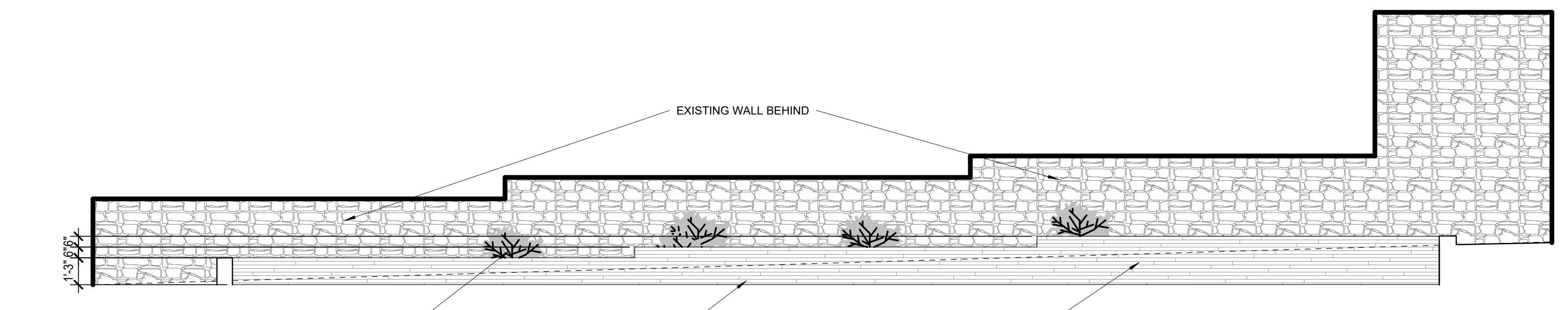
SITE PLAN LEGEND

- REGRADING/FILL SOIL & LANDSCAPE
- LANDSCAPE AREA
- EXISTING PLANTS TO REMAIN
- NEW PLANTINGS
- ACCESSIBLE ROUTE. SLOPE NOT TO EXCEED 5%. CROSS-SLOPE NOT TO EXCEED 2%.

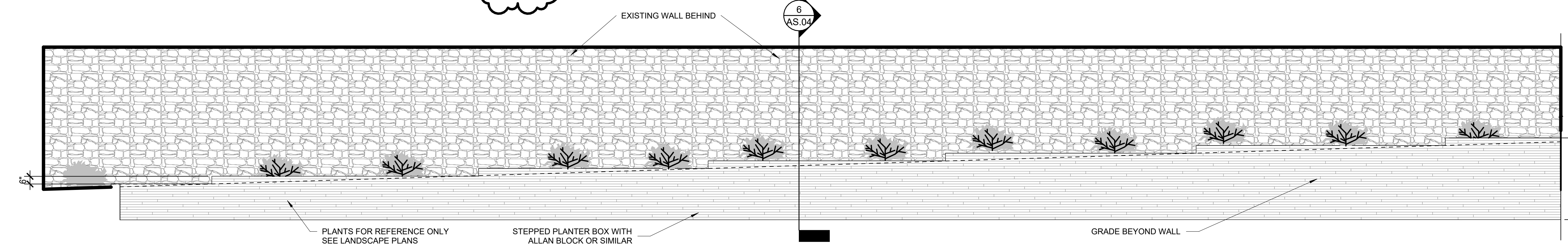
KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

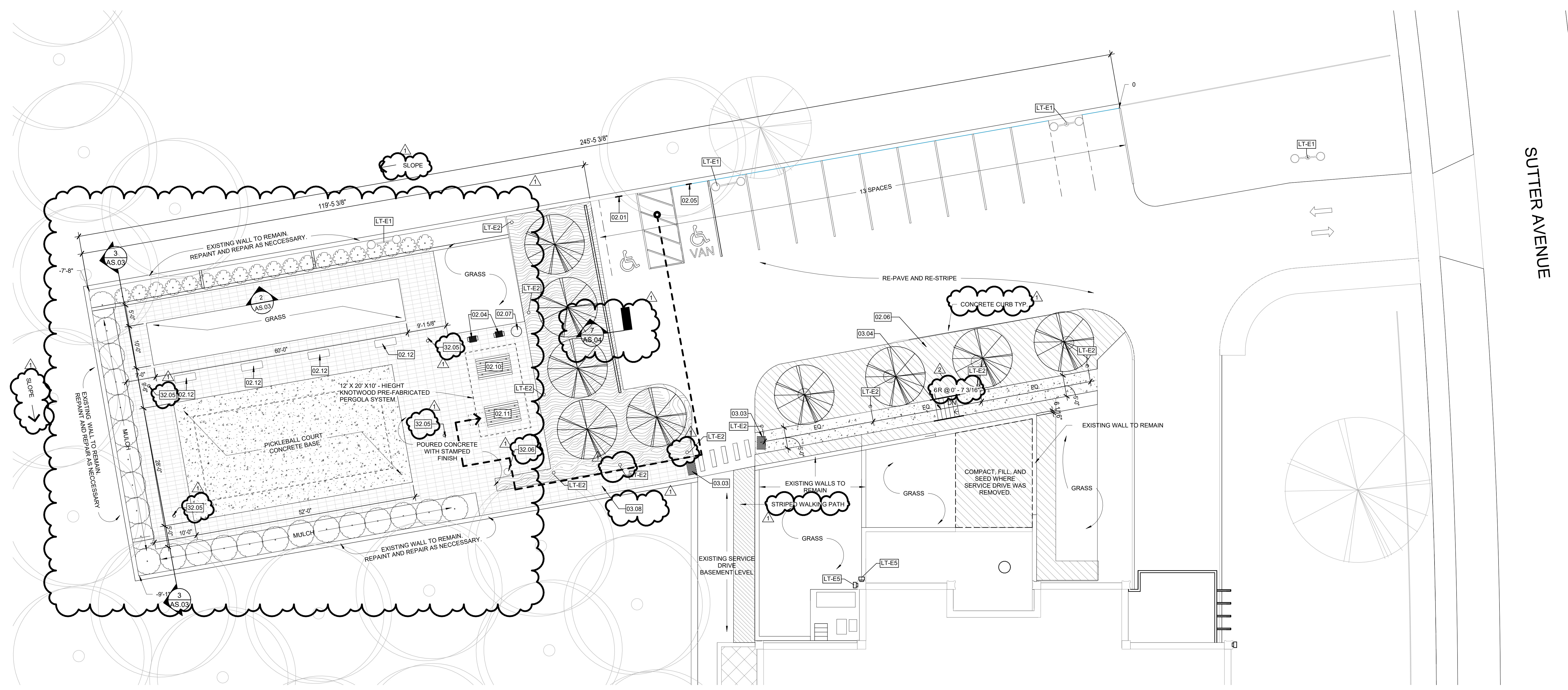
- 02.01 PROVIDE NEW ACCESSIBLE PARKING SIGNAGE
- 02.04 PROVIDE NEW ULINE OUTDOOR PARK GRILL #H-4419, TYP. MOUNT POST IN CONCRETE FOOTING: 12" DIAMETER, 3' DEEP AND INSERT POLE APPROXIMATELY 14" IN THE CONCRETE AS INDICATED BY THE MANUFACTURER.
- 02.05 PROVIDE NEW ACCESSIBLE VAN PARKING SIGNAGE
- 02.06 HATCHED AREA INDICATES RE-GRADE, COMPACT FILL AND SEED AROUND NEW CONCRETE WALKWAY
- 02.07 PROVIDE NEW ULINE 32-GALLON TRASH CAN #H-3022, ARCHITECT TO SELECT COLOR.
- 02.10 PROVIDE NEW 8' BARCOBOARD WALK-THRU PICNIC TABLE #SKU PT-12, CEDAR FINISH.
- 02.11 PROVIDE NEW BARCOBOARD WHEELCHAIR ACCESSIBLE TABLE #SKU PT-13, CEDAR FINISH.
- 02.12 PROVIDE NEW 8' BARCOBOARD OUTDOOR BENCH #SKU BN-11, CEDAR FINISH.
- 03.03 PROVIDE ADA CURB RAMP WITH ADA WARNING STRIP BY ULINE.
- 03.04 PROVIDE NEW CONCRETE WALKWAY AND STAIRS. PROVIDE NEW METAL HANDRAIL AT STAIRS AND ON WALK WHERE SLOPE EXCEEDS 5%.
- 03.08 STAMPED CONCRETE, BRICKFORM, AIN ASLAR FM-3100, OR APPROVED ALTERNATIVE.
- 32.05 NEW DRAIN. TIE INTO EXISTING PARKING LOT DRAINAGE SYSTEM.
- 32.06 EMERGENCY KIOSK WITH 911 PHONE TO BE INSTALLED FOR ADDED SAFETY.



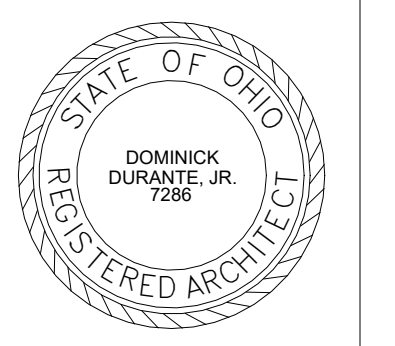
3 RECREATION AREA WEST SECTION
AS.03 SCALE: 1/4" = 1'-0"



2 RECREATION AREA NORTH ELEVATION
AS.03 SCALE: 1/4" = 1'-0"



1 ENLARGED SITE PLAN - NORTH PARKING LOT
AS.03 SCALE: 3/32" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE #7286
EXPIRATION 12/31/2025

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Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

ENLARGED SITE PLAN - NORTH PARKING LOT
AS.03

DEMOLITION GENERAL NOTES. CONTINUED

3. ALL CONTRACTORS TO ENSURE FIRE SEPARATION RATINGS AND FIRE STOPPING AS SPECIFIED BY CODE. WHERE EACH TRADE PENETRATES A TENANT SEPARATION WALL, THAT TRADE WILL BE RESPONSIBLE TO SEAL TIGHT OPENINGS WITH MATERIAL TO MATCH THE FIRE RESISTANCE RATING OF THE IN-PLACE CONSTRUCTION. ALL CONCEALED SPACES TO HAVE FIRE STOPPING AND/OR DRAFT STOPPING BETWEEN FLOORS AND/OR UNITS.

4. ALL NEW DRYWALL WALLS AND CEILINGS ARE TO RECEIVE A LEVEL 4 FINISH PER ASTM C840 STANDARDS.

5. PROVIDE MOISTURE AND MOLD RESISTANT NON-PAPER FACE WALL BOARD AT ALL WET LOCATIONS (BATHROOMS AND KITCHENS) WALLS AND CEILINGS. PROVIDE CEMENT BOARD BEHIND ALL TILE LOCATIONS.

6. COORDINATE FINAL CABINERY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL FIELD DIMENSIONS WITH COUNTERTOPS AND CABINETS.

7. COORDINATE ALL SELECTED FINISHES WITH ARCHITECT. A PHYSICAL SAMPLE MUST BE SUBMITTED FOR FINAL APPROVAL BEFORE INSTALLATION.

8. PAINT FINISHES: FLAT FINISH FOR CEILINGS AND SOFFITS. SEMI-GLOSS FINISH FOR TRIM, AND EGGSHELL FINISH FOR ALL WALLS, TYPICAL.

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	2024.04.26	ISSUED FOR ADDENDUM 3

FLOOR PLAN LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN.
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

- KEYED NOTES SPECIFIC TO THIS SHEET**
 REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE
- D1 REMOVE PORTION OF EXISTING WALL AND ANY ASSOCIATED UTILITIES OR EQUIPMENT.
 - D2 REMOVE PORTION OF EXISTING WALL TO ACCOMMODATE NEW DOOR. REFER TO DOOR SCHEDULE FOR NEW DOOR SIZE.
 - D3 REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
 - D4 REMOVE ALL EXISTING TILE FLOORING AND VINYL BASE FROM RESTROOM. PREPARE SUBFLOOR TO RECEIVE NEW FINISHES.
 - D5 REMOVE EXISTING FLOORING AND VINYL BASE. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING.
 - D6 REMOVE EXISTING WALL IN ITS ENTIRETY UP TO STRUCTURAL DECK.
 - D21 REMOVE EXISTING METAL TRASH CHUTE FROM SHAFT. REMOVE MISCELLANEOUS METAL FRAMING AROUND CHUTE OPENING.
 - D23 REMOVE EXISTING LOUVER SYSTEM.

