

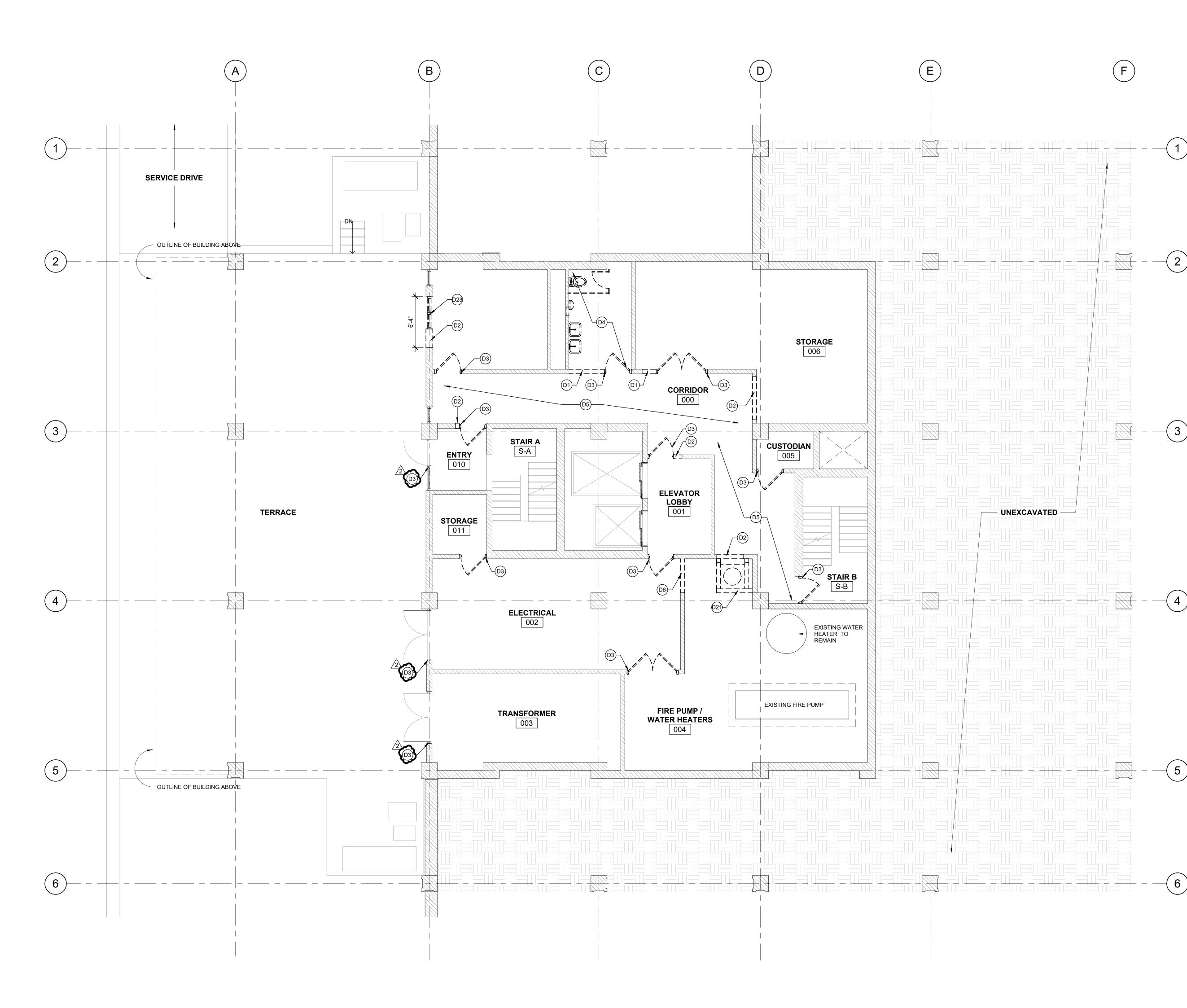
1 ENLARGED SITE PLAN - NORTH PARKING LOT AS.03 SCALE: 3/32" = 1'-0"

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REV	DATE	I	DESCRIPTION	
	2023.12.18 2024.01.05		DESIGN DEVELOPMENT	
	2024.01.15 2024.02.01		80%- OHFA APP. D'S- OHFA APPLICATION	
	2024.03.21 2024.04.12		NG AND PERMIT D FOR ADDENDUM 1	
2	2024.04.26		D FOR ADDENDUM 3	
SITE	PLAN LEG	END		
	REGRA		FILL SOIL &	
	LANDS	CAPE A	AREA	
0		IG PLA	NTS TO REMAIN	
	NEW PL	ANTIN	IGS	
		EED 5	ROUTE. SLOPE NOT %. CROSS-SLOPE ED 2%.	
REFER	ED NOTES S ENCED BY THE	E SYMBC		
02.01	PROVIDE NE	EW ACCE	ESSIBLE PARKING SIGNAG	<b>Ē</b> .)
02.04	#H-4419, TYF FOOTING: 12 POLE APPR	P. Moun 2" Diame Dximate	E OUTDOOR PARK GRILL IT POST IN CONCRETE TER, 3' DEEP AND INSERT ELY 14" IN THE CONCRETE HE MANUFACTURER.	
02.05	PROVIDE NE SIGNAGE.	EW ACCE	ESSIBLE VAN PARKING	
	FILL AND SE WALKWAY.	ED ARO	UND NEW CONCRETE	AG ,
02.07 02.10	#H-3022. AR PROVIDE NE	CHITECT EW 8' BA	E 32-GALLON TRASH CAN TO SELECT COLOR. RCOBOARD WALK-THRU	1
02.11	PROVIDE NE	W BARC	PT-12, CEDAR FINISH. COBOARD WHEELCHAIR #SKU PT-13, CEDAR FINISI	
02.12	PROVIDE NE #SKU BN-11,	EW 6' BA CEDAR	RCOBOARD OUTDOOR BEI	
03.03 03.04	STRIP BY UL PROVIDE NE	LINE. EW CON	CRETE WALKWAY AND STA	
03.08	ON WALK W	HERE SL	AL HANDRAIL AT STAIRS AI LOPE EXCEEDS 5%. 'E. BRICKFORM, AIDN ASLA	
32.05	FM-3130. OR	APPRO	VED ALTERNATIVE. O EXISITNG PARKING LOT	1
32.06	EMERGENC	Y KIOSK	WITH 911 PHONE TO BE DED SAFETY.	
		_		
AS.	ATE OF OF			
REG	DOMINICK DURANTE, JR. 7286	ECT	DOMINICK DURANTE, JR. LICENSE 07286 EXPIRATION 12/31/2025	
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(E)ΈΓ (2) -(3) UNEXCAVATED

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LOCATIONS. CABINETS. 8. PAINT FINISHES: FLAT FINISH FOR CEILINGS AND SOFFITS, SEMI-GLOSS FINISH FOR TRIM, AND EGGSHELL FINISH FOR ALL WALLS, TYPICAL.

## DEMOLITION GENERAL NOTES. CONTINUED

3. ALL CONTRACTORS TO ENSURE FIRE SEPARATION RATINGS AND FIRE STOPPING AS SPECIFIED BY CODE. WHERE EACH TRADE PENETRATES A TENANT SEPARATION WALL, THAT TRADE WILL BE RESPONSIBLE TO SEAL TIGHT OPENINGS WITH MATERIAL TO MATCH THE FIRE RESISTANCE RATING OF THE IN-PLACE CONSTRUCTION. ALL CONCEALED SPACES TO HAVE FIRE STOPPING AND/OR DRAFT

STOPPING BETWEEN FLOORS AND/OR UNITS. 4. ALL NEW DRYWALL WALLS AND CEILINGS ARE TO RECEIVE A LEVEL 4 FINISH, PER ASTM C840 STANDARDS.

5. PROVIDE MOISTURE AND MOLD RESISTANT NON-PAPER FACE WALL BOARD AT ALL WET LOCATIONS (BATHROOMS AND KITCHENS) WALLS AND CEILINGS. PROVIDE CEMENT BOARD BEHIND ALL TILE

6. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL FIELD DIMENSIONS WITH COUNTERTOPS AND

7. COORDINATE ALL SELECTED FINISHES WITH ARCHITECT. A PHYSICAL SAMPLE MUST BE SUBMITTED FOR FINAL APPROVAL BEFORE INSTALLATION.



