

MARQUETTE MANOR APARTMENTS

INTERIOR & EXTERIOR IMPROVEMENTS

1999 SUTTER AVENUE, CINCINNATI, 45225

DRAWING LIST

NUMBER DESCRIPTION

01 TITLE AND CODE DRAWINGS
G0.01 COVER SHEET
G0.02 CODE DATA & LIFE SAFETY
G0.03 ACCESSIBILITY STANDARDS

02 SITE PLANS
AS.01 DEMOLITION SITE PLAN
AS.02 PROPOSED SITE PLAN
AS.03 ENLARGED SITE PLAN - NORTH PARKING LOT
AS.04 SITE DETAILS
AS.05 SITE DETAILS
L1.01 PROPOSED LANDSCAPE PLANS
L1.02 LANDSCAPE DETAILS

03 ARCHITECTURAL DEMOLITION DRAWINGS
D1.01 OVERALL BASEMENT LEVEL DEMOLITION PLAN
D1.02 OVERALL GROUND FLOOR DEMOLITION PLAN
D1.03 OVERALL 2ND-15TH FLOOR DEMOLITION PLAN

04 ARCHITECTURAL DRAWINGS
A1.01 OVERALL BASEMENT LEVEL PLAN - PROPOSED
A1.02 OVERALL GROUND FLOOR PLAN - PROPOSED
A1.03 OVERALL 2ND - 15TH FLOOR PLAN - PROPOSED
A1.04 OVERALL PENT HOUSE LEVEL PLAN
A2.01 EXTERIOR ELEVATIONS - NORTH AND EAST
A2.02 EXTERIOR ELEVATIONS - SOUTH AND WEST
A2.03 ENLARGED EXTERIOR ELEVATIONS
A2.04 ENLARGED EXTERIOR ELEVATIONS - STOREFRONTS
A2.05 TYPICAL STOREFRONT DETAILS
A3.01 BUILDING SECTION
A3.02 BUILDING SECTION
A4.01 PROPOSED CANOPY PLANS
A4.02 PROPOSED CANOPY ELEVATIONS AND DETAILS
A4.03 PROPOSED CANOPY PLANS
A5.01 OVERALL BASEMENT LEVEL REFLECTED CEILING PLAN
A5.02 OVERALL GROUND FLOOR REFLECTED CEILING PLAN
A5.03 OVERALL 2ND FLOOR - PENTHOUSE LEVEL REFLECTED CEILING PLAN
A6.00A INTERIOR DETAILS
A6.00B INTERIOR DETAILS
A6.00C INTERIOR DETAILS
A6.01 ENLARGED UNIT PLAN - 1A
A6.02 ENLARGED UNIT PLAN - 1B
A6.03 ENLARGED UNIT PLAN - 1C
A6.10 BASEMENT FINISH PLAN
A6.11 GROUND FLOOR FINISH PLAN
A6.12 2ND - 15TH FLOOR FINISH PLAN
A6.13 COMMON AREA INTERIOR ELEVATIONS
A6.14 COMMON AREA INTERIOR ELEVATIONS
A6.15 ENLARGED RESTROOM PLANS
A7.00 DOOR SCHEDULES AND DETAILS
A7.01A INTERIOR SCHEDULES
A7.01B INTERIOR SCHEDULES
A8.00 SIGNAGE DETAILS
A8.01 BASEMENT SIGNAGE PLAN
A8.02 FIRST FLOOR SIGNAGE PLAN
A8.03 2ND - 15TH FLOOR SIGNAGE PLAN
A8.04 PENTHOUSE SIGNAGNE & SIGNAGE DETAILS

STRUCTURAL DRAWINGS
S001 GENERAL NOTES
S1.01 FOUNDATION PLAN
S002 SPECIAL INSPECTIONS
S151 ENLARGED CANOPY PLANS
S152 ENLARGED CANOPY PLANS
S201 TYPICAL FOUNDATION DETAILS & SECTIONS
S211 TYPICAL FOUNDATION DETAILS & SECTIONS
S301 TYPICAL FRAMING DETAILS & SECTIONS

PLUMBING DRAWINGS
P0.01 PLUMBING SPECIFICATIONS
P0.02 PLUMBING SCHEDULES & DETAILS
P0.03 PLUMBING STACK AND RISER DIAGRAMS
P1.01 BASEMENT PLUMBING PLAN
P1.02 GROUND FLOOR PLUMBING PLAN
P1.03 TYPICAL FLOORS 2-15 PLUMBING PLAN
P2.01 TYPICAL UNIT PLUMBING PLAN

MECHANICAL DRAWINGS
M0.01 MECHANICAL SPECIFICATIONS
M0.02 MECHANICAL SCHEDULES & DETAILS
M1.01 BASEMENT MECHANICAL PLAN
M1.02 GROUND FLOOR MECHANICAL PLAN
M1.03 TYPICAL FLOORS 2-15 MECHANICAL PLAN
M1.04 PENTHOUSE MECHANICAL PLAN
M2.01 TYPICAL UNIT MECHANICAL PLAN

ELECTRICAL DRAWINGS
ES.01 ELECTRICAL SITE PLAN
E0.01 ELECTRICAL SPECIFICATIONS
E0.02 ELECTRICAL SPECIFICATIONS
E0.03 LIGHTING DETAILS AND POWER RISER DIAGRAM
E0.04 PANEL SCHEDULES
E1.00 LOWER LEVEL LIGHTING PLAN

GENERAL NOTES

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES, FIRE SAFETY CODES AND REGULATIONS, BUT NOT LIMITED TO, THE OHIO BUILDING CODE (OBC), ICC ANS1 117.1 ACCESSIBLE AND USABLE BUILDING AND FACILITIES AND FAIR HOUSING ACT GUIDELINES. ANY CONFLICTS BETWEEN THE WORK INDICATED WITHIN THESE DOCUMENTS AND RELATED CODES OR REGULATIONS NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- PROVIDE MEANS NECESSARY TO PROTECT THE STRUCTURE IN ALL RESPECTS FROM THE WEATHER, BUILDING HAZARDS, UNNECESSARY INTRUSIONS, AND FROM DUST, DIRT AND DEBRIS.
- MAKE ARRANGEMENTS IN 72 HOURS MINIMUM IN ADVANCE WITH THE OWNER FOR ANY INTERRUPTIONS OF UTILITY SERVICE.
- EACH CONTRACTOR AND VENDOR SHALL INSPECT THE SITE & BECOME FAMILIAR WITH ALL CONDITIONS AND CLEARANCES PRIOR TO SUBMITTING A PROPOSAL.
- ARCHITECT TO SUBMIT FOR GENERAL PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.
- ALL WORK SHALL BE COMPLETED IN A FIRST CLASS MANNER TO BETTER THAN ACCEPTED INDUSTRY STANDARDS.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS ON THE DRAWINGS CONFLICT WITH THE NOTES OR SPECIFICATIONS OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL APPLY. ANY SUCH CONFLICT SHALL BE REPORTED TO THE ARCHITECT AS A FORMAL RFI (REQUEST FOR INFORMATION) AS INDICATED IN THE SPECIFICATIONS.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR SITUATIONS THROUGHOUT THE STRUCTURE UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL RELEVANT DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE AFFECTED WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
- EACH CONTRACTOR SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH THE PLUMBING, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS BEFORE PROCEEDING WITH THE WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY IN A FORMAL RFI (REQUEST FOR INFORMATION) AS INDICATED IN THE SPECIFICATIONS.
- THE TERM "FURNISH" SHALL MEAN TO OBTAIN AND SUPPLY TO THE JOB SITE. THE TERM "INSTALL" MEANS TO FIX IN POSITION AND CONNECT FOR USE. THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL.
- ALL ARRANGEMENTS FOR CONSTRUCTION PERSONNEL ENTERING THE SITE DURING WORK HOURS, DELIVERY OF MATERIALS, REMOVAL OF DEBRIS, PARKING, ETC. SHOULD BE MADE WITH THE GENERAL CONTRACTOR.
- ALL CONTRACTORS AND SUBCONTRACTORS FOR THE WORK OF THIS CONTRACT SHALL BE PROPERLY LICENSED AND REGISTERED IN ACCORDANCE WITH THE REGULATIONS OF LOCAL AND STATE CODES.
- ALL DRAWINGS AND SPECIFICATIONS PREPARED AS PART OF THIS COMMISSION ARE THE PROPERTY OF LDA ARCHITECTS, INC. AND WILL NOT BE TRANSFERRED OR USED ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT.
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE GENERAL CONTRACTOR. ALL AREAS OF THE PROJECT SHALL BE FINISHED AND READY FOR OCCUPANCY AND INCLUDE SUCH ITEMS AS HARDWARE, ACCESSORIES, PAINTING, AND ETC. WHETHER SPECIFIED OR NOT.
- AT ALL TIMES WHEN WORK IS IN PROGRESS, A REPRESENTATIVE OF THE CONTRACTOR OR SUB-CONTRACTOR SHALL BE ON THE SITE AND AUTHORIZED TO ANSWER QUESTIONS OR RECEIVE INSTRUCTIONS FROM THE OWNER OR ARCHITECT.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL PROVIDE A COPY OF PROOF OF INSURANCE TO THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK.
- THE CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, ETC. AS A CONDITION FOR FINAL PAYMENT.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR OR LONGER AS INDICATED IN DRAWINGS AND SPECIFICATIONS FOLLOWING COMPLETION OF ALL WORK AND THAT ALL DEFECTS ARISING WITHIN THIS PERIOD OF TIME SHALL BE CORRECTED, REPAIRED, OR REPLACED WITHIN 30 DAYS OF NOTIFICATION OF SUCH DEFECTS BY OWNER.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING, COORDINATING, AND COMPLYING WITH THE FULL SET OF DRAWINGS, SPECIFICATIONS, AND ADDENDA.
- THE APPLICABLE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR THE VERIFICATION AND LOCATION OF UNDERGROUND UTILITIES, FACILITIES, AND EQUIPMENT. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY PROTECTION SERVICE AS REQUIRED IN ADVANCE OF THE COMMENCEMENT OF UNDERGROUND UTILITIES WORK.
- ALL PRODUCTS SPECIFIED IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE THE BASIS OF DESIGN. OTHER PRODUCTS THAT MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF THE BASIS OF DESIGN ARE ACCEPTABLE IF DOCUMENTATION IS PROVIDED SHOWING COMPLIANCE.

DEMOLITION

- THE EXTENT OF DEMOLITION IS GENERALLY DESCRIBED. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE THE INSTALLATION OF THE PROPOSED WORK.
 - BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW CONSTRUCTION UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS.
 - EACH CONTRACTOR AND VENDOR SHALL COORDINATE AND COOPERATE WITH OTHER TRADES. SCHEDULE ALL WORK THROUGH THE GENERAL CONTRACTOR.
 - PIPES, CONDUIT, AND DUCTWORK ENCOUNTERED IN DEMOLISHED PARTITIONS AND CEILINGS WHICH ARE TO REMAIN SHALL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE ABANDONED SHALL BE CAPPED AND CONCEALED IN THE FLOOR, WALLS, OR CEILING.
 - CONTRACTOR IS RESPONSIBLE TO FIRESTOP NEWLY ENCOUNTERED PIPES AND CONDUITS DUE TO DEMOLITION THAT WERE NOT PREVIOUSLY EXPOSED AND ARE NOT CURRENTLY FIRESTOPPED.
 - REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY DEMOLITION. REPAIR TO MATCH ADJACENT CONSTRUCTION.
 - SALVAGEABLE MATERIALS TO BE REMOVED AND TURNED OVER TO THE OWNER SHALL BE IDENTIFIED BY THE OWNER AND/OR ARCHITECT PRIOR TO THE BEGINNING OF WORK AND ARE TO BE STORED ON SITE AT A LOCATION DESIGNATED BY THE OWNER.
 - ANY PROJECTING OR SURFACE MOUNTED ITEMS NOT PART OF WORK AND/OR ABANDONED SHALL BE REMOVED. CONTRACTOR TO PATCH AND FILL HOLES AND PENETRATIONS TO MATCH EXISTING.
 - CLEAN AND PREPARE ALL SURFACES TO ACCEPT NEW WORK. THIS INCLUDES PATCHING AND REPAIRING ALL PENETRATIONS FROM REMOVED DUCTWORK, VENTS, DOOR FRAMES, ETC. ALL PATCHING AND NEW DRYWALL TO BE FLUSH AND MATCH EXISTING.
- FLOOR PLANS AND FINISHES**
- ALIGN NEW WALLS WITH EXISTING, PATCH TO CREATE A SMOOTH SEAMLESS SURFACE.
 - INTERIOR DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE. DIMENSIONS TO OPENINGS ARE TO CENTER OF OPENING. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THE EXISTING CONDITIONS, CONSTRUCTION DIMENSIONS, AND CLEARANCES. DO NOT SCALE DRAWINGS.
 - ALL CONTRACTORS TO ENSURE FIRE SEPARATION RATINGS AND FIRE STOPPING AS SPECIFIED BY CODE. WHERE EACH TRADE PENETRATES A TENANT SEPARATION WALL, THAT TRADE WILL BE RESPONSIBLE TO SEAL TIGHT OPENINGS WITH MATERIAL TO MATCH THE FIRE RESISTANCE RATING OF THE IN-PLACE CONSTRUCTION. ALL CONCEALED SPACES TO HAVE FIRE STOPPING AND/OR DRAFT STOPPING BETWEEN FLOORS AND/OR UNITS.
 - ALL NEW DRYWALL WALLS AND CEILINGS ARE TO RECEIVE A LEVEL 4 FINISH, PER ASTM C840 STANDARDS.
 - PROVIDE MOISTURE AND MOLD RESISTANT NON-PAPER FACE WALL BOARD AT ALL WET LOCATIONS (BATHROOMS AND KITCHENS) WALLS AND CEILINGS. PROVIDE CEMENT BOARD BEHIND ALL TILE LOCATIONS.
 - COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL FIELD DIMENSIONS WITH COUNTERTOPS AND CABINETS.
 - COORDINATE ALL SELECTED FINISHES WITH ARCHITECT. A PHYSICAL SAMPLE MUST BE SUBMITTED FOR FINAL APPROVAL BEFORE INSTALLATION.
 - PAINT FINISHES: FLAT FINISH FOR CEILINGS AND SOFFITS, SEMI-GLOSS FINISH FOR TRIM, AND EGGSHELL FINISH FOR ALL WALLS, TYPICAL.

DRAWING LIST (CONTINUED)

NUMBER DESCRIPTION
E1.01 FIRST FLOOR LIGHTING PLAN
E1.02 2ND-15TH FLOOR AND PENTHOUSE LIGHTING PLANS
E2.00 LOWER LEVEL POWER & COMMUNICATION PLAN
E2.01 FIRST FLOOR POWER & COMMUNICATION PLAN
E2.02 2ND-15TH FLOOR POWER & COMMUNICATION PLAN
E2.03 PENTHOUSE & ROOF POWER AND COMMUNICATION PLAN
E3.00 TYPICAL DWELLING UNIT ELECTRICAL DETAILS
E3.01 TYPICAL DWELLING UNIT ELECTRICAL PLANS

PROJECT DIRECTORY

- OWNER:
CINCINNATI METROPOLITAN HOUSING AUTHORITY
1627 WESTERN AVENUE
CINCINNATI, OHIO 45214
PHONE: (513) 721-4580
- ARCHITECT:
LDA ARCHITECTS, INC.
5000 EUCLID AVENUE
SUITE 104
CLEVELAND, OHIO 44103
PHONE: (216) 932-1890
- MEP ENGINEER:
WHS ENGINEERING
2012 WEST 25TH STREET, SUITE 512
CLEVELAND, OHIO 44113
PHONE: (216) 227-8505
- STRUCTURAL ENGINEER:
SHAEFER
537 EAST PETE ROSE WAY, SUITE 400
CINCINNATI, OHIO 45202
PHONE: (513) 542-3300

PROJECT INFORMATION

PROJECT NAME: MARQUETTE MANOR

ADDRESS: 1999 SUTTER AVE., CINCINNATI, OH 45225

HEIGHT: 2 STORY PENTHOUSE & 15 STORY APARTMENT BUILDING

BUILDING COUNT: 1 TOTAL

UNIT COUNT: 140 UNITS

UNIT MIX: 126 (1BR), 14 (1BR ADA)

BUILDING INFORMATION:

UNIT TYPE(S)	*UNIT AREA	QUANTITY	**ACCESSIBLE UNIT(S)	A/V UNIT(S)
TYPE: 1A	548 SF	84	0	3
TYPE: 1B	593 SF	42	0	0
TYPE: 1C	1024 SF	14	14	0
TOTAL:	85,274 SF	140	14	3

***GROSS SQUARE FOOTAGE:

BASEMENT=	3,539
FIRST FLOOR=	5,705
SECOND- FIFTEEN=	8,656 PER FLOOR X 14 FLOORS
PENTHOUSE LEVEL 1=	905
PENTHOUSE LEVEL 2=	905
TOTAL:	132,238 SF

*UNIT AREAS ARE BASED ON BOMA STANDARD METHOD A (NET) LEASED UNITS

*** PROJECT GROSS AREA BASED ON BOMA STANDARD PLAN A GROSS AREA

ACCESSIBLE UNIT LOCATIONS: #205, #305, #405, #505, #605, #705 #805, #905, #1005, #1105, #1205, #1305, #1405, #1505
AUDIO / VISUAL UNIT LOCATIONS: #309, #709, #1409

SITE INFORMATION:

LOT SIZE: 4.38 ACRES
PARCEL #: 020600010234
CURRENT USE: R-2
PROPOSED USE: R-2

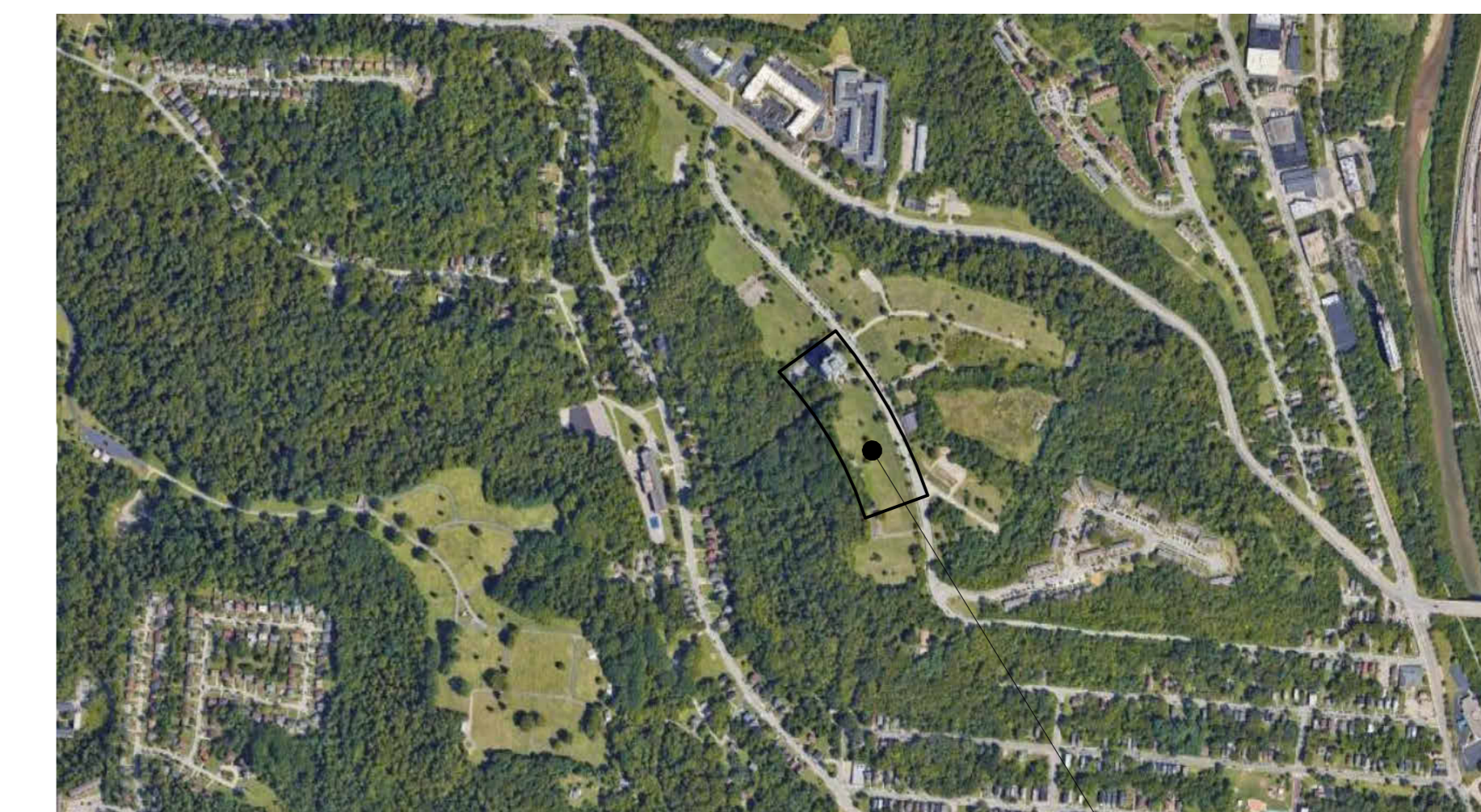
EXISTING PARKING:
STANDARD PARKING SPACES: 30
ACCESSIBLE PARKING SPACES: 8

TOTAL PARKING SPACES: 38

PROPOSED PARKING: (SEPERATE PERMIT)
STANDARD PARKING SPACES: 88
ACCESSIBLE PARKING SPACES: 4

TOTAL PARKING SPACES: 92

PROJECT LOCATION

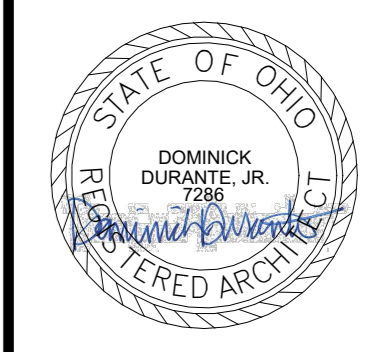


1999 SUTTER AVE,
CINCINNATI, OH 45225



The Offices at the Agora
5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
LDAarchitecture.com
216.932.1890

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT



DOMNICK DURANTE, JR.
LICENSE #7296
EXPIRATION 10/31/2025

Copyright © 2022 LDA architects inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, the LDA's. For one solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

COVER SHEET

G0.01

CONSTRUCTION CODE SUMMARY

APPLICABLE CODES:

- 2024 OHIO EXISTING BUILDING CODE (OBC) WITH ALL CURRENT AMENDMENTS/UPDATES
- 2024 OHIO BUILDING CODE (OBC) WITH ALL CURRENT AMENDMENTS/UPDATES
- 2024 OHIO MECHANICAL CODE (OMC)
- 2024 OHIO PLUMBING CODE (OPC)
- 2024 NATIONAL ELECTRICAL CODE - NFPA 70
- ICC/ANSI A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- ACCESSIBLE, UNIFORM FEDERAL ACCESSIBILITY GUIDELINES (UFAS)
- ASHRAE 90.1 2019
- ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS

EXISTING CONSTRUCTION SUMMARY:

THE EXISTING STRUCTURE IS A CONCRETE SLAB ON GRADE WITH CONCRETE CAISSON FOOTINGS. THE EXTERIOR WALLS ARE A COMBINATION OF EXPOSED REINFORCED CONCRETE SPANDREL BEAMS AND CONCRETE COLUMNS WITH AREAS OF BRICK VENEER ON 4" CMU BACK-UP. THE FLOORS ARE 10" REINFORCED CONCRETE CAST-IN-PLACE SLABS.

FIRE PROTECTION:

EXISTING BUILDING IS FULLY SPRINKLERED AND HAS A WET STAND-PIPE SYSTEM.

EXISTING USE AND OCCUPANCY CLASSIFICATIONS:

PRIMARY USE(S):

THERE ARE NO CHANGES IN EXISTING USE GROUPS.

-RESIDENTIAL, R-2 (APARTMENTS)

SECONDARY USES: ACCESSORY SPACES INCLUDE THE FOLLOWING:

- BUSINESS, B (OFFICES)
- ASSEMBLY, A-3 (COMMUNITY AREAS)
- STORAGE, S

EXISTING CONSTRUCTION CLASSIFICATION:

TYPE IB

OBC TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:

- PRIMARY STRUCTURAL FRAME: 2 HR
- BEARING WALLS: EXTERIOR 2 HR, INTERIOR 2 HR
- NONBEARING WALLS AND PARTITIONS: EXTERIOR 0 HR, INTERIOR 0 HR
- FLOOR CONSTRUCTION: 2 HR
- ROOF CONSTRUCTION: 1 HR

APPLICABLE 2024 OHIO EXISTING BUILDING CODE MATERIAL:

OBC 301.3.1 PRESCRIPTIVE COMPLIANCE METHOD.

ALTERATIONS, ADDITIONS AND CHANGES OF OCCUPANCY COMPLYING WITH SECTIONS 302 THROUGH 309 AND CHAPTER 5 OF THIS CODE ARE TO BE CONSIDERED IN COMPLIANCE WITH THE PROVISIONS OF THIS CODE.

302.4 NEW AND REPLACEMENT MATERIALS.

EXCEPT AS OTHERWISE REQUIRED OR PERMITTED BY THIS CODE, MATERIALS PERMITTED BY THE APPLICABLE CODE FOR NEW CONSTRUCTION SHALL BE USED. LIKE MATERIALS SHALL BE PERMITTED FOR REPAIRS AND ALTERATIONS, PROVIDED THAT UNSAFE CONDITIONS ARE NOT CREATED. HAZARDOUS MATERIALS SHALL NOT BE USED WHERE THE CODE FOR NEW CONSTRUCTION WOULD NOT PERMIT THEIR USE IN BUILDINGS OF SIMILAR OCCUPANCY, PURPOSE AND LOCATION.

302.5 OCCUPANCY AND USE.

WHERE DETERMINING THE APPROPRIATE APPLICATION OF THE REFERENCED SECTIONS OF THIS CODE, THE OCCUPANCY AND USE OF A BUILDING SHALL BE DETERMINED IN ACCORDANCE WITH CHAPTER 3 OF THE BUILDING CODE. (SEE ABOVE)

503.1 GENERAL.

EXCEPT AS PROVIDED IN CHAPTER 3 OF THIS CODE OR THIS SECTION, ALTERATIONS TO ANY BUILDING, STRUCTURE, OR SYSTEM (EGRESS, FIRE PROTECTION, SMOKE CONTROL, MECHANICAL, PLUMBING, ETC.) ARE TO COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION ONLY TO THE EXTENT OF THE PROPOSED ALTERATION. PORTIONS OF THE STRUCTURE OR SYSTEM NOT ALTERED AND NOT AFFECTED BY THE ALTERATION ARE NOT REQUIRED TO COMPLY WITH THE CODE REQUIREMENTS FOR A NEW STRUCTURE. ALTERATIONS ARE TO BE SUCH THAT THE EXISTING BUILDING, STRUCTURE, OR SYSTEM IS NO LESS COMPLYING WITH THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

APPLICABLE 2024 OHIO BUILDING CODE MATERIAL:

OBC 603 COMBUSTIBLE MATERIAL IN TYPE I AND II CONSTRUCTION:

ALL NEW MATERIALS TO BE IN ACCORDANCE AND INSTALLED PER IBC SECTION 603.

OBC 708.3 FIRE RESISTANCE RATINGS FOR FIRE PARTITIONS BETWEEN DWELLING UNITS:

1 HR - FIRE PARTITION SEPARATION

OBC 711.2 FIRE RESISTANCE RATINGS FOR FLOORS BETWEEN DWELLING UNITS:

1 HR - FIRE RESISTANCE RATED CONSTRUCTION

OBC 713.3.1.2 THROUGH PENETRATION FIRESTOP SYSTEM:

THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AND TESTED IN ACCORDANCE WITH ASTM E 814 OR UL 1479, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF WATER AND SHALL HAVE AN F RATING OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL PENETRATED.

OBC TABLE 803.9 INTERIOR WALL AND CEILING FINISH REQUIREMENTS:

GROUP R-2:

- EXIT ENCLOSURES AND EXIT PASSAGeways: CLASS B
- CORRIDORS: CLASS B
- ROOMS AND ENCLOSED SPACES: CLASS C

SYMBOL LEGEND

- DOOR TAG
- KEYED NOTE - REFER TO KEY NOTE LEGEND
- DEMOLITION KEYED NOTE - REFER TO KEY NOTE LEGEND
- WALL TYPE - REFER TO WALL TYPE LEGEND
- WINDOW TAG
- EXTERIOR ELEVATION SYMBOL
- EXTERIOR ELEVATION NUMBER
- SHEET ON WHICH EXTERIOR ELEVATION IS LOCATED
- WALL SECTION / DETAIL SYMBOL
- SECTION / DETAIL NUMBER
- SHEET ON WHICH SECTION / DETAIL IS LOCATED
- INTERIOR ELEVATION SYMBOL
- INTERIOR ELEVATION NUMBER
- SHEET ON WHICH INTERIOR ELEVATION IS LOCATED

ENERGY CODE REQUIREMENTS

APPLICABLE CODES / STANDARDS:

- 2017 OHIO ENERGY CODE
- OHFA LIMITED SCOPE REHABILITATION SUSTAINABILITY STANDARDS
- ASHRAE 90.1 2019

GENERAL: THE FOLLOWING REQUIREMENTS ARE ONLY REQUIRED IN ALTERATIONS AS DEFINED BY ASHRAE 90.1-2019 IN REPLACEMENTS TO A BUILDING OR ITS SYSTEMS. REPAIRS SHALL NOT CONSTITUTE AN ALTERATION.

3401.1 ENERGY CODE COMPLIANCE: ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2012) / ASHRAE 90.1 - 2019

ASHRAE 90.1 - 2019: BUILDING ENVELOPE REQUIREMENTS FOR ZONE 4A:

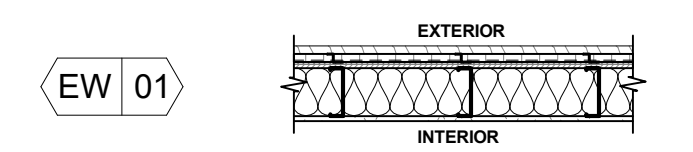
TABLE C402.2: ROOF INSULATION = R-25 CONTINUOUS INSULATION

TABLE C402.3: U-FACTOR: FIXED FENESTRATION = 0.38, OPERABLE FENESTRATION = 0.45, ENTRANCE DOORS = 0.77, SHGC: SHGC = 0.40

CONSTRUCTION TYPES AND ASSEMBLIES

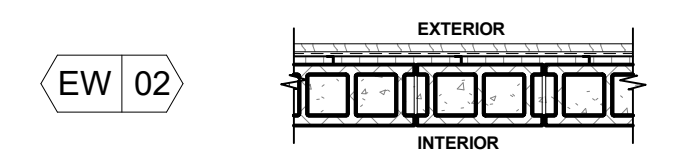
NEW EXTERIOR WALL TYPES:

- REFER TO COVER SHEET FOR ADDITIONAL FINISH AND DRYWALL REQUIREMENTS AT ALL NEW WALLS



6" METAL STUD WALL W/ OPEN-JOINT CLADDING:

- EXTERIOR
- 1" AZEK OPEN-OPEN JOINT CLADDING
 - 1" Z-FURRING CHANNEL W/ RIGID INSULATION
 - BLACK FELT WEATHER BARRIER
 - 3/4" EXTERIOR GRADE SHEATHING
- INTERIOR
- 2" METAL STUDS W/ BATT INSULATION
 - 5/8" TYPE "X" GYPSUM BOARD

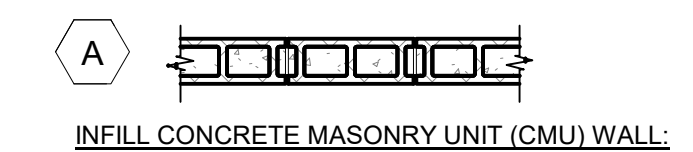


OPEN-JOINT CLADDING ON EXISTING CMU:

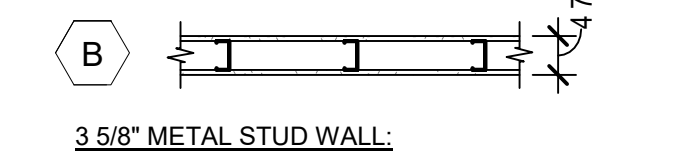
- EXTERIOR
- 1" AZEK OPEN-OPEN JOINT CLADDING
 - BLACK FELT WEATHER BARRIER
 - 1" Z-FURRING CHANNELS W/ RIGID INSULATION
 - EXISTING CMU TO REMAIN.

NEW INTERIOR WALL TYPES:

- REFER TO COVER SHEET FOR ADDITIONAL FINISH AND DRYWALL REQUIREMENTS AT ALL NEW WALLS

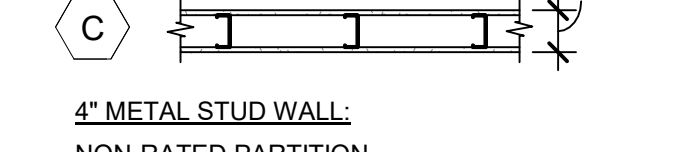


INFILL CONCRETE MASONRY UNIT (CMU) WALL: NON-RATED



3/8" METAL STUD WALL: NON-RATED PARTITION

- 5/8" TYPE "X" GYPSUM BOARD
- 3/8" METAL STUD @ 16" O.C.
- 5/8" TYPE "X" GYPSUM BOARD



4" METAL STUD WALL: NON-RATED PARTITION

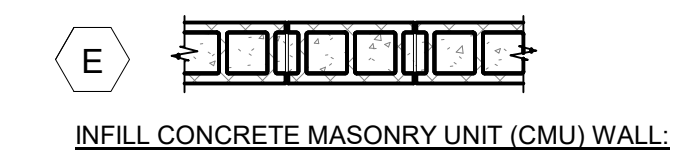
- 5/8" TYPE "X" GYPSUM BOARD
- 4" METAL STUD
- 5/8" TYPE "X" GYPSUM BOARD



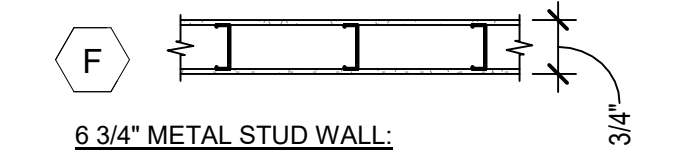
GYPSUM BOARD ON EXISTING CMU: NON-RATED WALL COVERING

- EXISTING CMU WALL TO REMAIN
- 7/8" 25 GAUGE STEEL HAT CHANNEL FURRING
- 5/8" TYPE "X" GYPSUM BOARD

*DRYWALL COVERING CAN OCCUR ON ONE OR BOTH SIDES OF AN EXISTING WALL. REFER TO PLANS.