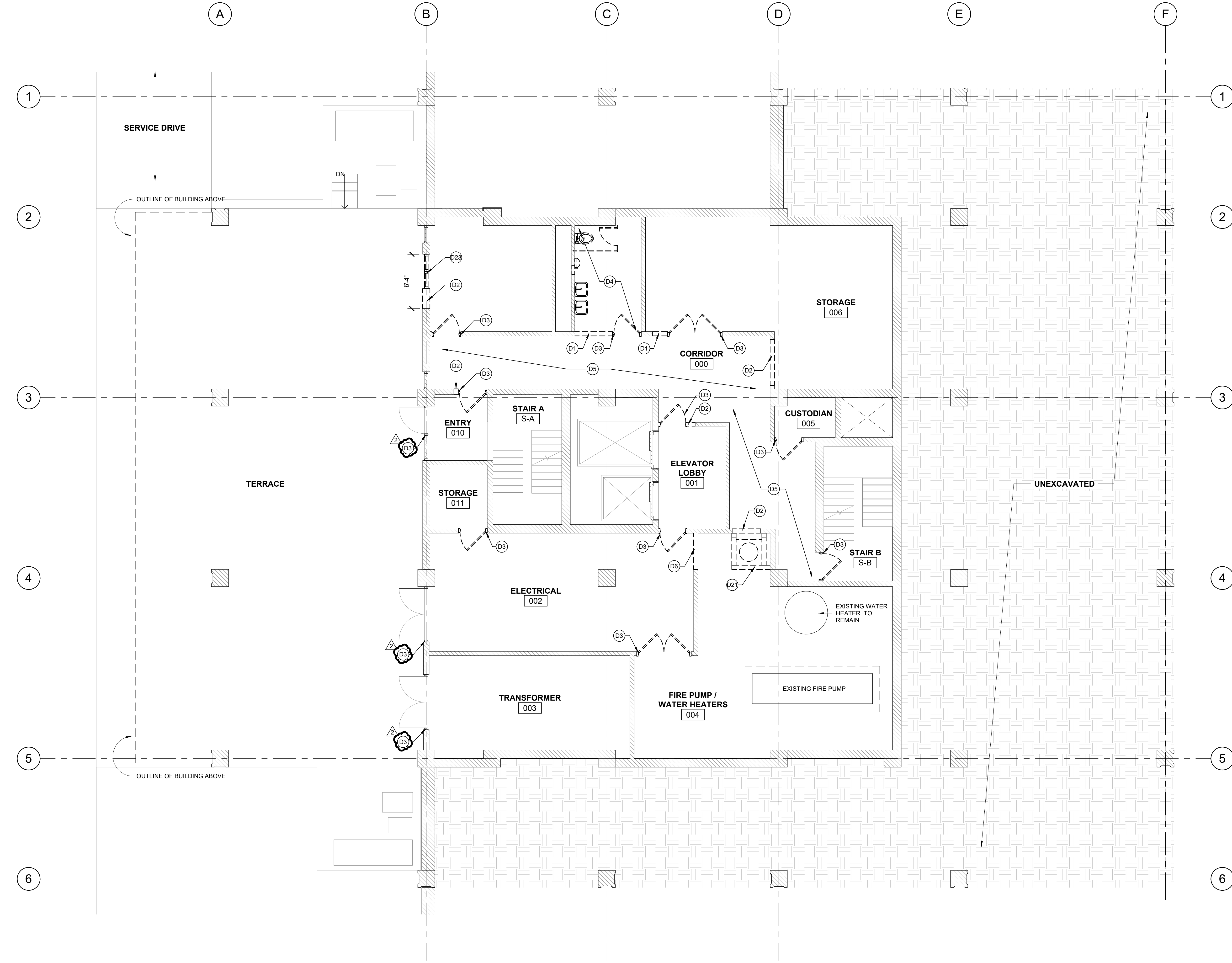
- DEMOLITION GENERAL NOTES**
1. THE EXTENT OF DEMOLITION IS GENERALLY DESCRIBED. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE THE INSTALLATION OF THE PROPOSED WORK.
 2. BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW CONSTRUCTION UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS.
 3. EACH CONTRACTOR AND VENDOR SHALL COORDINATE AND COOPERATE WITH OTHER TRADES. SCHEDULE ALL WORK THROUGH THE GENERAL CONTRACTOR.
 4. PIPES, CONDUIT, AND DUCTWORK ENCOUNTERED IN DEMOLISHED PARTITIONS AND CEILINGS WHICH ARE TO REMAIN SHALL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE ABANDONED SHALL BE CAPPEADED AND CONCEALED IN THE FLOOR, WALLS, OR CEILING.
 5. CONTRACTOR IS RESPONSIBLE TO FIRESTOP NEWLY ENCOUNTERED PIPES AND CONDUITS DUE TO DEMOLITION THAT WERE NOT PREVIOUSLY EXPOSED AND ARE NOT CURRENTLY FIRESTOPPED.
 6. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY DEMOLITION. REPAIR TO MATCH ADJACENT CONSTRUCTION.
 7. SALVAGEABLE MATERIALS TO BE REMOVED AND TURNED OVER TO THE OWNER SHALL BE IDENTIFIED BY THE OWNER AND/OR ARCHITECT PRIOR TO THE BEGINNING OF WORK AND ARE TO BE STORED ON SITE AT A LOCATION DESIGNATED BY THE OWNER.
 8. ANY PROJECTING OR SURFACE MOUNTED ITEMS NOT PART OF WORK AND/OR ABANDONED SHALL BE REMOVED. CONTRACTOR TO PATCH AND FILL HOLES AND PENETRATIONS TO MATCH EXISTING.
 9. CLEAN AND PREPARE ALL SURFACES TO ACCEPT NEW WORK. THIS INCLUDES PATCHING AND REPAIRING ALL PENETRATIONS FROM REMOVED DUCTWORK, VENTS, DOOR FRAMES, ETC. ALL PATCHING AND NEW DRYWALL TO BE FLUSH AND MATCH EXISTING.

- FLOOR PLANS AND FINISHES**
1. ALIGN NEW WALLS WITH EXISTING. PATCH TO CREATE A SMOOTH SEAMLESS SURFACE.
 2. INTERIOR DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE. DIMENSIONS TO OPENINGS ARE TO CENTER OF OPENING. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THE EXISTING CONDITIONS, CONSTRUCTION DIMENSIONS, AND CLEARANCES. DO NOT SCALE DRAWINGS.