- (5)

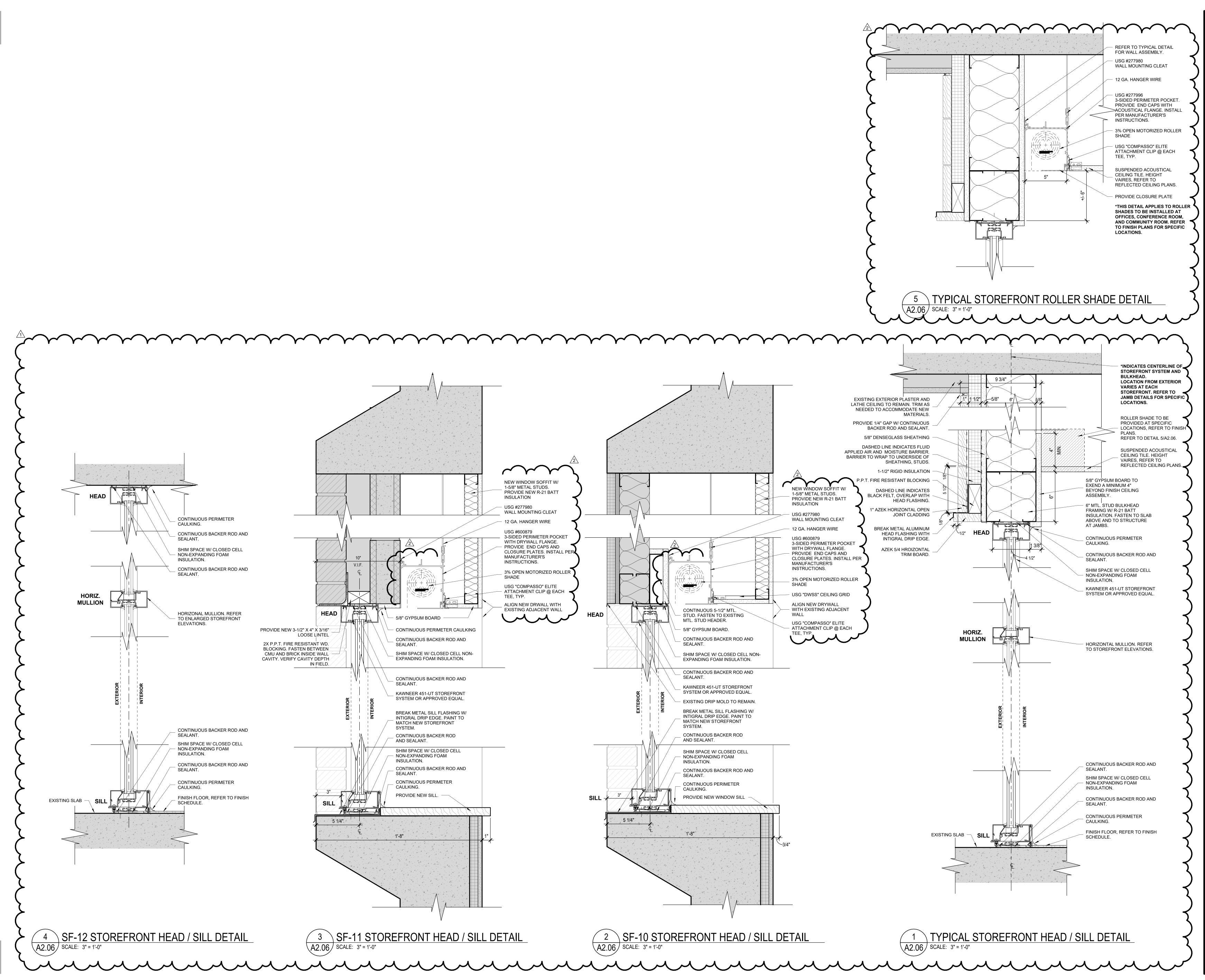
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2	2024.03.21 2024.04.26		NG AND PERMIT D FOR ADDENDUM 3
	R PLAN LE	GENID	
		JENU	
		G WALL <sup>-</sup>	O BE DEMOLISHED
	EXISTING	G WALL <sup>-</sup>	O REMAIN.
		-	CONSTRUCTED. REFER
	TO WALL	IYPES.	
		IBLE PA	Ή.
	21		
	ACCESS	IBLE UNI	T LOCATION.
	AUDIO / '	VISUAL l	INIT LOCATION.
		_	
	D NOTES S		
	L UNLESS NOT		$\bigcirc$
D1 RI			XISTING WALL AND ANY
AS	SSOCIATED U	<b>FILITIES</b>	OR EQUIPMENT. XISTING WALL TO
A0 S0	CCOMMODATE	E NEW DO	DOR. REFER TO DOOR DOR SIZE.
IT	S ENTIRETY.		
VI		M REST	TILE FLOORING AND ROOM. PREPARE SUBFLOOR
D5 RI	EMOVE EXIST	NG FLO	HES. DRING AND VINYL BASE. D RECEIVE NEW FLOORING.
D6 RI		NG WAL	L IN ITS ENTIRETY UP TO
D21 RI SI	EMOVE EXISTI HAFT. REMOVI	NG MET. E MISCE	AL TRASH CHUTE FROM
	ROUND CHUTE		
DEMOL	ITION GENER	AL NOTE	<u>:S</u>
DESCR	RIBED. THE CO	NTRACT	ON IS GENERALLY OR IS RESPONSIBLE FOR
ALL DE	MOLITION WC	RK REQ	JIRED TO ACCOMMODATE ROPOSED WORK.
AND DI	JRING DEMOL	ITION AN	STING WORK PRIOR TO
	SAFE TO REM		H BRACING AND
COORE	DINATE AND C	OOPERA	VENDOR SHALL TE WITH OTHER TRADES.
CONTR	RACTOR.		
DEMOL		TIONS AN	TWORK ENCOUNTERED IN ID CEILINGS WHICH ARE JTED
AND CO SHALL WALLS	ONCEALED. TH BE CAPPEDAN , OR CEILING.	IOSE WH	HICH ARE ABANDONED EALED IN THE FLOOR,
NEWLE DEMOL	Y ENCOUNTE	RED PIP /ERE NO	SIBLE TO FIRESTOP ES AND CONDUITS DUE TO T PREVIOUSLY RENTLY FIRESTOPPED.
CAUSE		TION. RE	XISTING CONSTRUCTION PAIR TO MATCH
TURNE	D OVER TO TH	HE OWNE	TO BE REMOVED AND ER SHALL BE IDENTIFIED
BY THE PRIOR STORE	E OWNER AND TO THE BEGIN D ON SITE AT	OR ARC	
	PROJECTING		FACE MOUNTED ITEMS
NOT PA REMO\ AND PE	ART OF WORK /ED. CONTRAC ENETRATIONS	AND/OR CTOR TO TO MAT	ABANDONED SHALL BE PATCH AND FILL HOLES CH EXISTING.
NEW W	ORK. THIS INC	CLUDES	SURFACES TO ACCEPT PATCHING AND NS FROM REMOVED
DUCTV PATCH	VORK, VENTS, ING AND NEW	DOOR F	RAMES, ETC. ALL LL TO BE FLUSH AND
	I EXISTING. R <b>PLANS AND I</b>	INISHE	
1. ALIG		WITH E	XISTING, PATCH TO
			E TO FINISH FACE UNLESS IONS TO OPENINGS ARE
TO CEN RESPO	NTER OF OPEN	NING. TH ELD VER	E CONTRACTOR IS IFY THE EXISTING
CONDI		RUCTIO	N DIMENSIONS, AND
	ALLA		
Alx	ATE OF ON		
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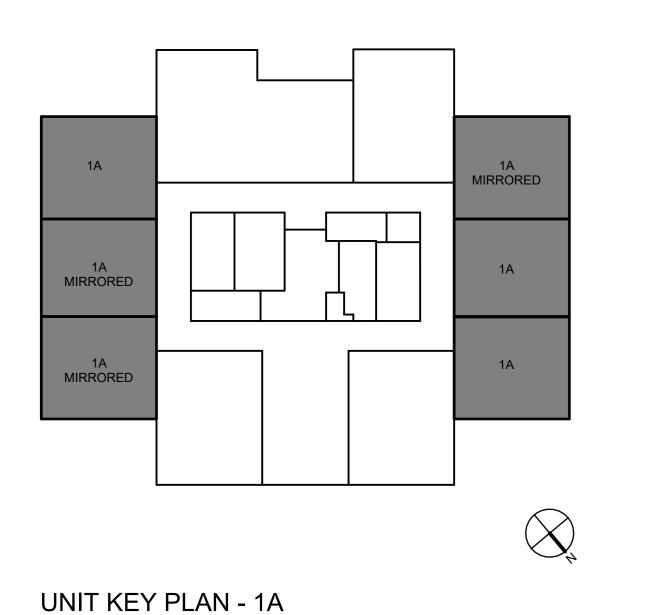