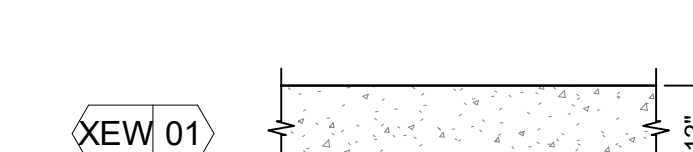
INFILL CONCRETE MASONRY UNIT (CMU) WALL: U-905 - 2 HOUR FIRE RESISTIVE RATING



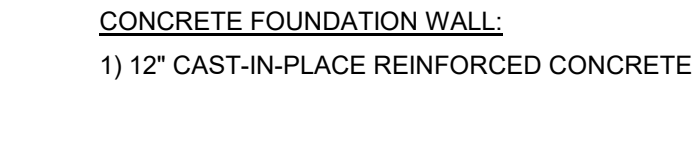
6 3/4" METAL STUD WALL: NON-RATED PARTITION

- 5/8" TYPE "X" GYPSUM BOARD
- 5 1/2" METAL STUD @ 16" O.C.
- 5/8" TYPE "X" GYPSUM BOARD

EXISTING EXTERIOR WALL TYPES:

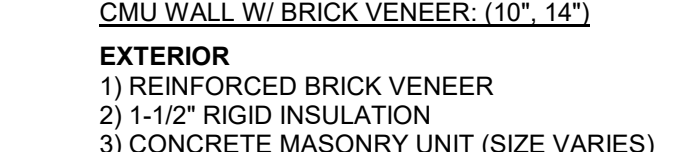


CONCRETE FOUNDATION WALL: 1) 12" CAST-IN-PLACE REINFORCED CONCRETE WALL



CMU WALL W/ BRICK VENEER (10", 14"): EXTERIOR

- REINFORCED BRICK VENEER
- 1-1/2" RIGID INSULATION
- CONCRETE MASONRY UNIT (SIZE VARIES)



CMU WALL W/ EIFS PANEL VENEER: EXTERIOR

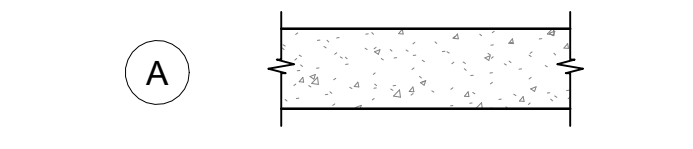
- EIFS PANEL VENEER
- CONCRETE MASONRY UNIT (SIZE VARIES)
- 1-1/2" RIGID INSULATION
- CONCRETE MASONRY UNIT (SIZE VARIES)



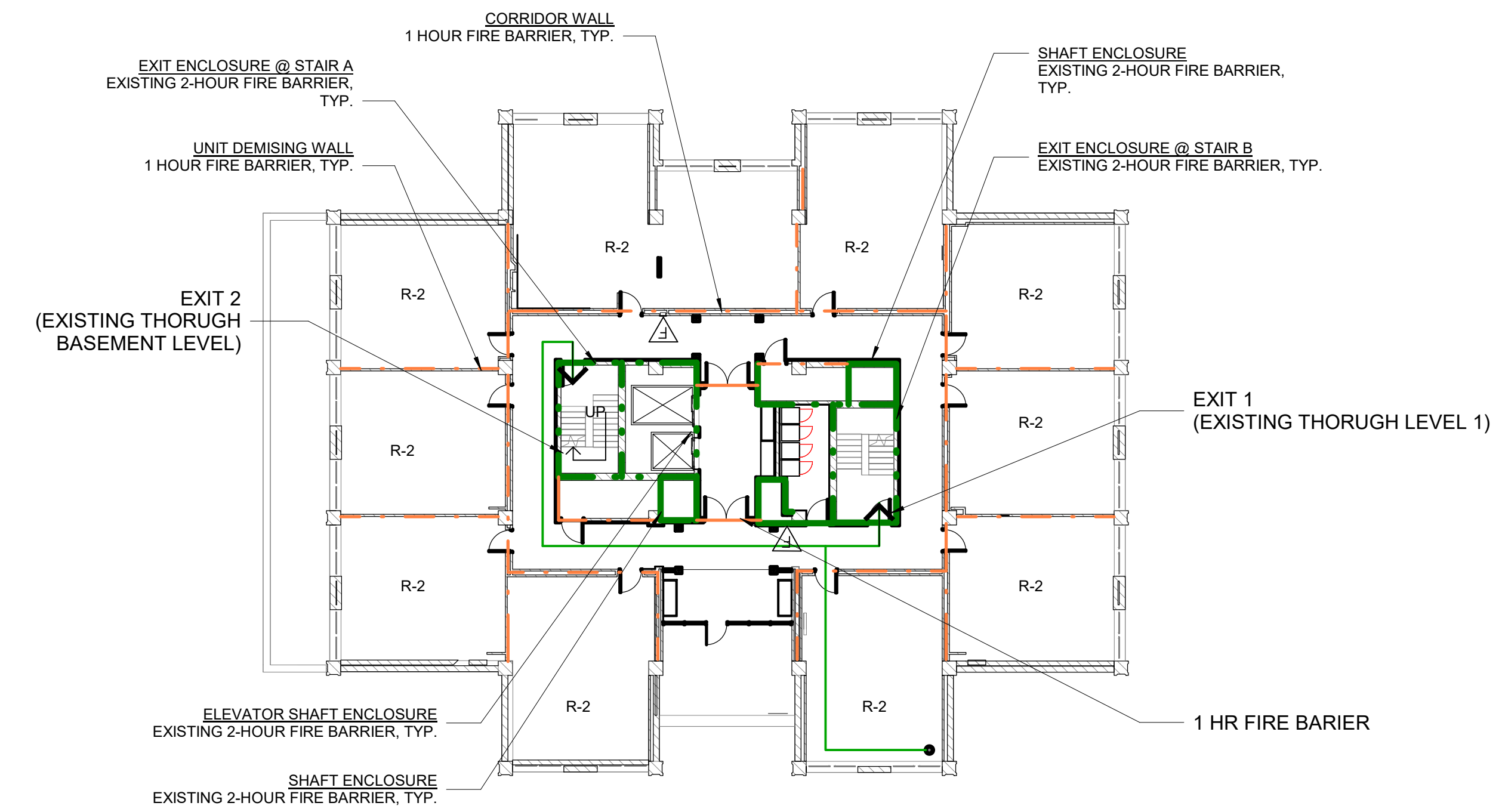
CMU WALL W/ EIFS PANEL VENEER: INTERIOR

- CONCRETE MASONRY UNIT (SIZE VARIES)
- CONCRETE MASONRY UNIT (SIZE VARIES)

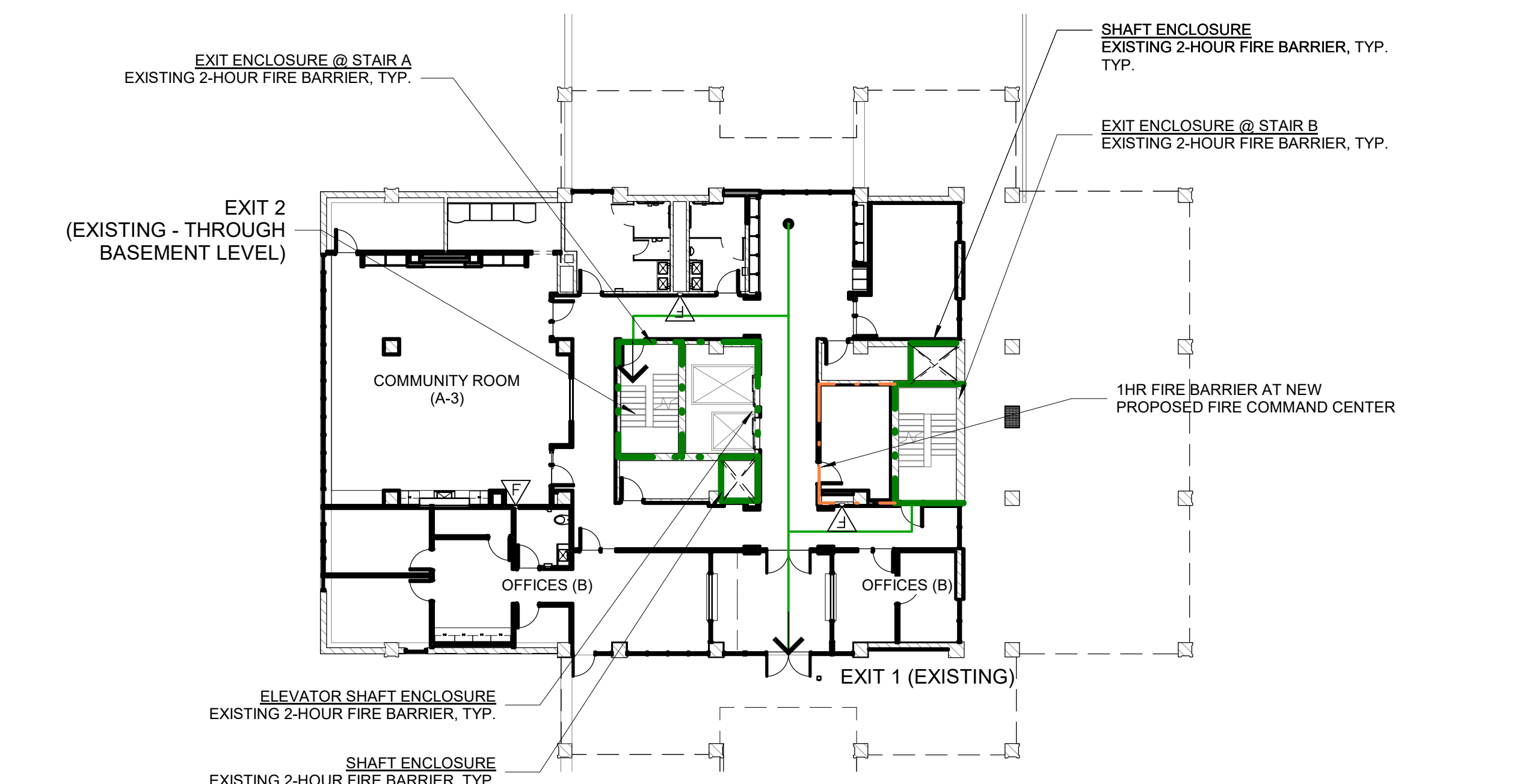
EXISTING FLOOR TYPES:



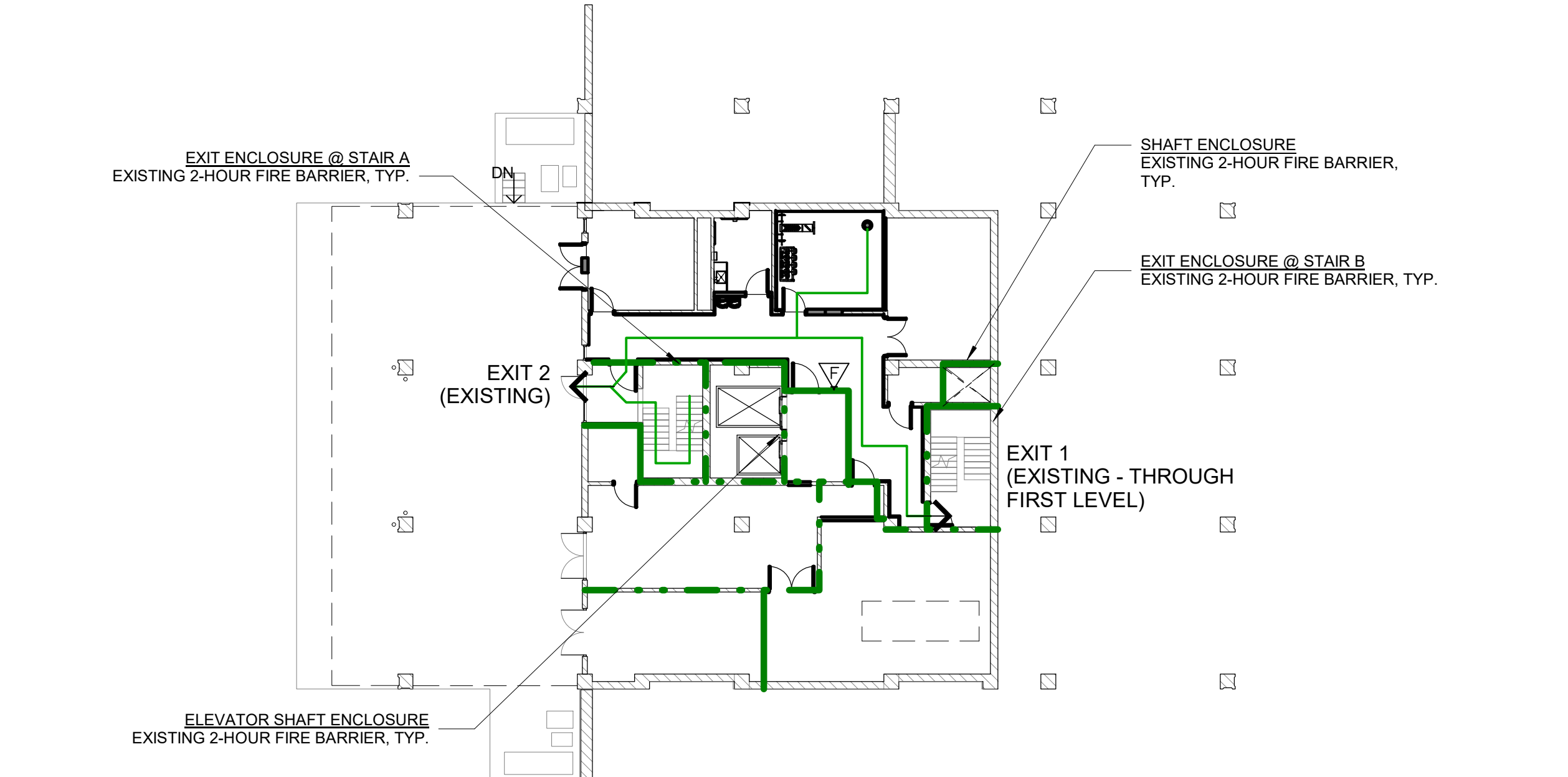
EXISTING CAST-IN-PLACE CONCRETE FLOOR: 1) 10" REINFORCED CAST-IN-PLACE CONCRETE FLOOR



3 LEVEL 2-15 - LIFE SAFETY SCALE: 1/16" = 1'-0"



2 GROUND LEVEL - LIFE SAFETY SCALE: 1/16" = 1'-0"



1 BASEMENT LEVEL LIFE SAFETY SCALE: 1/16" = 1'-0"



The Offices at the Agora
5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
LDAarchitecture.com
216.932.1890

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

LIFE SAFETY PLAN LEGEND

1 HOUR RATED WALL

2 HOUR RATED WALL

ACCESSIBLE PATH OF TRAVEL

DIRECTION OF EGRESS

FIRE EXTINGUISHER CABINET

GENERAL NOTES - GYPSUM BOARD

1. THESE GENERAL NOTES APPLY TO ANY GYPSUM BOARD CALLED OUT IN WALL TYPES THAT APPLY TO THE BELOW DESCRIBED AREAS.

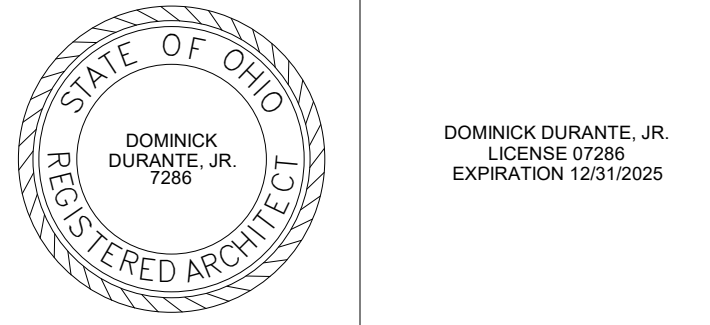
- PAPERLESS GYPSUM BOARD (PGB) MUST BE USED AT A MINIMUM IN THE FOLLOWING AREAS WHERE NEW GYPSUM BOARD IS TO BE PROVIDED:
 - BEHIND KITCHEN SINKS AND RESTROOM SINKS TO A HEIGHT OF 3' ABOVE BASE CABINET.
 - SHOWER WALLS WHERE PGB WILL NOT HAVE AN EXPOSED FINISH EXCEPT 6" BEYOND SHOWER AND TUB JAMS.
 - BEHIND TOILETS UP TO THE TOP OF THE TOILET TANK
 - ON CEILINGS WHERE BATHROOM AND TOILET ROOMS ARE LOCATED DIRECTLY ABOVE

3. PAPER-FACED MOISTURE-RESISTANT GYPSUM BOARD MUST BE USED AT A MINIMUM IN THE FOLLOWING AREAS WHERE NEW GYPSUM BOARD IS BEING PROVIDED:

- WITHIN 4 FEET IN HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCE, EXCEPT DIRECTLY BEHIND SINKS, TUBS, SHOWER SURROUNDS, AND BEHIND TOILETS.
- BEHIND PUBLIC DRINKING FOUNTAINS
- WITHIN 4 FEET IN ANY DIRECTION BEHIND LAUNDRY (CLOTHES WASHING MACHINES, WATER HEATERS, WATER METERS, ETC.

4. A PRODUCT THAT MEETS THE REQUIREMENTS OF BOTH PRODUCTS OUTLINED ABOVE MAY BE USED IF APPROVED BY ARCHITECT.

*THIS SHEET IS INTENDED TO BE PRINTED IN COLOR. BLACK AND WHITE PRINTS MAY NOT FULLY DEPICT INTENT.



Copyright © 2022 LDA architects Inc. This drawing and related material thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225


LDA Project No.23.47

CODE DATA & LIFE SAFETY

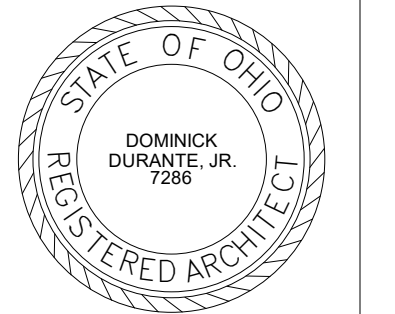
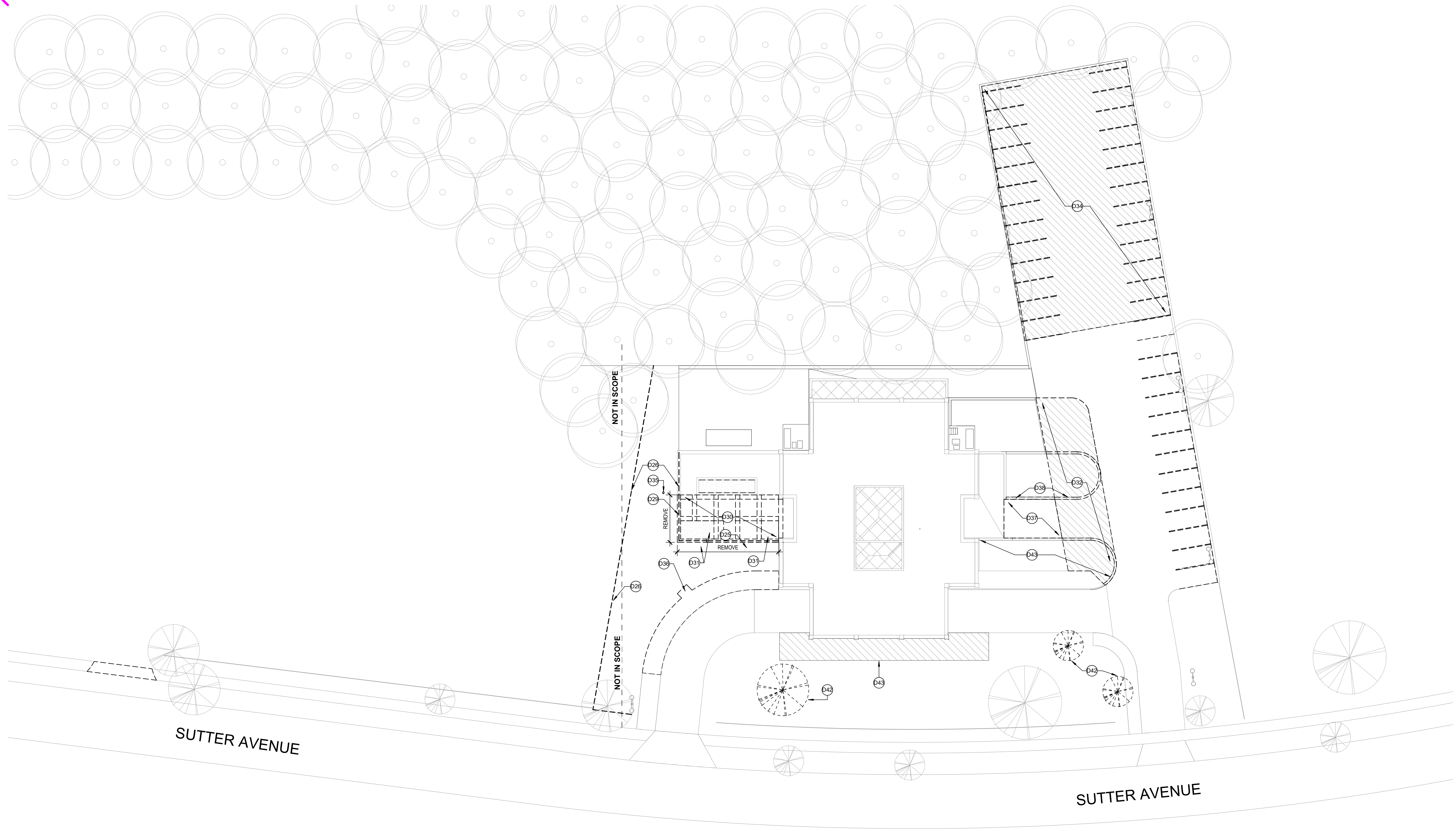
G0.02

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL 
TYPICAL UNLESS NOTED OTHERWISE

- D25 REMOVE EXISTING CONCRETE SIDEWALK. ADD FILL, COMPACT AND SEED.
- D26 REMOVE EXISTING FENCING.
- D29 REMOVE PORTION OF EXISTING WALL AND FENCING AS INDICATED ON PLAN.
- D30 REMOVE PORTION OF EXISTING PATIO AND PAVERS SHOWN TO ACCOMMODATE NEW ENTRANCE CANOPY CONSTRUCTION. REFER TO CANOPY PLANS.
- D31 REMOVE EXISTING LANDSCAPE BEDS AND PLANTINGS
- D34 HATCHED AREA INDICATES AREA TO BE RE-PURPOSED FOR EXTERIOR RECREATION AREA. REMOVE ASPHALT DOWN TO GRADE UNDERNEATH.
- D35 REMOVE EXISTING WOOD UTILITY POLE AND RE-ROUTE UTILITY LINES UNDERGROUND TO NEW UTILITY POLE AT STREET. COORDINATE WITH UTILITY COMPANY.
- D36 REMOVE EXISTING COVERING AND BENCH.
- D37 REMOVE PORTION OF EXISTING SERVICE DRIVE.
- D42 REMOVE EXISTING TREE IN ITS ENTIRETY.
- D43 REMOVE EXISTING LANDSCAPING.



DOMINICK DURANTE, JR.
LICENSE 87296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

DEMOLITION SITE PLAN

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

SITE PLAN LEGEND

- REGRADING/FILL SOIL & LANDSCAPE
- LANDSCAPE AREA
- EXISTING PLANTS TO REMAIN
- NEW PLANTINGS
- ACCESSIBLE ROUTE. SLOPE NOT TO EXCEED 5%. CROSS-SLOPE NOT TO EXCEED 2%.

SCOPE OF WORK & GENERAL NOTES - SITE PLANS

1. ALL SITE WORK DESCRIBED IN THIS SECTION IS TO BE COORDINATED WITH LANDSCAPE AND CIVIL DRAWINGS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES ON PROPERTY AND SHALL REPORT ALL POTENTIAL CONFLICTS WITH THE PROPOSED UTILITIES, UTILITY RIGHT OF WAYS, ETC. TO THE ARCHITECT.
3. PROVIDE NEW WATER SHUTOFF VALVES AT STREET.
4. ALL SITE SANITARY AND STORM LINES ARE TO BE RELINED OR REPLACED AS NEEDED. OWNER TO HAVE LINES INSPECTED SEPERATELY.

LANDSCAPING

- A. NEW LANDSCAPING IS TO BE PROVIDED IN ALL AREAS INDICATED ON SITE PLAN. REFER TO LANDSCAPE PLANS AND SPECIFICATIONS. ANY EXISTING TREES ON PROPERTY LOCATED OUTSIDE OF NEWLY LANDSCAPED AREAS ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION IF NEEDED.
- B. PROVIDE NEW MONUMENT SIGN WITH LED LIGHTING. REFER TO SITE DETAILS.
- C. REMOVE ALL VEGETATION FROM EXISTING PAVEMENT AND SITE WALLS.

CONCRETE SIDEWALKS

- A. NEW CONCRETE SIDEWALKS ARE TO BE PROVIDED IN NEW PARKING LOT. NEW ENTRANCE CANOPY AND ON NORTH SIDE OF THE BUILDING TO NEW EXTERIOR AMENITY SPACE. REFER TO RESPECTIVE SCOPES OF WORK BELOW FOR ADDITIONAL INFORMATION. EXISTING CONCRETE SIDEWALKS ARE TO BE REPAIRED OR REPLACED AS NEEDED.

NORTH PARKING LOT & RECREATION AREA

- A. REFER TO NORTH PARKING LOT PLAN FOR ADDITIONAL SCOPE AND DETAILS.
- B. REAR HALF OF EXISTING NORTH PARKING LOT TO HAVE ASPHALT REMOVED, TO BE FILLED, COMPACTED, AND LEVELED FLAT TO REPURPOSE AS EXTERIOR RECREATION AREA WITH SPACE PROVIDED FOR OUTDOOR GRILLING, PICKLEBALL, AND OUTDOOR SEATING. REFER TO NORTH PARKING LOT PLAN FOR ADDITIONAL INFORMATION.
- C. NEW LANDSCAPING AND GRASS AREAS TO BE PROVIDED BETWEEN EXTERIOR AMENITY AND EXISTING PARKING TO REMAIN. REFER TO NORTH PARKING LOT PLAN.
- D. ACCESSIBLE PARKING TO BE PROVIDED NEAR NEW RECREATION AREA WITH ACCESSIBLE PARKING SIGNAGE. ACCESSIBLE ROUTE FROM PARKING TO RECREATION AREA SHALL BE PROVIDED WITH A SLOPE NOT TO EXCEED 5% AND CROSS-SLOPE NOT TO EXCEED 2%. ALL OTHER ADDITIONAL PARKING SURFACE AREA IS TO REMAIN AND BE RE-PAVED SEAL COAT, MILL, RESURFACE, AND RE STRIPE ALL EXISTING ASPHALT PAVED AREAS. MINIMUM 2" MILLING OF EXISTING PAVEMENT. REFER TO NORTH PARKING LOT PLAN.
- F. A NEW CONCRETE SIDEWALK AND STAIRS IS TO BE PROVIDED THAT CONNECTS EXISTING SIDEWALK AT DROP-OFF TO THE RECREATION AREA. PORTION OF EXISTING SERVICE DRIVE TO BE REMOVED.

DROP-OFF AND ENTRANCE DRIVES

- A. EXISTING DRIVING SURFACE IS TO BE RE-PAVED SEAL COAT, MILL, RESURFACE, AND RE STRIPE ALL EXISTING ASPHALT PAVED AREAS. MINIMUM 2" MILLING OF EXISTING PAVEMENT.
- B. NEW CANOPIES TO BE PROVIDED ON BOTH SIDES OF EXISTING DROP OFF OVERHANG. REFER TO CANOPY PLANS.

BUILDING MAIN ENTRANCE

- A. REFER TO MAIN ENTRANCE PLAN FOR ADDITIONAL SCOPE AND DETAILS.
- B. NEW MAIN ENTRANCE CANOPY IS TO BE PROVIDED, WITH NEW LED LIGHTING. REFER TO CANOPY PLANS.

Copyright © 2022 LDA architects inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

PROPOSED SITE PLAN

AS.02

EXTERIOR LIGHT FIXTURE SCHEDULE								
TAG	TYPE	FIXTURE LOCATIONS	MANUFACTURER	NAME	MODEL	FINISH	LAMP	REMARKS
LT-E1	EXISTING POLE LIGHT	NORTH LOT - REFER TO SITE PLANS					LED	POLES TO REMAIN. REPLACE LAMPS
LT-E2	BOLLARD LIGHT	NORTH LOT / REC AREA - REFER TO SITE PLANS	LITHONIA LIGHTING	DOME TOP ROUND LED BOLLARD	KBA8 LED	BRONZE	LED	
LT-E3	IN-GROUND FLOOD LIGHT	MONUMENT SIGN	LITHONIA LIGHTING	LED FLOOD LIGHT	ESXF2 LED	ARCHITECT TO SELECT	LED	
LT-E4	CEILING MOUNT	LOWER LEVEL SERVICE AREA, GROUND LEVEL OVERHANG	LITHONIA LIGHTING	LED CANOPY LIGHT	CNY LED P0 50K MVOLT DDB M4	DARK BRONZE	LED	
LT-E5	WALL-MOUNT FLOOD LIGHT	BUILDING EXTERIOR - REFER TO SITE PLANS				ARCHITECT TO SELECT	LED	

SCOPE OF WORK & GENERAL NOTES - SITE PLANS (CONTINUED)

MAIN ENTRANCE CONTINUED

A. A PORTION OF EXISTING PATIO AND RETAINING WALL AT MAIN ENTRY IS TO BE REMOVED TO ACCOMMODATE NEW MAIN ENTRANCE CANOPY AND NEW LANDSCAPING. THE REMAINDER OF EXISTING PATIO IS TO REMAIN. REPLACE DAMAGED OR LIFTED CONCRETE AS NEEDED. FILL AND COMPACT SOIL IN AREA CONNECTING THE PROPOSED ENTRANCE CANOPY AND WALK TO NEW SOUTH PARKING LOT. SEE ALL SURROUNDING GROUND NOT PROVIDED WITH LANDSCAPING OR NEW WALKS.

SOUTH PARKING LOT

A. ALL WORK DESCRIBED IN THIS SECTION TO BE COMPLETED CONCURRENTLY UNDER SEPERATE CONTRACT. SHOWN ON PLAN FOR ILLUSTRATION AND BASIS OF DESIGN PURPOSES. AN ASPHALT DRIVE CONNECTION FROM EXISTING DROP-OFF DRIVEWAY TO AREA OF NEW LOT IS TO BE PROVIDED UP TO "NOT IN SCOPE" LINE. REFER TO PLAN.

B. ALL ACCESSIBLE PARKING SPACES SHOWN ON PLAN ARE TO BE PROVIDED WITH ACCESSIBLE PARKING SIGNAGE.

C. NEW LOT TO BE CONNECTED TO EXISTING DROP-OFF DRIVEWAY.

SITE LIGHTING

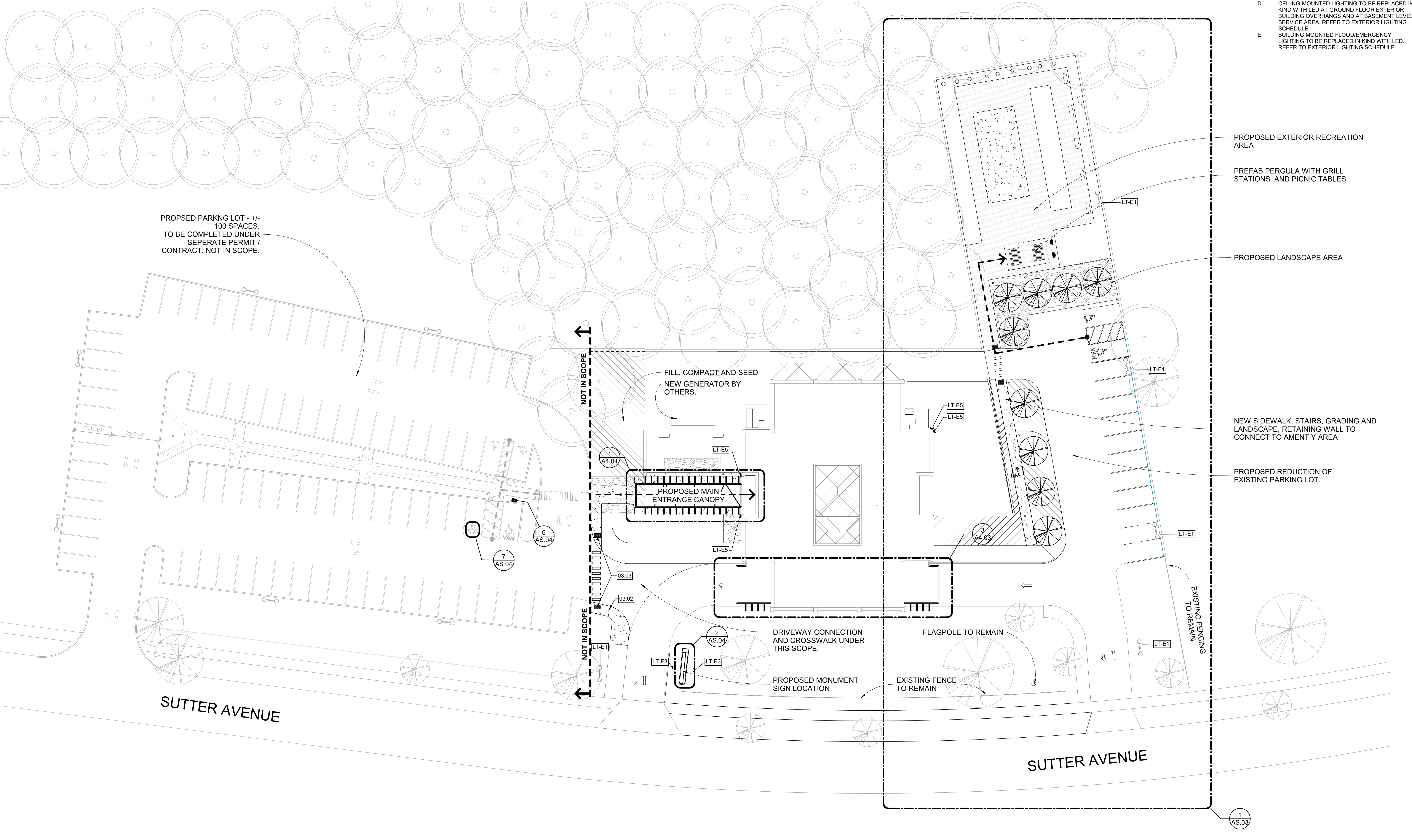
A. EXISTING POLE LIGHTS ON PROPERTY ARE TO REMAIN. REPLACE BULBS WITH NEW LED.