STATE OF OHIO
 REGISTERED ARCHITECT
 DOMINICK DURANTE, JR.
 LICENSE #7296
 EXPIRATION 12/31/2025

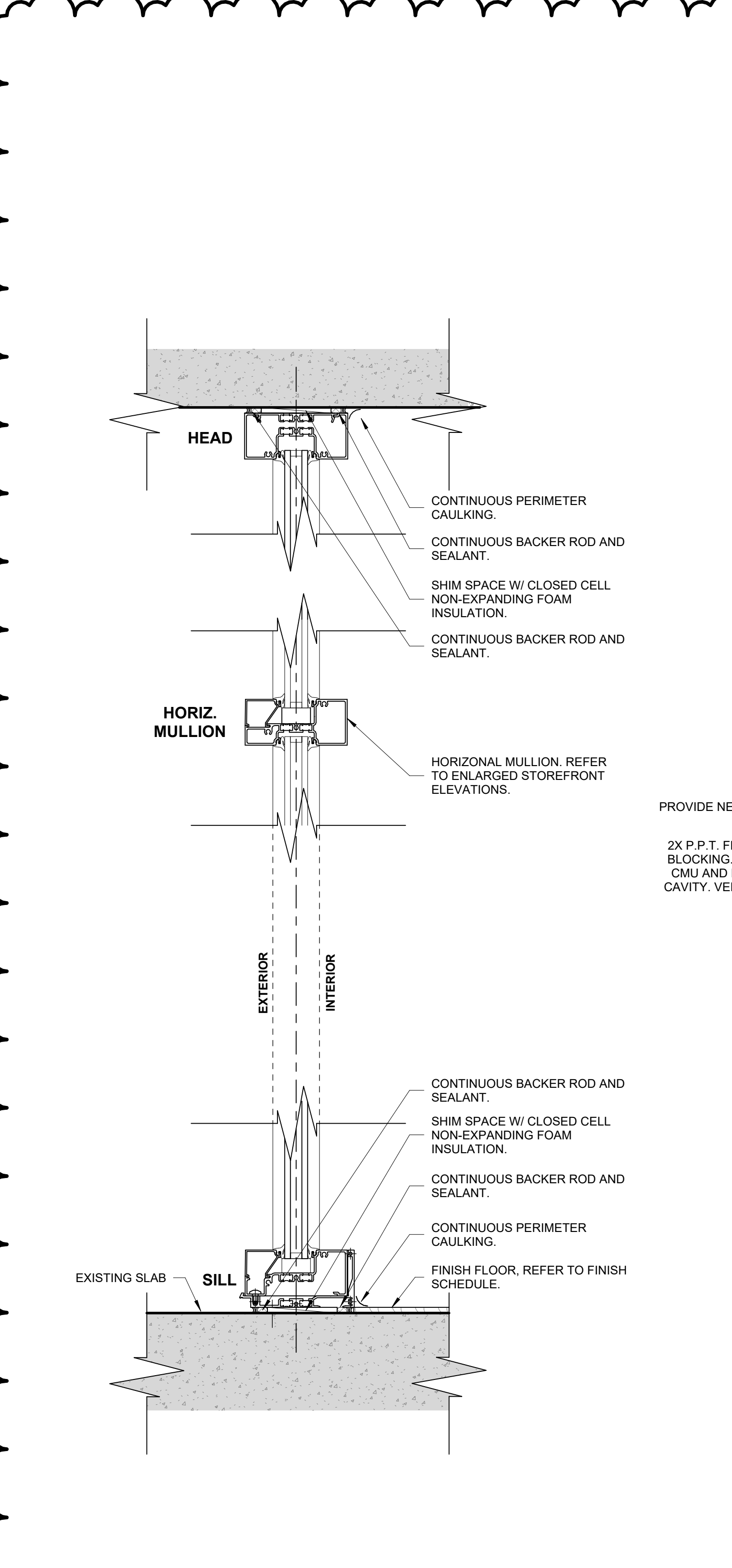
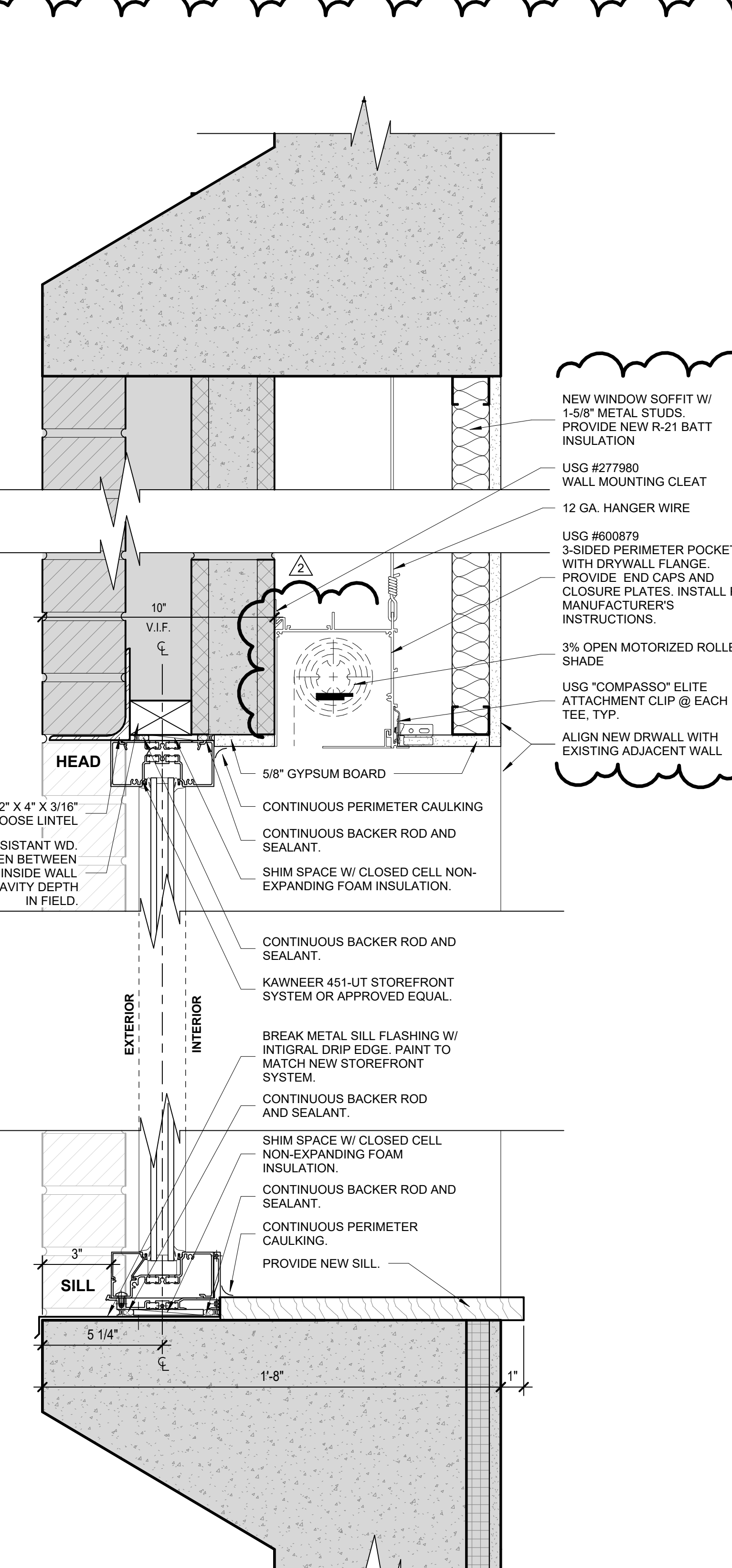
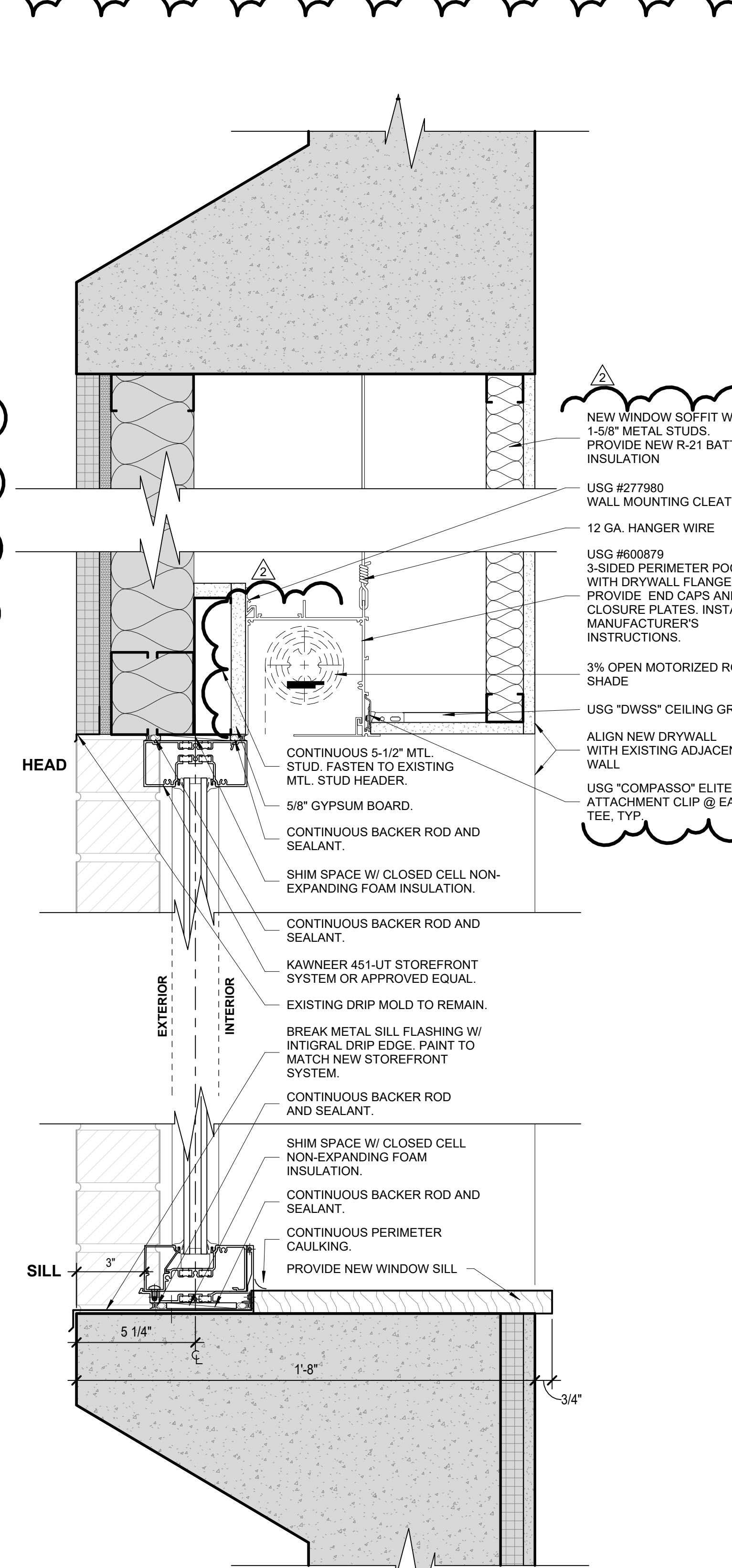
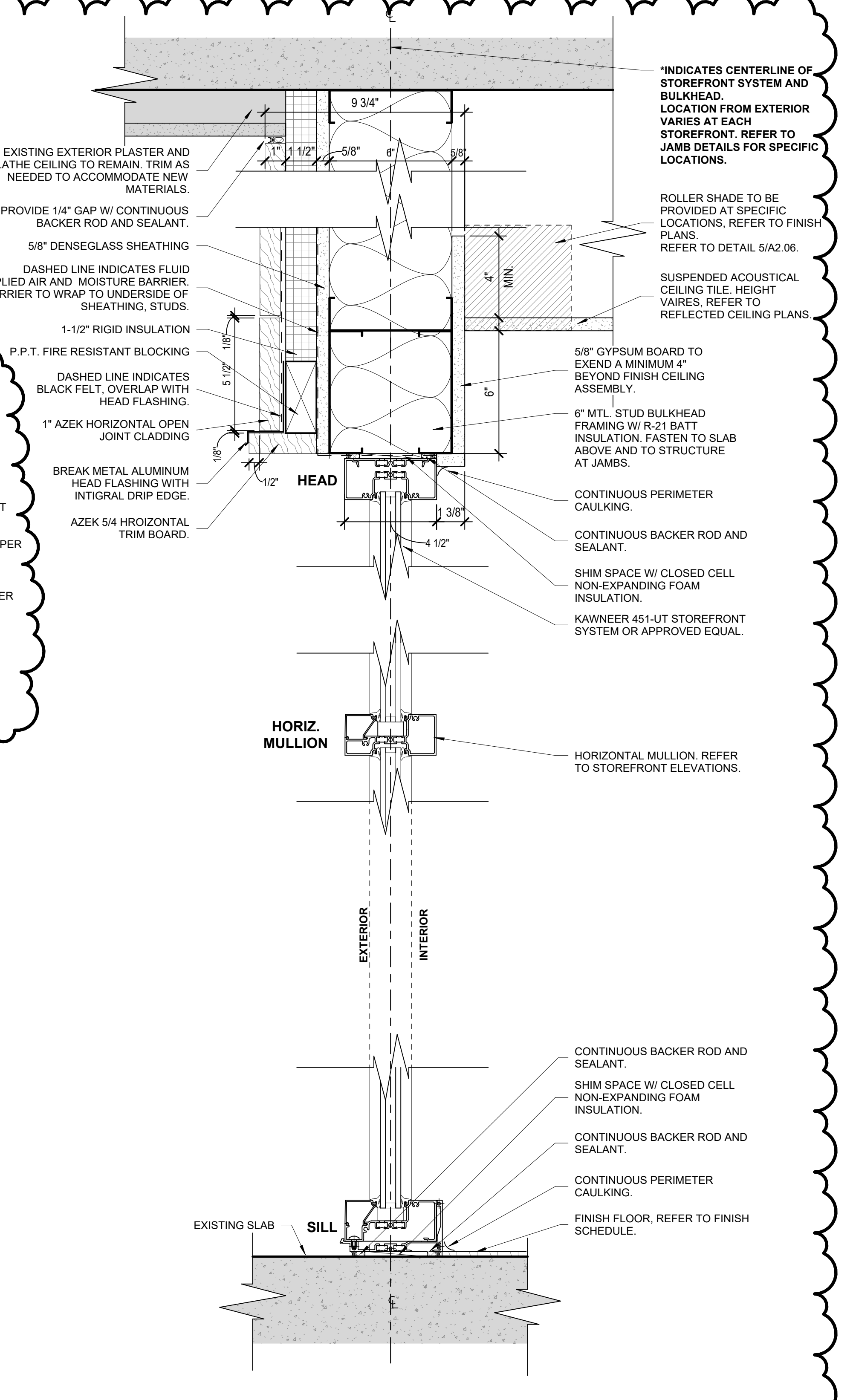
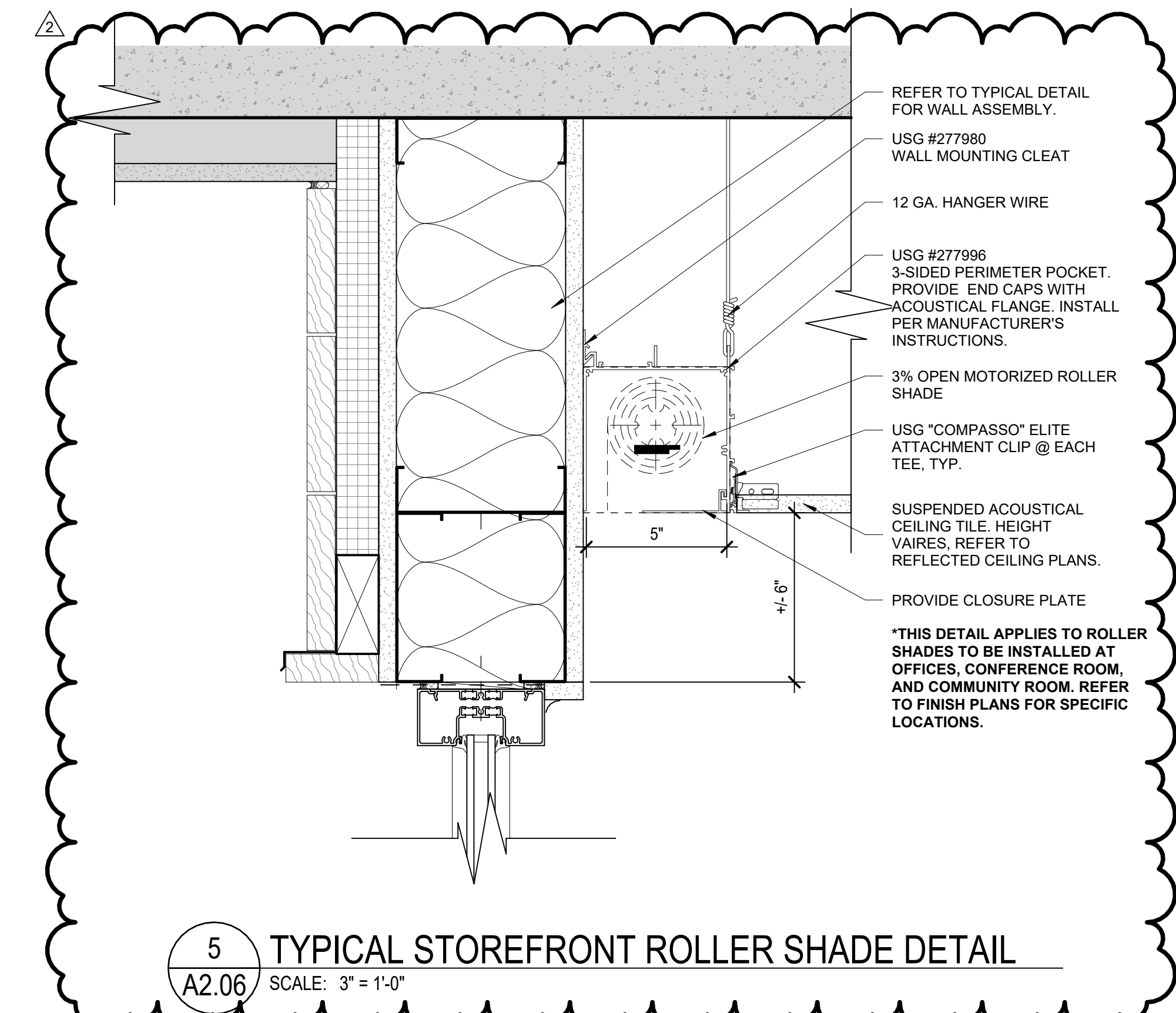
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Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225