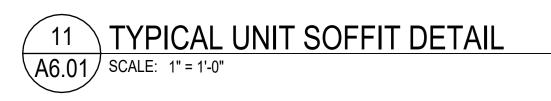
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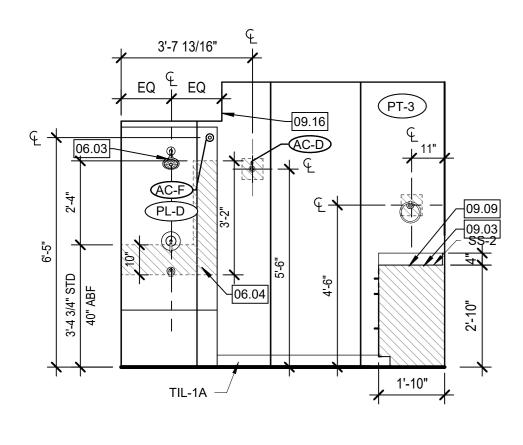
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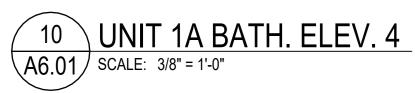


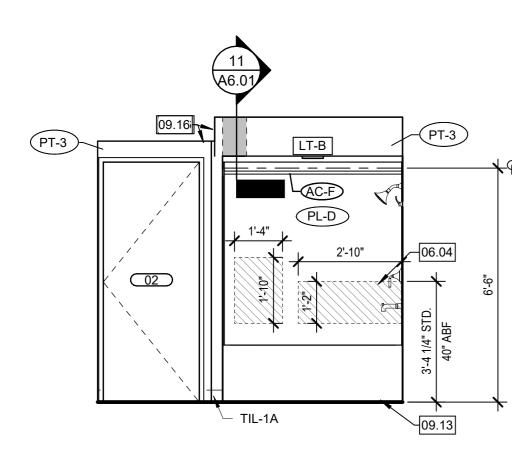


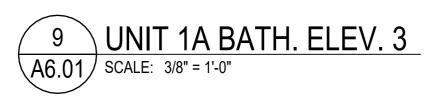
CEILING HEIGHT

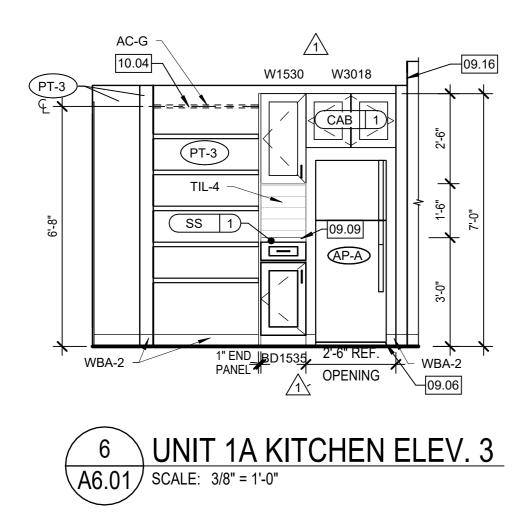








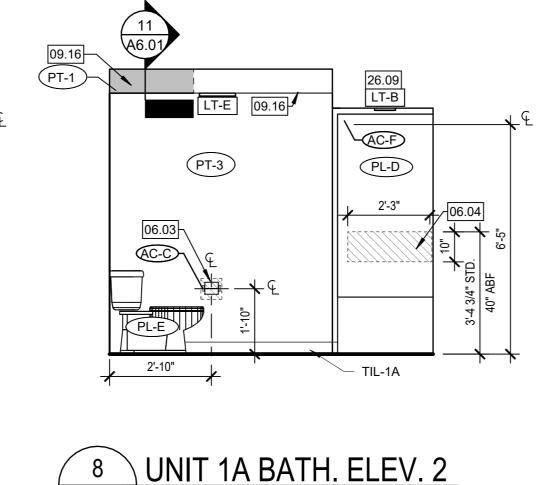




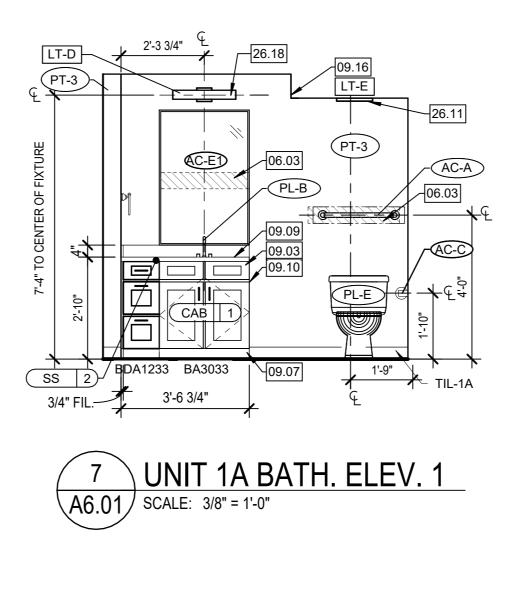
KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL

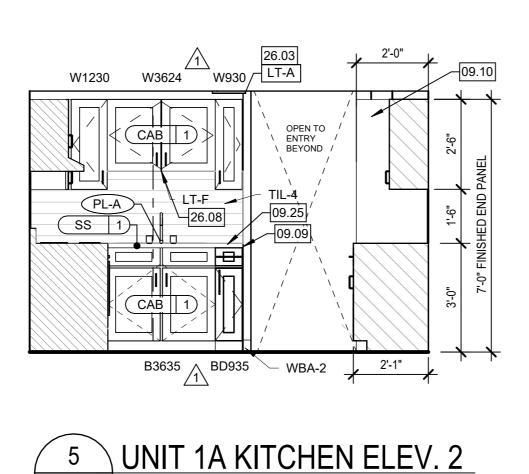
- D1 REMOVE PORTION OF EXISTING WALL AND ANY ASSOCIATED UTILITIES OR EQUIPMENT.
- D3 REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
- D6 REMOVE EXISTING WALL IN ITS ENTIRETY UP TO STRUCTURAL DECK.
  D12 REMOVE ALL EXISTING FLOORING AND VINYL BASE IN ENTIRE DWELLING UNIT. PREPARE
- SUBFLOOR TO RECEIVE NEW FLOORING.D13REMOVE ALL EXISTING LIGHT FIXTURES IN<br/>ENTIRE DWELLING UNIT.D14REMOVE EXISTING SINK, CABINETS,
- APPLIANCES, COUNTERTOP AND HARDWARE FROM KITCHEN AREA. APPLIANCES IN GOOD CONDITION ARE TO BE SALVAGED AND STORED, COORDINATE WITH OWNER. D16 REMOVE IN-WINDOW HEAT PUMP UNIT.
- EXISTING ASSOCIATED DUCTWORK TO REMAIN AND BE CLEANED. D17 REMOVE ALL EXISTING TILE FLOORING, BASE, PLUMBING FIXTURES, GRAB BARS, AND
- MIRRORS FROM BATHROOM. D18 REMOVE EXISTING ACCORDIAN DOOR AND
- ASSOCIATED TRACK, FRAME AND HARDWARE. D20 REMOVE ALL EXISTING CLOSET SHELVING.