B. NEW BOLLARD-STYLE LIGHTING IS TO BE PROVIDED AT NEW RECREATION AREA. REFER TO NORTH PARKING LOT PLAN.

C. ALL IN-GROUND FLOOD LIGHTING AROUND PROPERTY ARE TO BE REPLACED WITH LED. SOME IN-GROUND LIGHTING TO BE ADDED OR RELOCATED. REFER TO ALL SITE PLANS.

D. CEILING-MOUNTED LIGHTING TO BE REPLACED IN KIND WITH LED AT GROUND FLOOR EXTERIOR BUILDING OVERHANGS AND AT BASEMENT LEVEL SERVICE AREA. REFER TO EXTERIOR LIGHTING SCHEDULE.

E. BUILDING MOUNTED FLOOD/EMERGENCY LIGHTING TO BE REPLACED IN KIND WITH LED. REFER TO EXTERIOR LIGHTING SCHEDULE.



1 SITE PLAN
SCALE: 1" = 20'-0"

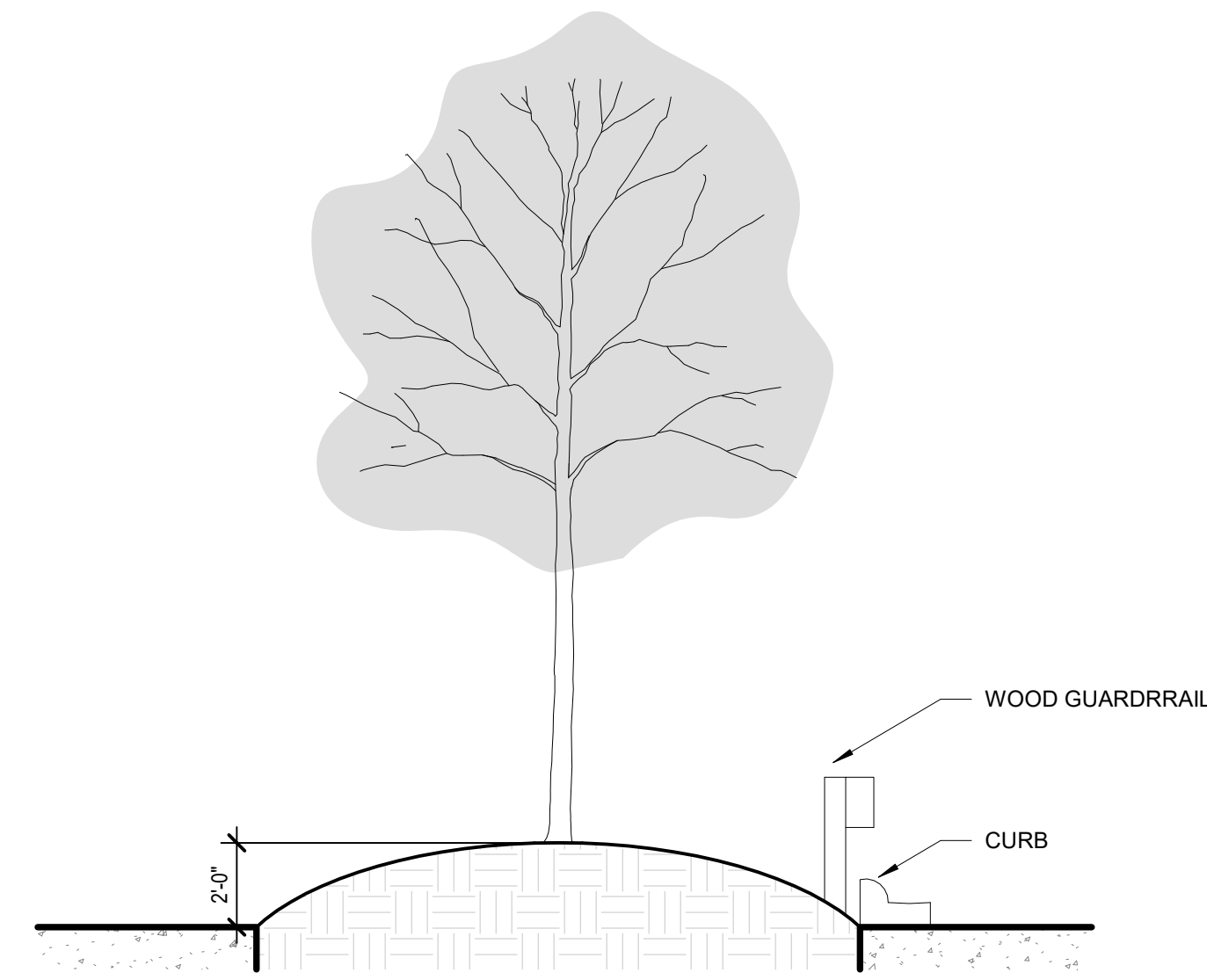
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

SITE PLAN LEGEND

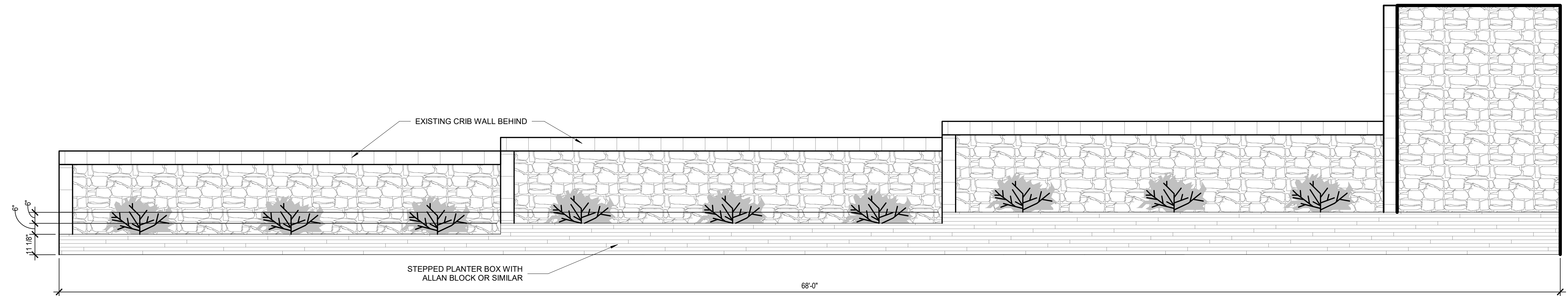
- REGRADING/FILL SOIL & LANDSCAPE
- LANDSCAPE AREA
- EXISTING PLANTS TO REMAIN
- NEW PLANTINGS
- ACCESSIBLE ROUTE. SLOPE NOT TO EXCEED 5%. CROSS-SLOPE NOT TO EXCEED 2%.

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL

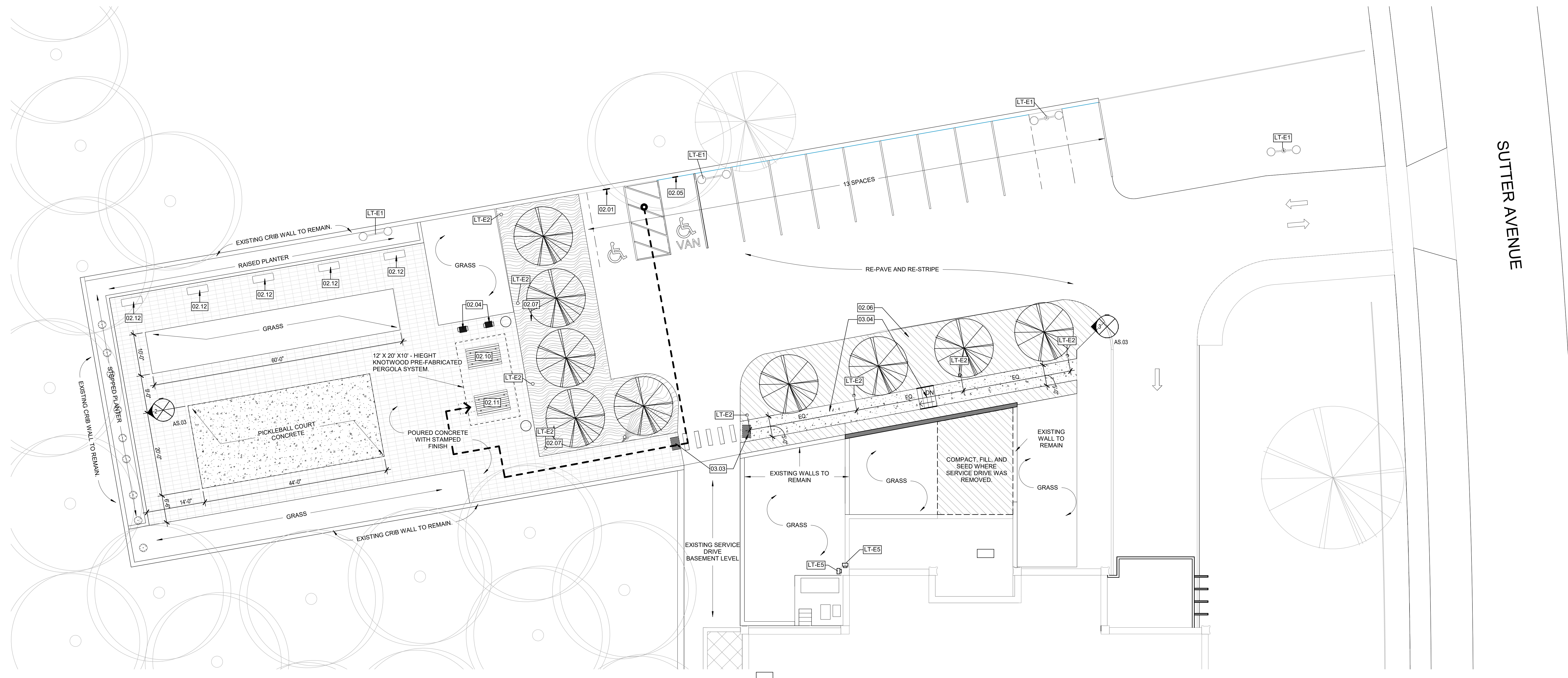
- 02.01 PROVIDE NEW ACCESSIBLE PARKING SIGNAGE.
- 02.05 PROVIDE NEW ACCESSIBLE VAN PARKING SIGNAGE.
- 02.06 HATCHED AREA INDICATES RE-GRADE, COMPACT, FILL AND SEED AROUND NEW CONCRETE WALKWAY.



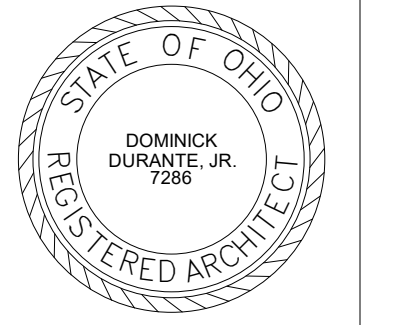
3 TYP. TREE PLANTING DETAIL
AS.03 SCALE: 1/4" = 1'-0"



2 NORTH PARKING LOT - WEST PARKING ELEVATION
AS.03 SCALE: 3/8" = 1'-0"



1 ENLARGED SITE PLAN - NORTH PARKING LOT
AS.03 SCALE: 3/32" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

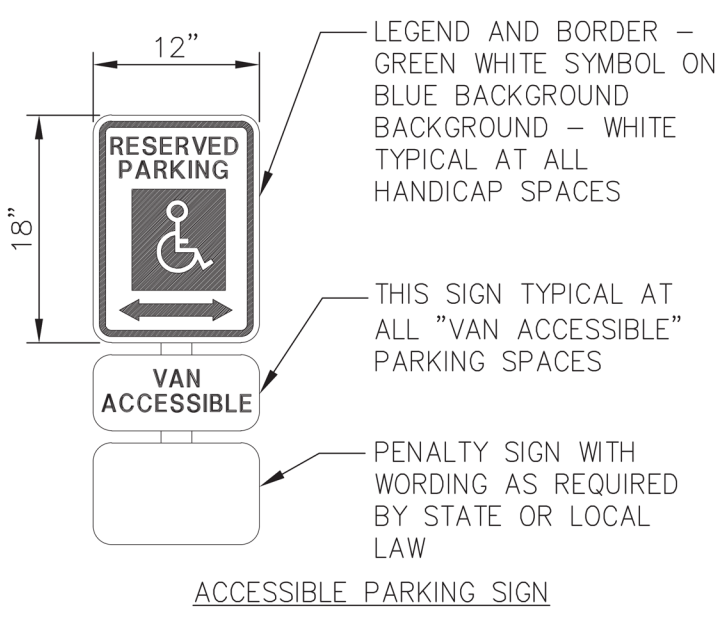
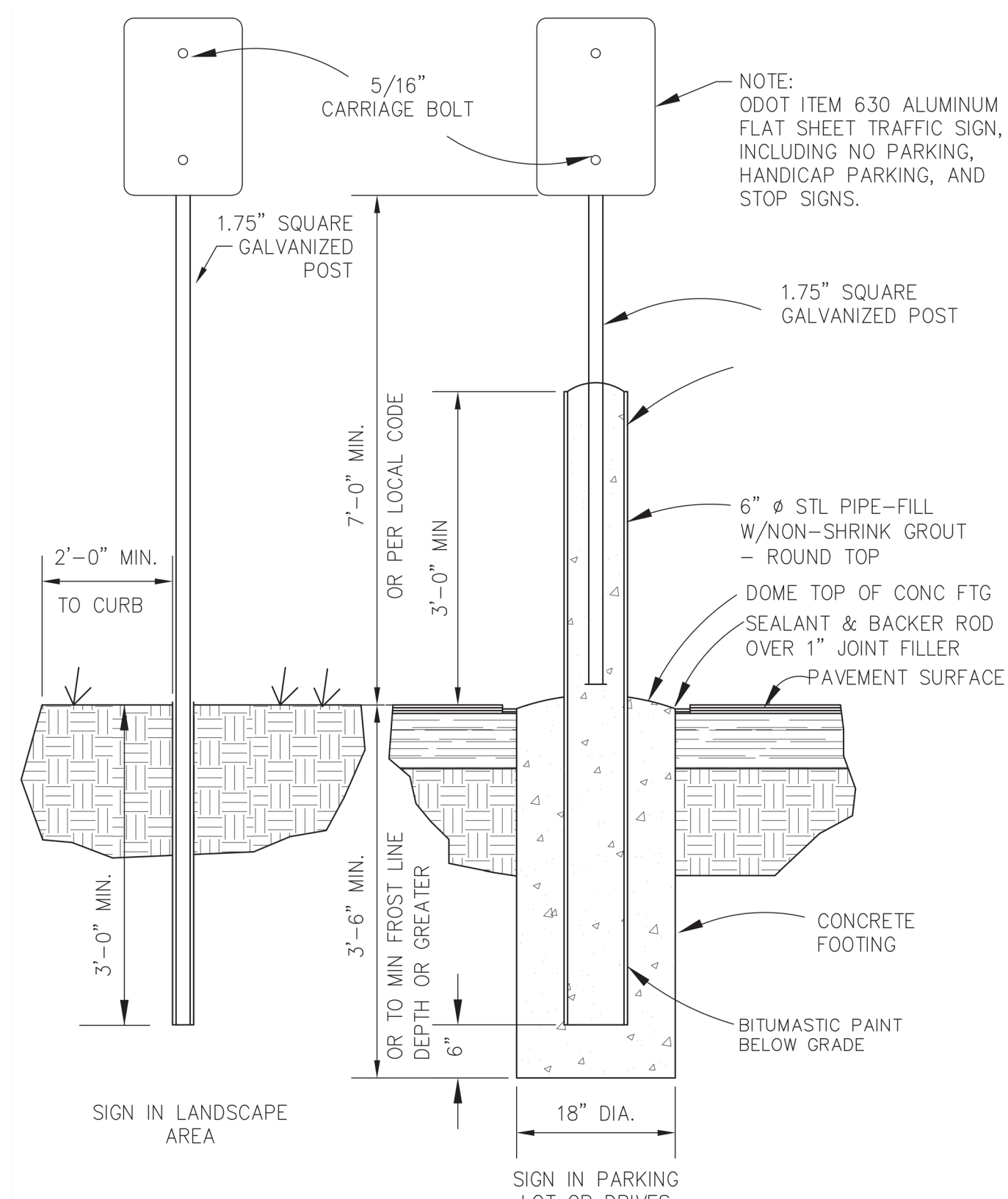
Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

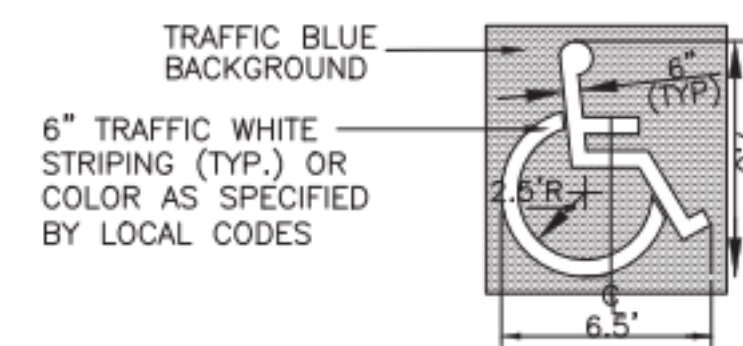
LDA Project No.23.47

ENLARGED SITE PLAN -
NORTH PARKING LOT
AS.03

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT



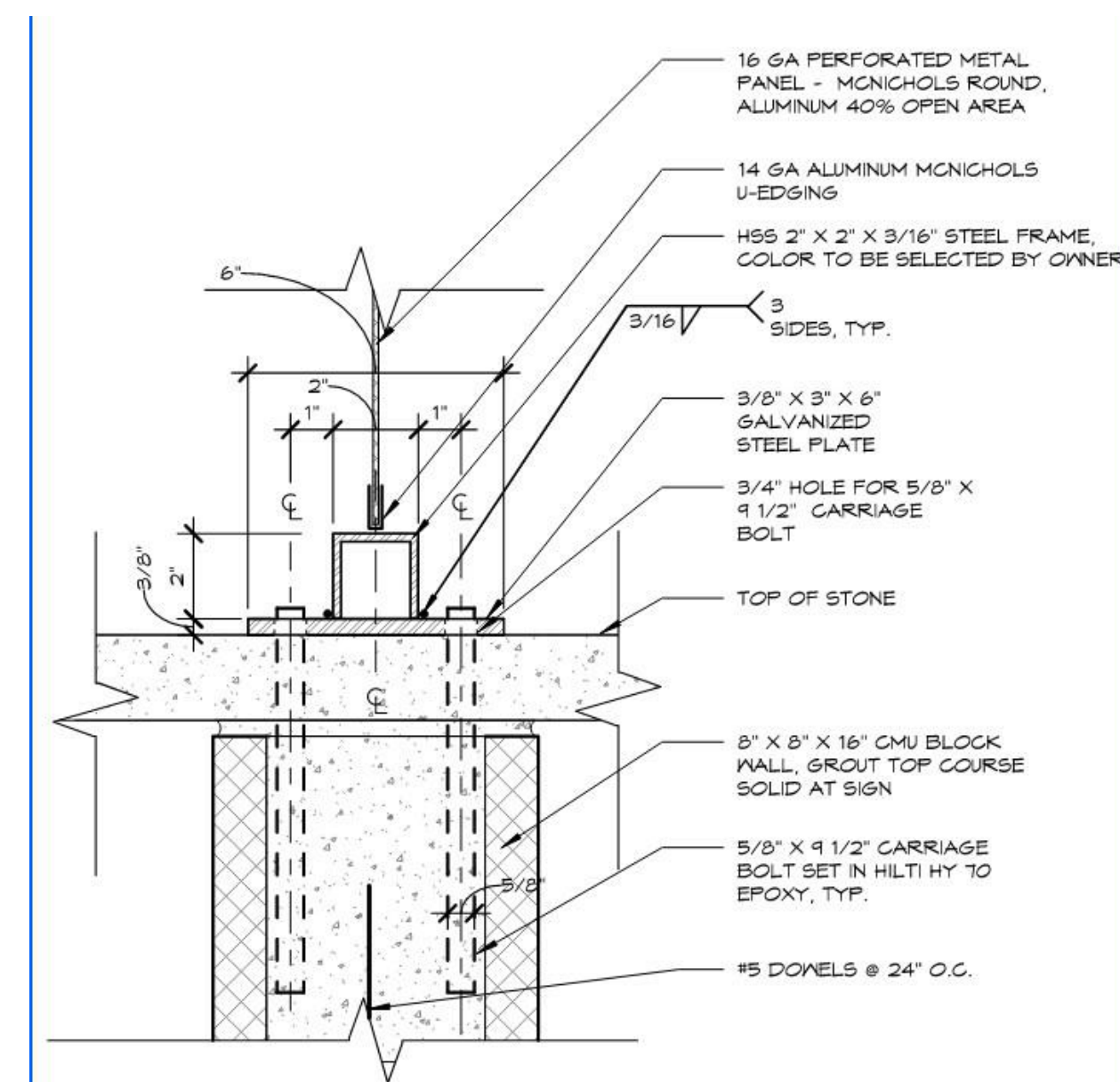
6 PARKING SIGNAGE
AS.04 SCALE: 3/4" = 1'-0"



ACCESSIBLE PARKING SYMBOL
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING WHERE SPECIFIED

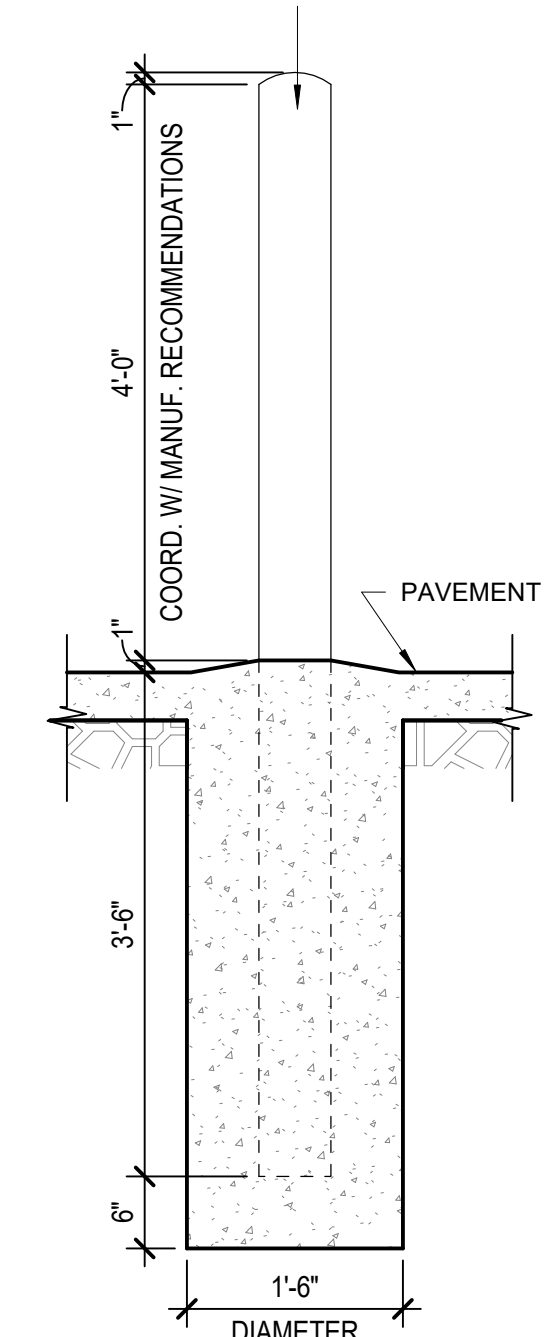
- NOTE:
- WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS
 - THESE WORDS AND ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.

7 ROADWAY PAVEMENT PAINTING
AS.04 SCALE: 3/4" = 1'-0"

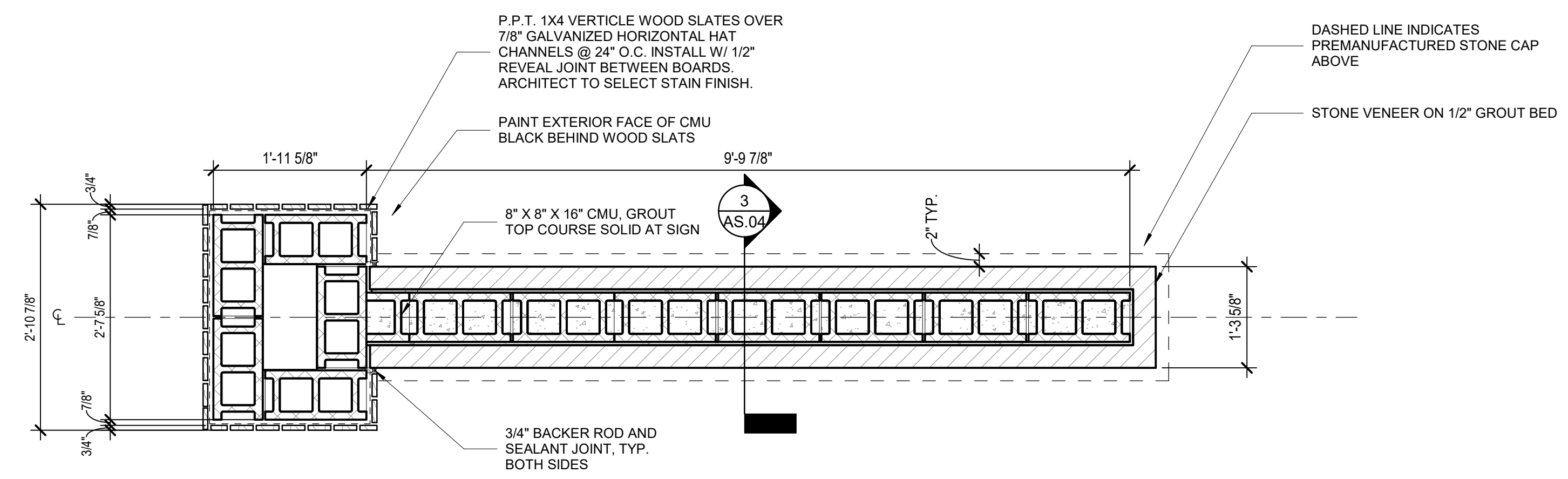


4 HSS CONNECTION DETAIL
AS.04 SCALE: 3" = 1'-0"

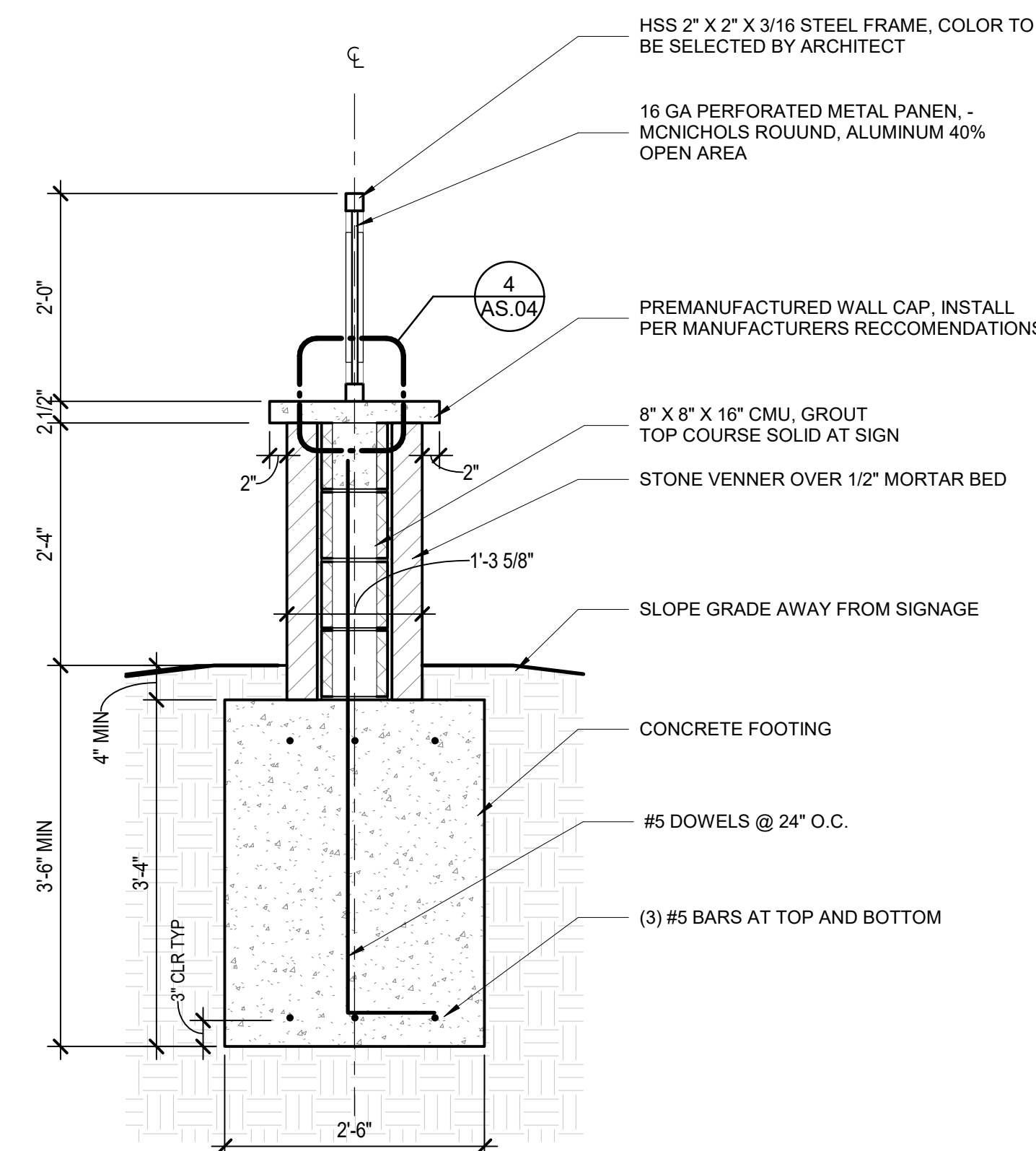
CONCRETE FILLED 6" DIA. SCH. 40 STEEL PIPE COORDINATE WITH MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION. FINISH TO BE PAINTED EXTERIOR GRADE EPOXY. COLOR TO BE SELECTED BY ARCHITECT.