1 OVERALL BASEMENT LEVEL DEMOLITION PLAN
 SCALE: 3/16" = 1'-0"

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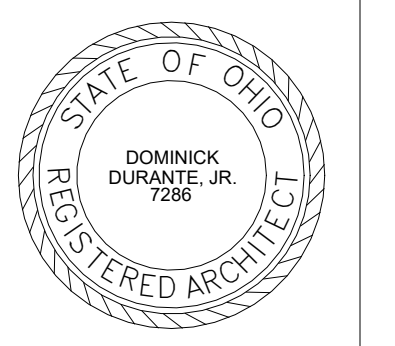


4 SF-12 STOREFRONT HEAD / SILL DETAIL
A2.06 SCALE: 3" = 1'-0"

3 SF-11 STOREFRONT HEAD / SILL DETAIL
A2.06 SCALE: 3" = 1'-0"

2 SF-10 STOREFRONT HEAD / SILL DETAIL
A2.06 SCALE: 3" = 1'-0"

1 TYPICAL STOREFRONT HEAD / SILL DETAIL
A2.06 SCALE: 3" = 1'-0"



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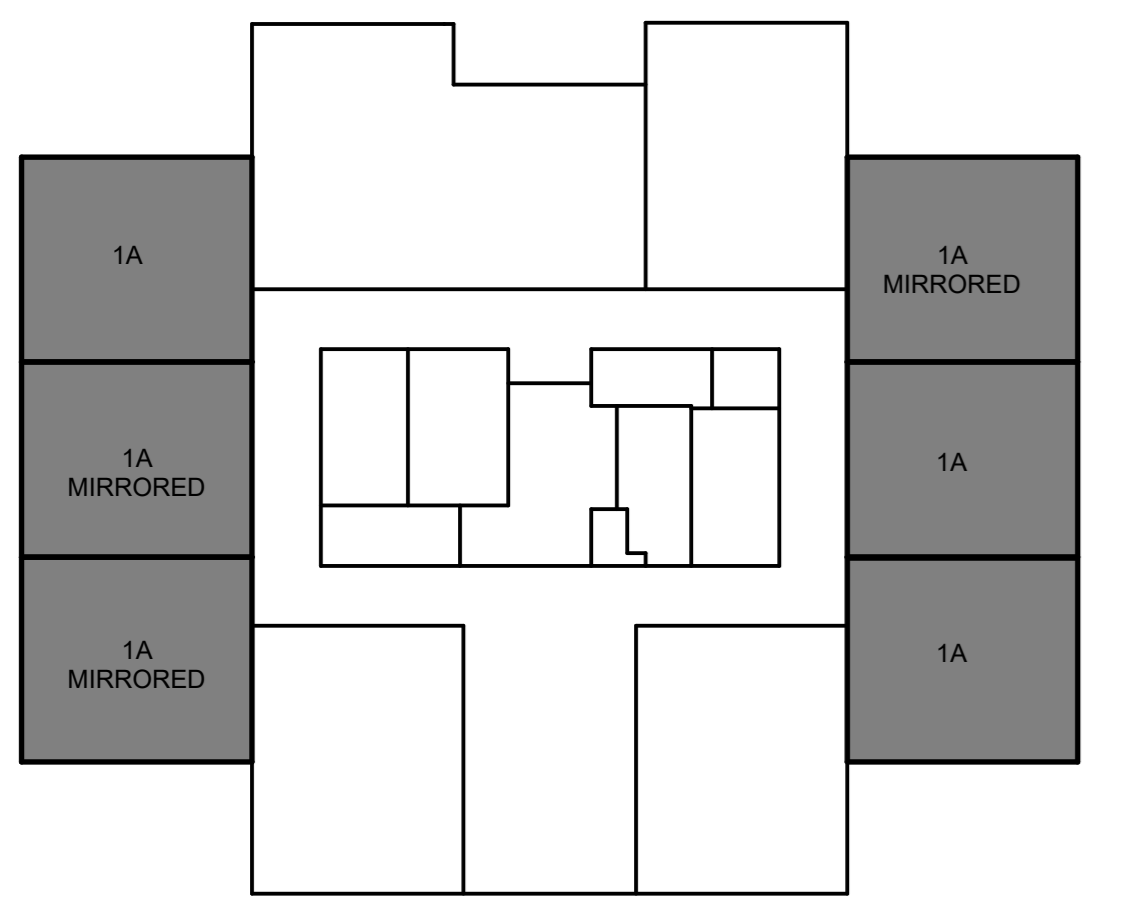
LDA Project No.23.47
STOREFRONT HEAD / SILL DETAILS

GENERAL NOTES - ENLARGED UNIT PLANS

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.
 2. REFER TO SHEET G0.03 FOR ACCESSIBLE DETAILS TO FOLLOW.
 3. THE FOLLOWING SCOPE OF WORK IS FOR ALL TYPICAL UNITS UNLESS OTHERWISE NOTED; REFER TO PLANS FOR ADDITIONAL SCOPE.
- GENERAL UNIT:**
- A. REPAIR DRYWALL & WATER DAMAGE THROUGHOUT UNITS. INSULATE WHERE POSSIBLE.
 - B. PAINT ALL WALLS (EGGSHELL FINISH), CEILING & SOFFITS (FLAT FINISH), AND DOORS & TRIM (SATIN FINISH) WITH ONE COAT PRIMER AND 2 COATS PAINT.
 - B1. PROVIDE ACCENT WALL IN LIVING. REFER TO FINISH SCHEDULE & ENLARGED UNIT PLANS.
 - B2. ALL DRYWALL WALLS AND CEILING ARE TO RECEIVE LEVEL 1 FINISH PER STM C840 STANDARDS. USE TUFF-HIDE AT ALL JOINTS.
 - C. PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT CORRIDOR ON DOOR LEVER SIDE.
 - D. PROVIDE NEW GLUE-DOWN VINYL PLANK FLOORING THROUGHOUT UNIT - EXCEPT BATHROOM. PREP FLOOR PER MANUFACTURER'S INSTALL INSTRUCTIONS.
 - D1. REMOVE ALL EXISTING FLOORING (CARPET, TILE, VCT, ETC.) THROUGHOUT UNIT DOWN TO CONCRETE SUBFLOORING.
 - E. PROVIDE NEW WOOD BASE THROUGHOUT - EXCEPT BATHROOMS. REFER TO FINISH SCHEDULE WBA-2.
 - F. REPLACE ALL EXIST. LIGHT FIXTURES, OUTLETS, SWITCHES AND COVER PLATES. NEW SWITCHES, GFCI OUTLETS & COVER PLATES, ETC. TO BE LEGRAND RADIANT IN WHITE. LIGHT FIXTURES TO BE LED.
 - F1. ALL TO BE INSTALLED AT ACCESSIBLE HEIGHTS.
 - G. PROVIDE NEW HARDWIRED COMBO COSMOSMOKE DETECTORS IN ALL UNITS. CONICAL WIRING IN WIRE MOLD AND PAINT TO MATCH CEILING. HVI AND MOBILITY UNITS TO RECEIVE STROBES.
 - H. INSTALL CARBON MONOXIDE DETECTORS IN ALL UNITS.
 - I. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS. NEW BLINDS SHALL BE VINYL. INSTALL DOUBLE CURTAIN RODS.
 - J. INSTALL VENTED CLOSET SHELVING IN ALL CLOSETS (WHITE). TENSION ROD & CURTAINS TO BE INSTALLED ON ALL CLOSET AND PANTRY DOORS (CURTAINS PROVIDED BY OWNER).
 - K. EXIST. HANGERS, NAILS, ETC. IN WALLS AND CEILING TO BE REMOVED AND PATCHED.
 - L. PROVIDE SHUT OFF VALVES AT ALL PLUMBING FIXTURES.
 - M. INSTALL SANITARY CLEANOUT.
 - N. REPLACE ALL SEWER AND WATER LINES. PROVIDE WATER MAIN SHUT OFF VALVES FOR EACH RISER AND/OR BRANCH.
 - O. COVER CMU WALLS WITH DRYWALL. NEW DRYWALL PAINTED EGGSHELL FINISH.
 - P. REPLACE APARTMENT ENTRY DOORS. NEW DOORS ARE TO BE STAINED WOOD DOORS. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS.
 - Q. REPLACE ALL INTERIOR DOORS WITH PAINTED SOLID CORE WOOD DOORS. REPLACE DOORFRAMES WITH METAL FRAMES. EXISTING FRAMES MAY REMAIN IF IN GOOD SHAPE AND INTERIOR WALLS REMAIN. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS.
 - R. INSTALL CARD ACCESS LOCKS ON ALL APARTMENT ENTRIES.
 - S. UPGRADE EXISTING ELECTRICAL SYSTEM. PROVIDE NEW MAIN INCOMING SERVICES AND FEEDS. IF NEEDED, WIRE MOLD WILL BE REQUIRED.
 - T. REPLACE WINDOW HEAT PUMPS.
 - U. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS WITH NEW VINYL BLINDS W8-1 THROUGHOUT ALL UNITS. INSTALL DOUBLE CURTAIN RODS (PROVIDED BY OWNER).
 - V. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING/SOFFIT FINISH.
 - W. COORDINATE FINAL CABINERY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.

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- 01.04 DASHED LINE REPRESENTS CABINET/COUNTERTOP BELOW.
 - 06.03 PROVIDE WOOD BLOCKING FOR BATHROOM FLOORING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - 06.04 PROVIDE WOOD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS TO FULLY COMPLY WITH ANSI A117.1.
 - 09.03 PROVIDE AND INSTALL CONTINUOUS 4" BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS. SEE FINISH SCHEDULE FOR SPECIFICATIONS.
 - 09.06 G.C. TO FINISH WALL AND BASE BEHIND RANGE AND REFRIGERATOR. TYP. ALL UNITS AND COMMON AREA KITCHEN.
 - 09.07 PROVIDE 4" CABINET TOE KICK TO MATCH CABINERY FINISH. CUT TO LENGTH IF NEEDED.
 - 09.09 PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND BACKSPLASH TILE. COLOR TO MATCH COUNTERTOP COLOR. FINISH CABINET SIDE PANEL.
 - 09.13 PVC QUARTER ROUND INSTALLED AT SHOWER BASE. TO BE SEALED.
 - 09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B.
 - 09.16 ALIGN NEW CEILING WITH EXISTING WALL AND CEILING HEIGHT. PAINT PT-1.
 - 09.25 INSTALL 2"x8" CERAMIC TILE AT BACKSPLASH AND SIDEWALL OF ALL UNIT KITCHENS. STACK HORIZONTALLY AND ALIGN GROUT JOINTS. INCLUDE SCHLUTER JOLLY TRANSITION CHROME FINISH AT EXPOSED EDGE AND TOP.
 - 09.27 EXISTING CONCRETE CEILING TO REMAIN. CLEAN/REPAIR AS NEEDED AND PAINT PT-1.
 - 09.29 DASHED LINE INDICATES EXTENTS OF WALL TO BE REPLACED WITH 5/8" TYPE X GYPSUM BOARD FROM FLOOR TO CEILING IF REMOVAL OF EXISTING GYPSUM IS REQUIRED TO REPLACE EXISTING PLUMBING STACKS.
 - 10.01 16" DEEP WHITE CLOSET SHELVING WITH ADDITION OF HANG ROD.
 - 10.02 PROVIDE 2" VINYL BLINDS AT ALL UNIT WINDOWS. REFER TO FINISH SCHEDULE FOR SPECIFICATION WEB-1.
 - 10.04 PROVIDE ADJUSTABLE TENSION ROD AT ALL CLOSETS. WEIGHTED CURTAIN TO BE PROVIDED BY OWNER.
 - 10.05 PROVIDE DOUBLE DRAPERY ROD AT ALL UNIT WINDOWS. REFER TO ACCESSORY SCHEDULE. CURTAIN PROVIDED BY OWNER.
 - 21.01 PROVIDE AND INSTALL (2) FIRE CANISTERS AT EACH RANGEHOOD.
 - 23.02 LOCATION OF EXISTING KITCHEN VENTILATION. EXHAUST GRILL TO BE REPLACED. EXISTING DUCTWORK AND GRILL TO BE RELOCATED TO ACCOMMODATE NEW KITCHEN LAYOUT. REFER TO MECHANICAL DRAWINGS.
 - 23.03 LOCATION OF EXISTING BATHROOM VENTILATION. EXHAUST GRILL TO BE REPLACED. EXISTING DUCTWORK AND GRILL TO BE RELOCATED TO ACCOMMODATE NEW BATHROOM LAYOUT. REFER TO MECHANICAL DRAWINGS.
 - 26.01 CENTER SWITCHED OUTLET IN BEDROOMS AND LIVING ROOM WHERE NO OVERHEAD LIGHT IS LOCATED. TYPICAL ALL UNITS.
 - 26.03 CENTER FIXTURE IN ROOM.
 - 26.04 CENTER FIXTURE ON VANITY.
 - 26.08 CENTER FIXTURE ON KITCHEN SINK.
 - 26.09 CENTER FIXTURE ON SHOWER.
 - 26.10 CENTER FIXTURE ON DOOR/OPENING.
 - 26.11 CENTER FIXTURE ON WATERSINK CLOSET.
 - 26.18 CENTER FIXTURE ON LAVATORY SINK AND MIRROR.
 - 26.19 LOCATION OF NEW UNIT LOAD CENTER. REFER TO ELECTRICAL DRAWINGS.