CEILING LEGEND								
	EXISTING CEILING TO REMAIN; PAINT PT-1							
	NEW GYP. BD. CEILING TO BE ALIGN WITH EXISTING CEILING HEIGHT; PAINT PT-1							
	EXISTING GYP. BD. CEILING TO REMAIN; PT-1							
UNIT CEILING FIXTURE LEGEND								
$\bigcirc$	LT-A	11" SURFACE MOUNT PUCK LIGHT						
0	LT-B	7" SURFACE MOUNT PUCK LIGHT - WET RATED						
$\odot$	LT-C	ISLAND PENDANT						
	LT-D	24"W VANITY WALL SCONCE						
	LT-E	BATHROOM EXHAUST FAN						
	LT-F	TAPE LIGHT - OVER SINK						

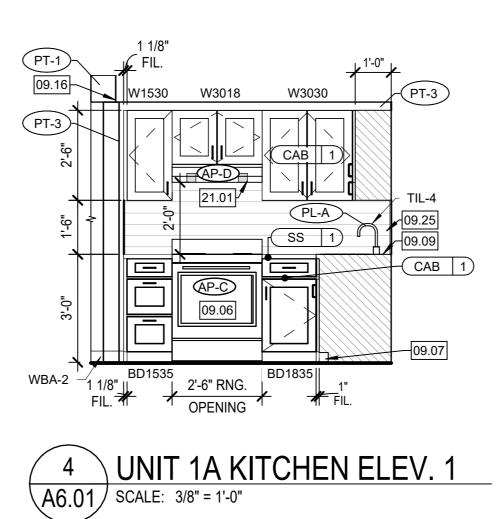


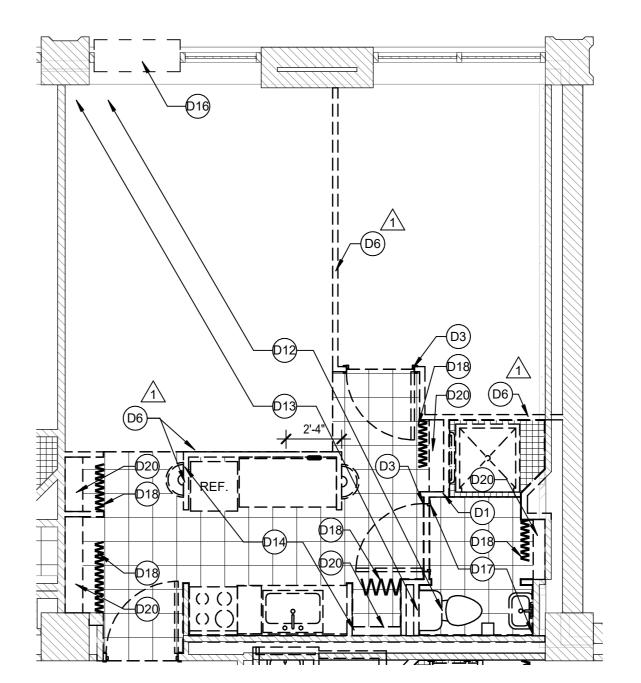
A6.01 SCALE: 3/8" = 1'-0"



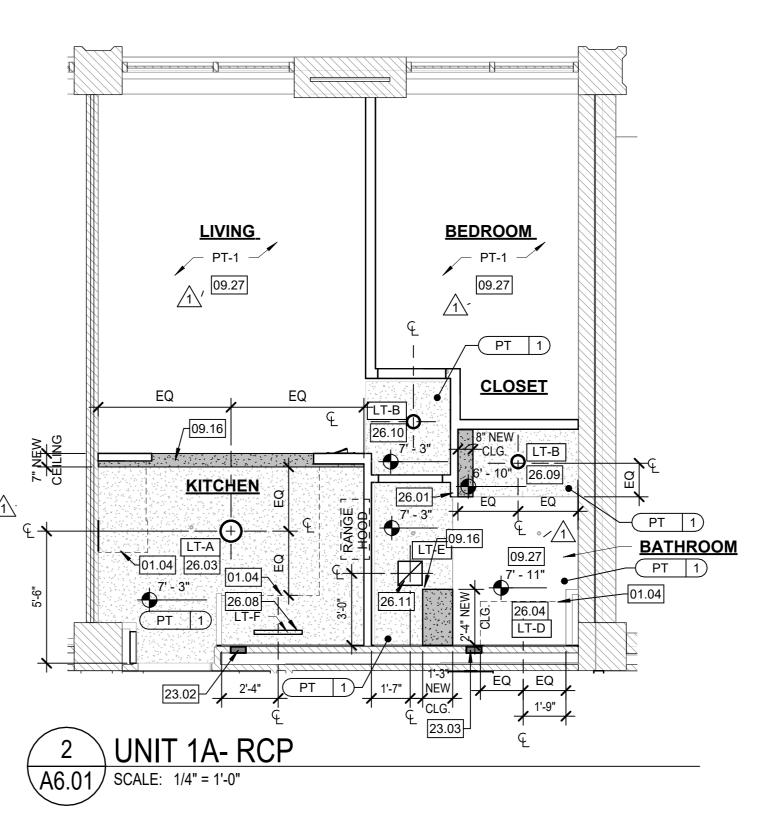


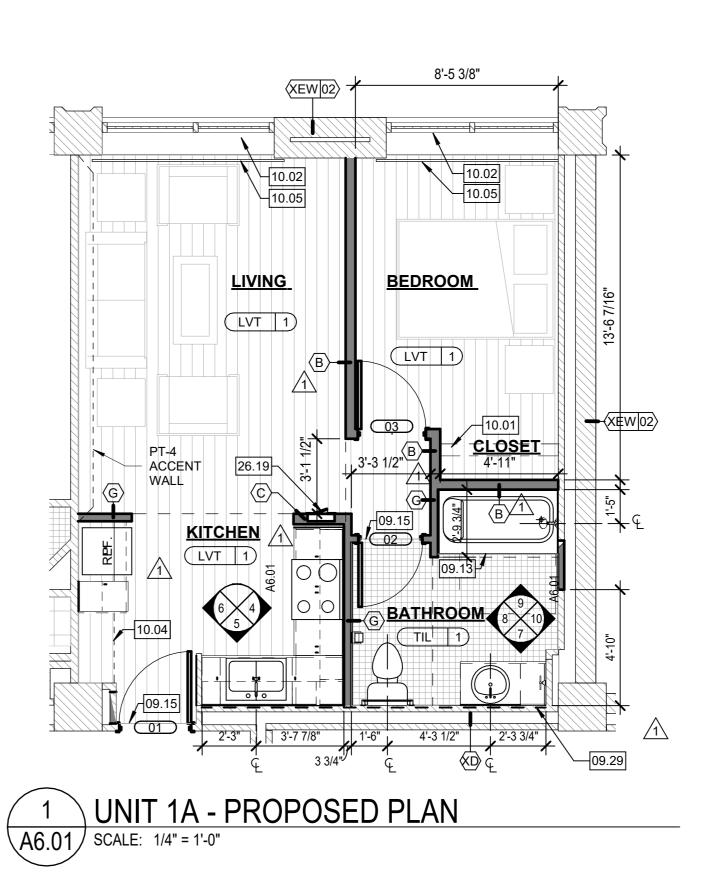
A6.01 SCALE: 3/8" = 1'-0"





3 UNIT 1A - DEMO A6.01 SCALE: 1/4" = 1'-0"





### **GENERAL NOTES - ENLARGED UNIT PLANS**

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.