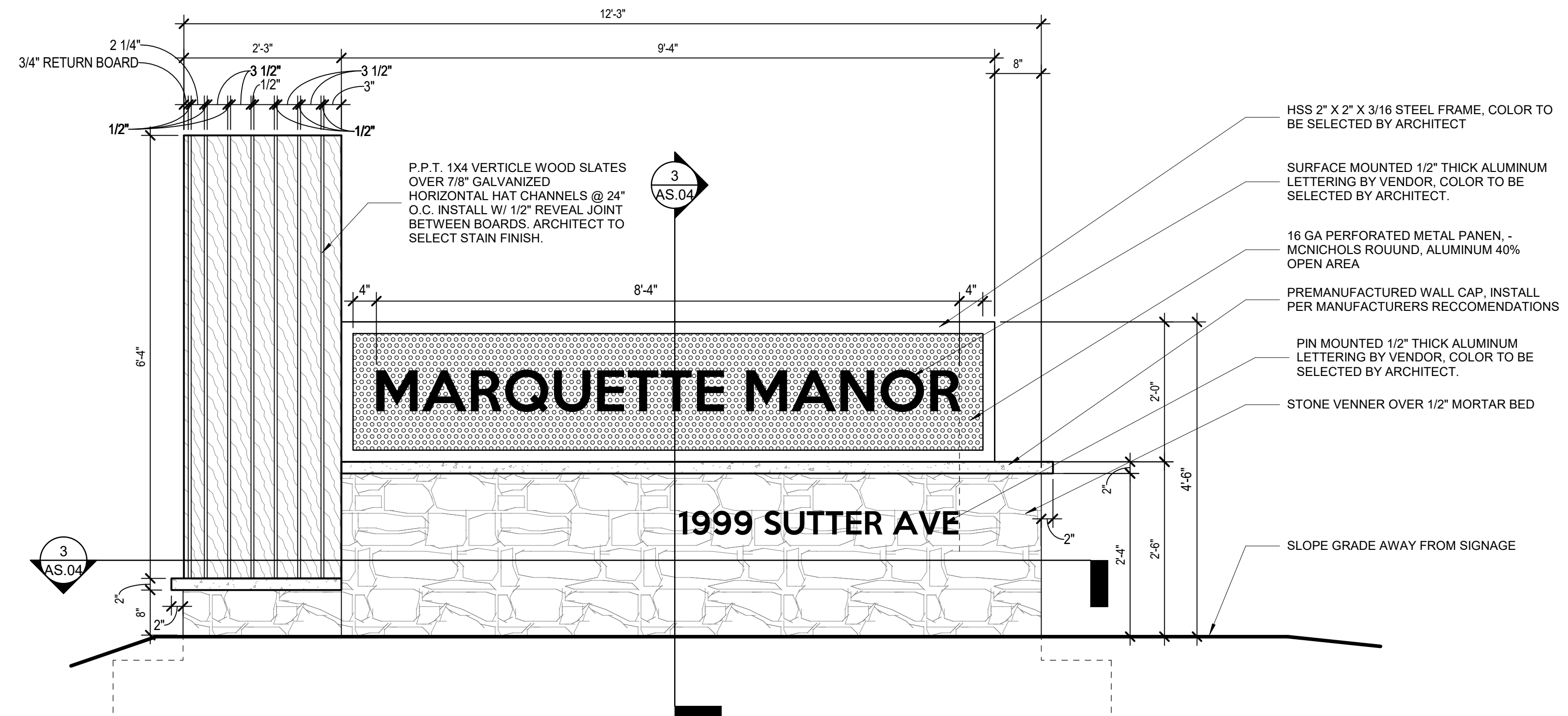
5 BOLLARD DETAIL
AS.04 SCALE: 3/4" = 1'-0"



2 MONUMENT SIGN PLAN
AS.04 SCALE: 3/4" = 1'-0"



3 MONUMENT SIGN SECTION
AS.04 SCALE: 3/4" = 1'-0"



1 MONUMENT SIGN ELEVATION
AS.04 SCALE: 3/4" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

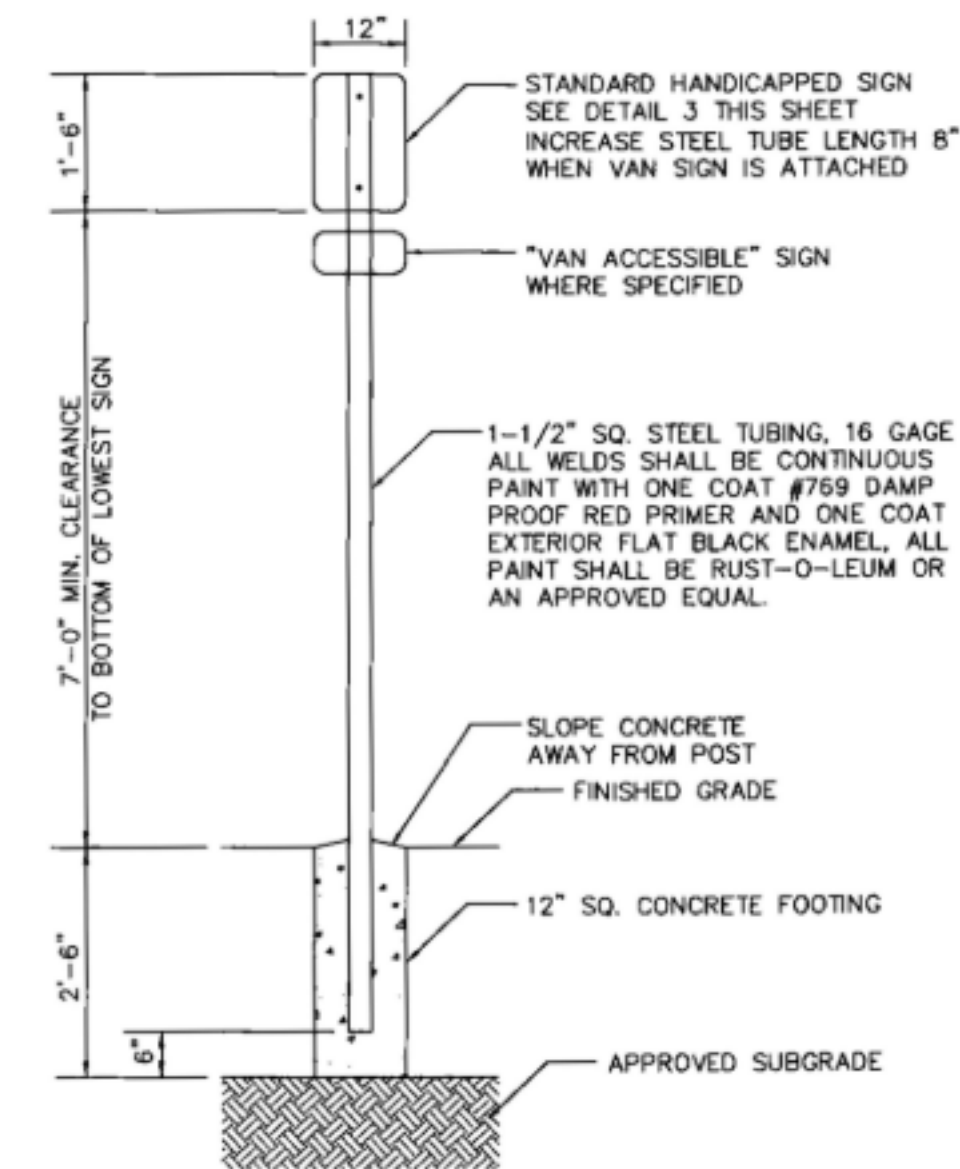
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

SITE DETAILS

AS.04

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT



- NOTES**
- DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'.
 - SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAPPED SIGN.
 - ALL WORK SHALL BE DONE IN ACCORDANCE MOST CURRENT ADA REGULATIONS.

HANDICAP SIGN MOUNTING

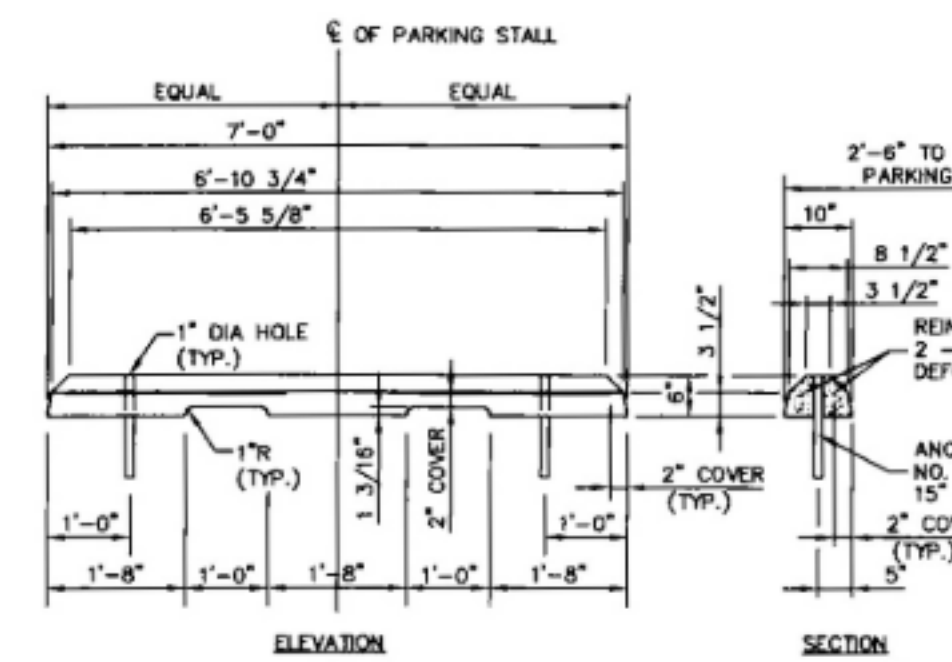


COLORS
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

NOTE: FOR ADDITIONAL INFORMATION, REFER TO SIGN MOUNTING DETAIL, THIS SHEET.

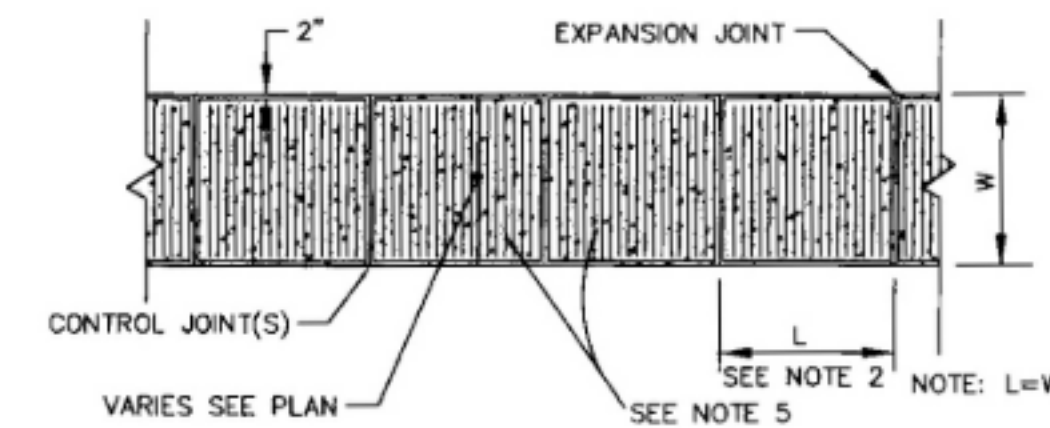
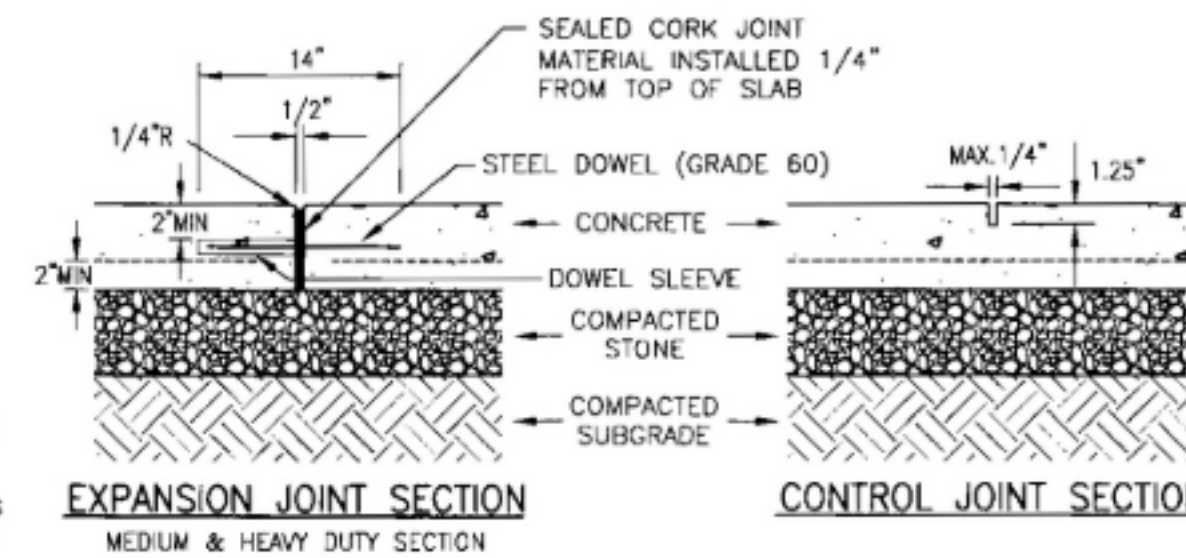
J. Section 4.6.4 Signage. Each accessible parking space shall be identified by an approved sign with the bottom edge of at least 7 feet above the ground, unless the sign is placed flush against a building, structure, or other location that does not obstruct vehicle or pedestrian traffic, in which case the sign shall be at least 6 feet and no more than 10 feet above the ground. Signs shall bear the international symbol of access and the words "Reserved Parking" and shall be in conformance with the requirements of the Maryland District of Columbia.

HANDICAP PARKING SIGN



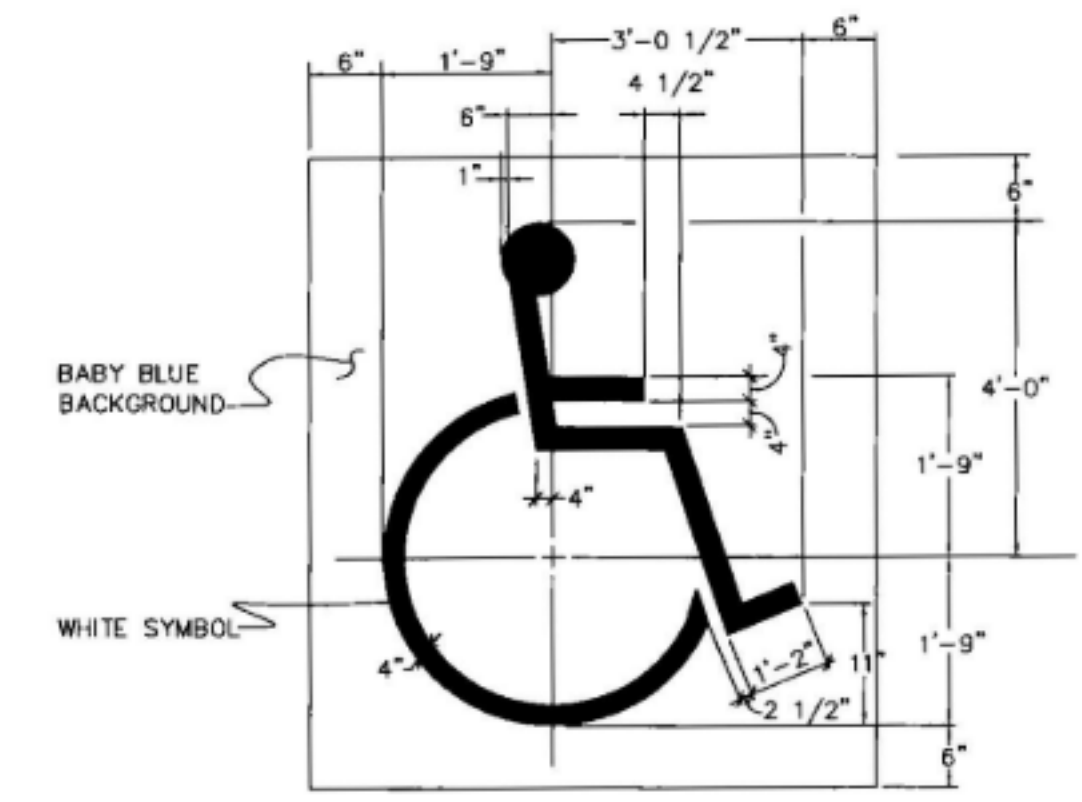
NOTE: PLACE CONCRETE WHEEL STOP 2'-6" FROM EDGE OF PARKING SPACE

WHEEL STOP DETAILS



- NOTES:**
- MATERIALS AND CONSTRUCTION METHODS SHALL MATCH DDOT STANDARDS. CONCRETE SHALL BE MIN. 3500 PSI CLASS F CONCRETE. 3500 PSI CLASS E CONCRETE SHALL BE USED WHERE SUBJECTED TO VEHICLE TRAFFIC.
 - CONTROL JOINTS, SPACED TO MATCH SIDEWALK WIDTH (6' MAX), SHALL BE INSTALLED IN THE SIDEWALK CONCRETE TO FORM SQUARE PANELS. CONTROL JOINTS SHALL BE SAW-CUT OR FORMED, 1 1/4" DEEP.
 - EXPANSION JOINTS FOR SIDEWALK SHALL BE 1/4" WIDTH PREFORMED CORK MATERIAL, INSTALLED EVERY 15' MAX.
 - EXPANSION JOINTS FOR MEDIUM & HEAVY DUTY SIDEWALK/CONCRETE PAVING SHALL BE 1/2" WIDTH PREFORMED CORK INSTALLED EVERY 30' MAX. WITH DOWELS AT 12" SPACING. 1/2" EXPANSION JOINTS SHALL ALSO BE PLACED WHERE SIDEWALKS ABUT CURBS AND OTHER RIGID STRUCTURES.
 - FINISH SURFACES WITH A LIGHT BROOM FINISH.
 - INSTALL REINFORCING MIN. 2" FROM SURFACES AND EDGES, TYP.

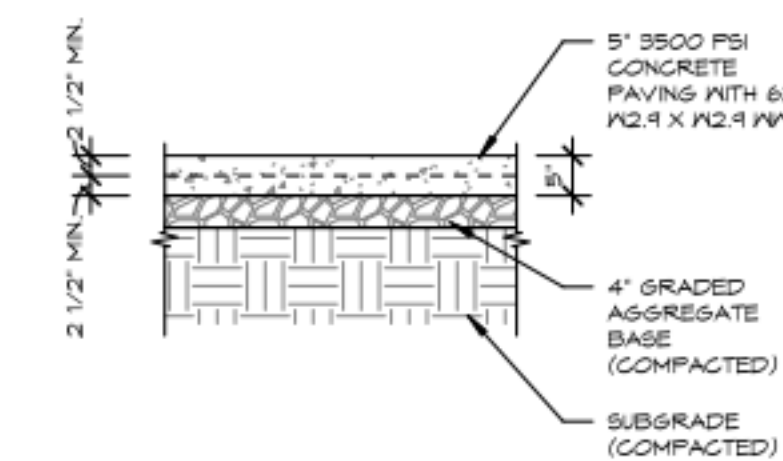
TYPICAL SIDEWALK DETAILS



PLACE SYMBOL @ CENTERLINE OF STALL, REFER TO PARKING STRIPING DETAIL THIS SHEET FOR DIMENSIONS.

NOTE: THIS DETAIL PROVIDED FOR REFERENCE ONLY! ALL DIMENSIONS, LAYOUT, BACKGROUNDS AND COLOR MUST CONFORM TO MOST CURRENT ADA GUIDELINES.

HANDICAP PARKING SYMBOL PAVEMENT PAINTING



1 CONCRETE PAVING DETAIL
SCALE: 1/2" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2022

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

SITE DETAILS

AS.05

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

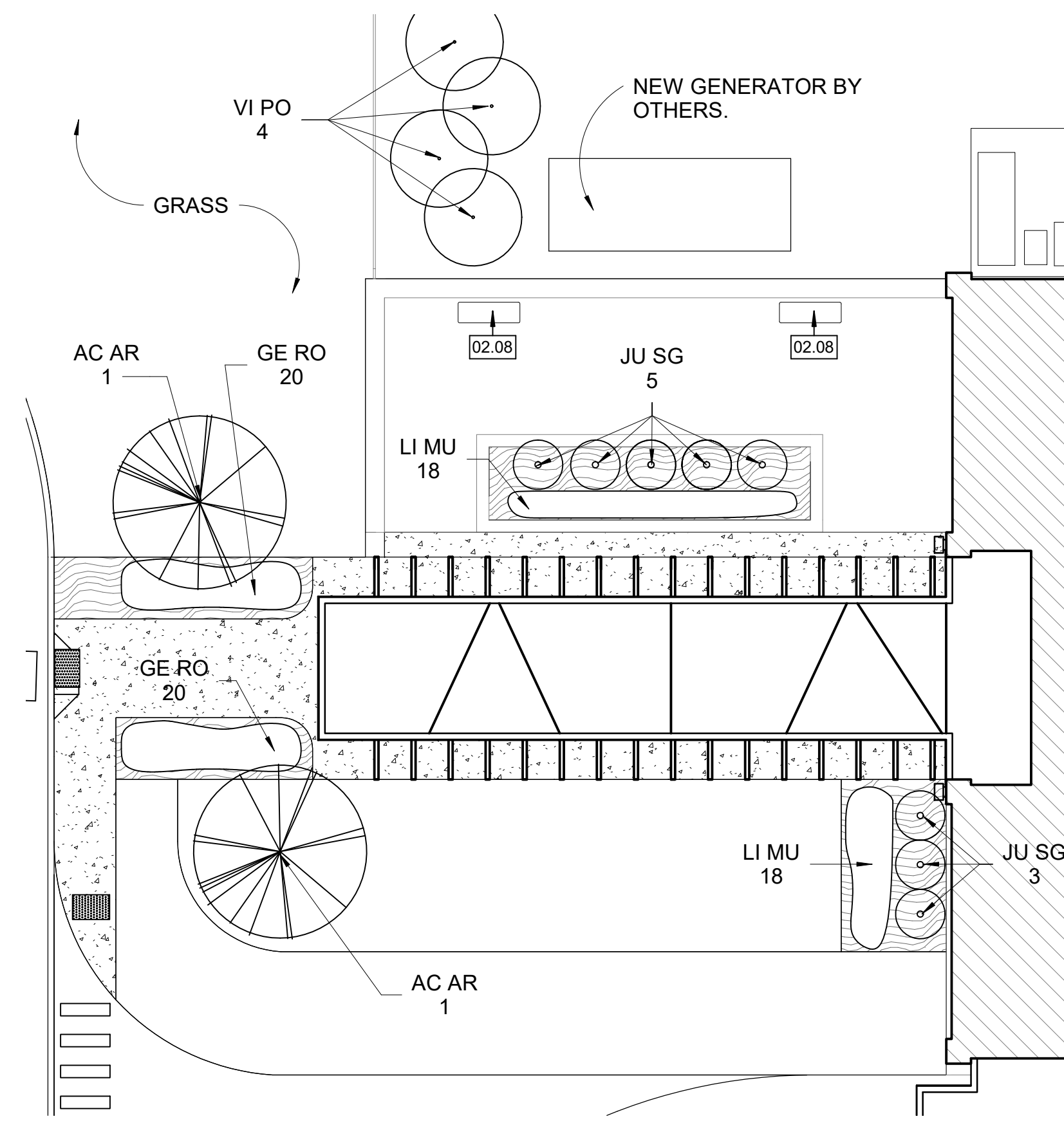
02.01 PROVIDE NEW ACCESSIBLE PARKING SIGNAGE.
02.05 PROVIDE NEW ACCESSIBLE VAN PARKING SIGNAGE.
02.06 PROVIDE NEW ULINE 6" COURTYARD BENCH WITH BACK #H-3018. ARCHITECT TO SELECT COLOR.

Overall Site Plant Material List:

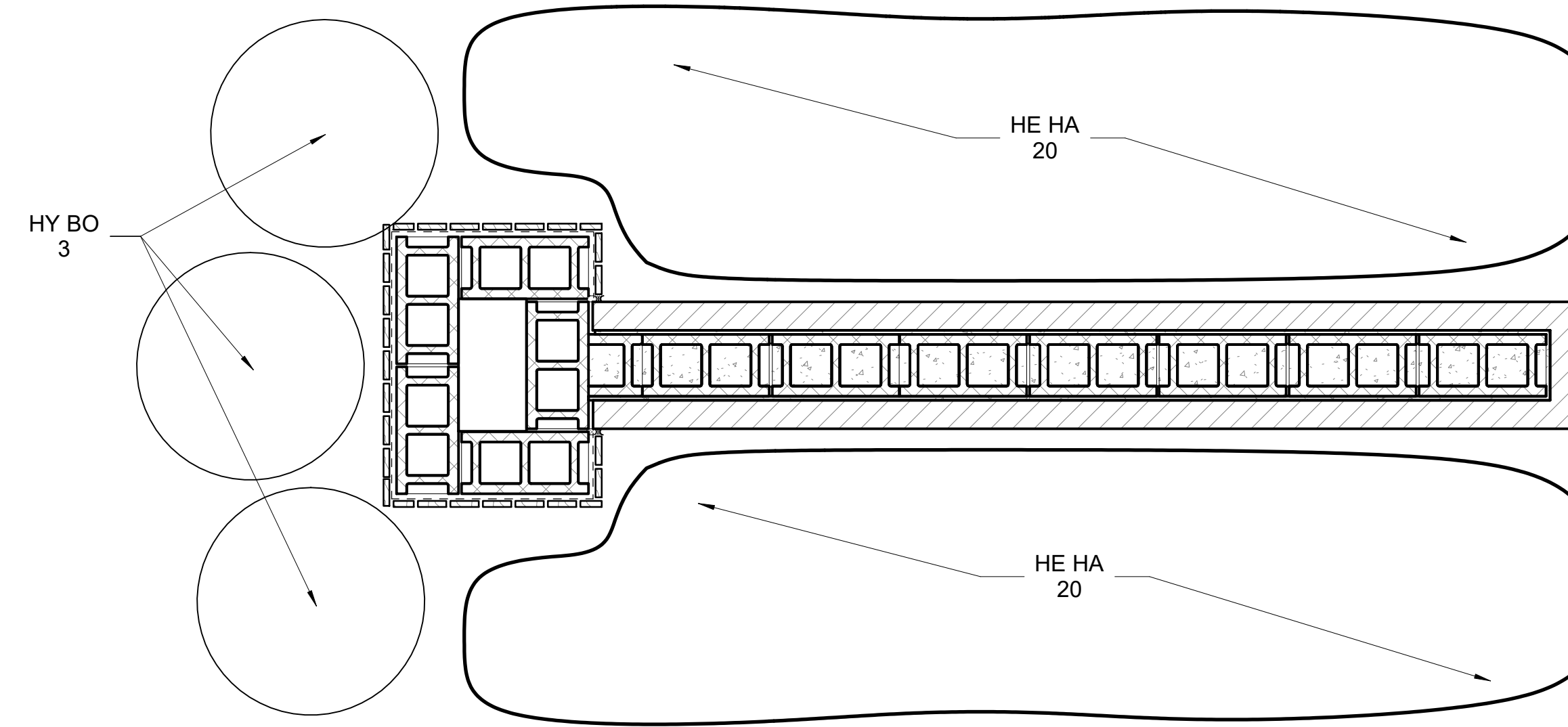
Trees				
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE COND.
AC CE	04	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	4" Cal. B&B
AC AR	03	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	4" Cal. B&B
CO KO	04	CORNUS KOUSA 'CHINENSIS'	KOUSA DOGWOOD	8" HT. B&B
ST PS	01	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	6" HT. clump B&B
TI CO	06	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	3" Cal. B&B

Shrubs				
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE COND.
FO GA	05	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	No. 3 CONT.
HY BO	03	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	No. 7 CONT.
IT VI	11	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPICE	No. 5 CONT.
JU SG	08	JUNIPERUS CHINENSIS 'SEA GREEN'	ROSEUM ELEGANS RHODODENDRON	No. 7 CONT.
SP LP	08	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA	No. 3 CONT.
TA ME	11	TAXUS MEDIA 'EVERLOW'	EVERLOW YEW	36" HT. B&B
TH EM	08	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	8" HT. B&B
VI PO	04	VIBURNUM Plicatum 'POPCORN'	POPCORN DOUBLEFILE VIBURNUM	30" HT. CONT.

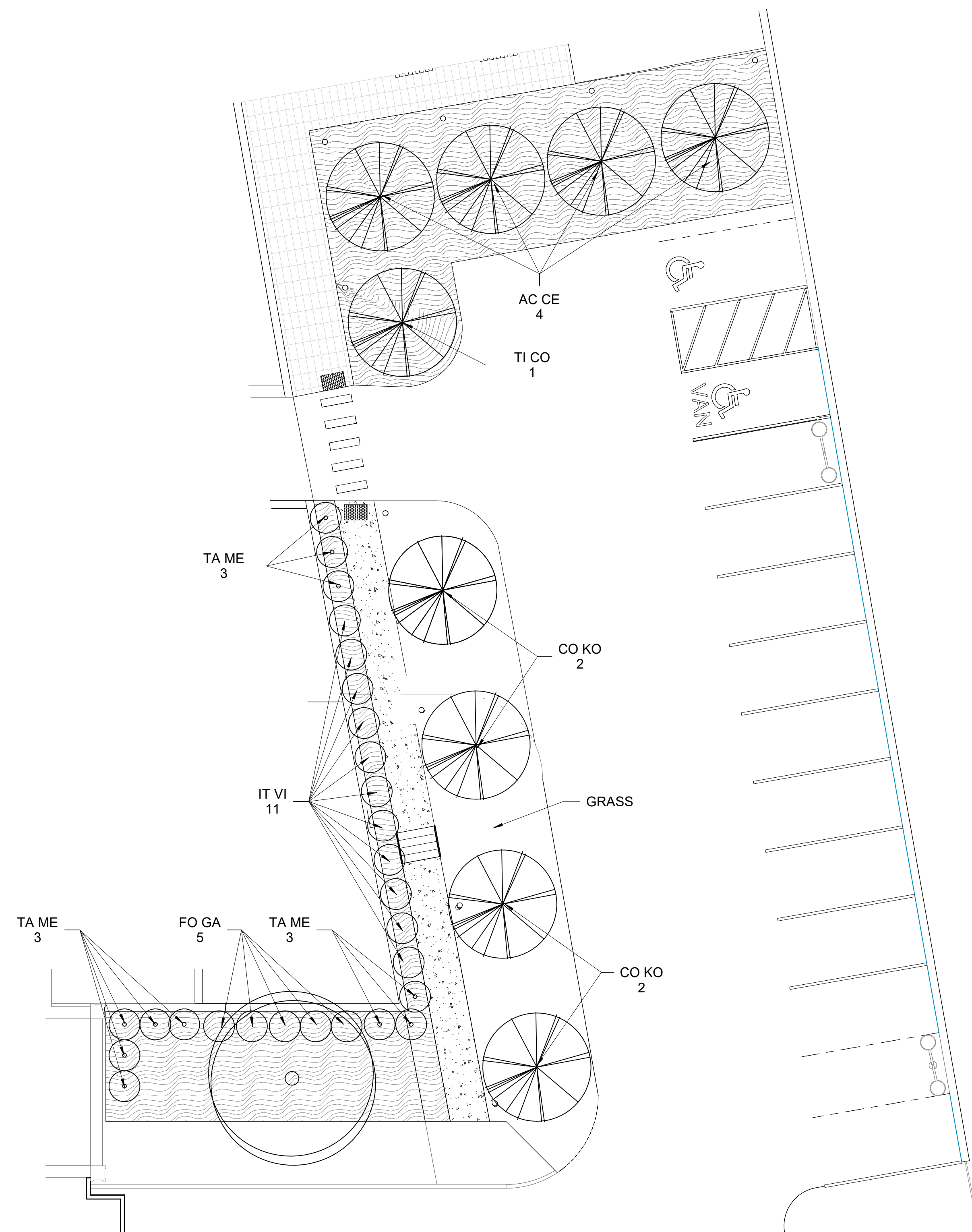
Perennials and Groundcovers				
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE COND.
GE RO	40	GERANIUM X 'ROZANNE'	ROZANNE CRANSBILL	No. 1 CONT.
HE HA	40	HEMEROCALLIS 'HAPPY RETURN'	HAPPY RETURN DAYLILLY	No. 1 CONT.
LI VI	36	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILY TURF	No. 1 CONT.