UNIT KEY PLAN - 1A

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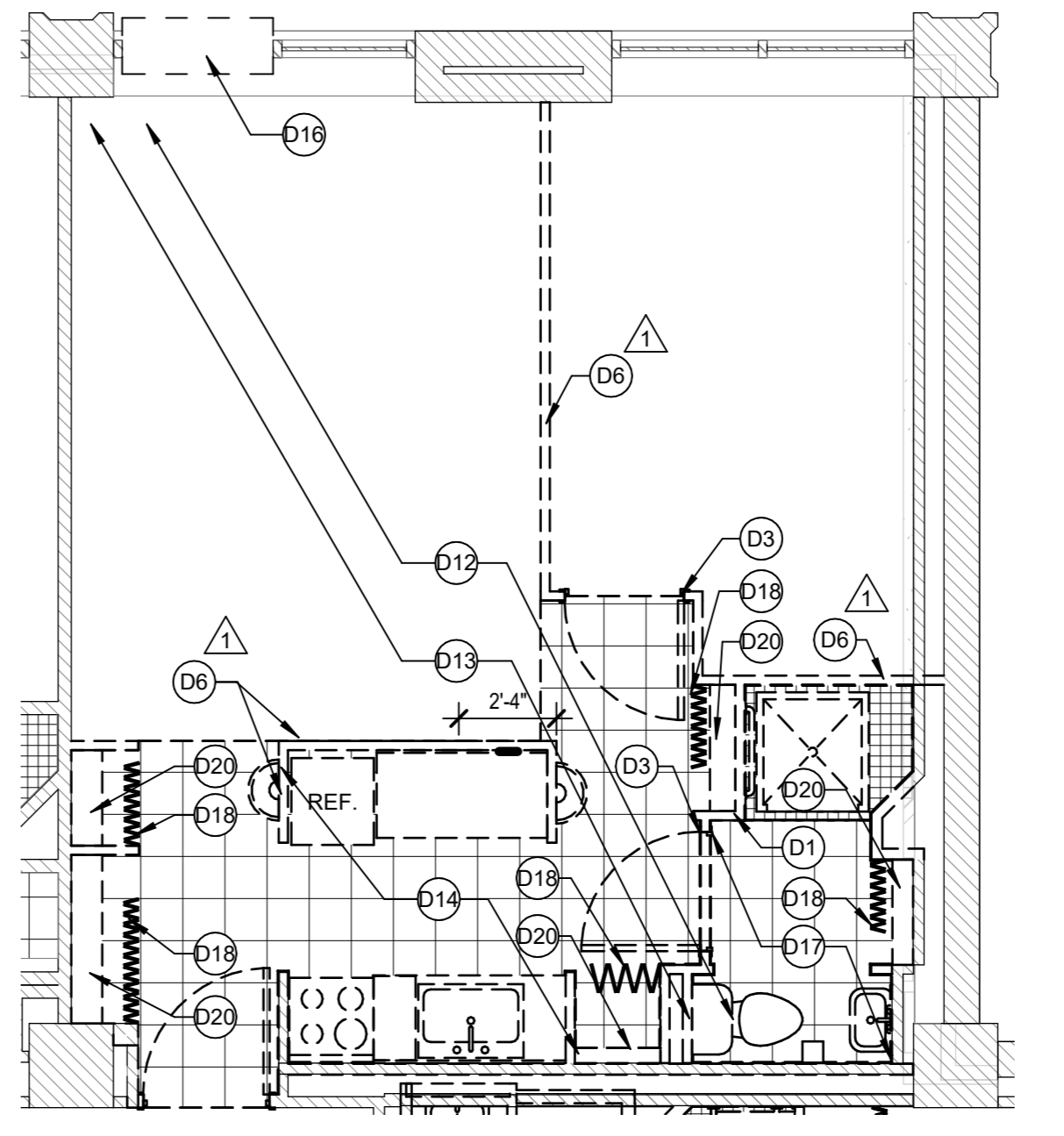
- D1 REMOVE PORTION OF EXISTING WALL AND ANY ASSOCIATED UTILITIES OR EQUIPMENT.
- D3 REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
- D6 REMOVE EXISTING WALL IN ITS ENTIRETY UP TO STRUCTURAL DECK.
- D12 REMOVE ALL EXISTING FLOORING AND VINYL BASE IN ENTIRE DWELLING UNIT. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING.
- D13 REMOVE ALL EXISTING LIGHT FIXTURES IN ENTIRE DWELLING UNIT.
- D14 REMOVE EXISTING SINK, CABINETS, APPLIANCES, COUNTERTOP AND HARDWARE FROM KITCHEN AREA. APPLIANCES IN GOOD CONDITION ARE TO BE SALVAGED AND STORED. COORDINATE WITH OWNER.
- D16 REMOVE IN-WINDOW HEAT PUMP UNIT. EXISTING ASSOCIATED DUCTWORK TO REMAIN AND BE CLEANED.
- D17 REMOVE ALL EXISTING TILE FLOORING, BASE, PLUMBING FIXTURES, GRAB BARS, AND MIRRORS FROM BATHROOM.
- D18 REMOVE EXISTING ACCORDIAN DOOR AND ASSOCIATED TRACK, FRAME AND HARDWARE.
- D20 REMOVE ALL EXISTING CLOSET SHELVING.

CEILING LEGEND

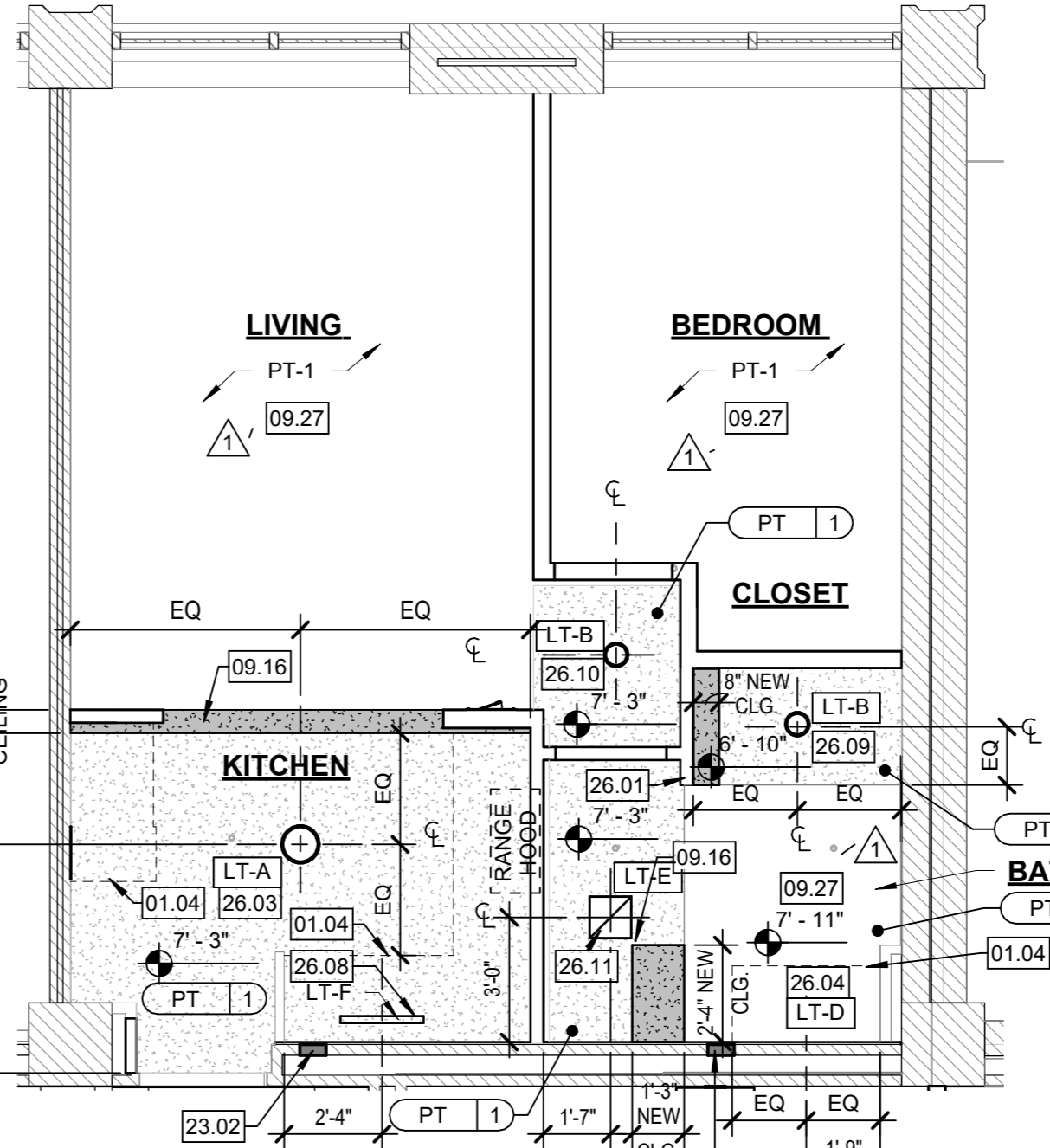
- EXISTING CEILING TO REMAIN; PAINT PT-1
- NEW GYP. BD. CEILING TO BE ALIGN WITH EXISTING CEILING HEIGHT; PAINT PT-1
- EXISTING GYP. BD. CEILING TO REMAIN; PT-1