2. REFER TO SHEET G0.03 FOR ACCESSIBLE DETAILS TO FOLLOW.

3. THE FOLLOWING SCOPE OF WORK IS FOR ALL TYPICAL UNITS UNLESS OTHERWISE NOTED; REFER TO PLANS FOR ADDITIONAL SCOPE:

GENERAL UNIT:

A. REPAIR DRYWALL & WATER DAMAGE THROUGHOUT UNITS.
INSULATE WHERE POSSIBLE.
B. PAINT ALL WALLS (EGGSHELL FINISH), CEILINGS & SOFFITS (FLAT FINISH), AND DOORS & TRIM (SATIN FINISH) WITH ONE COAT

PRIMER AND 2 COATS PAINT. B1. PROVIDE ACCENT WALL IN LIVING. REFER TO FINISH SCHEDULE & ENLARGED UNIT PLANS. B2. ALL DRYWALL WALLS AND CEILINGS ARE TO RECEIVE LEVEL 4 FINISH PER STM C840 STANDARDS. USE TUFF-HIDE AT ALL JOINTS. C. PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT CORRIDOR ON

DOOR LEVER SIDE. D. PROVIDE NEW GLUE-DOWN VINYL PLANK FLOORING THROUGHOUT UNIT - EXCEPT BATHROOM; PREP FLOOR PER MANUFACTURERS INSTALL REQUIREMENTS. D1. REMOVE ALL EXISTING FLOORING (CARPET, TILE, VCT, ETC.) THROUGHOUT UNIT DOWN TO

CONCRETE/ SUBFLOORING. E. PROVIDE NEW WOOD BASE THROUGHOUT - EXCEPT BATHROOMS. REFER TO FINISH SCHEDULE WBA-2. F. REPLACE ALL EXIST. LIGHT FIXTURES, OUTLETS, SWITCHES AND COVER PLATES. NEW SWITCHES, GFCI OUTLETS & COVER PLATES, ETC. TO BE LEGRAND RADIANT IN WHITE. LIGHT FIXTURES TO BE LED.

F1. ALL TO BE INSTALLED AT ACCESSIBLE HEIGHTS. G. PROVIDE NEW HARDWIRED COMBO CO/SMOKE DETECTORS IN ALL UNITS. CONCEAL WIRING IN WIRE MOULD AND PAINT TO MATCH CEILING. HVI AND MOBILITY UNITS TO RECEIVE STROBES. H. INSTALL CARBON MONOXIDE DETECTORS IN ALL UNITS. I. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS. THE NEW BLINDS SHALL BE VINYL. INSTALL DOUBLE CURTAIN RODS.

J. INSTALL VENTED CLOSET SHELVING IN ALL CLOSETS (WHITE). TENSION ROD & CURTAINS TO BE INSTALLED ON ALL CLOSET AND PANTRY DOORS (CURTAINS PROVIDED BY OWNER). K. EXIST. HANGERS, NAILS, ETC. IN WALLS AND CEILINGS TO BE

REMOVED AND PATCHED. L. PROVIDE SHUT OFF VALVES AT ALL PLUMBING FIXTURES. M. INSTALL SANITARY CLEANOUT. N. REPLACE ALL SEWER AND WATER LINES. PROVIDE WATER MAIN SHUT OFF VALVES FOR EACH RISER AND/OR BRANCH. O. COVER CMU WALLS WITH DRYWALL. NEW DRYWALL PAINTED EGGSHELL FINISH.

P. REPLACE APARTMENT ENTRY DOORS. NEW DOORS ARE T BE STAINED WOOD DOORS. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS. Q. REPLACE ALL INTERIOR DOORS WITH PAINTED SOLID CORE WOOD DOORS; REPLACE DOORFRAMES WITH METAL FRAMES.

EXISITNG FRAMES MAY REMAIN IF IN GOOD SHAPE AND INTERIOR WALLS REMAIN. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS. R. INSTALL CARD ACCESS LOCKS ON ALL APARTMENT ENTRIES.

S. UPGRADE EXISTING ELECTRICAL SYSTEM. PROVIDE NEW MAIN INCOMING SERVICES AND FEEDS, IF NEEDED. WIRE MOLD WILL BE REQUIRED. T. REPLACE WINDOW HEAT PUMPS.

U. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS WITH NEW VINYL BLINDS WB-1 THROUGHOUT ALL UNITS. INSTALL DOUBLE CURTAIN RODS (PROVIDED BY OWNER). V. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING/SOFFIT FINNISH. W. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.

### KITCHEN:

A. REPLACE SINK, FAUCET, AND APPLIANCES. NEW RANGES TO BE ELECTRICAL. A1. G.C. TO PROVIDE NEW APPLIANCES. CMHA MAINTENANCE TO DETERMINE A NUMBER OF OLD

APPLIANCES TO SALVAGE; G.C. TO REMOVE/DISPOSE OF REMAINING APPLIANCES, CMHA TAGS TO BE RETURNED. B. PROVIDE NEW SOLID SURFACE COUNTERTOP WITH SURFACE MOUNT SINKS AND RADIUS EDGES. INCLUDE 2" X 8" CERAMIC TILE BACKSPLASH & SIDESPALSH. INSTALLATION: HORIZONTAL STACKED. SEALANT TOP OF BACKSPLASH TO MATCH

COUNTERTOP. C. PROVIDE NEW 30" WIDE VENTLESS RANGE HOOD IN STAINLESS STEEL FINISH. INSTALL (2) FIRESTOP CANISTERS UNDER HOOD. D. PROVIDE NEW ENERGY STAR REFRIGERATOR IN STAINLESS

STEEL FINISH. E. PROVIDE NEW 30" WIDE ELECTRIC RANGE WITH ANTI-TIP BRACKETS W/ BLACK/ WHITE FINISH. F. REMOVE EXIST. GREASE SHIELD AT RANGES.

G. PROVIDE NEW CABINETS WITH ANSI/KCMA A161.1 CERTIFIED CABINETS. G1. PROVIDE LOOP HANDLES, CHROME FINISH. H. PROVIDE NEW TOP-MOUNT SINGLE-BOWL STAINLESS STEEL

SINK. I. PROVIDE NEW LEVER STYLE KITCHEN FAUCET (<2.2 GPM). PROVIDE ANTI-SCALD FAUCET.

BATHROOM: A. REPLACE FLOORING WITH NEW CERAMIC TILE FLOOR & COORDINATING TILE WALL BASE. 1. SEAL / CAULK PERIMETER OF FLOORING ALONG ENTIRE PERIMETER PRIOR TO INSTALLING BASE.

B. PROVIDE NEW COMFORT HEIGHT (ADA COMPLIANT) 1.28 LOW-FLOW TOILETS. INSTALL TO INCLUDE NEW WAX RING. CAULK PERIMETER OF TOILET AT FLOOR.
C. TUB/ SHOWER C1. PROVIDE NEW SHOWER, INCLUDING SHOWER PAN.
PROVIDE NEW TUB IF SPACE ALLOWS. REFER TO ENLARGED

PROVIDE NEW TUB IF SPACE ALLOWS. REFER TO ENLARGED UNIT PLANS C2. PROVIDE ACCESS PANEL TO ALL TUB

DRAINS/MIXING VALVE. C3. CAULK SHOWER/TUB AT FLOORS AND WALL TILES. PROVIDE QUARTER ROUND PVC TRIM AT BASE OF SHOWER/TUB

C5. PROVIDE NEW <2.0 GPM & WATERSENSE LABEL SHOWERHEAD. C6. INSTALL NEW PRESSURE-BALANCED LEVER FAUCET, STAINLESS COVER PANEL, AND MIXING

VALVE. D. PROVIDE NEW LEVER STYLE WATER-SENSE FAUCET WITH <1.5 GPM AT SINKS. PROVIDE PRESSURE BALANCED FAUCET WITH ANTI-SCALD. E. PROVIDE NEW CABINETS WITH ANSI/KCMA A161.1 CERTIFIED

CABINETS & CULTURED MARBLE INTEGRAL OVAL SINK WITH ROLLED EDGES AND 4" BACKSPLASH & SIDESPLASH. E1. PROVIDE LOOP HANDLES, CHROME FINISH. E2. SEALANT TOP OF BACKSPLASH TO MATCH COUNTERTOP.

F. PROVIDE NEW LED VANITY LIGHT. CENTER ON SINK & MIRROR. COST TO INCLUDE CUTTING AND RUNNING OF NEW WIRE. G. PROVIDE NEW ENERGY STAR EXHAUST FAN. PROVIDE NEW WIRING SO LIGHTING AND FAN ARE ON SEPARATE SWITCH. CLEANOUT EXIST.DUCTS. H. PROVIDE NEW MIRROR, 18" TOWEL BAR, TOWEL RING, AND TOILET PAPER HOLDER, CHROME FINISH.