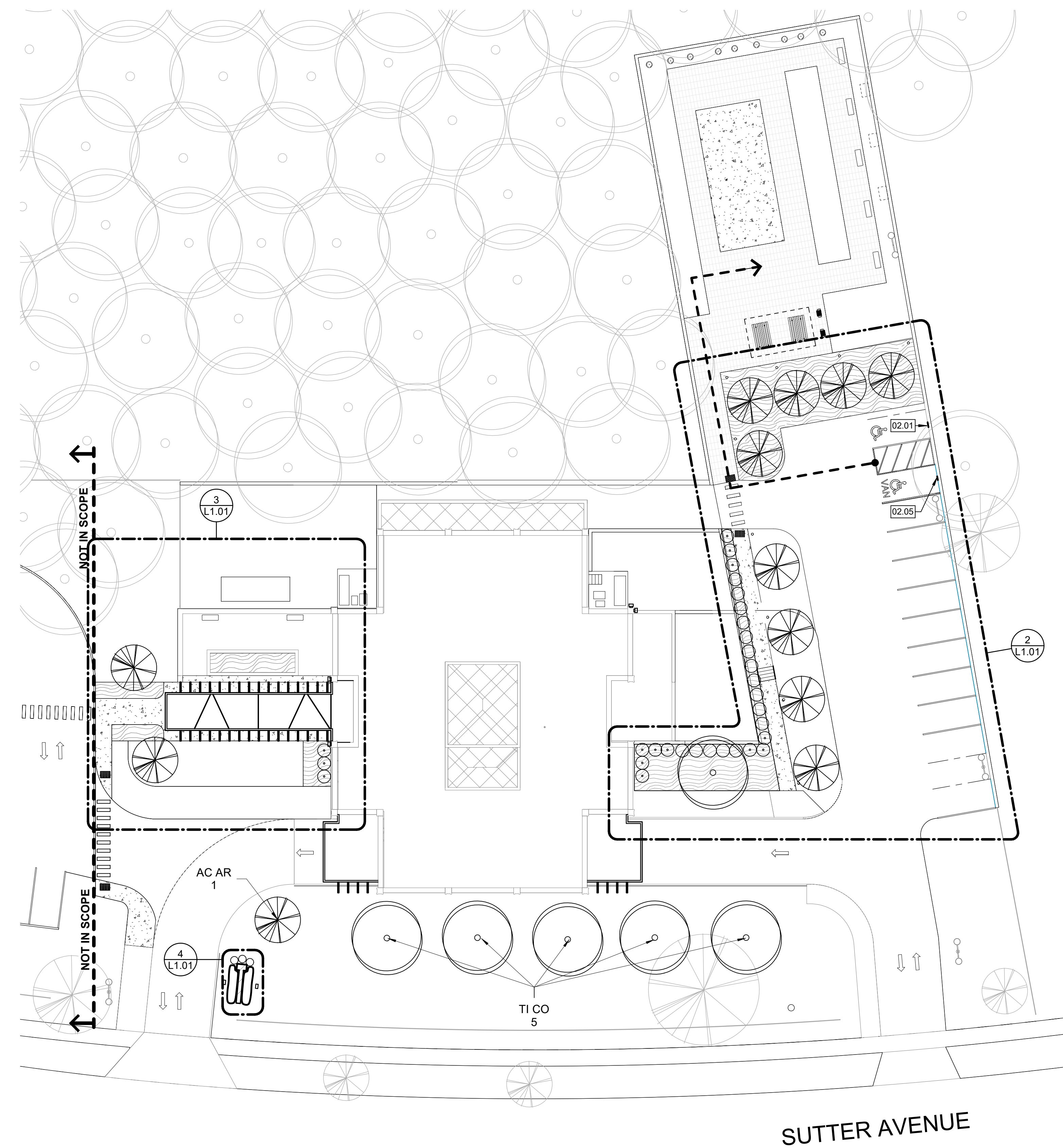
3 LANDSCAPE PLAN - MAIN ENTRANCE
L1.01 SCALE: 1" = 10'-0"



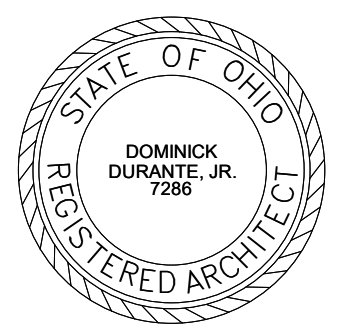
4 MONUMENT SIGN PLAN - LANDSCAPE
L1.01 SCALE: 3/4" = 1'-0"



2 LANDSCAPE PLAN - NORTH PARKING LOT
L1.01 SCALE: 1" = 10'-0"



1 PROPOSED LANDSCAPE PLAN
L1.01 SCALE: 1" = 20'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

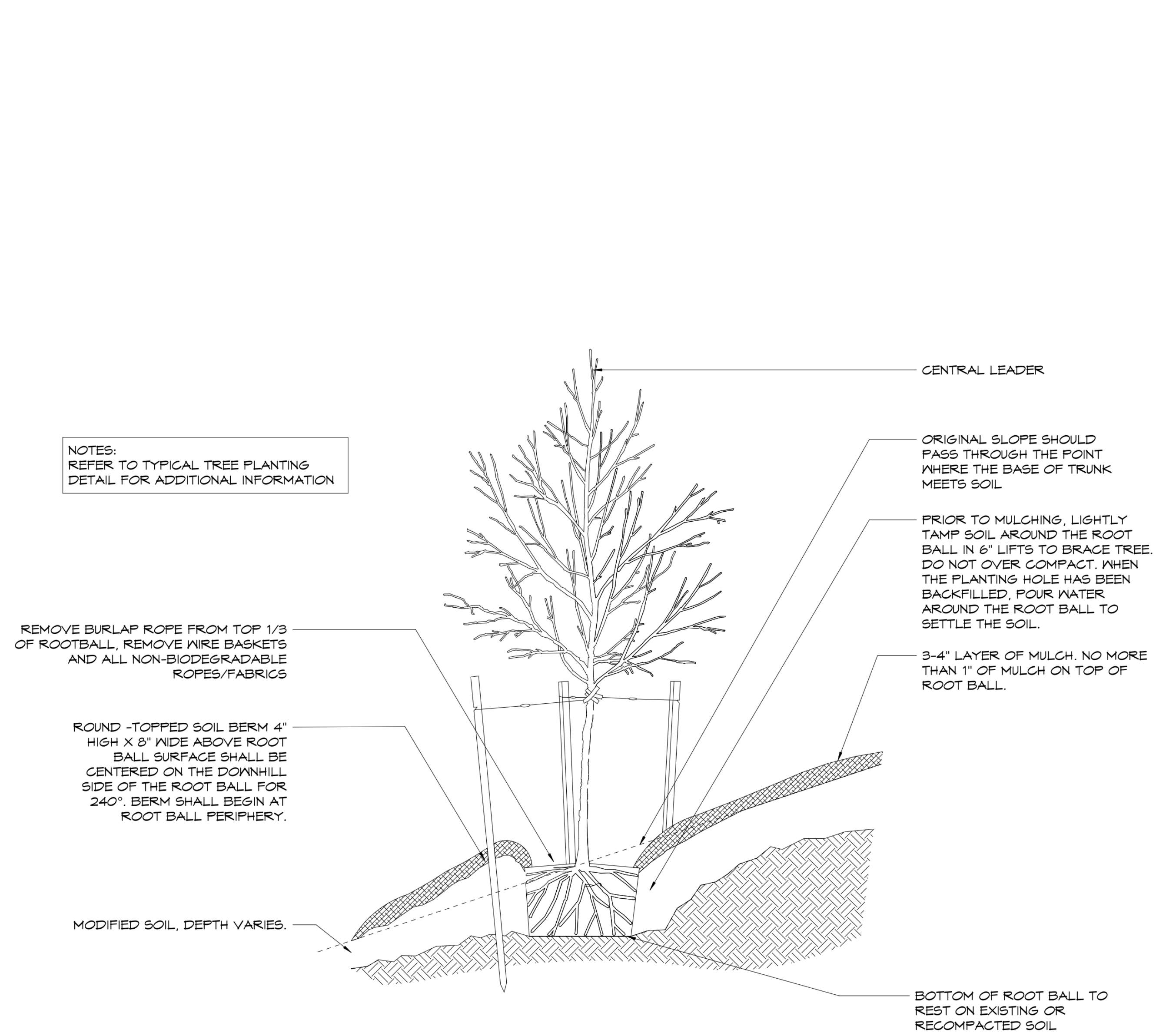
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

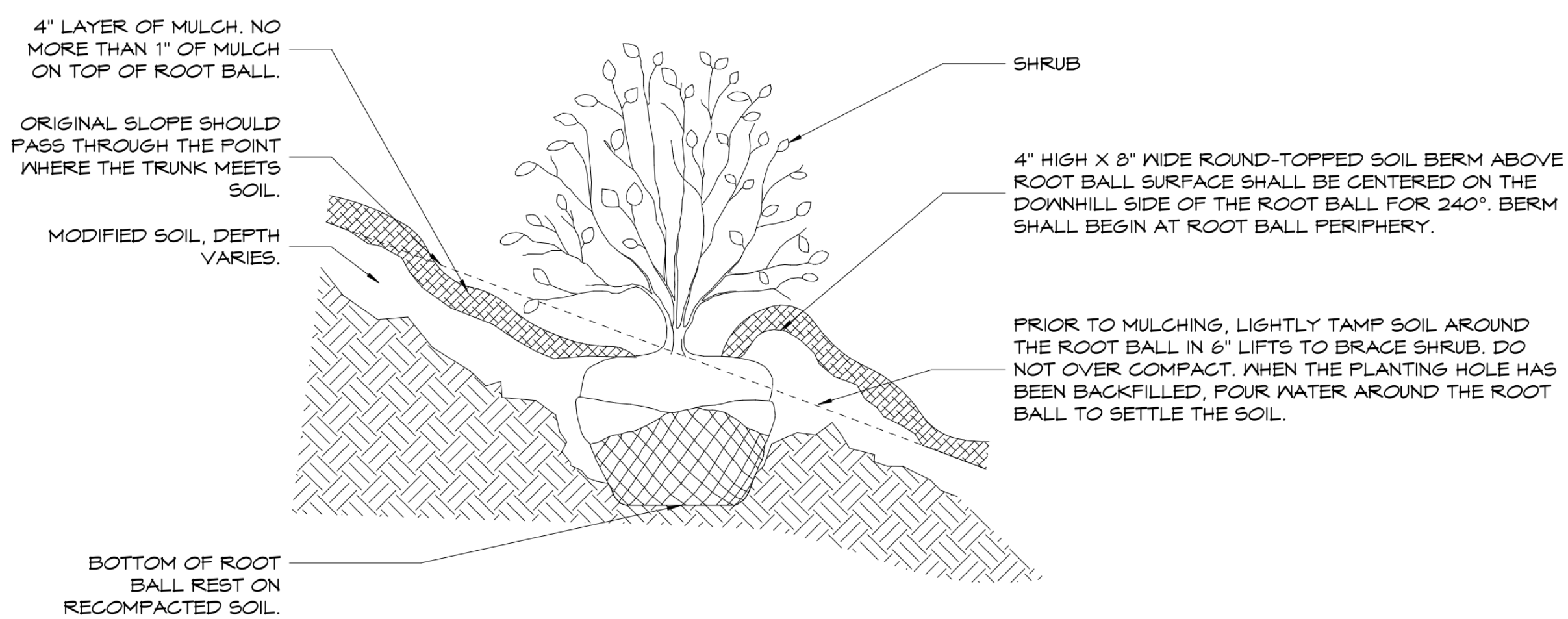
PROPOSED LANDSCAPE PLANS

L1.01

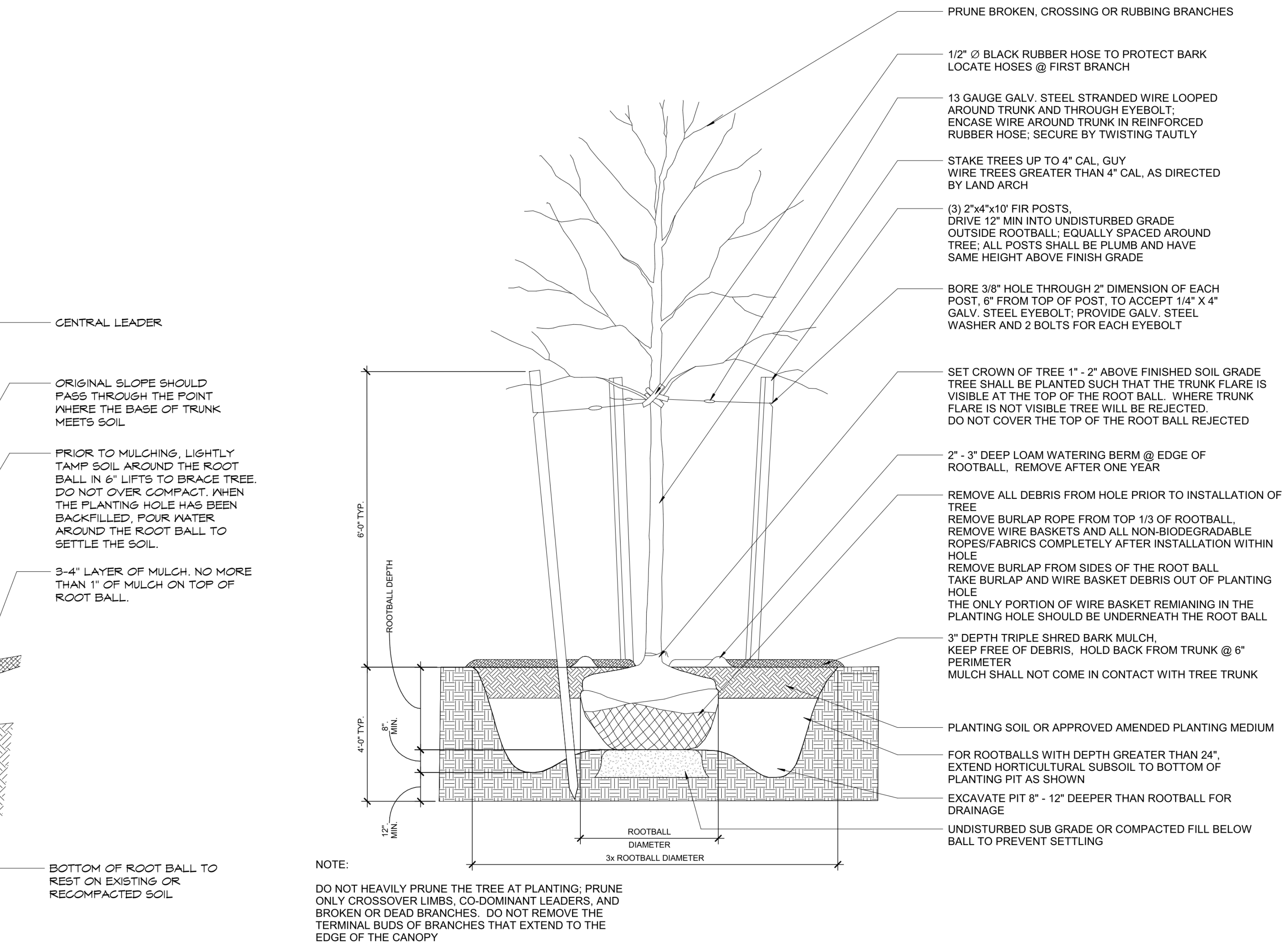
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT



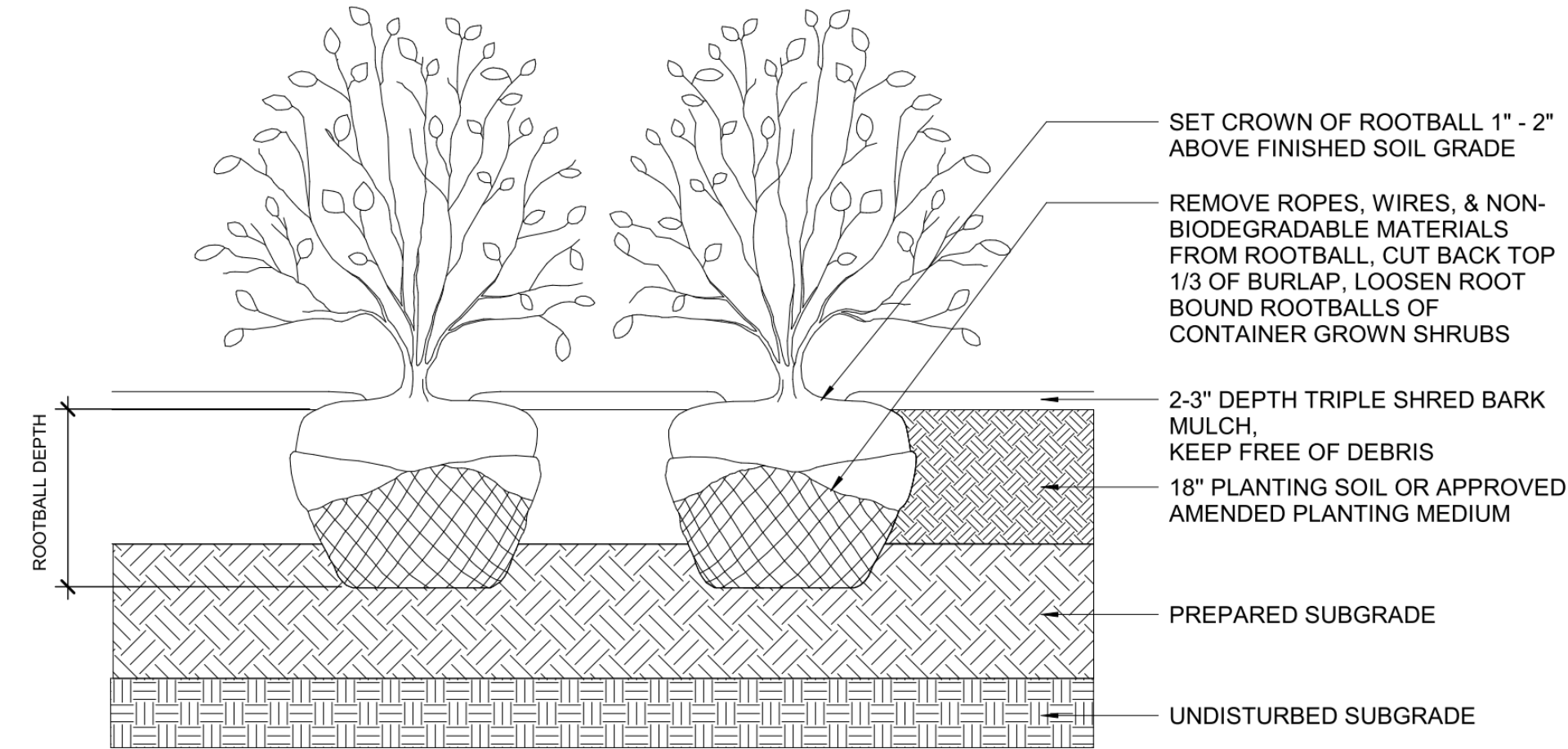
9 TYP. TREE ON SLOPE DETAIL
AS1.03 SCALE: 3/4" = 1'-0"



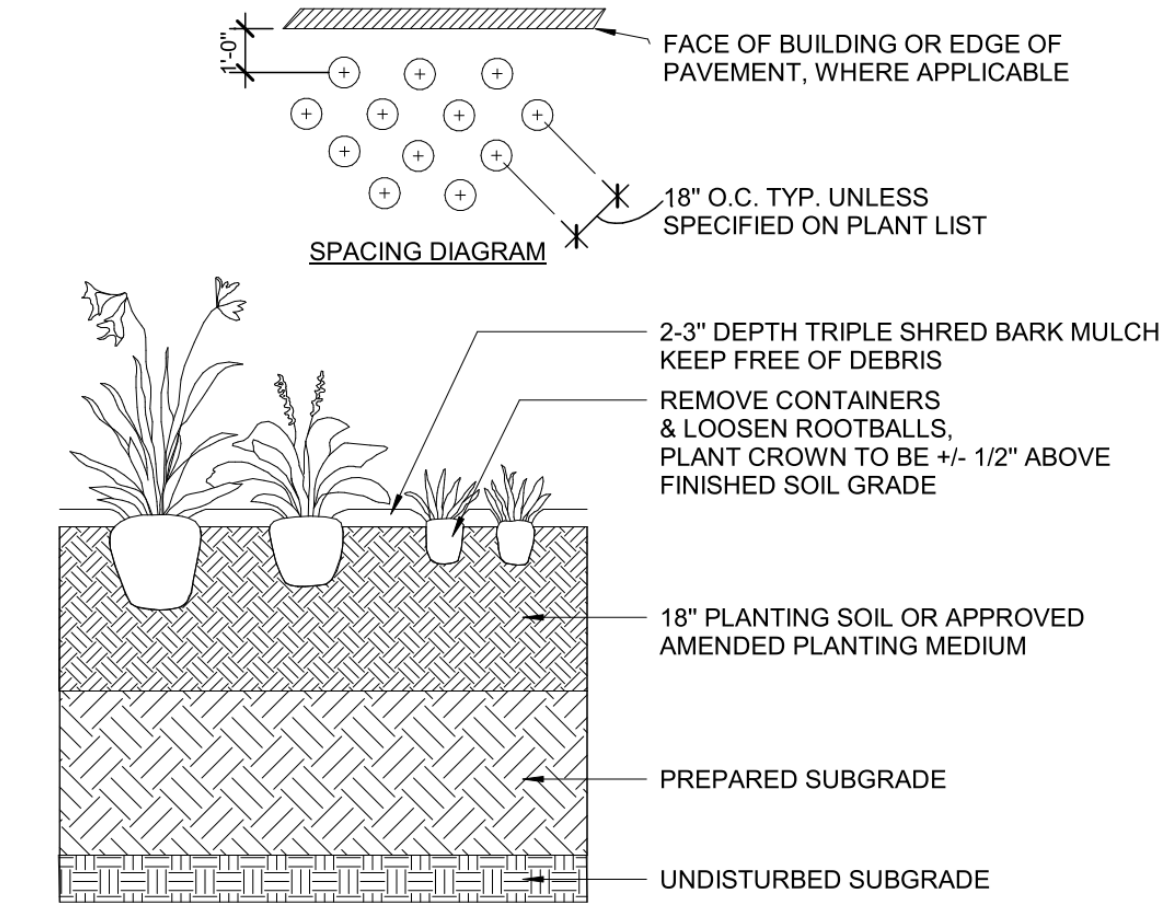
7 TYP. SHRUB ON SLOPE DETAIL
AS1.03 SCALE: 1" = 1'-0"



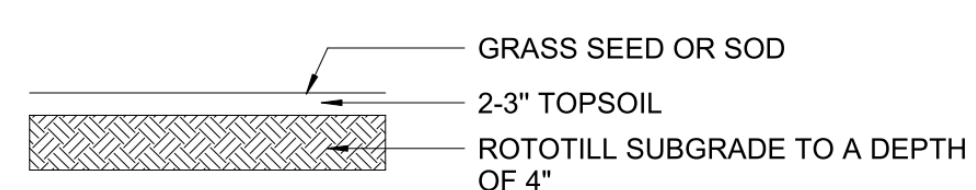
8 TYP. TREE DETAIL
AS1.03 SCALE: 1/2" = 1'-0"



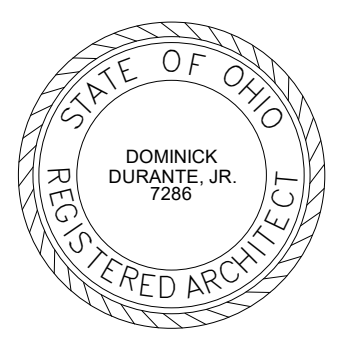
6 TYP. SHRUB DETAIL
AS1.03 SCALE: 1" = 1'-0"



5 TYP. PERENNIAL DETAIL
AS1.03 SCALE: 1" = 1'-0"



3 TYP. GRASS DETAIL
AS1.03 SCALE: 1" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

LANDSCAPE DETAILS

L1.02

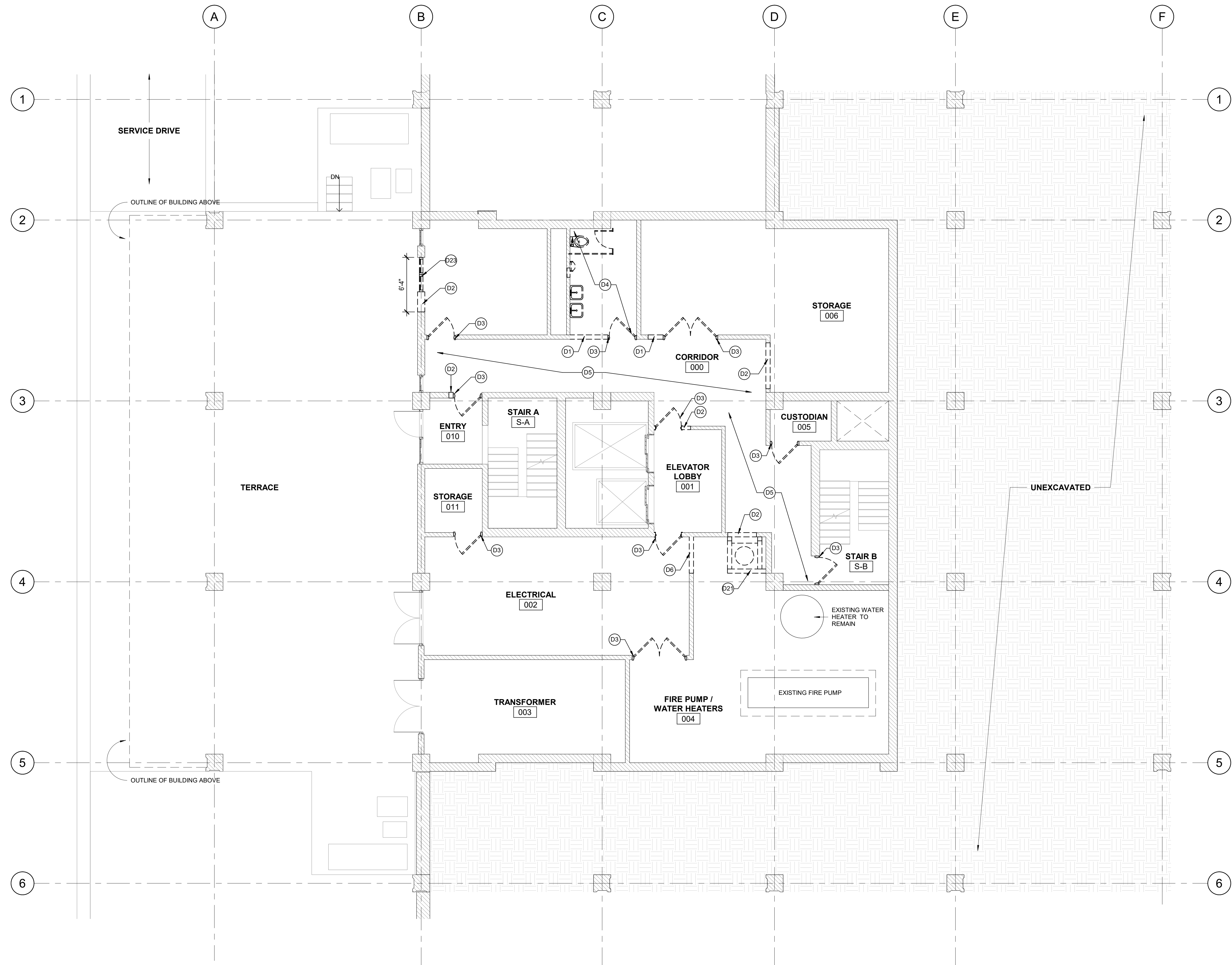
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

FLOOR PLAN LEGEND

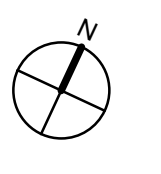
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN.
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- D1 REMOVE PORTION OF EXISTING WALL AND ANY ASSOCIATED UTILITIES OR EQUIPMENT.
- D2 REMOVE PORTION OF EXISTING WALL TO ACCOMMODATE NEW DOOR. REFER TO DOOR SCHEDULE FOR NEW DOOR SIZE.
- D3 REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
- D4 REMOVE ALL EXISTING TILE FLOORING AND VINYLBASE FROM RESTROOM. PREPARE SUBFLOOR TO RECEIVE NEW FINISHES.
- D5 REMOVE EXISTING FLOORING AND VINYL BASE. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING.
- D6 REMOVE EXISTING WALL IN ITS ENTIRETY UP TO STRUCTURAL DECK.
- D21 REMOVE EXISTING METAL TRASH CHUTE FROM SHAFT. REMOVE MISCELLANEOUS METAL FRAMING AROUND CHUTE OPENING.
- D23 REMOVE EXISTING LOUVER SYSTEM.



1
D1.01 OVERALL BASEMENT LEVEL DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

OVERALL BASEMENT LEVEL DEMOLITION PLAN
D1.01

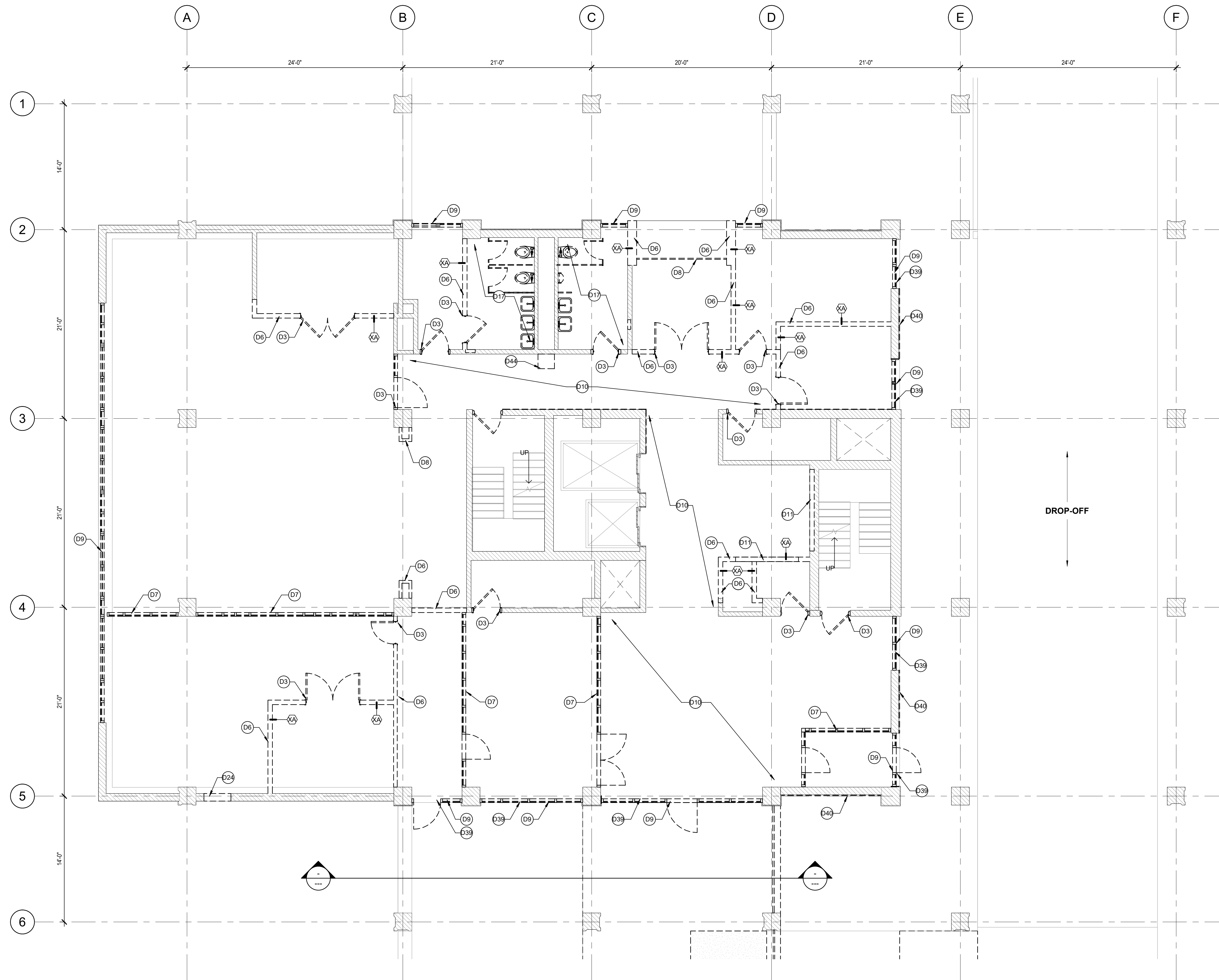
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

FLOOR PLAN LEGEND

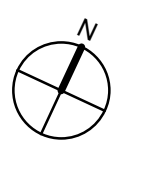
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN.
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- D3 REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
- D6 REMOVE EXISTING WALL IN ITS ENTIRETY UP TO STRUCTURAL DECK.
- D7 REMOVE EXISTING INTERIOR STOREFRONT SYSTEM INCLUDING GLASS, FRAMES, AND HARDWARE IN THEIR ENTIRETY.
- D8 REMOVE EXISTING OVERHEAD DOOR, STEEL ANGLES, AND CONCRETE BLOCK BULKHEAD IN THEIR ENTIRETY UP TO STRUCTURAL DECK.
- D9 REMOVE EXISTING EXTERIOR STOREFRONT SYSTEM AND PREPARE OPENING TO RECEIVE NEW STOREFRONT.
- D10 REMOVE EXISTING FLOOR AND WALL TILE THROUGHOUT EXISTING LOBBY AND CORRIDOR. PREPARE SURFACES TO RECEIVE NEW FINISHES.
- D11 REMOVE EXISTING MAILBOXES IN THEIR ENTIRETY.
- D17 REMOVE ALL EXISTING TILE FLOORING, BASE PLUMBING FIXTURES, GRAB BARS, AND MIRRORS FROM BATHROOM.
- D24 REMOVE PORTION OF EXISTING EXTERIOR WALL TO ACCOMMODATE NEW STOREFRONT WINDOW. REFER TO STOREFRONT AND WALL TYPES.
- D39 REMOVE EXISTING EIFS EXTERIOR FINISH PANELS ABOVE STOREFRONT DOWN TO SUBSTRATE.
- D40 REMOVE EXISTING EIFS EXTERIOR FINISH PANELS DOWN TO SUBSTRATE.
- D44 REMOVE EXISTING DRINKING FOUNTAIN.



1 OVERALL GROUND LEVEL DEMOLITION PLAN
D1.02 SCALE: 3/16" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

OVERALL GROUND FLOOR DEMOLITION PLAN

D1.02

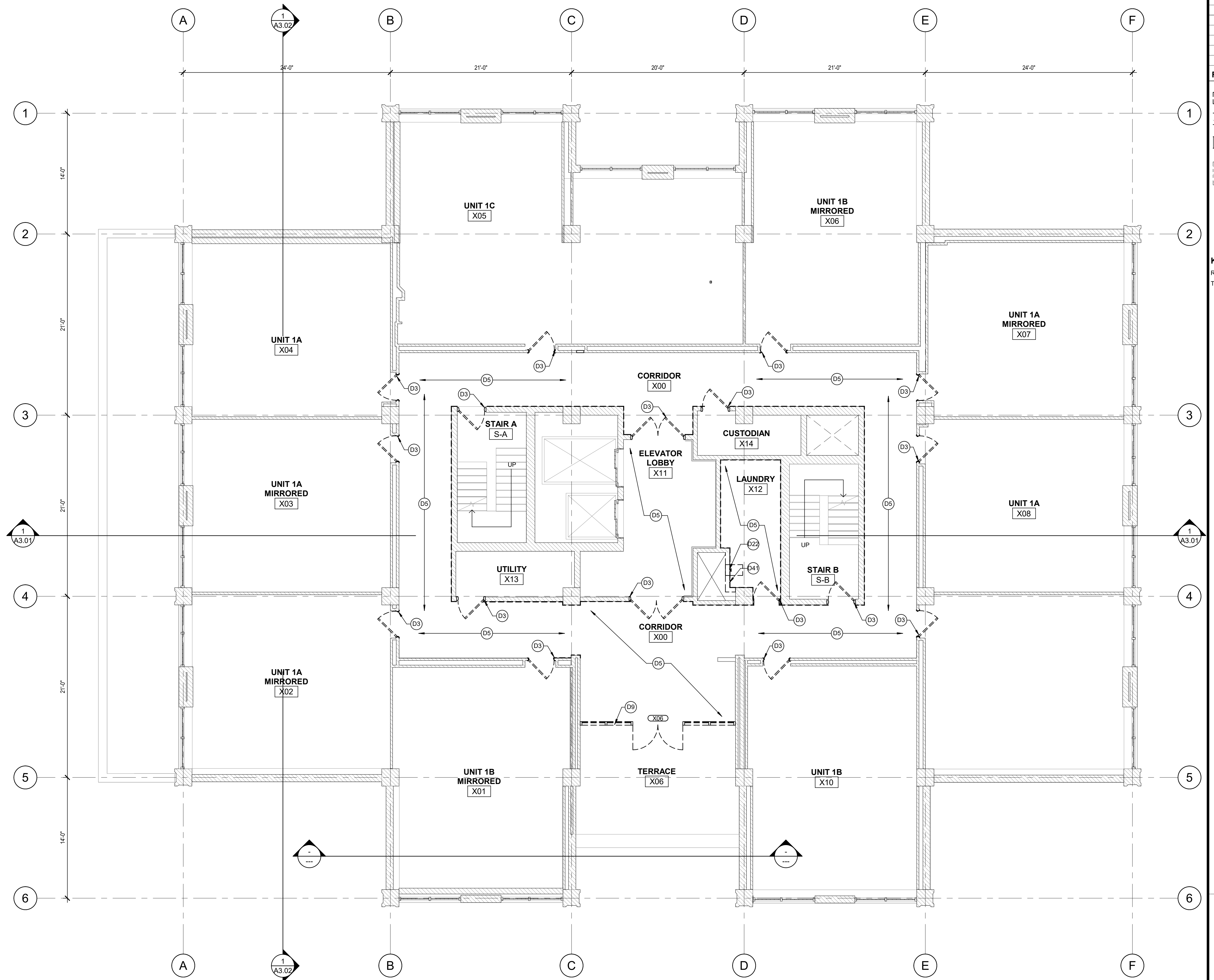
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

FLOOR PLAN LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN.
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- D3 REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
- D5 REMOVE EXISTING FLOORING AND VINYL BASE. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING.
- D9 REMOVE EXISTING EXTERIOR STOREFRONT SYSTEM AND PREPARE OPENING TO RECEIVE NEW STOREFRONT.
- D22 REMOVE EXISTING TRASH CHUTE DOOR AT EACH FLOOR, TYPICAL.
- D41 REMOVE PORTION OF EXISTING WALL TO EXTENDS SHOWN ON LEVEL 2 ONLY. PREPARE AREA FOR FLOOR INFILL.