UNIT CEILING FIXTURE LEGEND

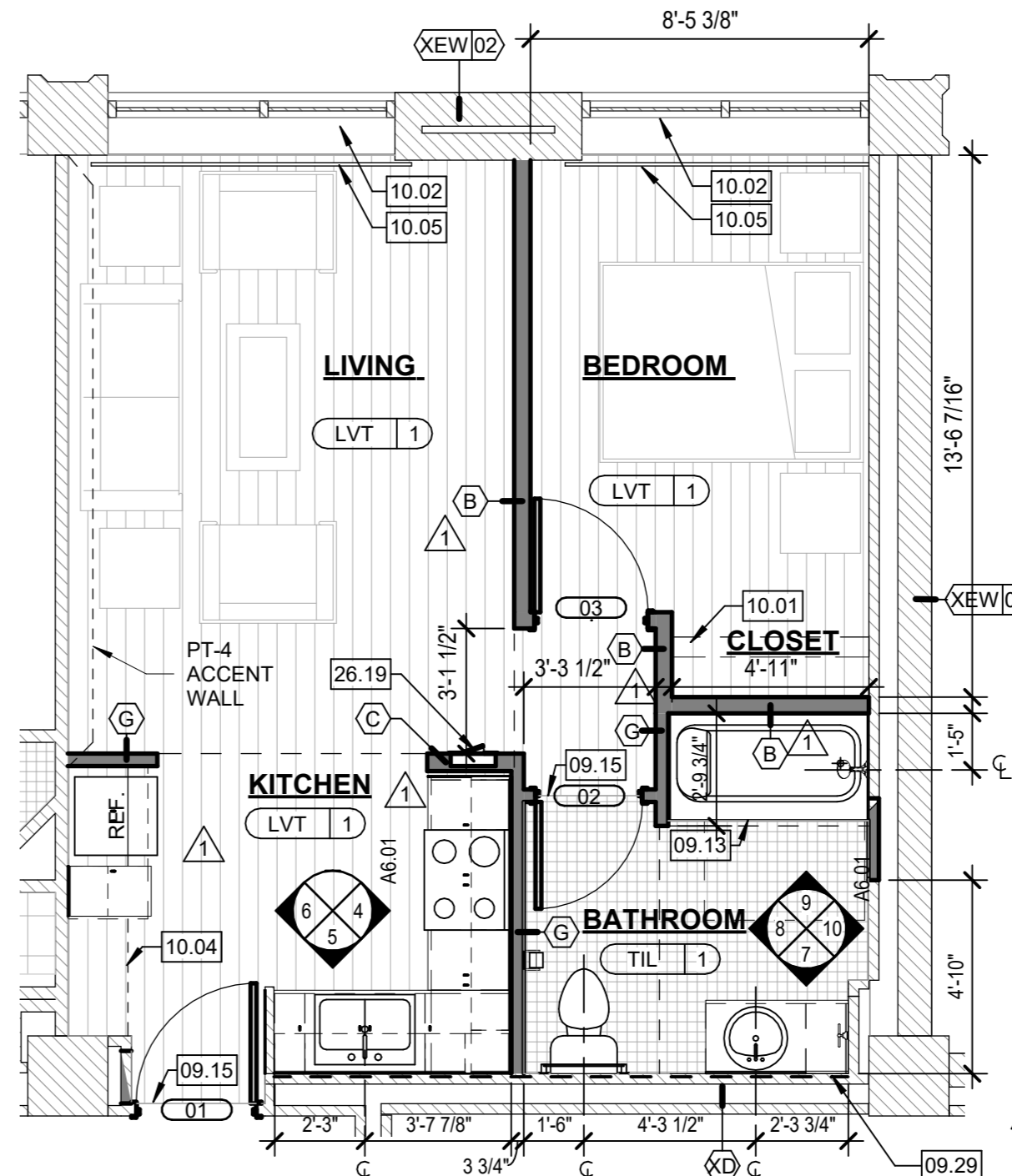
- LT-A 11" SURFACE MOUNT PUCK LIGHT
- LT-B 7" SURFACE MOUNT PUCK LIGHT - WET RATED
- LT-C ISLAND PENDANT
- LT-D 24"W VANITY WALL SCONCE
- LT-E BATHROOM EXHAUST FAN
- LT-F TAPE LIGHT - OVER SINK



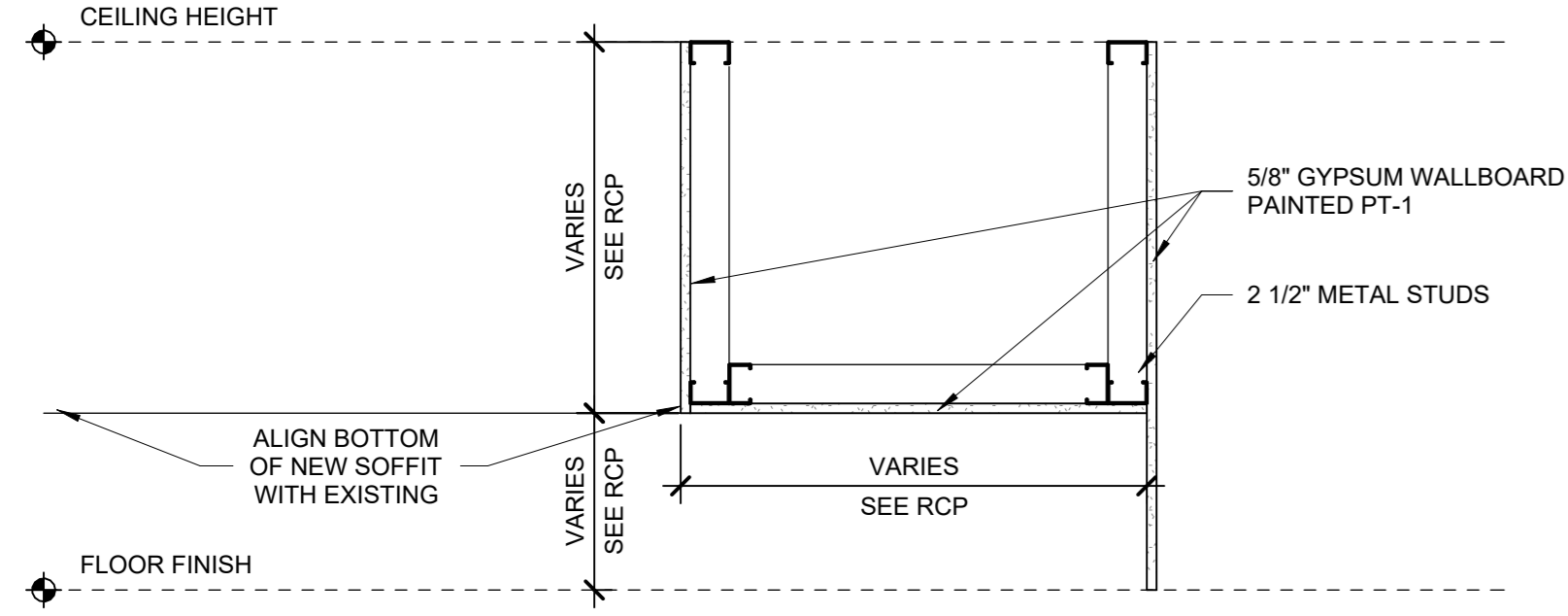
3 UNIT 1A - DEMO
 SCALE: 1/4" = 1'-0"



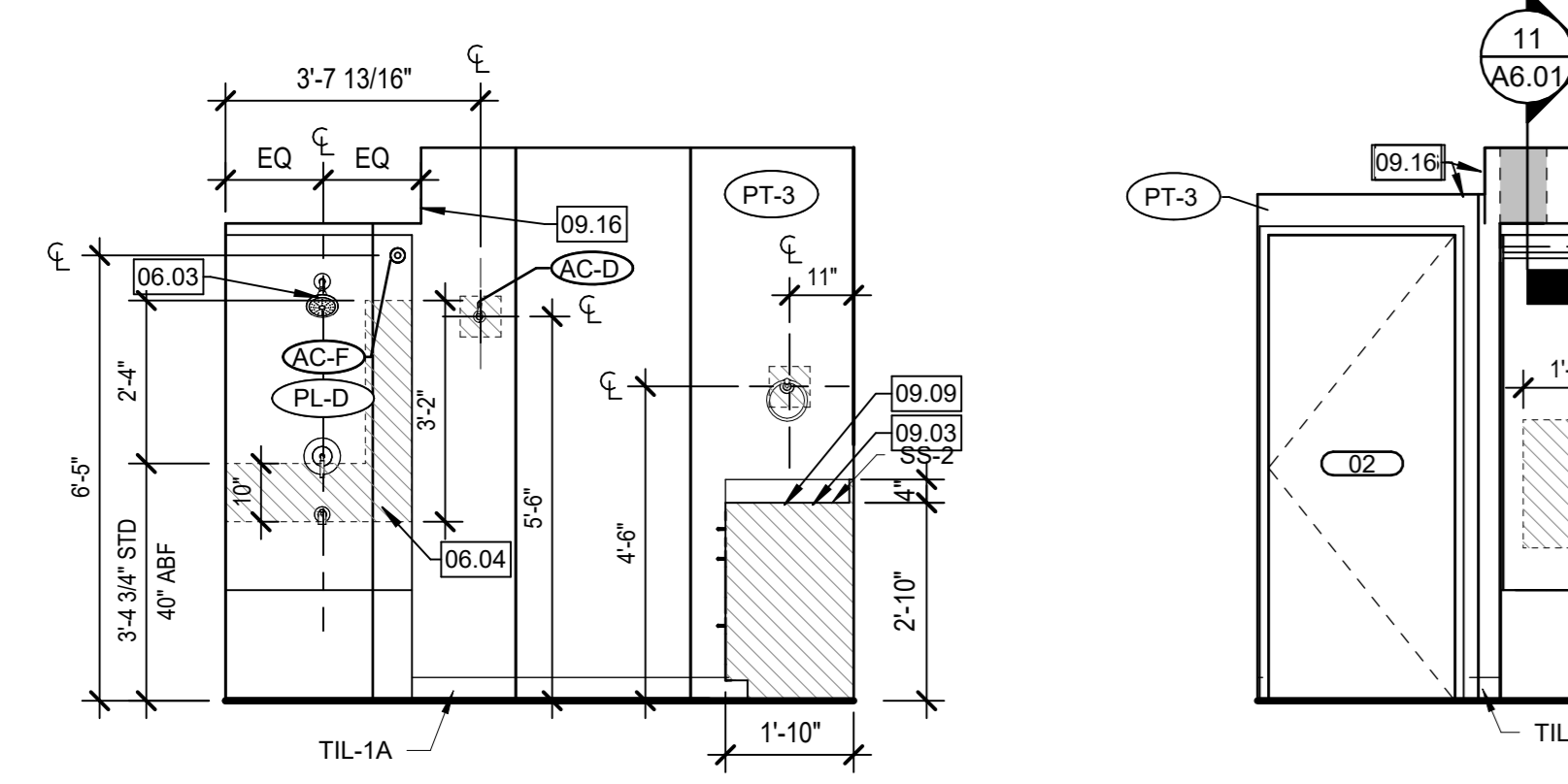
2 UNIT 1A - RCP
 SCALE: 1/4" = 1'-0"



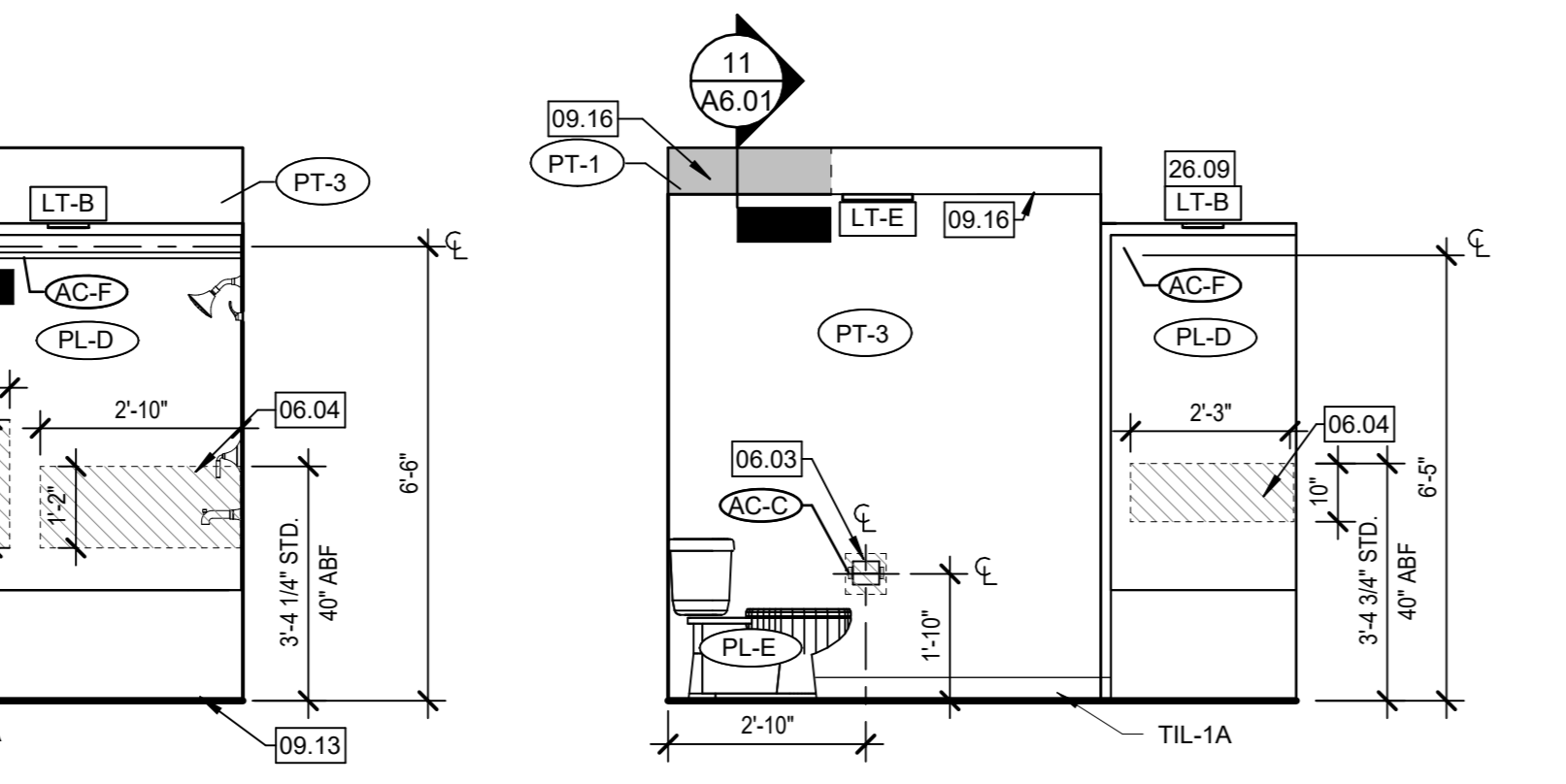
1 UNIT 1A - PROPOSED PLAN
 SCALE: 1/4" = 1'-0"