#### DOOR & DOOR HARDWARE: A. UNIT ENTRY DOORS:

OPENING

A1. ALL UNIT ENTRY DOORS, FRAMES, AND HARDWARE ARE TO BE REPLACED AT EXISTING OPENINGS. REFER TO DOOR SCHEDULE AND SPECIFICATIONS. A2. PROVIDE BRUSHED DOOR SWEEPS AT ALL UNIT ENTRY DOORS. BASIS OF DESIGN: PEMKO 18100\_NB DOOR BOTTOM SWEEP, CLEAR ANODIZED ALUMINUM FINISH. A3. NEW DOORS AND FRAMES TO HAVE PAINTED FINISH.

REFER TO FINISH SCHEDULE. A4. PROVIDE OVERHEAD STOPS, CLOSERS, KICKPLATES AND DOOR VIEWERS AT ALL UNIT ENTRY DOORS. ALL 1-C ACCESSIBLE UNITS TO HAVE SECOD ADDITIONAL DOOR VIEWER AT 43" A.F.F. REFER TO SPECIFICATIONS. B. BEDROOM & BATHROOM DOORS: B1. ALL BEDROOM AND BATHROOM DOORS, FRAMES AND

HARDWARE ARE TO BE REPLACED. REFER TO DOOR SCHEDULE AND SPECIFICATIONS. B2. NEW DOORS AND FRAMES TO HAVE PAINTED FINISH. REFER TO FINISH SCHEDULE. C. CLOSETS:

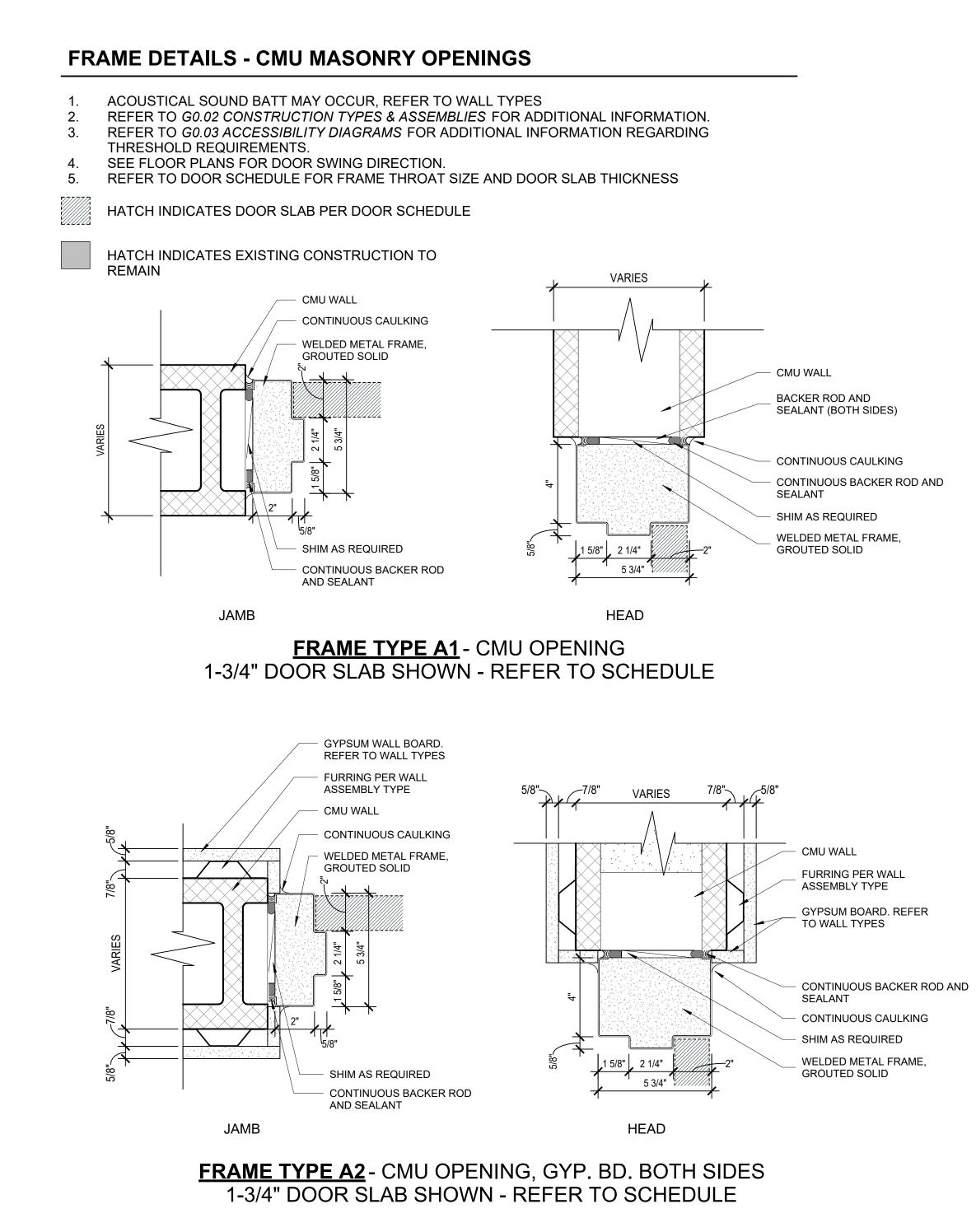
C1. EXISTING ACCORDIAN-STYLE CLOSET DOORS ARE TO BE REMOVED IN THEIR ENTIRETY. C2. CLOSETS ARE TO REMAIN "OPEN" WITH NO DOORS AT 1A AND 1B UNITS. PATCH AND PAINT WHERE PREVIOUS DOORS WERE REMOVED FOR SMOOTH FINISHED



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2 И Г. И Г. И Г.	2024.04.26	ISSUED FOR ADDENDUM 3
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01.04		NE REPRESENTS COUNTERTOP BELOW.
06.03	PROVIDE W	VOOD BLOCKING FOR BATHROOM
		NSTALL PER MANUFACTURER'S NDATIONS.
06.04		VOOD BLOCKING FOR FUTURE ION OF GRAB BARS TO FULLY
00.02	COMPLY W	AND INSTALL CONTINUOUS 4"H
09.03	BACKSPLA	SH AND SIDESPLASH AT ADJACENT
	SPECIFICA	E FINISH SCHEDULE FOR TIONS.
09.06	AND REFR	NISH WALL AND BASE BEHIND RANGE IGERATOR, TYP. ALL UNITS AND
09.07	COMMON /	AREA KITCHEN. " CABINET TOE KICK TO MATCH
03.07	-	Y FINISH. CUT TO LENGTH IF
09.09	PROVIDE A	ND INSTALL SILICONE JOINT
		SOLID SURFACE AND BACKSPLASH OR TO MATCH COUNTERTOP COLOR.
09.10 09.13		BINET SIDE PANEL. TER ROUND INSTALLED AT SHOWER
	BASE. TO E	BE SEALED.
09.15	TRANSITIC	LOOR TRANSITION STRIP. REFER TO IN DETAILS ON A6.00B.
09.16		V CEILING WITH EXISTING WALL AND EIGHT. PAINT PT-1.
09.25		X8" CERAMIC TILE AT BACKSPLASH VALL OF ALL UNIT KITCHENS. STACK
	HORIZONT	ALLY AND ALIGN GROUT JOINTS. CHLUTER JOLLY TRANSITION,
	CHROME F	INISH, AT EXPOSED EDGE AND TOP.
09.27		CONCRETE CEILING TO REMAIN. PAIR AS NEEDED AND PAINT PT-1.
09.29		NE INDICATES EXTENTS OF WALL TO CED WITH 5/8" TYPE X GYPSUM
		OM FLOOR TO CEILING IF REMOVAL
10.01		EXISTING PLUMBING STACKS. VHITE CLOSET SHELVING WITH
	ADDITION	OF HANG ROD.
10.02	WINDOWS	" VINLY BLINDS AT ALL UNIT . REFER TO FINISH SCHEDULE FOR
10.04		TION WB-1. ADJUSTABLE TENSION ROD AT ALL
		WEIGHTED CURTAIN TO BE BY OWNER.
10.05		DOUBLE DRAPERY ROD AT ALL UNIT REFER TO ACCESSORY SCHEDULE.
	CURTAIN F	PROVIDED BY TENANT.
$1^{21.01}$	EACH RAN	
23.02	EXHAUST	OF EXISTING KITCHEN VENTILATION. GRILL TO BE REPLACED. EXISTING
$\wedge$		K AND GRILL TO BE RELOCATED TO DATE NEW KITCHEN LAYOUT. REFER
<u>/1</u> 23.03	TO MECHA	NICAL DRAWINGS. OF EXISTING BATHROOM
20.00	VENTILATI	ON. EXHAUST GRILL TO BE D. EXISTING DUCTWORK AND GRILL
	TO BE REL	OCATED TO ACCOMMODATE NEW M LAYOUT REFER TO MECHANICAL
	DRAWINGS	S.
26.01	AND LIVING	SWITCHED OUTLET IN BEDROOMS G ROOM WHERE NO OVERHEAD
26.03		OCATED, TYPICAL ALL UNITS. IXTURE IN ROOM.
26.04	CENTER F	XTURE ON VANITY. XTURE ON KITCHEN SINK.
26.08 26.09		XTURE ON KITCHEN SINK. XTURE ON SHOWER.
26.10 26.11	-	XTURE ON DOOR/OPENING. XTURE ON WATER CLOSET.
26.18	CENTER F	XTURE ON LAVATORY SINK AND
26.19		OF NEW UNIT LOAD CENTER. REFER
	TO ELECT	RICAL DRAWINGS.