1
D1.03 OVERALL 2ND - 15TH LEVEL PLAN - DEMOLITION
SCALE: 3/16" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

OVERALL 2ND-15TH FLOOR
DEMOLITION PLAN

D1.03

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

FLOOR PLAN LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN.
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL

- 03.01 INFILL EXISTING CONCRETE SLAB WHERE TRASH CHUTE WAS REMOVED AT FIRST AND SECOND FLOOR. REFER TO STRUCTURAL.
- 03.07 PROVIDE NEW CONCRETE BOLLARD. REFER TO BOLLARD DETAIL.

SCOPE OF WORK & GENERAL NOTES - COMMON AREAS

1. REFER TO COVER SHEET G0.01 FOR OVERALL PROJECT GENERAL NOTES AND DEMOLITION GENERAL NOTES.
2. REFER TO A6.00 SHEETS FOR DWELLING UNIT SCOPES OF WORK.
3. THE FOLLOWING SCOPE OF WORK APPLIES TO ALL COMMON AREAS OUTSIDE OF DWELLING UNITS, AND ARE TYPICAL UNLESS NOTED OTHERWISE.

- COMMON AREA SCOPE OF WORK:**
- A. PAINT ALL WALLS & PAINTABLE SURFACES. REFER TO FINISH SCHEDULE
 - B. PROVIDE NEW FLOORING AND BASE AT ALL COMMON AREAS INCLUDING BUT NOT LIMITED TO CORRIDORS, RESIDENT AMENITIES, AND OFFICES. REFER TO FINISH SCHEDULE. NO NEW FLOORING IN STAIRS OR SERVICES AREAS UNLESS OTHERWISE NOTED
 - C. PROVIDE NEW LED LIGHT FIXTURES IN ALL COMMON AREAS. REFER TO REFLECTED CEILING PLANS
 - D. PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT EACH UNIT ENTRY DOOR. ALL PUBLIC AREAS AND COMMON SPACES AT THE HANDLE SIDE OF EACH DOOR IF APPLICABLE
 - E. ALL EXISTING CORRIDOR HANDRAILS ARE TO REMAIN. REPAIR OR RE-SECURE HANDRAILS AS NEEDED.
 - F. PROVIDE CORNER GUARDS AT ALL PUBLIC AREAS / CORRIDORS
 - G. ALL DOORS, FRAMES AND HARDWARE ARE TO BE REPLACED WITH NEW. REFER TO A7.00 FOR DOOR SCHEDULE AND DETAILS.
 - H. REPAIR ANY ELEMENTS THAT SHOW SIGNS OF WATER DAMAGE.
 - I. ALL ACUSTIC CEILING TILES AND GRIDS ARE TO BE REPLACED. REFER TO REFLECTED CEILING PLANS



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

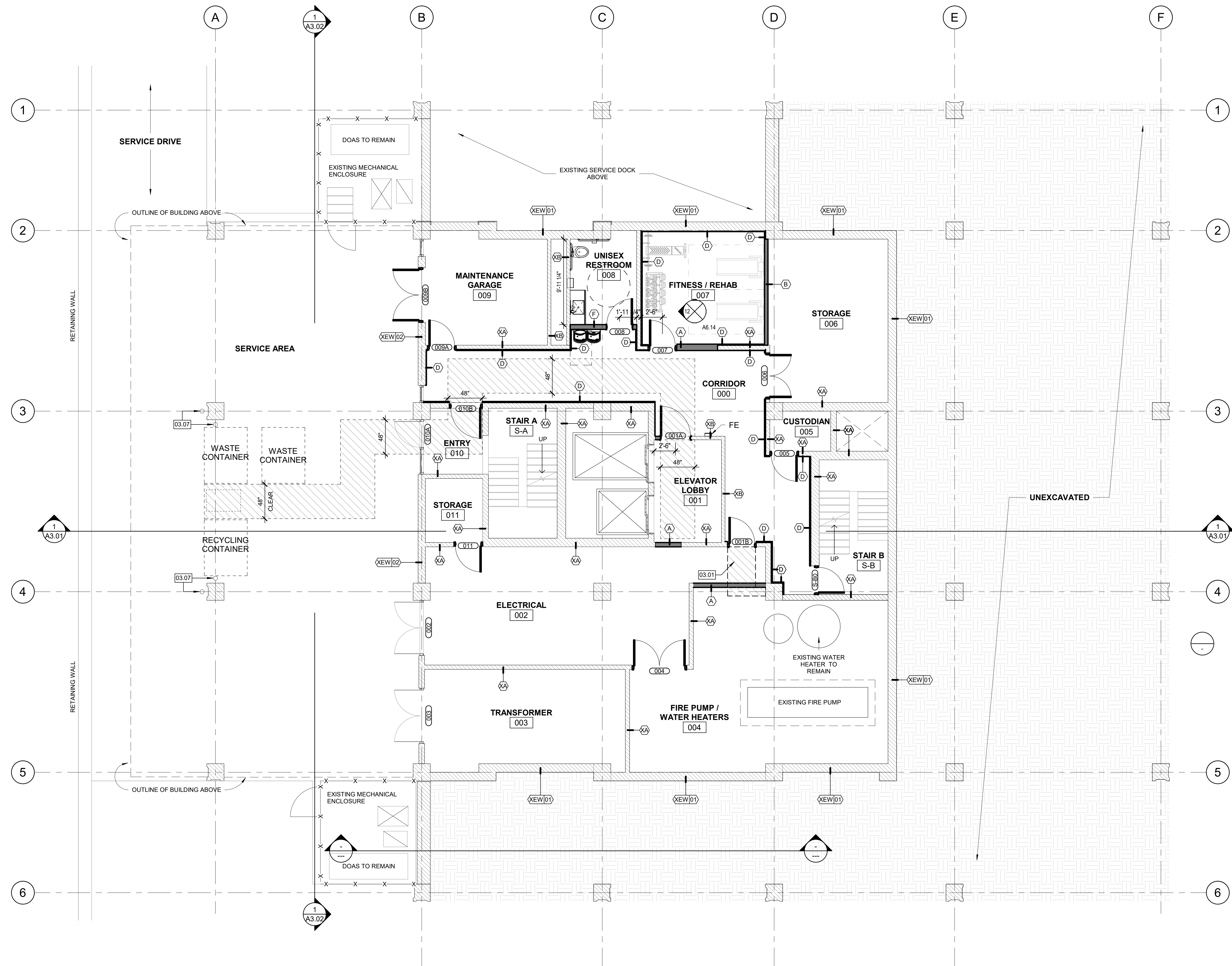
Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

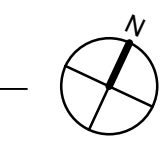
LDA Project No.23.47

OVERALL BASEMENT LEVEL PLAN - PROPOSED

A1.01



1 OVERALL BASEMENT LEVEL PLAN
SCALE: 3/16" = 1'-0"



SCOPE OF WORK - GROUND LEVEL (CONTINUED)

- OFFICES (100A & 102B)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. PROVIDE NEW INTERIOR STOREFRONT SYSTEM AT CORRIDOR. REFER TO INTERIOR ELEVATIONS.
 C. PROVIDE NEW EXTERIOR STOREFRONT SYSTEM WITH EXISTING OPENING. REFER TO ELEVATIONS.
 D. PROVIDE CARPET TILE FLOORING & TILE TO CARPET SCHLUTER TRANSITION STRIP.
 E. PROVIDE NEW SLIDING WINDOW INTO VESTIBULE 101.

- OPEN OFFICE (103), STAFF RESTROOM (104), STORAGE (105), IT CENTER (106) AND PRIVATE OFFICES (107 & 108)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. FLOORING THROUGHOUT OFFICE TO BE SEALED & STAINED CONCRETE. REFER TO FINISH SCHEDULE.
 C. NEW STAFF RESTROOM TO BE CONSTRUCTED AND MEET FULL ACCESSIBILITY STANDARDS. PROVIDE NEW OPEN WIRE SHELVING IN STORAGE CLOSET.
 D. NEW PRIVATE OFFICES TO BE CONSTRUCTED. PROVIDE NEW EXTERIOR STOREFRONT SYSTEMS AT EXISTING OPENINGS UNLESS NOTED OTHERWISE.
 E. PROVIDE CEMENT BOARD BEHIND ALL WALL TILE AS INDICATED IN SPECIFICATIONS.
 F. NEW IT CENTER TO BE CONSTRUCTED.
 G. PROVIDE NEW SLIDING WINDOW AT 103 INTO VESTIBULE 101.

- COMMUNITY ROOM (110)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. PROVIDE KITCHENETTE WITH LOCKABLE SLIDING DOORS ON SOUTH SIDE OF COMMUNITY ROOM. REFER TO INTERIOR ELEVATIONS.
 C. PROVIDE NEW STORAGE CABINETS, SHELVING, STACKED STONE VENEER ACCENT, AND ELECTRIC FIREPLACE AT NORTH END OF COMMUNITY ROOM. REFER TO INTERIOR ELEVATIONS.
 D. PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DAL TILE "STEP WISE") WITH 1/8" GROUT JOINT.

- RESTROOMS (111 & 112)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. PROVIDE NEW FLOOR AND WALL TILE AT RESTROOMS. REFER TO INTERIOR ELEVATIONS.
 C. WOMEN'S RESTROOM TO HAVE WALL REMOVED TO MEET ACCESSIBILITY CLEARANCES. REFER TO DEMOLITION PLAN.
 D. PROVIDE NEW FIXTURES, ACCESSORIES, AND PARTITIONS AT RESTROOMS. REFER TO INTERIOR ELEVATIONS.
 E. PROVIDE CEMENT BOARD BEHIND ALL WALL TILE AS INDICATED IN SPECIFICATIONS.
 F. PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DAL TILE "STEP WISE") WITH 1/8" GROUT JOINT.

- MAILROOM (113)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. NEW MAILROOM TO BE CONSTRUCTED AT EXISTING SERVICE LOADING DOCK. REFER TO DEMOLITION PLANS.
 C. PROVIDE NEW RECESSED MAILBOXES TO MEET ACCESSIBILITY REQUIREMENTS. REFER TO INTERIOR ELEVATIONS.
 D. PROVIDE TRASH PULL-OUT CABINET STORAGE WITH COUNTERTOP & GROMMET. REFER TO INTERIOR ELEVATIONS.
 E. PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DAL TILE "STEP WISE") WITH 1/8" GROUT JOINT.

- VENDING (114)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. PROVIDE NEW SEATING COUNTERTOP WITH SUPPORT BRACKETS. REFER TO INTERIOR ELEVATIONS.
 C. PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DAL TILE "STEP WISE") WITH 1/8" GROUT JOINT.

- FIRE COMMAND CENTER (115)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. NEW FIRE COMMAND CENTER TO BE CONSTRUCTED AT EXISTING MAIL ROOM. COORDINATE THE RELOCATION OF FIRE COMMAND EQUIPMENT WITH LOCAL FIRE DEPARTMENT.

- STAIRWELLS (S-A) (S-B)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. PROVIDE NEW METAL CANE DETECTION RAILS AT THE BOTTOM LEVELS OF STAIRWELLS. TYPICAL. REFER TO ACCESSIBILITY STANDARDS SHEET G0.03.
 C. STAIRWELL RAILINGS TO BE REPAINTED.

- ELEVATORS**
 A. ELEVATOR MODERNIZATION BEING COMPLETED UNDER SEPARATE CONTRACT.
 B. PROVIDE NEW ELEVATOR CAB FINISHES.

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

FLOOR PLAN LEGEND

	EXISTING WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
	ACCESSIBLE PATH.
	ACCESSIBLE UNIT LOCATION.
	AUDIO / VISUAL UNIT LOCATION.

KEYED NOTES SPECIFIC TO THIS SHEET
 REFERENCED BY THE SYMBOL

- TYPICAL UNLESS NOTED OTHERWISE
- | | |
|-------|--|
| 02.09 | PROVIDE NEW ULINE 5-LOOP WAVE BIKE RACK # H-254, BLACK FINISH |
| 03.01 | INFILL EXISTING CONCRETE SLAB WHERE TRASH CHUTE WAS REMOVED AT FIRST AND SECOND FLOOR. REFER TO STRUCTURAL. |
| 03.06 | PROVIDE NEW SURFACE MOUNT ADA WARNING STRIP BY ULINE. |
| 04.02 | INFILL WALL TO MATCH SURROUNDING CONSTRUCTION AT LOCATION OF PREVIOUS MAILBOXES. |
| 08.02 | POLE MOUNTED AUTOMATIC DOOR OPERATOR PUSH PLATE. REFER TO SPECIFICATIONS. |
| 14.01 | REMOVE AND REPLACE ALL ELEVATOR CAB FINISHES WITH STANDARD SCHINDLER FIXTURES. U.N.O. CAB WALLS: TORONTO GRAY. CAB FLOORING: LVT-1 (SEE FINISH SCHEDULE). STANDARD CEILING: LED SPOT, HANDRAIL, ROUND END STAINLESS. |
| 21.02 | REPLACE ALL EXISTING FIRE EXTINGUISHERS. |

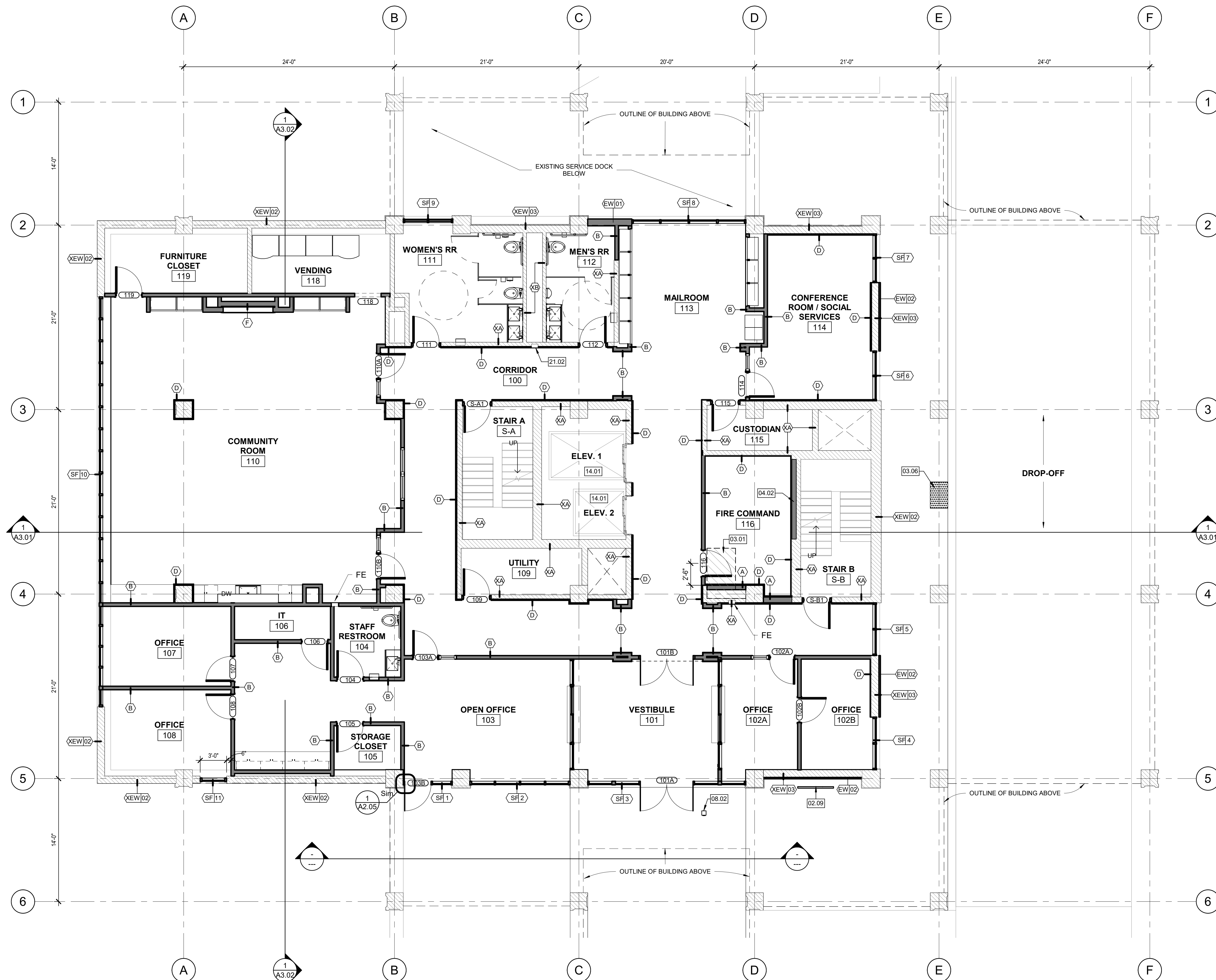
SCOPE OF WORK & GENERAL NOTES - COMMON AREAS

- REFER TO COVER SHEET G0.01 FOR OVERALL PROJECT GENERAL NOTES AND DEMOLITION GENERAL NOTES.
- REFER TO A8.00 SHEETS FOR DWELLING UNIT SCOPES OF WORK.
- THE FOLLOWING SCOPE OF WORK APPLIES TO ALL COMMON AREAS OUTSIDE OF DWELLING UNITS, AND ARE TYPICAL UNLESS NOTED OTHERWISE.

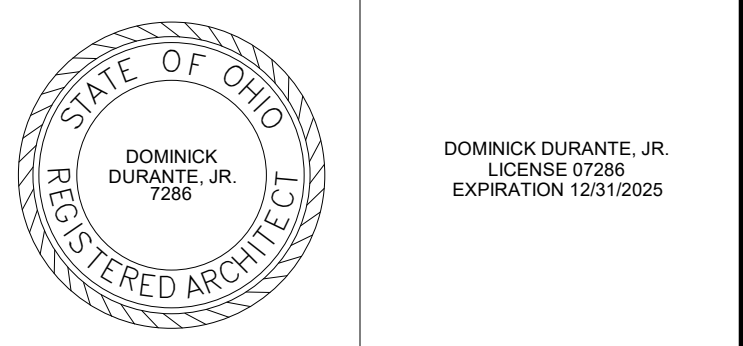
- COMMON AREA SCOPE OF WORK:**
- PAINT ALL WALLS & PAINTABLE SURFACES. REFER TO FINISH SCHEDULE.
 - PROVIDE NEW FLOORING AND BASE AT ALL COMMON AREAS INCLUDING BUT NOT LIMITED TO CORRIDORS, RESIDENT AMENITIES, AND OFFICES. REFER TO FINISH SCHEDULE. NO NEW FLOORING IN STAIRS OR SERVICES AREAS UNLESS OTHERWISE NOTED.
 - PROVIDE NEW LED LIGHT FIXTURES IN ALL COMMON AREAS. REFER TO REFLECTED CEILING PLANS.
 - PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT EACH UNIT ENTRY DOOR, ALL PUBLIC AREAS AND COMMON SPACES AT THE HANDLE SIDE OF EACH DOOR IF APPLICABLE.
 - ALL EXISTING CORRIDOR HANDRAILS ARE TO REMAIN. REPAIR OR RE-SECURE HANDRAILS AS NEEDED.
 - PROVIDE CORNER GUARDS AT ALL PUBLIC AREAS / CORRIDORS.
 - ALL DOORS, FRAMES AND HARDWARE ARE TO BE REPLACED WITH NEW. REFER TO A7.00 FOR DOOR SCHEDULE AND DETAILS.
 - REPAIR ANY ELEMENTS THAT SHOW SIGNS OF WATER DAMAGE.
 - ALL ACOUSTIC CEILING TILES AND GRIDS ARE TO BE REPLACED. REFER TO REFLECTED CEILING PLANS.

SCOPE OF WORK - GROUND LEVEL

- CORRIDOR (100)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. PROVIDE NEW EXTERIOR STOREFRONT SYSTEMS WITHIN EXISTING OPENINGS UNLESS NOTED OTHERWISE.
 C. PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DAL TILE "STEP WISE") WITH 1/8" GROUT JOINT.
- VESTIBULE (101)**
 A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
 B. PROVIDE NEW INTERIOR STOREFRONT SYSTEMS AT OFFICE RECEPTION AND CONFERENCE ROOM. REFER TO INTERIOR ELEVATIONS.
 C. PROVIDE NEW EXTERIOR STOREFRONT SYSTEM AT NEW MAIN ENTRY. REFER TO ELEVATIONS.
 D. PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DAL TILE "STEP WISE") WITH 1/8" GROUT JOINT.



1 OVERALL GROUND LEVEL PLAN - PROPOSED
 SCALE: 3/16" = 1'-0"



Copyright © 2022 LDA architects inc.
 This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

**SCOPE OF WORK - LEVELS 2-15
(CONTINUED)**

- LAUNDRY ROOMS (X12)**
A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
B. STORAGE ROOMS IN THIS AREA ON ODD-NUMBERED FLOORS ARE TO BE CONVERTED TO LAUNDRY ROOMS.
C. NEW LAUNDRY ROOMS ON ODD-NUMBERED FLOORS ARE TO COMPLY WITH ACCESSIBILITY STANDARDS. EXISTING LAUNDRY ROOMS ON EVEN-NUMBERED FLOORS ARE TO BE PROVIDED WITH 2 WASHERS AND 2 DRYERS. REFER TO PLANS.
D. FLOORING TO BE A DALTILE "STEP WISE" SLIP-RESISTANT FLOOR TILE WITH 1/8" GROUT JOINT.

STAIRWELLS (S-A) (S-B)

- A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
B. PROVIDE NEW METAL CANE DETECTION RAILS AT THE BOTTOM LEVELS OF STAIRWELLS. TYPICAL. REFER TO ACCESSIBILITY STANDARDS SHEET 03.03.
C. STAIRWELL RAILINGS TO BE REPAINTED.

ELEVATORS:

- A. ELEVATOR MODERNIZATION BEING COMPLETED UNDER SEPARATE CONTRACT.
B. PROVIDE NEW ELEVATOR CAB FINISHES.

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

FLOOR PLAN LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- 03.01 INFILL EXISTING CONCRETE SLAB WHERE TRASH CHUTE WAS REMOVED AT FIRST AND SECOND FLOOR. REFER TO STRUCTURAL.
- 04.01 INFILL CMU TO ENCLOSE PREVIOUS TRASH CHUTE ON FLOORS 3-14. PROVIDE 2 HOUR FIRE RATED ACCESS PANEL ON LEVELS 2 AND 15.
- 04.03 INFILL CMU WALL TO PROVIDE TWO-HOUR FIRE RATING.
- 21.02 REPLACE ALL EXISTING FIRE EQTINGUISHERS.

SCOPE OF WORK & GENERAL NOTES - COMMON AREAS

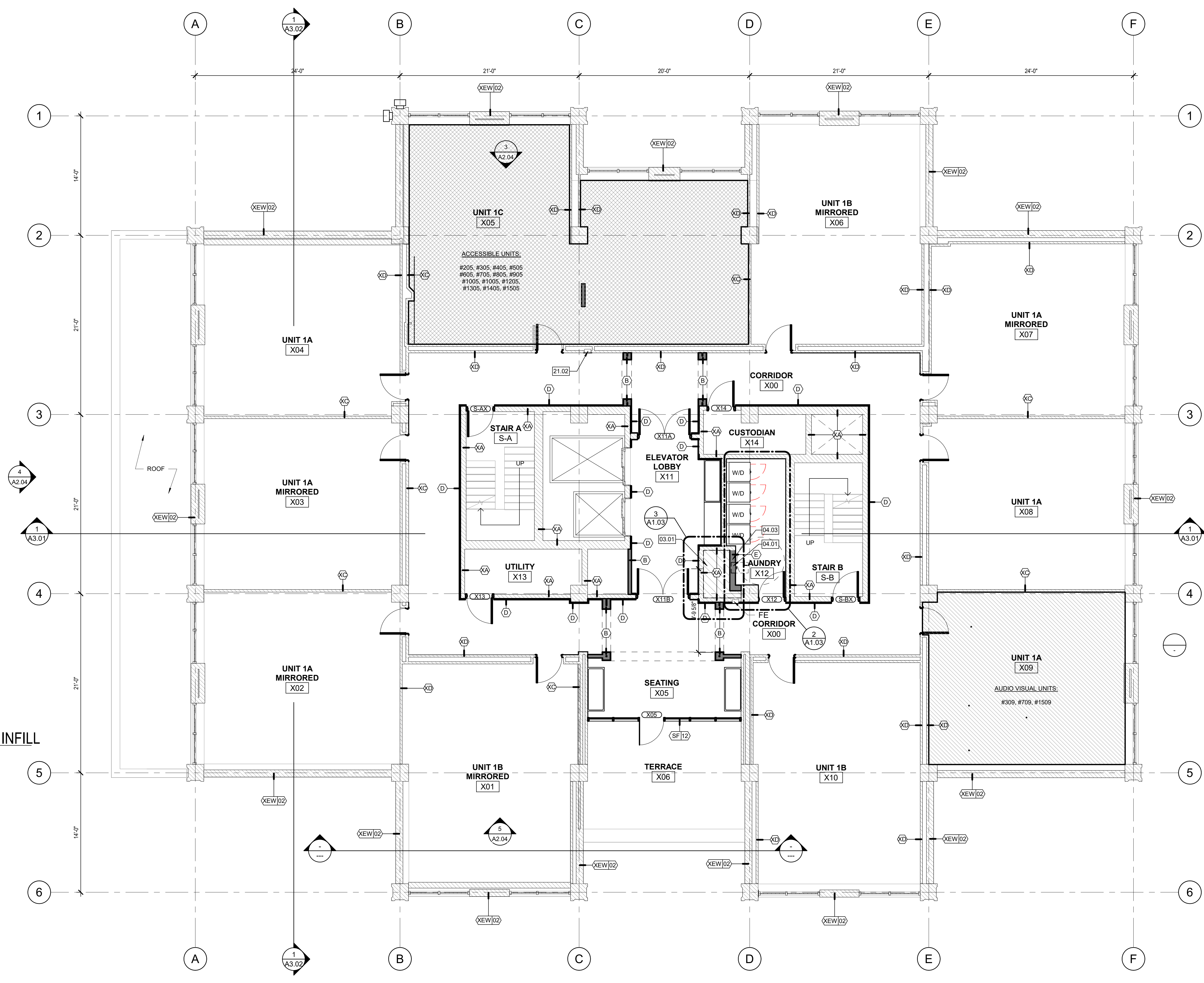
1. REFER TO A6.01 FOR OVERALL PROJECT GENERAL NOTES AND DEMOLITION GENERAL NOTES.
2. REFER TO A6.00 SHEETS FOR DWELLING UNIT SCOPES OF WORK.
3. THE FOLLOWING SCOPE OF WORK APPLIES TO ALL COMMON AREAS OUTSIDE OF DWELLING UNITS, AND ARE TYPICAL UNLESS NOTED OTHERWISE.

COMMON AREA SCOPE OF WORK:

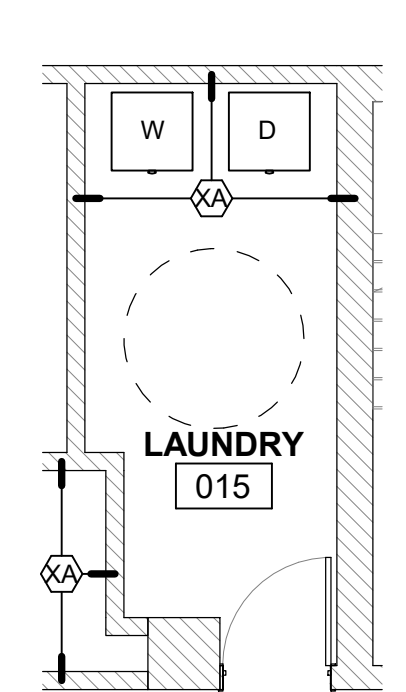
- A. PAINT ALL WALLS & PAINTABLE SURFACES. REFER TO FINISH SCHEDULE.
- B. PROVIDE NEW FLOORING AND BASE AT ALL COMMON AREAS INCLUDING BUT NOT LIMITED TO CORRIDORS, RESIDENT AMENITIES, AND OFFICES. REFER TO FINISH SCHEDULE. NO NEW FLOORING IN STAIRS OR SERVICES AREAS UNLESS OTHERWISE NOTED.
- C. PROVIDE NEW LED LIGHT FIXTURES IN ALL COMMON AREAS. REFER TO REFLECTED CEILING PLANS.
- D. PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT EACH UNIT ENTRY DOOR, ALL PUBLIC AREAS AND COMMON SPACES AT THE HANDLE SIDE OF EACH DOOR IF APPLICABLE.
- E. ALL EXISTING CORRIDOR HANDRAILS ARE TO REMAIN. REPAIR OR RE-SECURE HANDRAILS AS NEEDED.
- F. PROVIDE CORNER GUARDS AT ALL PUBLIC AREAS / CORRIDORS.
- G. ALL DOORS, FRAMES AND HARDWARE ARE TO BE REPLACED WITH NEW. REFER TO A7.00 FOR DOOR SCHEDULE AND DETAILS.
- H. REPAIR ANY ELEMENTS THAT SHOW SIGNS OF WATER DAMAGE.
- I. ALL ACOUSTIC CEILING TILES AND GRIDS ARE TO BE REPLACED. REFER TO REFLECTED CEILING PLANS.

SCOPE OF WORK - LEVELS 2 - 15

- CORRIDOR (X00)**
A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
B. FLOORING THROUGHOUT CORRIDOR TO BE SEALED & STAINED CONCRETE. REFER TO FINISH SCHEDULE.
- SEATING AREA (X05)**
A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
B. PROVIDE NEW PERMANENT BENCH SEATING. REFER TO INTERIOR ELEVATIONS.
C. FLOORING THROUGHOUT CORRIDOR TO BE SEALED & STAINED CONCRETE. REFER TO FINISH SCHEDULE.
- ELEVATOR LOBBY (X11)**
A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."
B. PROVIDE NEW FEATURE WALL WITH PERMANENT BENCH SEATING. REFER TO INTERIOR ELEVATIONS.
C. FLOORING THROUGHOUT CORRIDOR TO BE SEALED & STAINED CONCRETE. REFER TO FINISH SCHEDULE.