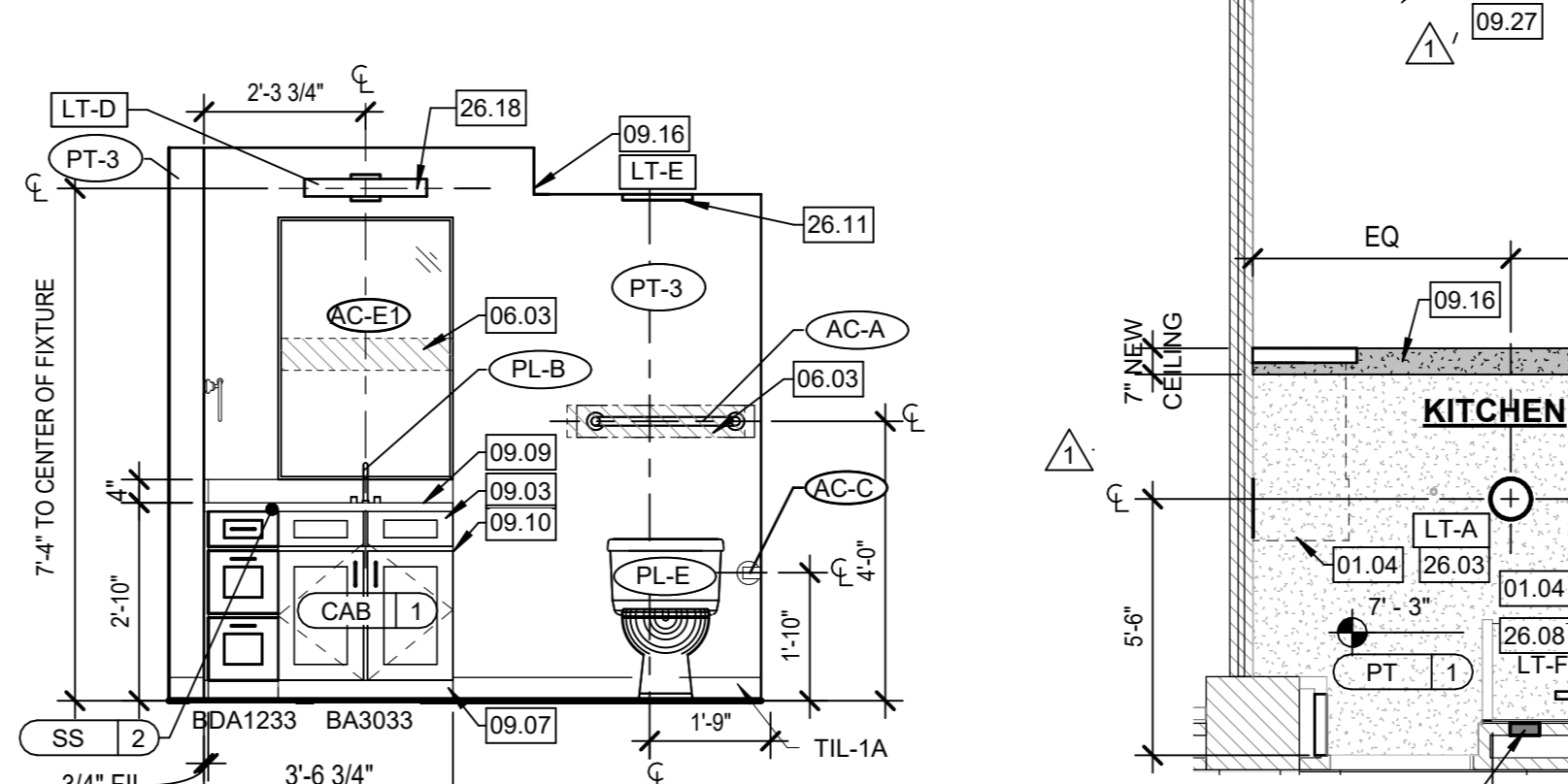
11 TYPICAL UNIT SOFFIT DETAIL
 SCALE: 1" = 1'-0"



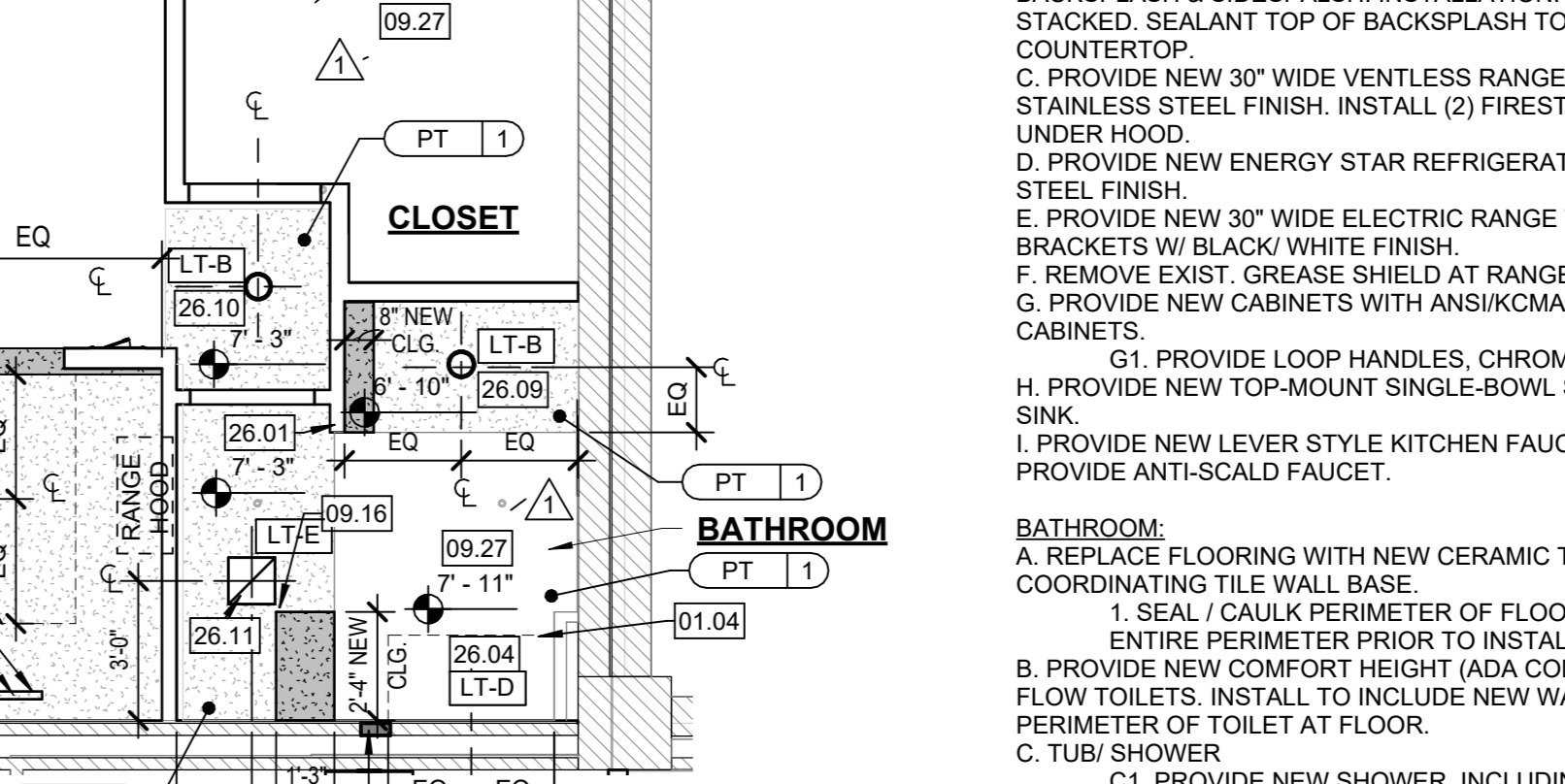
10 UNIT 1A BATH. ELEV. 4
 SCALE: 3/8" = 1'-0"



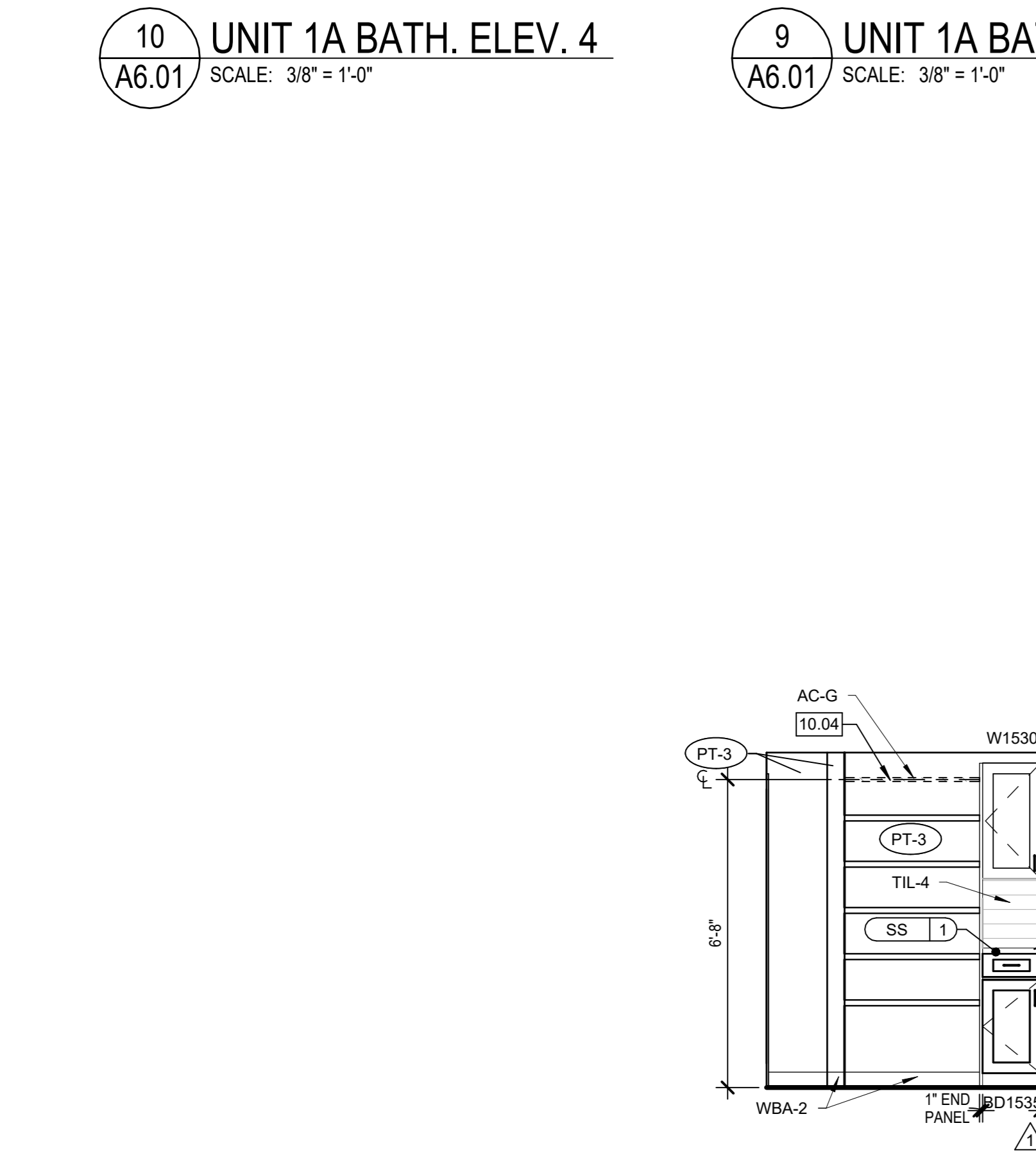
9 UNIT 1A BATH. ELEV. 3
 SCALE: 3/8" = 1'-0"