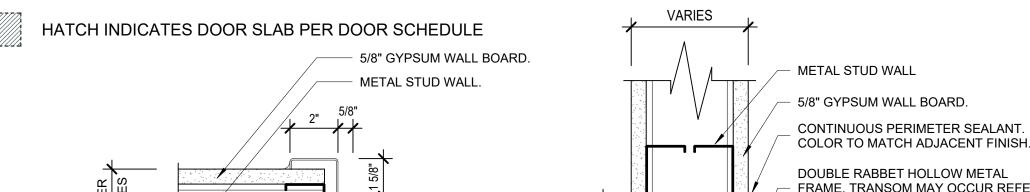


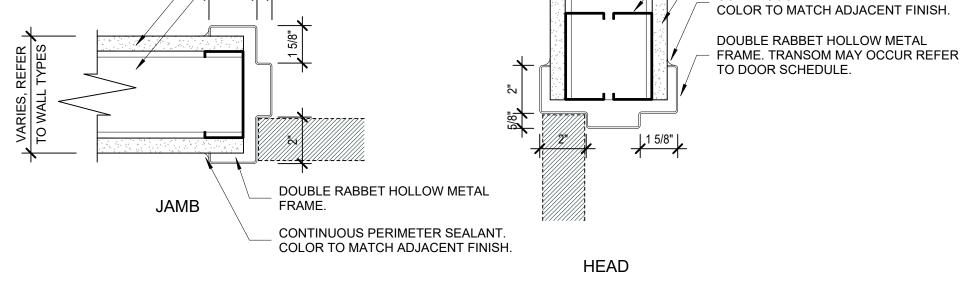




# FRAME DETAILS - METAL STUD OPENINGS

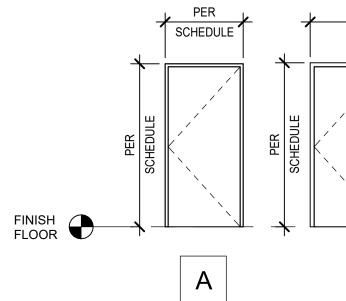
- ACOUSTICAL SOUND BATT MAY OCCUR, REFER TO WALL TYPES REFER TO G0.02 CONSTRUCTION TYPES & ASSEMBLIES FOR ADDITIONAL INFORMATION.
- REFER TO G0.03 ACCESSIBILITY DIAGRAMS FOR ADDITIONAL INFORMATION REGARDING THRESHOLD REQUIREMENTS. 4
- SEE FLOOR PLANS FOR DOOR SWING DIRECTION. REFER TO DOOR SCHEDULE IFOR FRAME THROAT SIZE AND DOOR SLAB THICKNESS