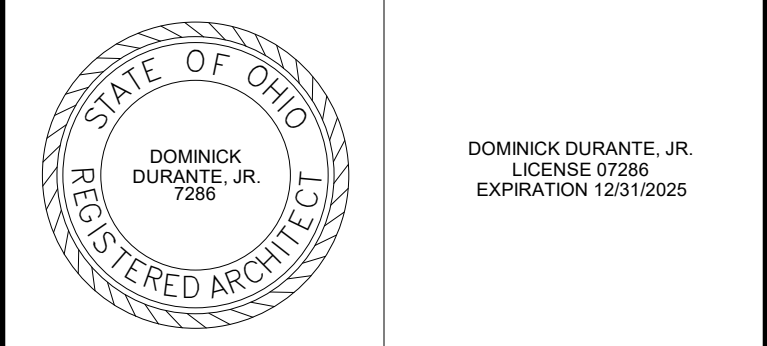


3 TYPICAL FLOOR TRASH CHUTE INFILL
A1.03 SCALE: 1/8" = 1'-0"



2 ADA LAUNDRY - ODD FLOORS
A1.03 SCALE: 3/16" = 1'-0"

1 OVERALL 2ND - 15TH LEVEL PLAN - PROPOSED
A1.03 SCALE: 3/16" = 1'-0"

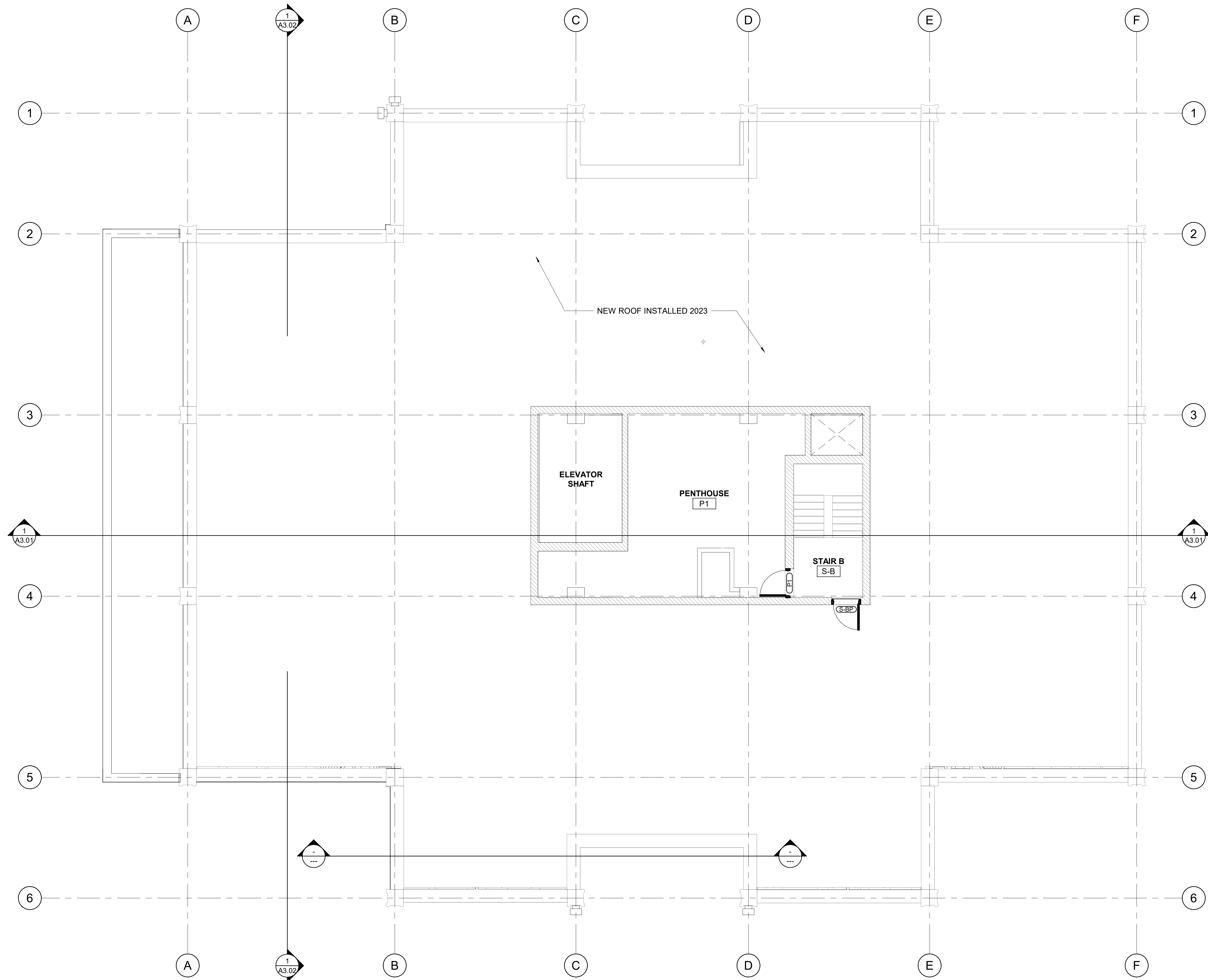


Copyright © 2022 LDA architects inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, inc. LDA. For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

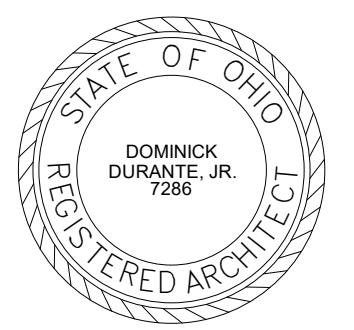
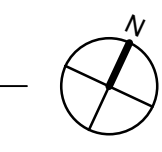
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47
OVERALL 2ND - 15TH FLOOR PLAN - PROPOSED
A1.03

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80% - OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT



1 PENTHOUSE - CD
A1.04 SCALE: 3/16" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 87296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

OVERALL PENT HOUSE
LEVEL PLAN


A1.04

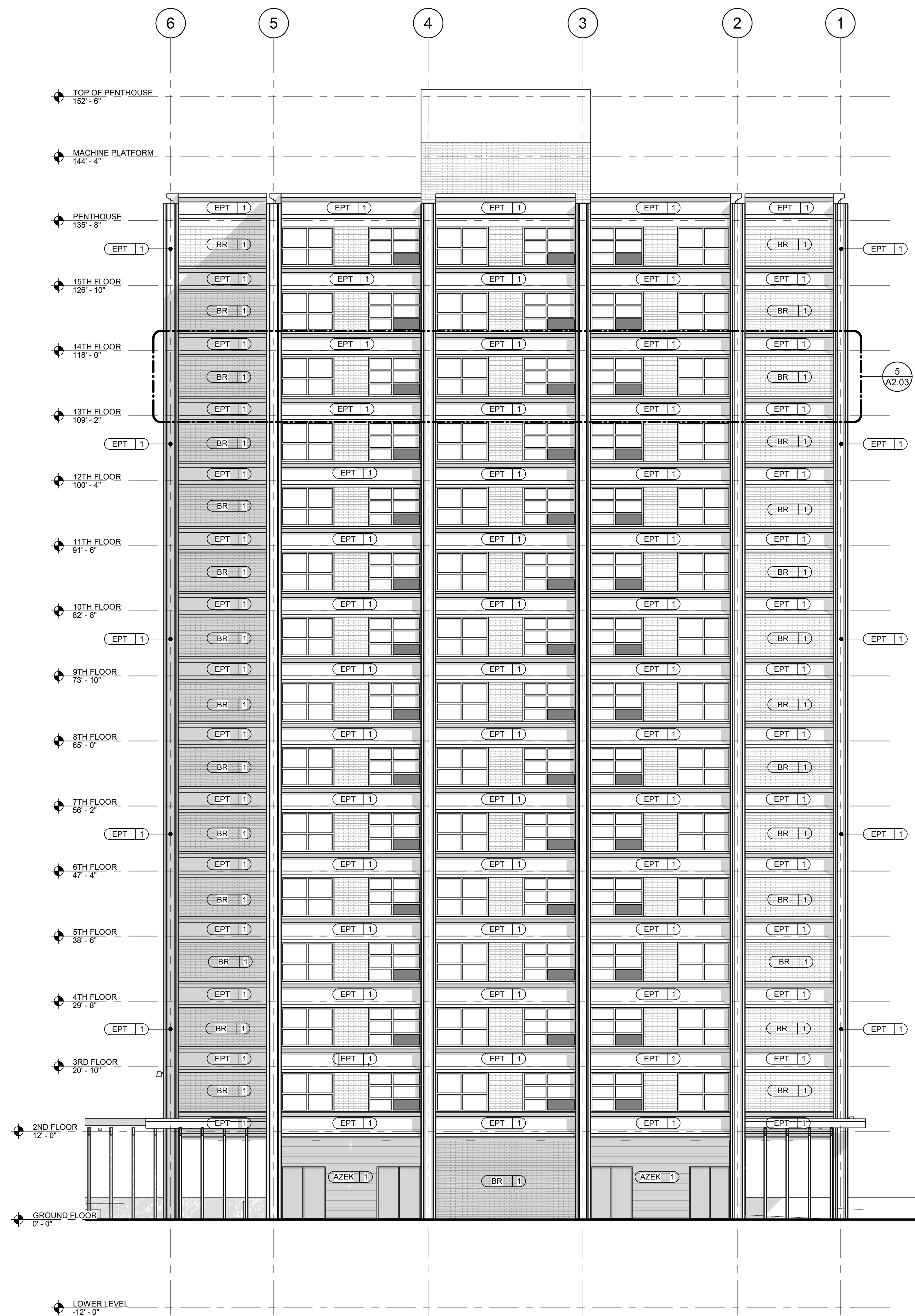
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

GENERAL NOTES - EXTERIOR ELEVATIONS

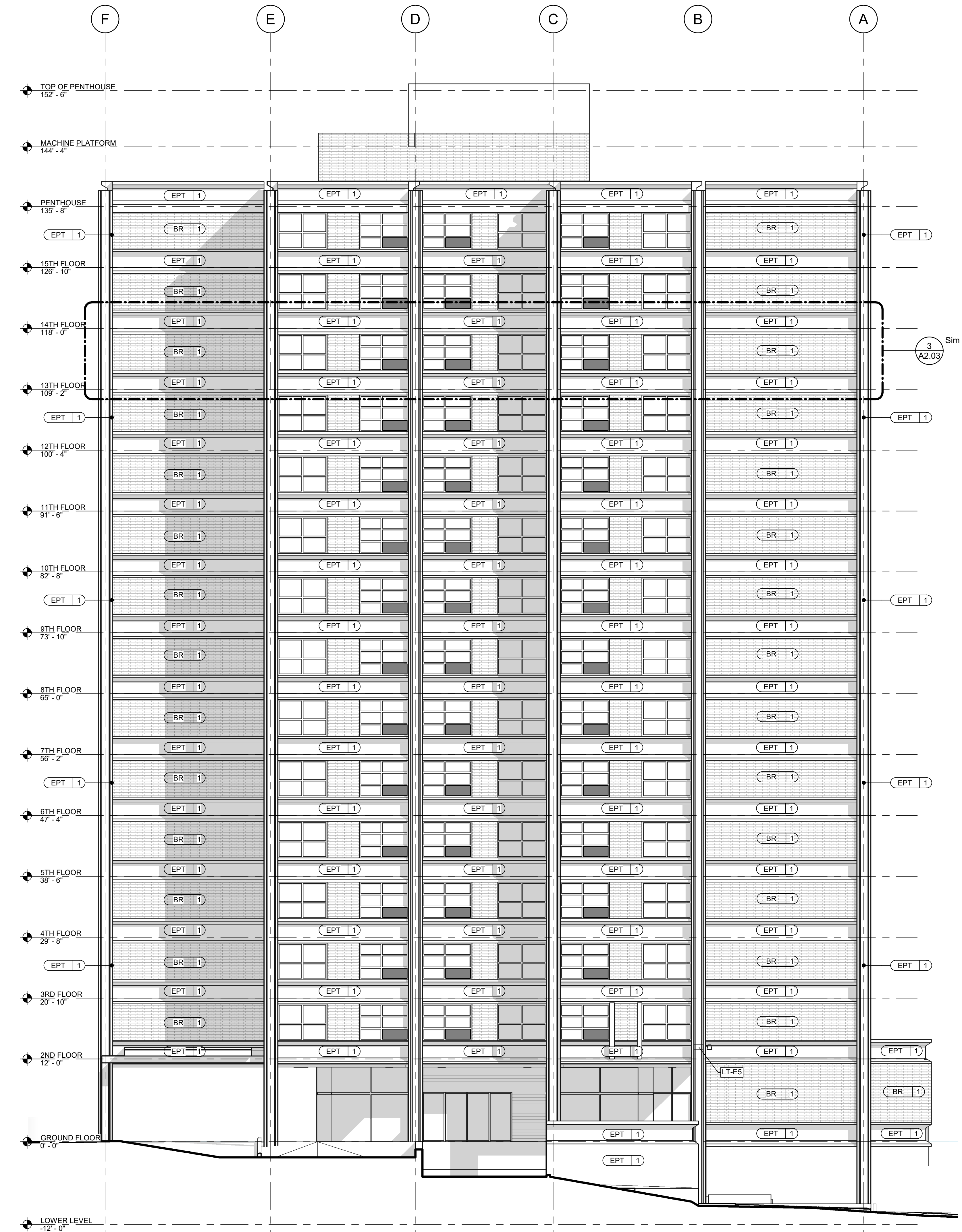
- ALL EXISTING EXTERIOR BUILDING ATTACHED LIGHTING IS TO BE REPLACED ONE FOR ONE WITH NEW LED LIGHTING. REFER TO ELECTRICAL DRAWINGS.
- ALL EXTERIOR EXPOSED CONCRETE SURFACES ARE TO BE PAINTED. REFER TO EXTERIOR FINISH SCHEDULE, SHEET A2.03.
- ALL EXTERIOR DOORS ARE TO BE PAINTED. REFER TO DOOR SCHEDULE.
- ALL JOINTS ON BUILDING EXTERIOR ARE TO BE RE-CAULKED OR RE-SEALED.
- EXISTING WINDOWS AT DWELLING UNITS ARE TO REMAIN. STOREFRONT WINDOWS AT GROUND LEVEL AND AT RESIDENTIAL TERRACES ARE TO BE REPLACED. REFER TO STOREFRONT ELEVATIONS AND DETAILS.
- ALL EXTERIOR HEAD FLASHING AND ASSOCIATED SEALANTS ARE TO BE REPLACED, TYPICAL.
- GENERATOR HAS RECENTLY BEEN REPLACED AND WILL REMAIN.
- BUILDING ROOFING HAS RECENTLY BEEN REPLACED AND WILL REMAIN.
- EXISTING EXTERIOR BRICK IS TO REMAIN. ALLOW FOR RE-TUCKPOINTING ON UP TO 20% OF BRICK.
- EXISTING EIFS FACADE PANELS ARE TO BE REMOVED DOWN TO EXISTING CMU AT GROUND FLOOR AT SELECT AREAS AROUND STOREFRONTS. REFER TO ENLARGED ELEVATIONS.

KEYED NOTES SPECIFIC TO THIS SHEET

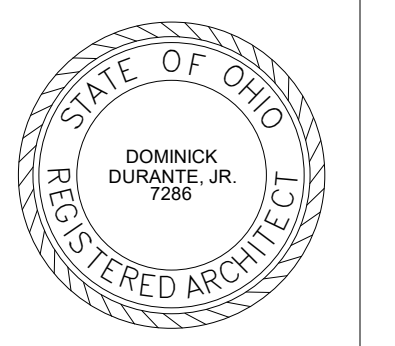
REFERENCED BY THE SYMBOL  TYPICAL UNLESS NOTED OTHERWISE



2 EAST ELEVATION
A2.01 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
A2.01 SCALE: 1/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07396
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225


LDA Project No.23.47
EXTERIOR ELEVATIONS - NORTH AND EAST
A2.01

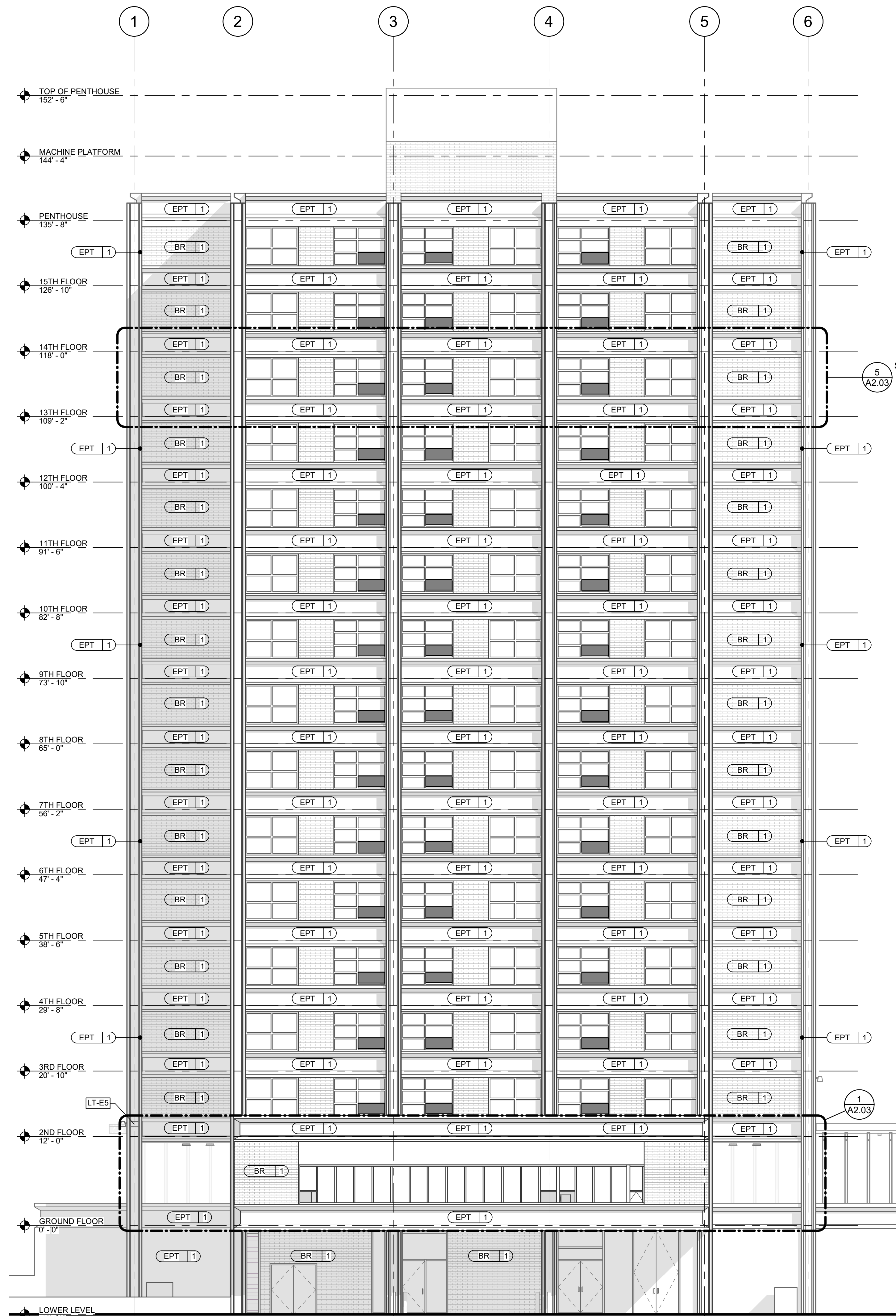
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

GENERAL NOTES - EXTERIOR ELEVATIONS

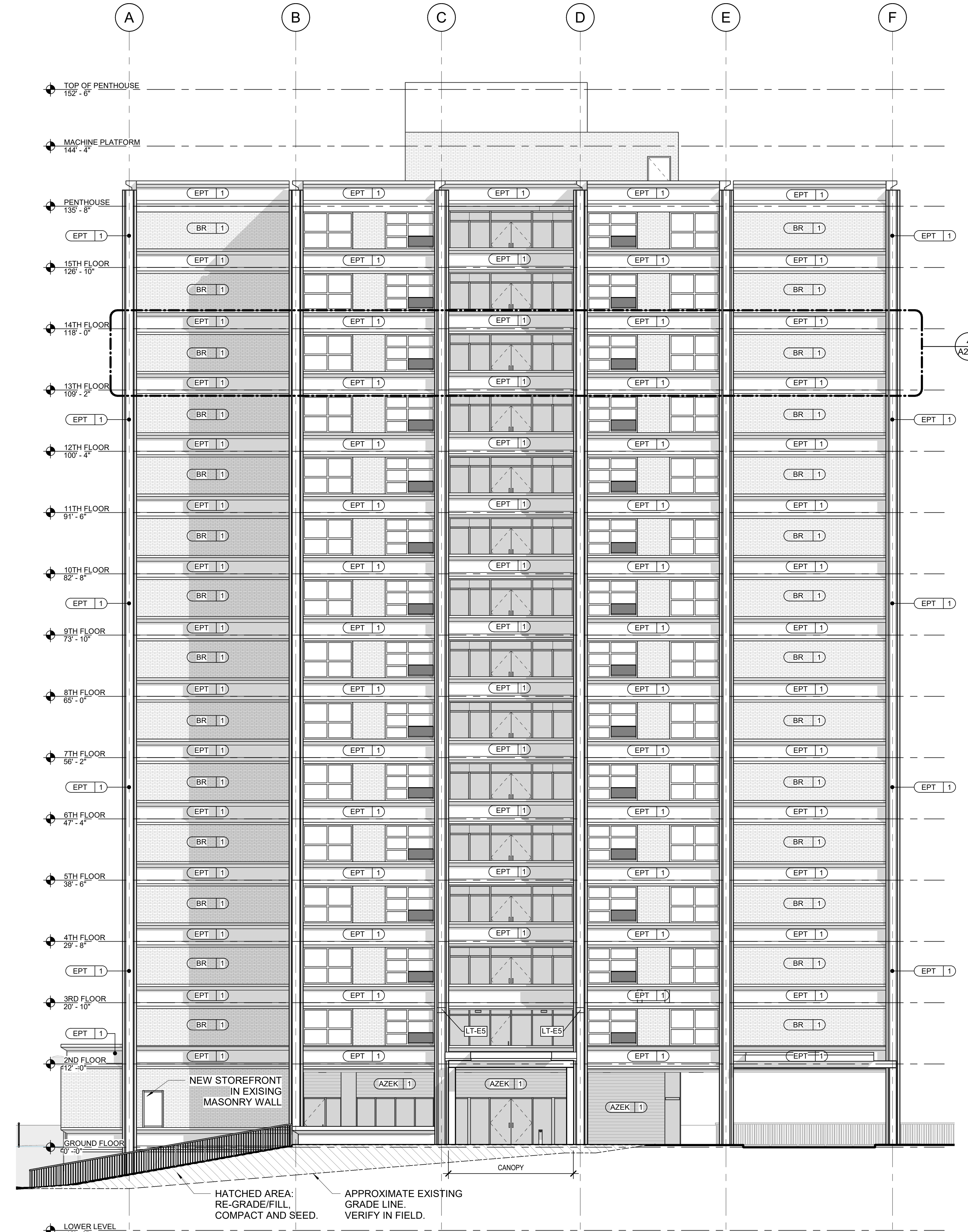
- ALL EXISTING EXTERIOR BUILDING ATTACHED LIGHTING IS TO BE REPLACED ONE FOR ONE WITH NEW LED LIGHTING. REFER TO ELECTRICAL DRAWINGS.
- ALL EXTERIOR EXPOSED CONCRETE SURFACES ARE TO BE PAINTED. REFER TO EXTERIOR FINISH SCHEDULE, SHEET A2.03.
- ALL EXTERIOR DOORS ARE TO BE PAINTED. REFER TO DOOR SCHEDULE.
- ALL JOINTS ON BUILDING EXTERIOR ARE TO BE RE-CAULKED OR RE-SEALED.
- EXISTING WINDOWS AT DWELLING UNITS ARE TO REMAIN. STOREFRONT WINDOWS AT GROUND LEVEL AND AT RESIDENTIAL TERRACES ARE TO BE REPLACED. REFER TO STOREFRONT ELEVATIONS AND DETAILS.
- ALL EXTERIOR HEAD FLASHING AND ASSOCIATED SEALANTS ARE TO BE REPLACED, TYPICAL.
- GENERATOR HAS RECENTLY BEEN REPLACED AND WILL REMAIN.
- BUILDING ROOFING HAS RECENTLY BEEN REPLACED AND WILL REMAIN.
- EXISTING EXTERIOR BRICK IS TO REMAIN. ALLOW FOR RE-TUCKPOINTING ON UP TO 20% OF BRICK.
- EXISTING EIFS FACADE PANELS ARE TO BE REMOVED DOWN TO EXISTING CMU AT GROUND FLOOR AT SELECT AREAS AROUND STOREFRONTS. REFER TO ENLARGED ELEVATIONS.

KEYED NOTES SPECIFIC TO THIS SHEET

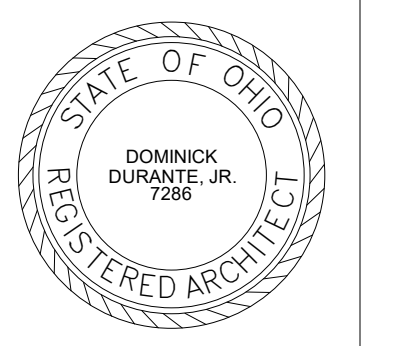
REFERENCED BY THE SYMBOL  TYPICAL UNLESS NOTED OTHERWISE



2 WEST ELEVATION
A2.02 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
A2.02 SCALE: 1/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07396
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47
EXTERIOR ELEVATIONS - SOUTH AND WEST
A2.02

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

GENERAL NOTES - EXTERIOR ELEVATIONS

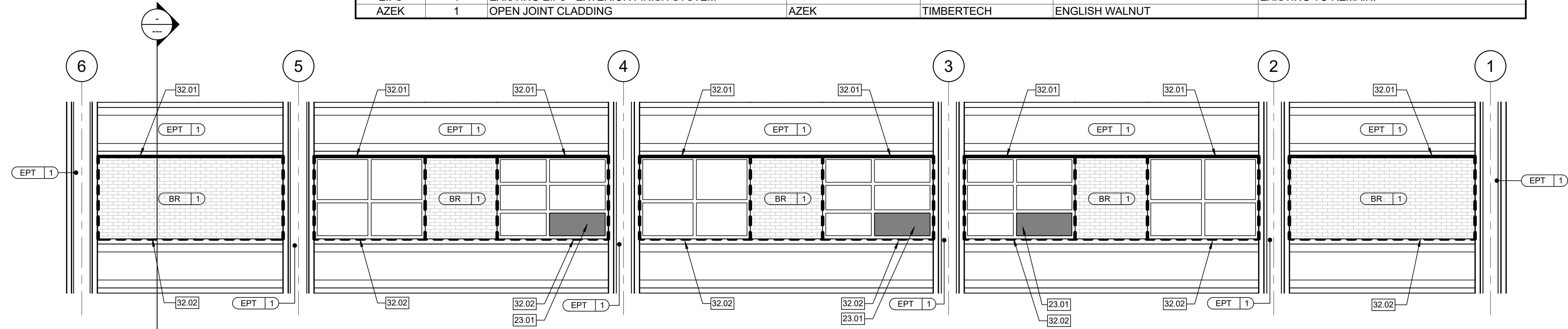
1. ALL EXISTING EXTERIOR BUILDING ATTACHED LIGHTING IS TO BE REPLACED ONE FOR ONE WITH NEW LED LIGHTING. REFER TO ELECTRICAL DRAWINGS.
2. ALL EXTERIOR EXPOSED CONCRETE SURFACES ARE TO BE PAINTED. REFER TO EXTERIOR FINISH SCHEDULE, SHEET A2.03.
3. ALL EXTERIOR DOORS ARE TO BE PAINTED. REFER TO DOOR SCHEDULE.
4. ALL JOINTS ON BUILDING EXTERIOR ARE TO BE RE-CAULKED OR RE-SEALED.
5. EXISTING WINDOWS AT DWELLING UNITS ARE TO REMAIN. STOREFRONT WINDOWS AT GROUND LEVEL AND AT RESIDENTIAL TERRACES ARE TO BE REPLACED. REFER TO STOREFRONT ELEVATIONS AND DETAILS.
6. ALL EXTERIOR HEAD FLASHING AND ASSOCIATED SEALANTS ARE TO BE REPLACED, TYPICAL.
7. GENERATOR HAS RECENTLY BEEN REPLACED AND WILL REMAIN.
8. BUILDING ROOFING HAS RECENTLY BEEN REPLACED AND WILL REMAIN.
9. EXISTING EXTERIOR BRICK IS TO REMAIN. ALLOW FOR RE-TUCKPOINTING ON UP TO 20% OF BRICK.
10. EXISTING EIFS FACADE PANELS ARE TO BE REMOVED DOWN TO EXISTING CMU AT GROUND FLOOR AT SELECT AREAS AROUND STOREFRONTS. REFER TO ENLARGED ELEVATIONS.

KEYED NOTES SPECIFIC TO THIS SHEET

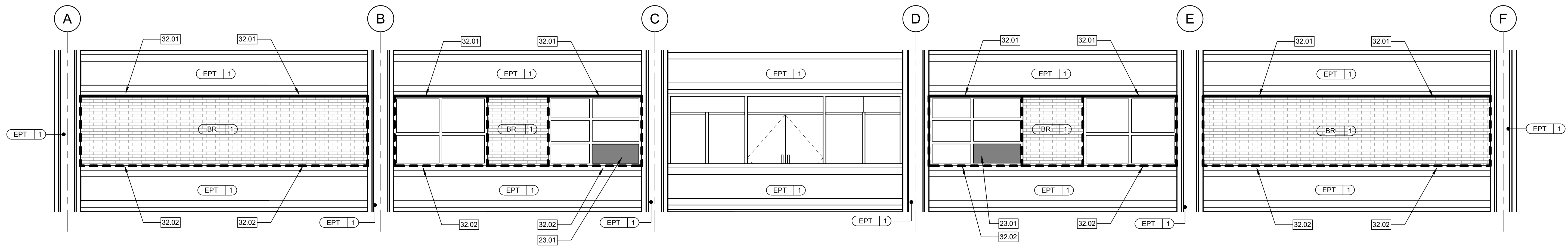
REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- 23.01 HATCHED AREA INDICATES LOCATION OF APARTMENT HVAC UNIT TO BE REPLACED. REFER TO MECHANICAL DRAWINGS.
- 32.01 BOLD LINE INDICATES TYPICAL LOCATION FOR ALUMINUM FLASHING TO BE REPLACED. FLASHING TO BE PAINTED TO MATCH NEW CONCRETE PAINT.
- 32.02 BOLD-DASHED LINE INDICATES TYPICAL LOCATION OF BUILDING JOINTS WHICH ARE TO BE RE-CAULKED.
- 32.03 PROVIDE NEW PRE-FINISHED EXTERIOR ALUMINUM STOREFRONT SYSTEM.

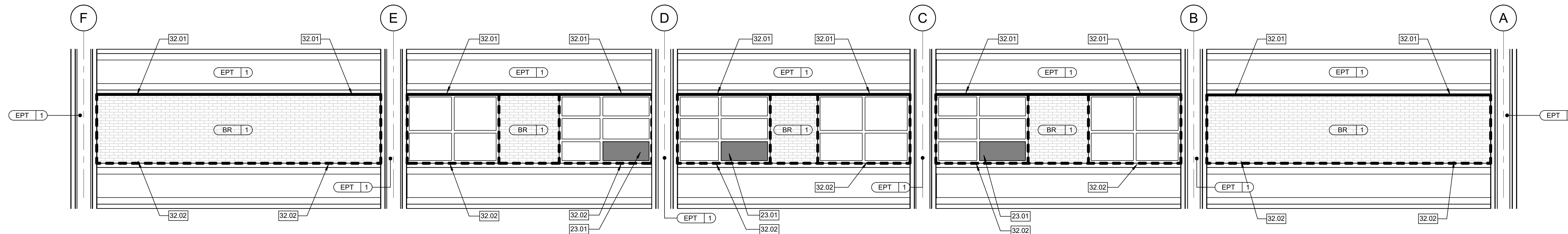
EXTERIOR FINISH SCHEDULE						
SYMBOL	#	MATERIAL	MANUFACTURER	STYLE	COLOR	NOTES
EPT	1	EXTERIOR PAINT - CONCRETE	SHERWIN WILLIAMS		SW-9542 "NATURAL WHITE"	
BR	1	EXISTING BRICK				TUCKPOINT UP TO 20% OF EXISTING BRICK. EXISTING TO REMAIN.
EIFS	1	EXISTING EIFS - EXTERIOR FINISH SYSTEM				
AZEK	1	OPEN JOINT CLADDING	AZEK	TIMBERTECH	ENGLISH WALNUT	



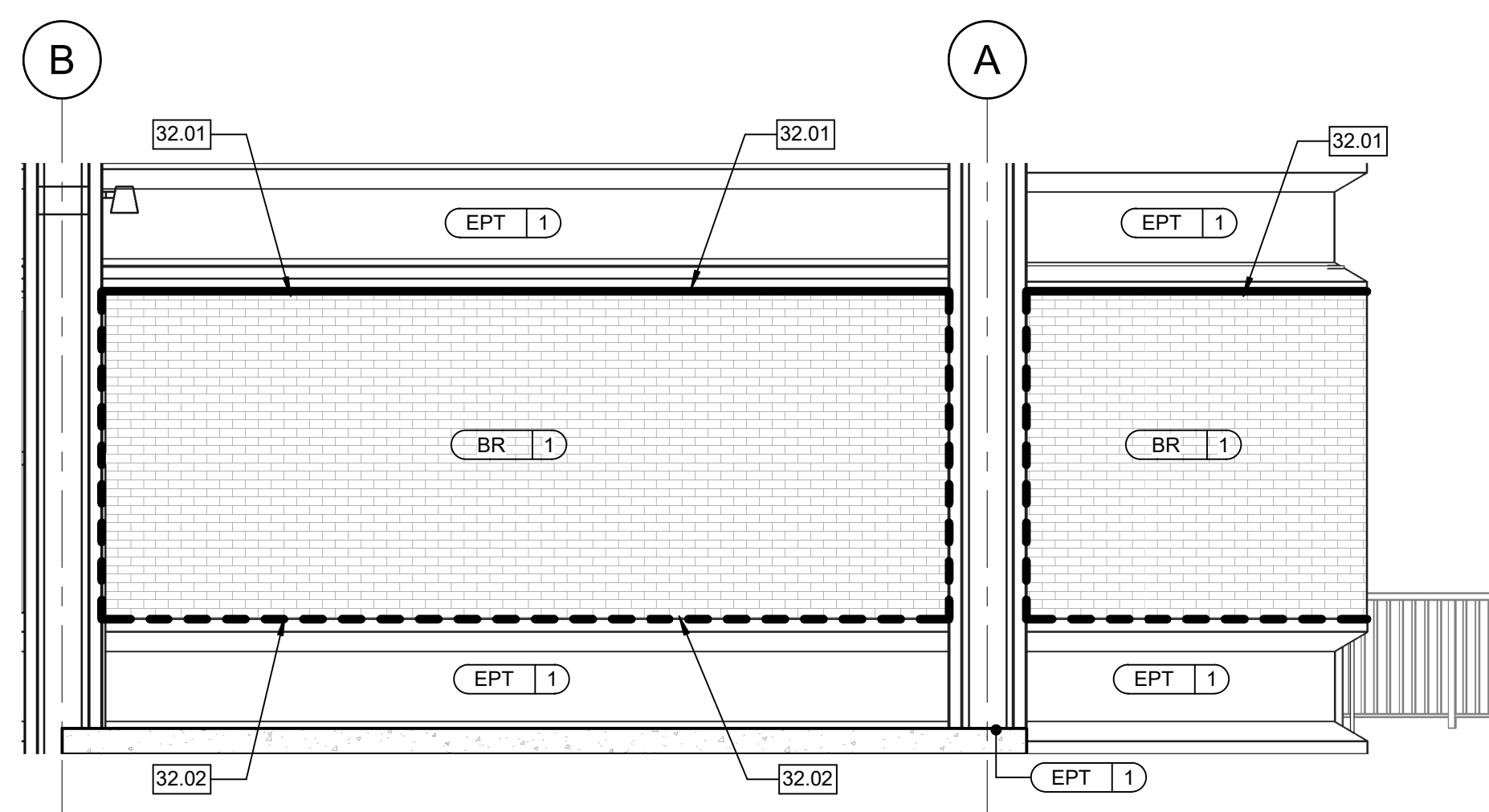
5 ENLARGED EAST / WEST ELEVATION - TYPICAL FLASHING AND CAULKING LOCATIONS
A2.03 SCALE: 1/4" = 1'-0"