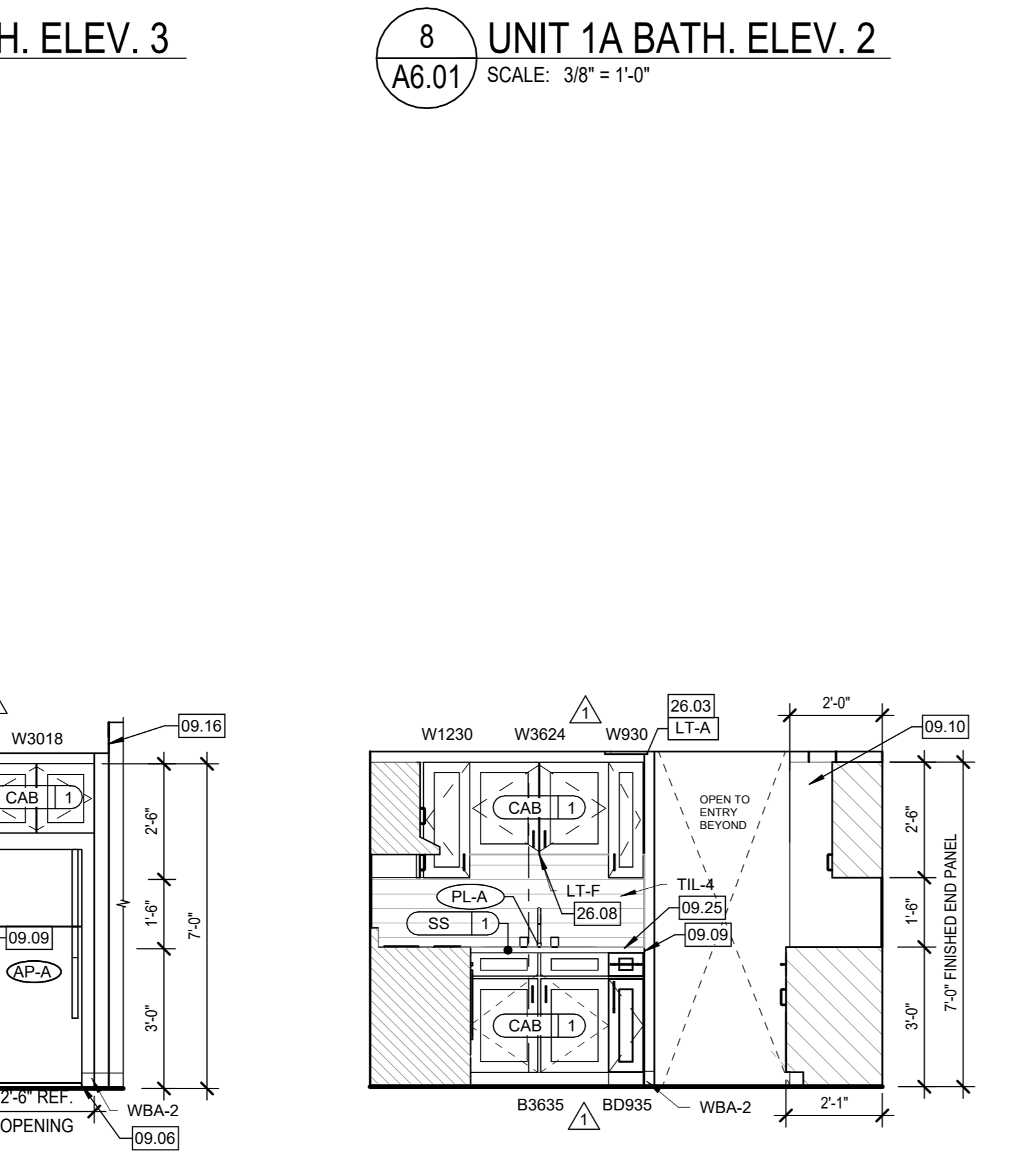
8 UNIT 1A BATH. ELEV. 2
 SCALE: 3/8" = 1'-0"



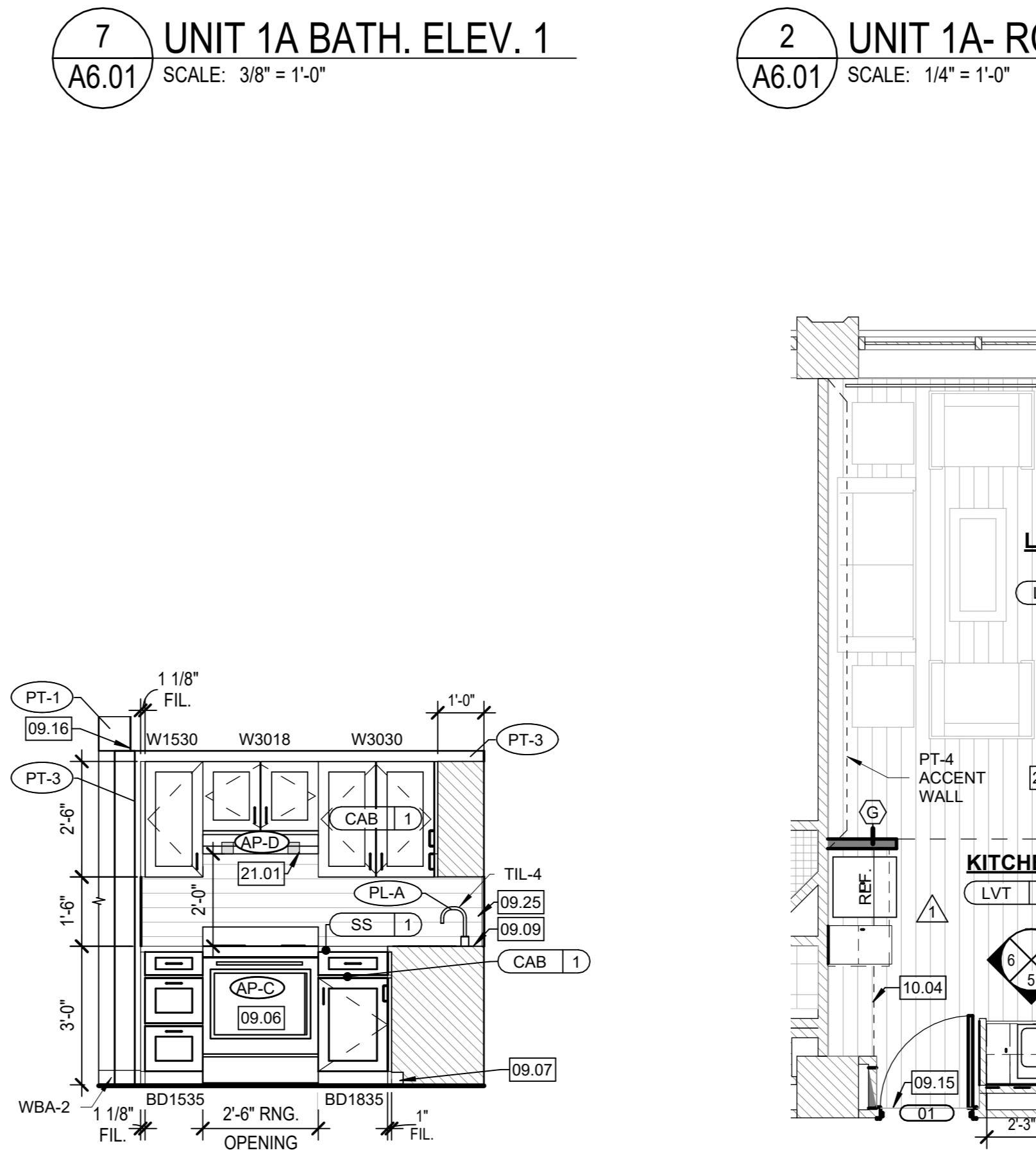
7 UNIT 1A BATH. ELEV. 1
 SCALE: 3/8" = 1'-0"



6 UNIT 1A KITCHEN ELEV. 3
 SCALE: 3/8" = 1'-0"

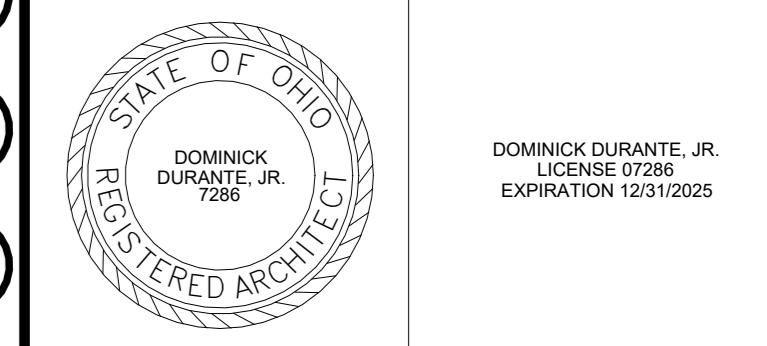


5 UNIT 1A KITCHEN ELEV. 2
 SCALE: 3/8" = 1'-0"



4 UNIT 1A KITCHEN ELEV. 1
 SCALE: 3/8" = 1'-0"

DOOR & DOOR HARDWARE:
A. UNIT ENTRY DOORS:
 A1. ALL UNIT ENTRY DOORS, FRAMES, AND HARDWARE ARE TO BE REPLACED AT EXISTING OPENINGS. REFER TO DOOR SCHEDULE AND SPECIFICATIONS.
 A2. PROVIDE BRUSHED DOOR SWEEPERS AT ALL UNIT ENTRY DOORS. BASIS OF DESIGN: PEMKO 18100_NB DOOR BOTTOM SWEEP. CLEAR ANODIZED ALUMINUM FINISH.
A3. NEW DOORS AND FRAMES TO HAVE PAINTED FINISH. REFER TO FINISH SCHEDULE.
A4. PROVIDE OVERHEAD STOPS, CLOSERS, KICKPLATES AND DOOR VIEWERS AT ALL UNIT ENTRY DOORS. ALL I-C ACCESSIBLE UNITS TO HAVE SECOO ADDITIONAL DOOR VIEWER AT 43" A.C. REFER TO SPECIFICATIONS.
B. BEDROOM & BATHROOM DOORS:
 B1. ALL BEDROOM AND BATHROOM DOORS, FRAMES AND HARDWARE ARE TO BE REPLACED. REFER TO DOOR SCHEDULE AND SPECIFICATIONS.
 B2. NEW DOORS AND FRAMES TO HAVE PAINTED FINISH. REFER TO FINISH SCHEDULE.
C. CLOSETS:
 C1. EXISTING ACCORDIAN-STYLE CLOSET DOORS ARE TO BE REMOVED IN THEIR ENTIRETY.
 C2. CLOSETS ARE TO REMAIN "OPEN" WITH NO DOORS AT 1A AND 1B UNITS. PATCH AND PAINT WHERE PREVIOUS DOORS WERE REMOVED FOR SMOOTH FINISHED OPENING.



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Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