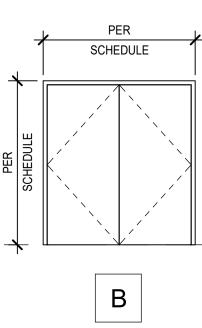


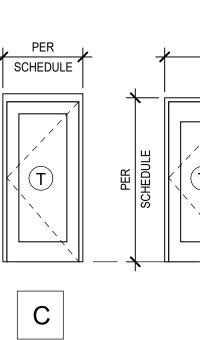


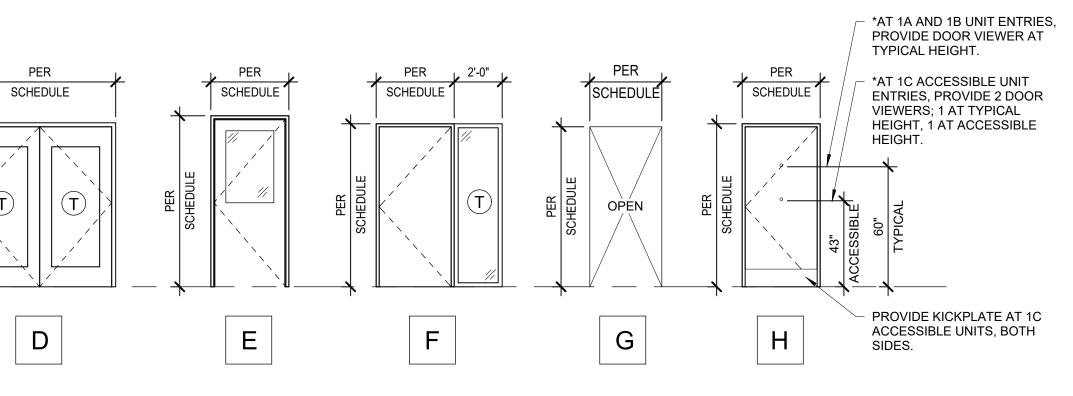
FRAME TYPE B - METAL STUD OPENINGS 1-3/4" DOOR SLAB SHOWN - REFER TO SCHEDULE

							DC	OR SCHEDULE	- COMMOI	N AREAS					
	LOCATION			DOOR			SIZE		FI	RAME		THRESHOLD	HARDWA	FIRE ARE RATING	
NUMBER	ROOM	NAME	TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE	MATERIAL	FINISH T	YPE MATE		(MIN.)	REMARKS
LOWER LEV	VEI														
	ELEVATOR LOBBY		A	IHM	PT-8	6' - 8"	3' - 6"	1 3/4"	В	HM	PT-8		001		
	ELECTRICAL		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	A HM	PT-8		002		
	ELECTRICAL		В		PT-8	7' - 0"	6' - 0"		-		PT-8		003		
	TRANSFORMER		B		PT-8 PT-8	<u> </u>	6' - 0" 6' - 0"	1 3/4"	- A1		PT-8 PT-8		003		
		R HEATERS	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A1 A2	HM	PT-8		004		
	STORAGE		B	IHM	PT-8	6' - 8"	5' - 0"	1 3/4"	A2	HM	PT-8		006		
	FITNESS / REHAB		E	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8		007		
	CORRIDOR MAINTENANCE GAR		A	IHM	PT-8 PT-8	6' - 8"	3' - 0"	1 3/4" 1 3/4"	B	HM	PT-8 PT-8		007		
	MAINTENANCE GAR		A B		PT-8	6' - 8" 6' - 8"	3' - 0"	1 3/4"	A2 A1	→ HM	PT-8		008		
	ENTRY		C	(IHM)	PT-8	7' - 0"	3' - 0"		-		PT-8		010		
	ENTRY		A	IHM	PT-8	7' - 0"	3' - 6"	1 3/4"	A2	HM	PT-8		011		
	STORAGE		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A1	HM	PT-8		012		
S-B0 GROUND FL			A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8		013	90	
	VESTIBULE		D	AL/TG	PF	7' - 0"	6' - 0"		_	AL	PF				
	VESTIBULE		D	AL/TG	PF	7' - 0"	6' - 0"		-	AL	PF		015		
	CORRIDOR		F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	В	HM	PT-8		016		
			A	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-8		017		
	OPEN OFFICE OPEN OFFICE		F C	IHM AL/TG	PT-8 PF	6' - 8" 7' - 0"	2' - 10" 3' - 0"	1 3/4"	B -	HM AL	PT-8 PF		018		
	STAFF RESTROOM		C	IHM	PF PT-8	6' - 8"	3' - 0"	1 3/4"	- B	HM	PT-8		019		
	STORAGE CLOSET		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-8		021		
106	IT		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	В	HM	PT-8		022		
	OFFICE		A	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B		PT-8		023		
	OFFICE UTILITY		A A	IHM HM	PT-8 PT-8	6' - 8" 6' - 8"	2' - 10" 3' - 0"	1 3/4" 1 3/4"	B A2		PT-8 PT-8		023		
	COMMUNITY ROOM	1	F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B		PT-8		025		
110B	COMMUNITY ROOM	1	F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	В	A HM	PT-8		026		
	WOMEN'S RR		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2		PT-8		007		
	MEN'S RR CONFERENCE ROC		A	IHM IHM	PT-8 PT-8	6' - 8" 6' - 8"	3' - 0" 2' - 10"	1 3/4" 1 3/4"	A2 B		PT-8 PT-8		007		
	SERVICES				F 1-0	0-0	2 - 10	1 3/4	D	I IIVI	F 1-0		021		
	CUSTODIAN		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8		024		
	FIRE COMMAND		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	В	HM	PT-8		028	45	
	VENDING FURNITURE CLOSE	<u>.</u>	G	- IHM	- PT-8	0' - 0" 6' - 8"	0' - 0" 3' - 0"	1 3/4"	- B	- HM	- PT-8		029		
	STAIR A	. I	A	IHM	PT-8	7' - 0"	3' - 0"	1 3/4"	A2	→ HM	PT-8		028	90	
	STAIR B		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2		PT-8		030	90	
2ND - 15TH F															
	STAIR A		A	IHM	PT-8 PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8 PT-8		013	90	
	STAIR B TERRACE		A C	AL/TG	PT-0 PF	6' - 8" 7' - 0"	3' - 0" 2' - 10"	1 3/4"	A2 -	HM AL	PT-0 PF		013	90	
	ELEVATOR LOBBY		B	IHM	PT-8	6' - 8"	6' - 0"	1 3/4"	A2	HM	PT-8		032	45	
	ELEVATOR LOBBY		В	IHM	PT-8	6' - 8"		1 3/4"	A2	HM	PT-8		033	45	
			A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8		034	45	
	UTILITY CUSTODIAN		A A	IHM IHM	PT-8 PT-8	6' - 8" 6' - 8"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	A2 A2	HM HM	PT-8 PT-8		035	45	
	TERRACE		C	AL/TG	PT-0	7' - 0"	2' - 10"	1 3/4	-	AL	PF		031		
PENTHOUS															
	STAIR B		A	IHM	PT-8	7' - 0"	3' - 0"	1 3/4"	A1	HM	PT-8		024	90	
S-BP	STAIR B		A	IHM	PT-8	7' - 0"	3' - 0"	1 3/4"	A1	HM	PT-8		036	90	
								DOOR SCHED	ULE - UNI	T 1A					
LOCATION	_	DESC	RIPTION			SIZE		FRAME		1	THRESHOLD		FIRE		
NUMBER	ROOM NAME	TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE MATER		IISH TYI	PE MATERIAL	HARDWARE	RATING (MIN.)		REMARKS
		⊑				∧							(		
	UNIT ENTRY	Н	IHM	PT-10		2 3' - 0"	1 3/4"	B HM		)		TU-01.1	20		
	BATHROOM	A	SCW	PT-2	6' - 8"	2' - 8"	1 3/4"	B HM	PT-2			TU-02.1			
03	BEDROOM	A	SCW	PT-2	6' - 8"	2' - 10	1 3/4"	B HM				TU-02.1			
								DOOR SCHED	ULE - UNI						
LOCATION		DESC	RIPTION			SIZE		FRAME		Т	HRESHOLD		FIRE		
NUMBER	ROOM NAME	TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS		IAL FIN	ISH TYF	PE MATERIAL	HARDWARE SET	RATING (MIN.)		REMARKS
						I						1			
	UNIT ENTRY	H	IHM	PT-10	6' - 8"	3' - 0"	1 3/4"	B HM	PT-10			TU-01.2	20		
	BEDROOM	A	SCW	PT-2 PT-2	6' - 8"	2' - 10"	1 3/4" 1 3/4"	B HM B HM	PT-2 PT-2			TU-02.1			
03	BATHROOM	A	SCW	<b>ГІ-</b> 2	6' - 8"	2' - 10"	1 3/4			T 40		TU-02.1			
	1				T			DOOR SCHED							
LOCATION	4	DESC	RIPTION	_		SIZE		FRAME			THRESHOLD	HARDWARE	FIRE E RATING		
1	ROOM NAME	TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE MATER		IISH TY	PE MATERIAL		(MIN.)		REMARKS
NUMBER				<b>I</b>											
							4 0/4								
01		Н	IHM	PT-10	6' - 8"	3' - 0"	1 3/4"	B HM		0		TU-01.1	20		
01 03	UNIT ENTRY BATHROOM BEDROOM	H A A	IHM SCW SCW	PT-10 PT-2 PT-2	6' - 8" 6' - 8" 6' - 8"	3' - 0" 3' - 0" 3' - 0"	1 3/4" 1 3/4" 1 3/4"	B HM B HM B HM	PT-2	0		TU-01.1 TU-02.1 TU-02.1	20		











The Offices at the Agora 5000 Euclid Avenue, Suite 104 Cleveland, OH 44103 LDAarchitecture.com 216.932.1890

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
•	2024.03.21	BIDDING AND PERMIT
2	2024.04.26	ISSUED FOR ADDENDUM 3

DOOR SCHEDULE LEGEND ABBREVIATIONS - MATERIALS

ABBREVIA	<u>TIONS - MATERIALS:</u>
AL	ALUMINUM
ETR	EXISTING TO REMAIN
HM	HOLLOW METAL
IHM	INSULATED HOLLOW METAL
MTL	METAL
PT	PAINT
PF	PRE-FINISHED
SCW	SOLID CORE WOOD
TG	TEMPERED GLASS
	TEMPERED GLASS

DOOR SCHEDULE GENERAL NOTES 1. ALL EXISTING DOORS, FRAMES AND HARDWARE ARE TO BE REPLACED UNLESS NOTED OTHERWISE. REFER TO DOOR SCHEDULE.

2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DOOR OPENING DIMENSIONS IN FIELD PRIOR TO ORDERING WHERE NEW DOORS AND FRAMES ARE BEING PROVIDED AT EXISTING OPENINGS. NOTIFY ARCHITECT OF ANY DISCREPENCIES.

3. ALL DOORS AND FRAMES ARE TO HAVE A PAINTED FINISH UNLESS NOTED OTHERWISE. REFER TO FINISH SCHEDULE.

4. ANSI 404.2.7: A) DOOR CLOSERS SHALL BE ADJUSTED SO THAT FORM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHAL BE 5 SECOND MINIMUM. B) DOOR SPRING HINGES SHALL BE ADJUSTED SO THAT FOROM AN OPEN POSITION OF 70 DEGREES, THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM.

5. ANSI 404.2.9: DOOR SURFACES WITHIN 10 INCHES OF THE FLOOR, MEASURED VERTICALLY, SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR.

6. REFER TO ACCESSIBLITY STANDARD SHEET G0.03 FOR ALL REQUIRED DOOR APPROACHES AND CLEARANCES REQUIRED.