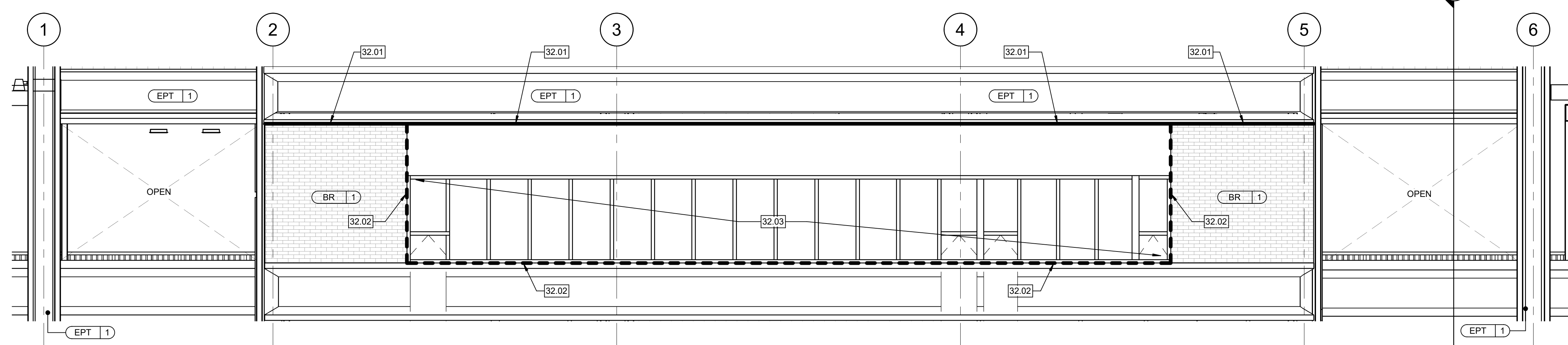
4 ENLARGED SOUTH ELEVATION - TYPICAL FLASHING AND CAULKING LOCATIONS
A2.03 SCALE: 1/4" = 1'-0"



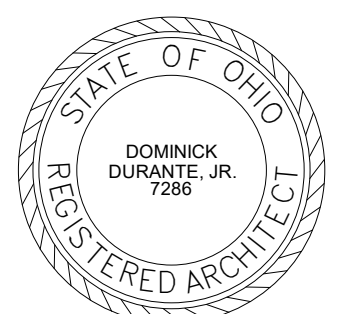
3 ENLARGED NORTH ELEVATION - TYPICAL FLASHING AND CAULKING LOCATIONS
A2.03 SCALE: 1/4" = 1'-0"



2 NORTH/SOUTH ELEVATION - ENLARGED COMMUNITY ROOM
A2.03 SCALE: 1/4" = 1'-0"



1 ENLARGED COMMUNITY ROOM ELEVATION - FLASHING AND CAULKING LOCATIONS
A2.03 SCALE: 1/4" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025


Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. LDA, for use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

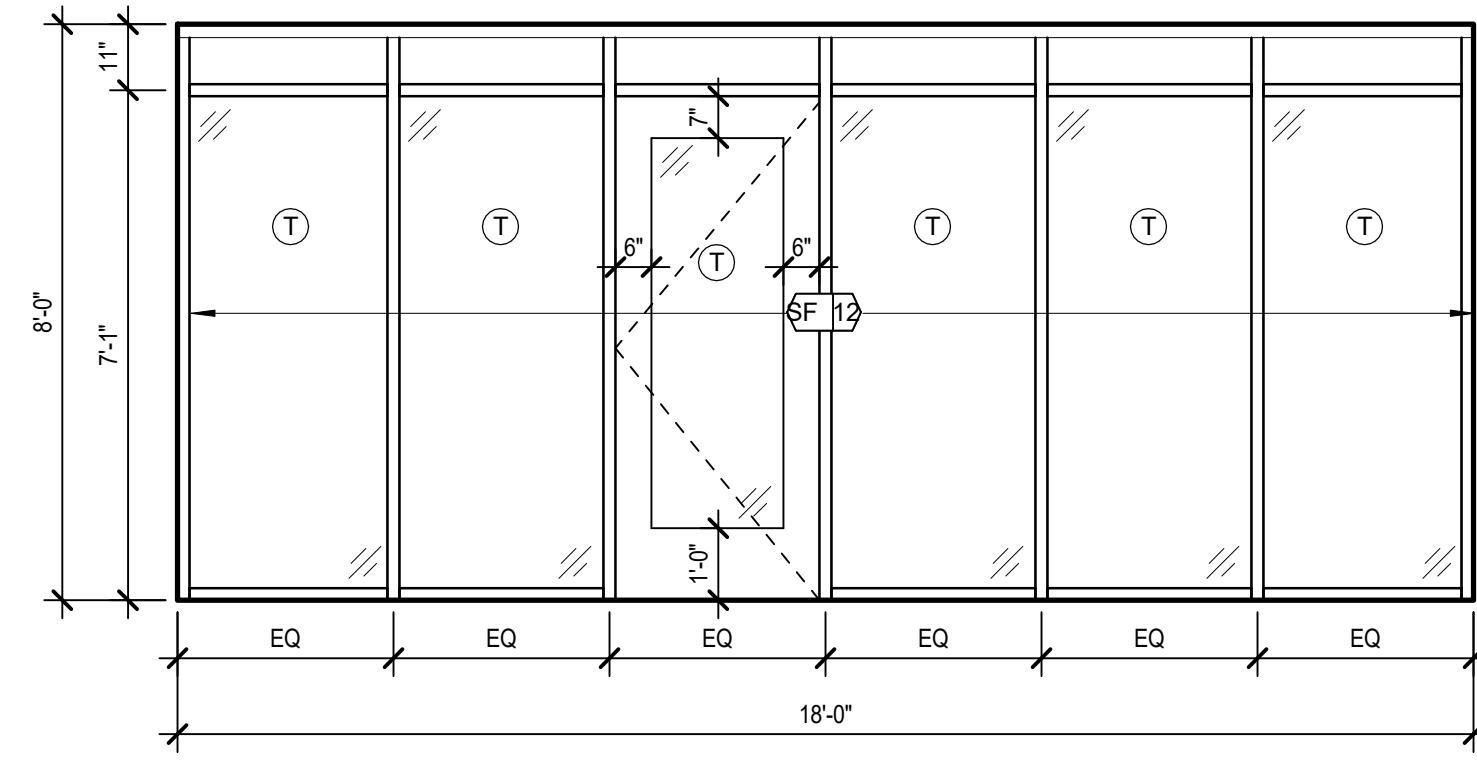
LDA Project No.23.47

ENLARGED EXTERIOR ELEVATIONS
A2.03

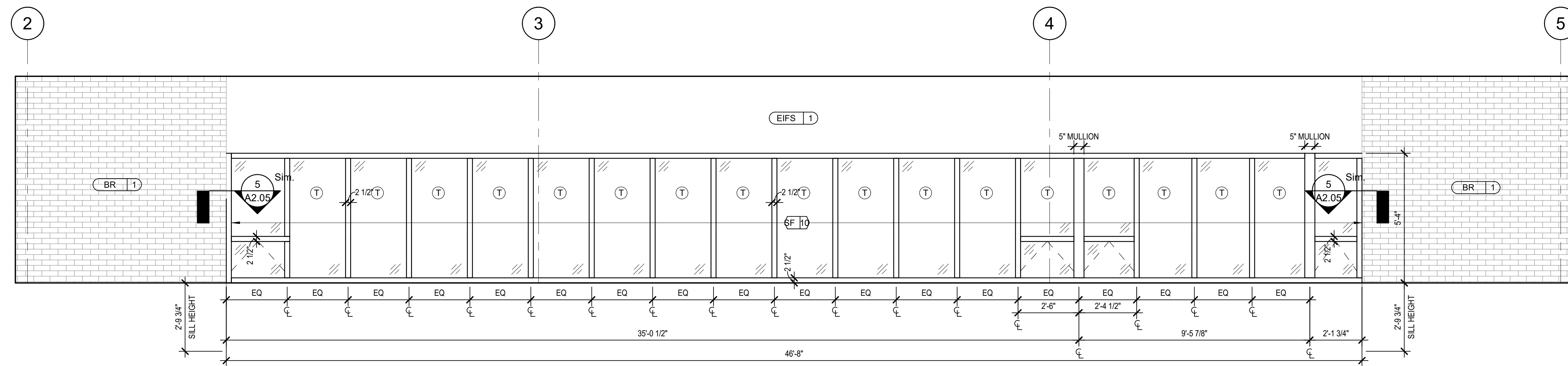
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL 
TYPICAL UNLESS NOTED OTHERWISE

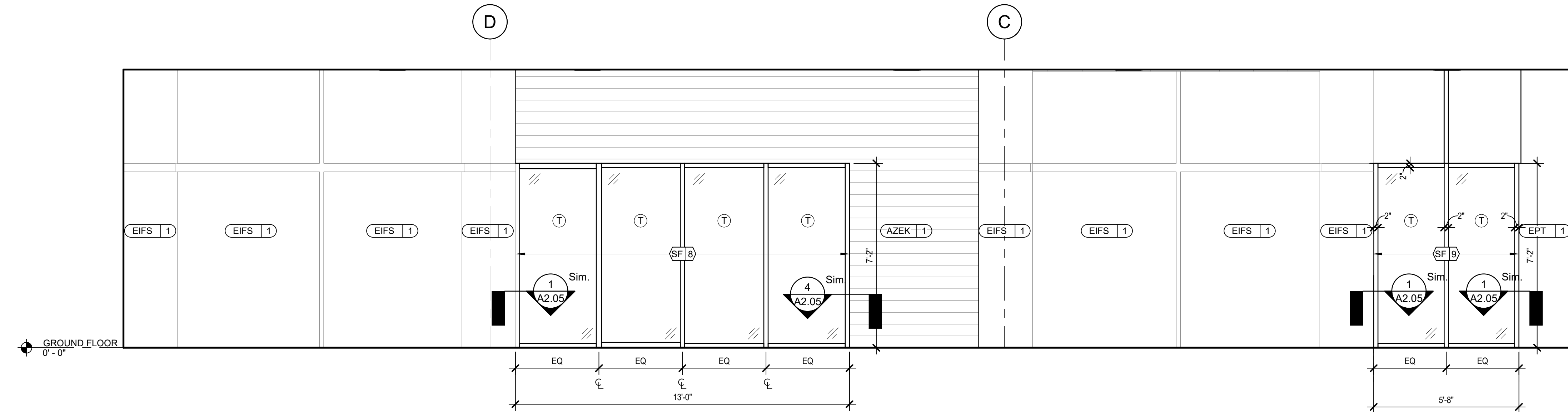
08.02 POLE MOUNTED AUTOMATIC DOOR OPERATOR
PUSH PLATE. REFER TO SPECIFICATIONS.



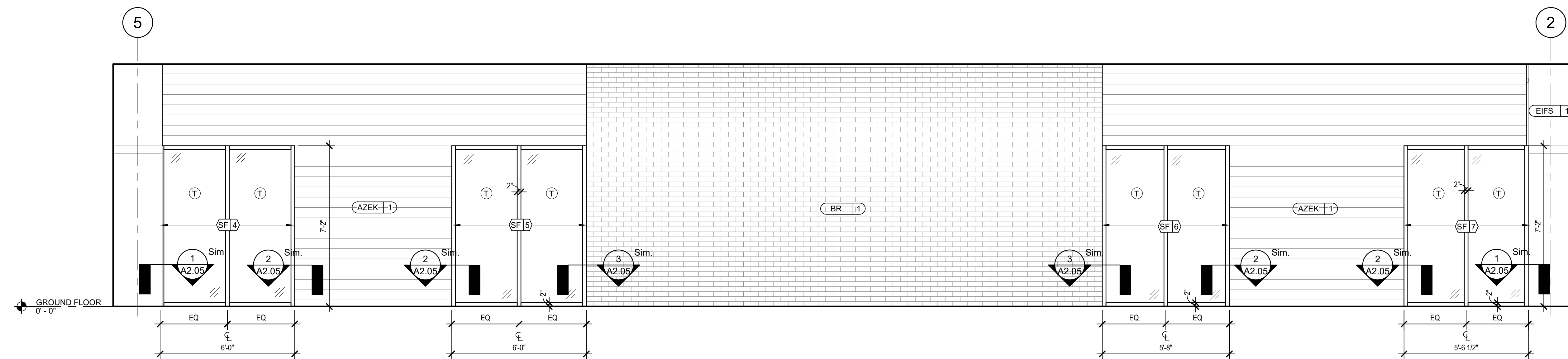
5 ENLARGED ELEVATION SOUTH - TYP. FLOOR STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"



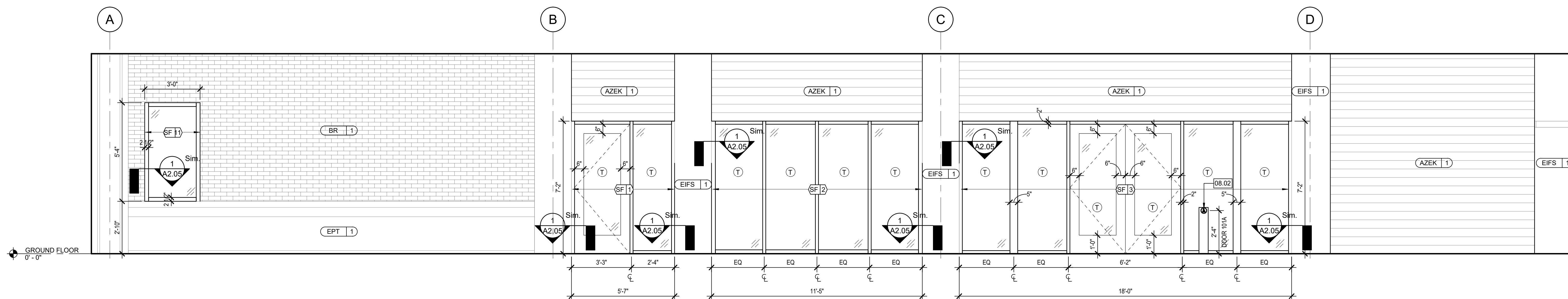
4 ENLARGED ELEVATION WEST - COMMUNITY ROOM STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"



3 ENLARGED ELEVATION NORTH - GROUND FLOOR STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"



2 ENLARGED ELEVATION EAST - GROUND FLOOR STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"



1 ENLARGED ELEVATION SOUTH - GROUND FLOOR STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

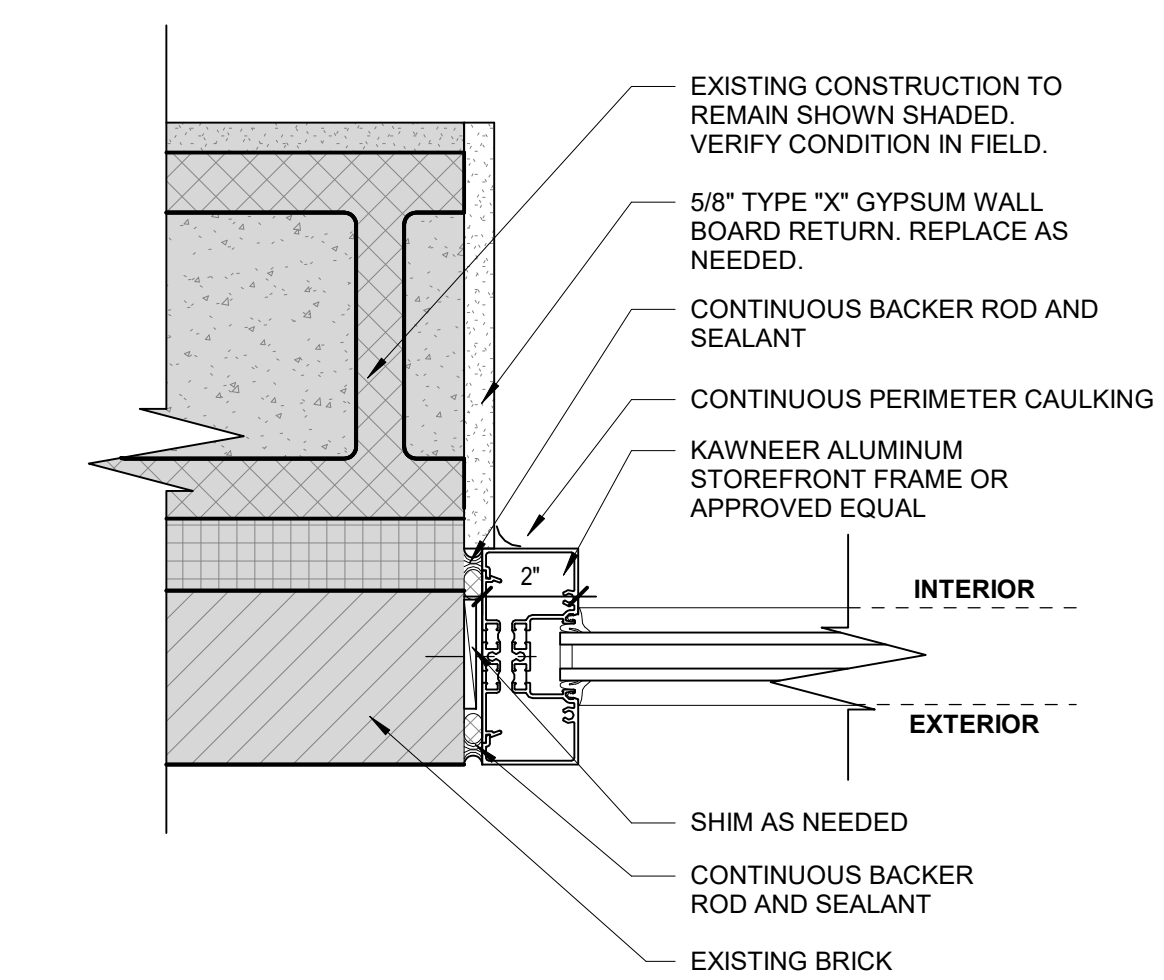
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

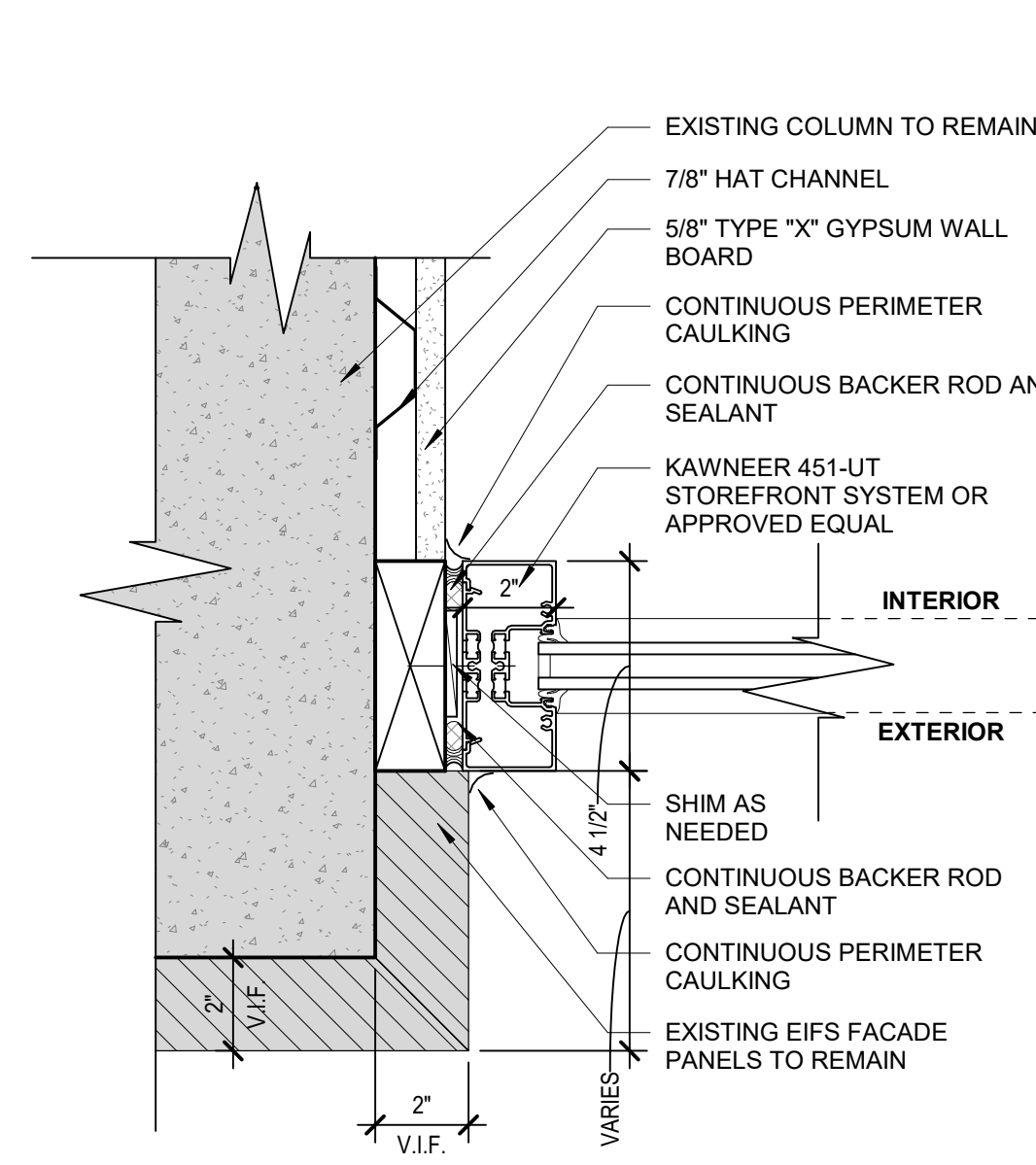
ENLARGED EXTERIOR ELEVATIONS - STOREFRONTS

A2.04

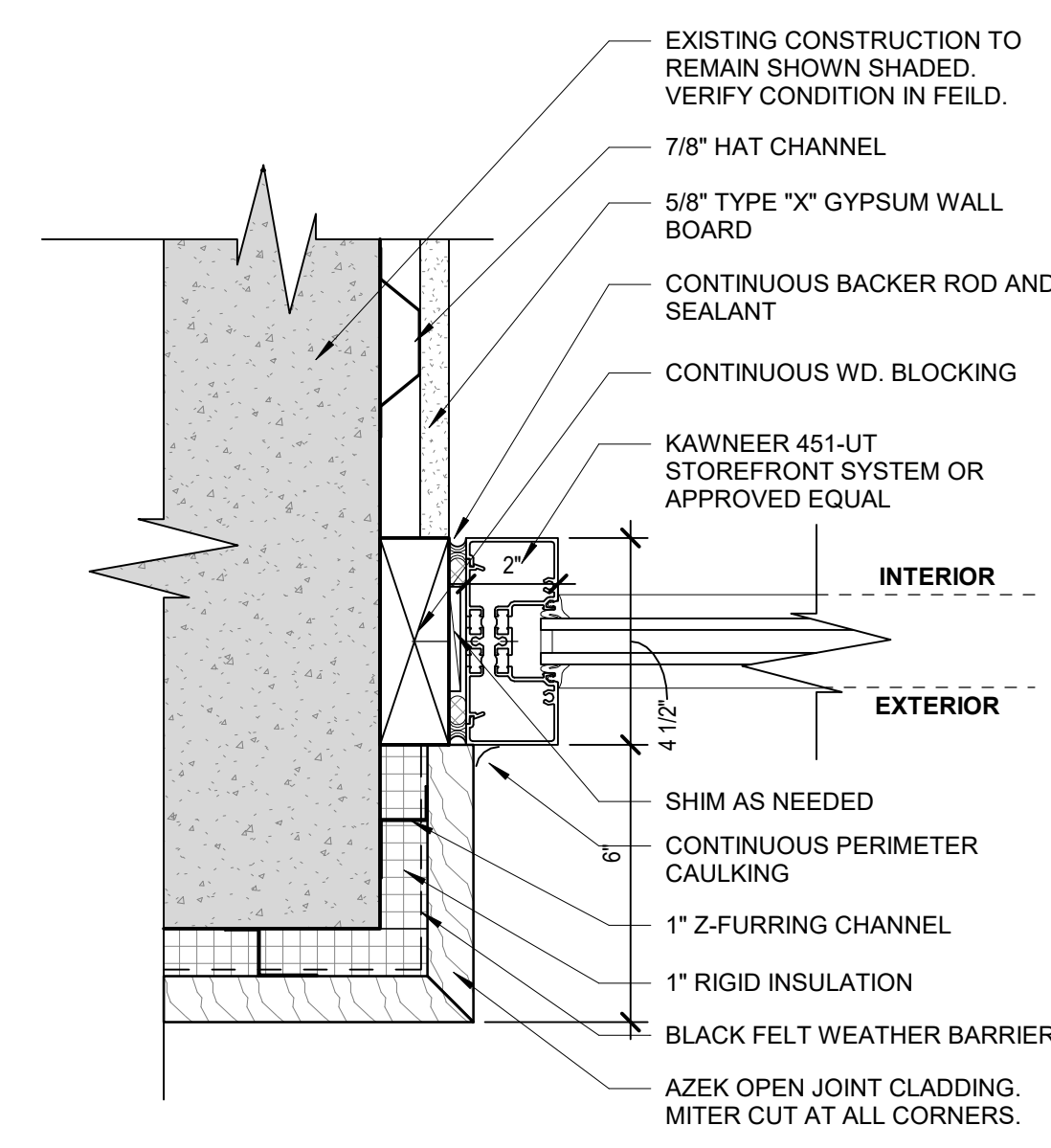
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT



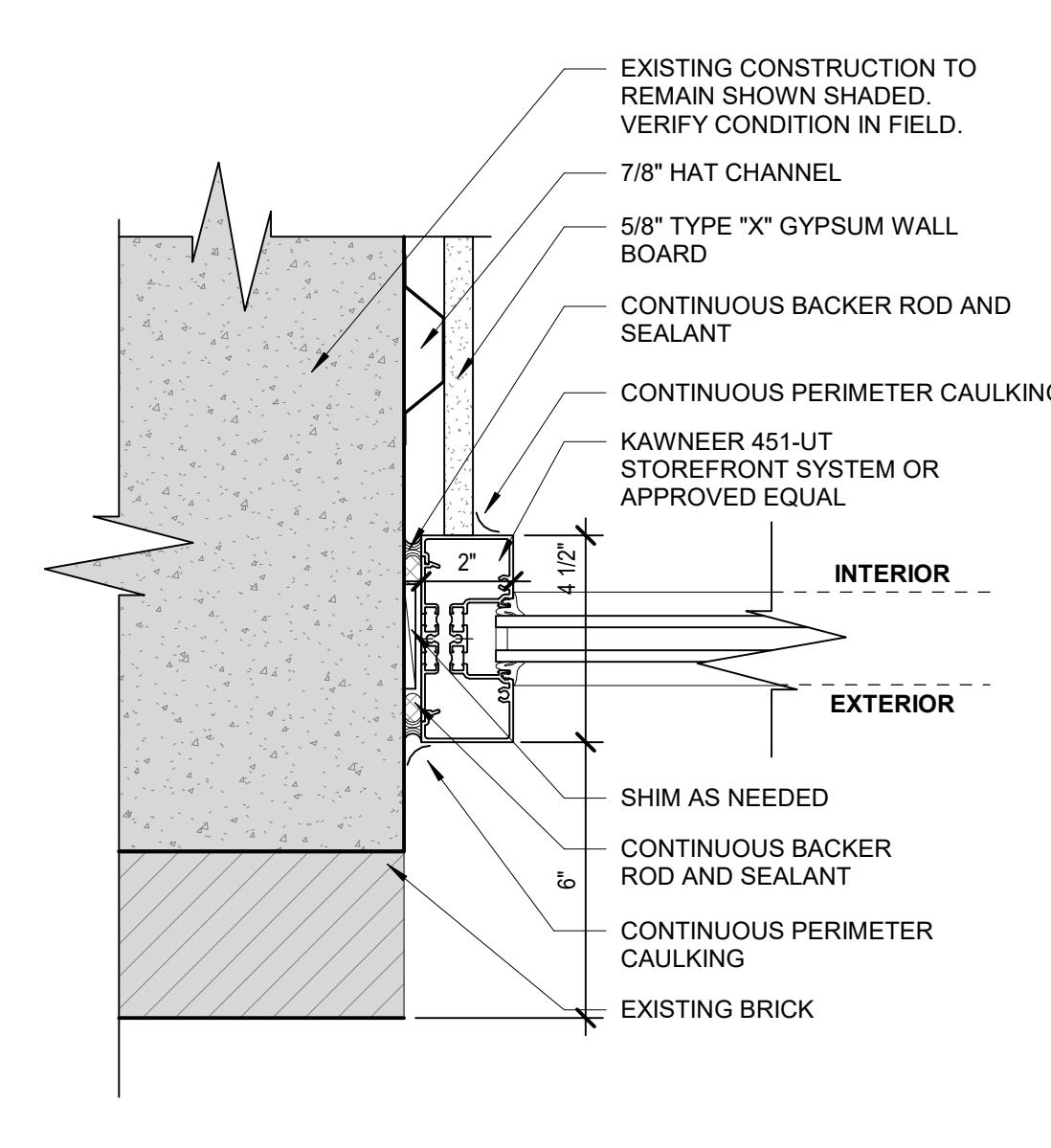
5 STOREFRONT JAMB @ BRICK
SCALE: 3" = 1'-0"



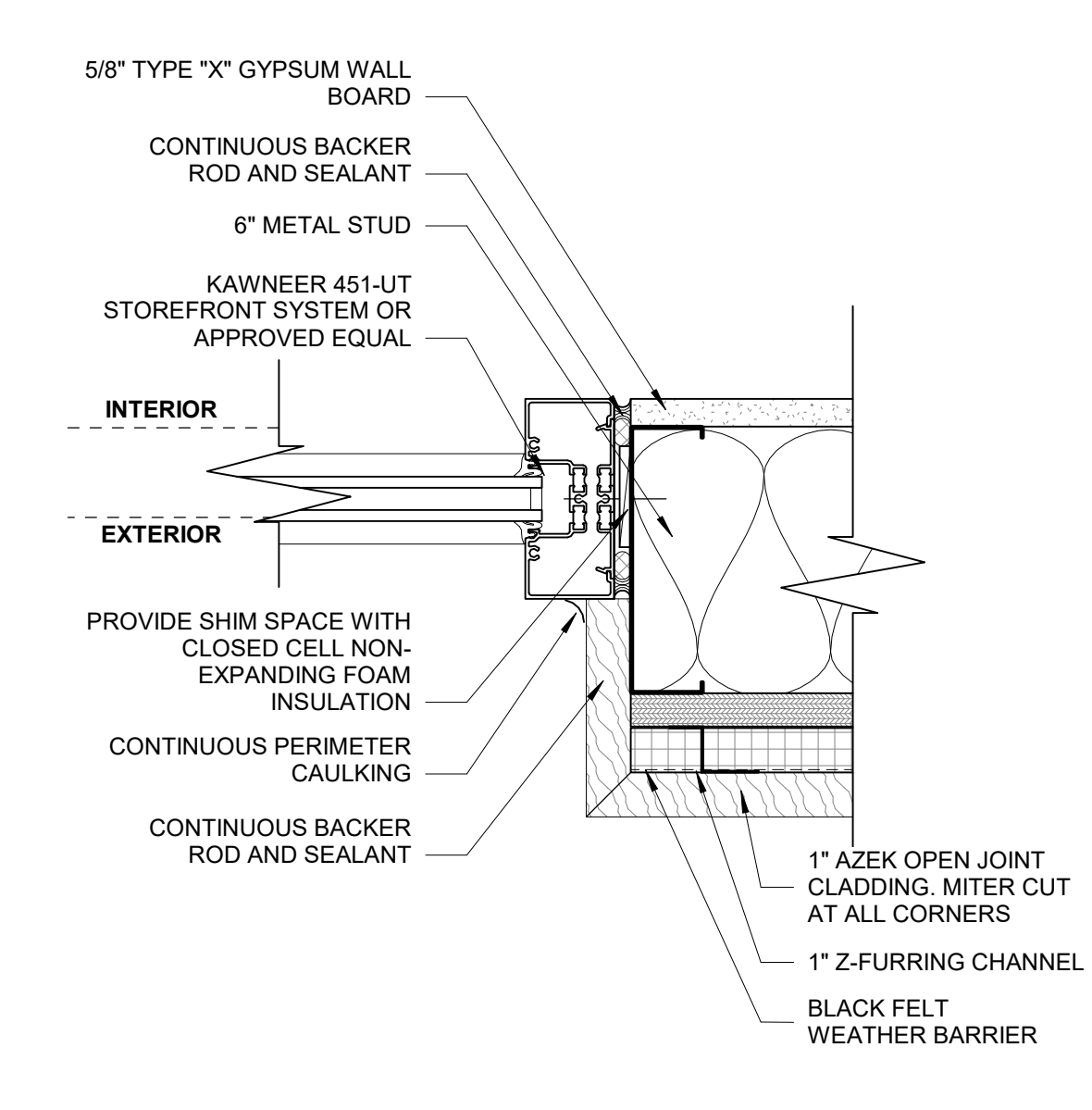
1 STOREFRONT JAMB @ COLUMN / EIFS
SCALE: 3" = 1'-0"



2 STOREFRONT JAMB @ OPEN JT. CLADD.
SCALE: 3" = 1'-0"



3 STOREFRONT JAMB @ BRICK
SCALE: 3" = 1'-0"



4 STOREFRONT JAMB @ OPEN JT. CLADD.
SCALE: 3" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

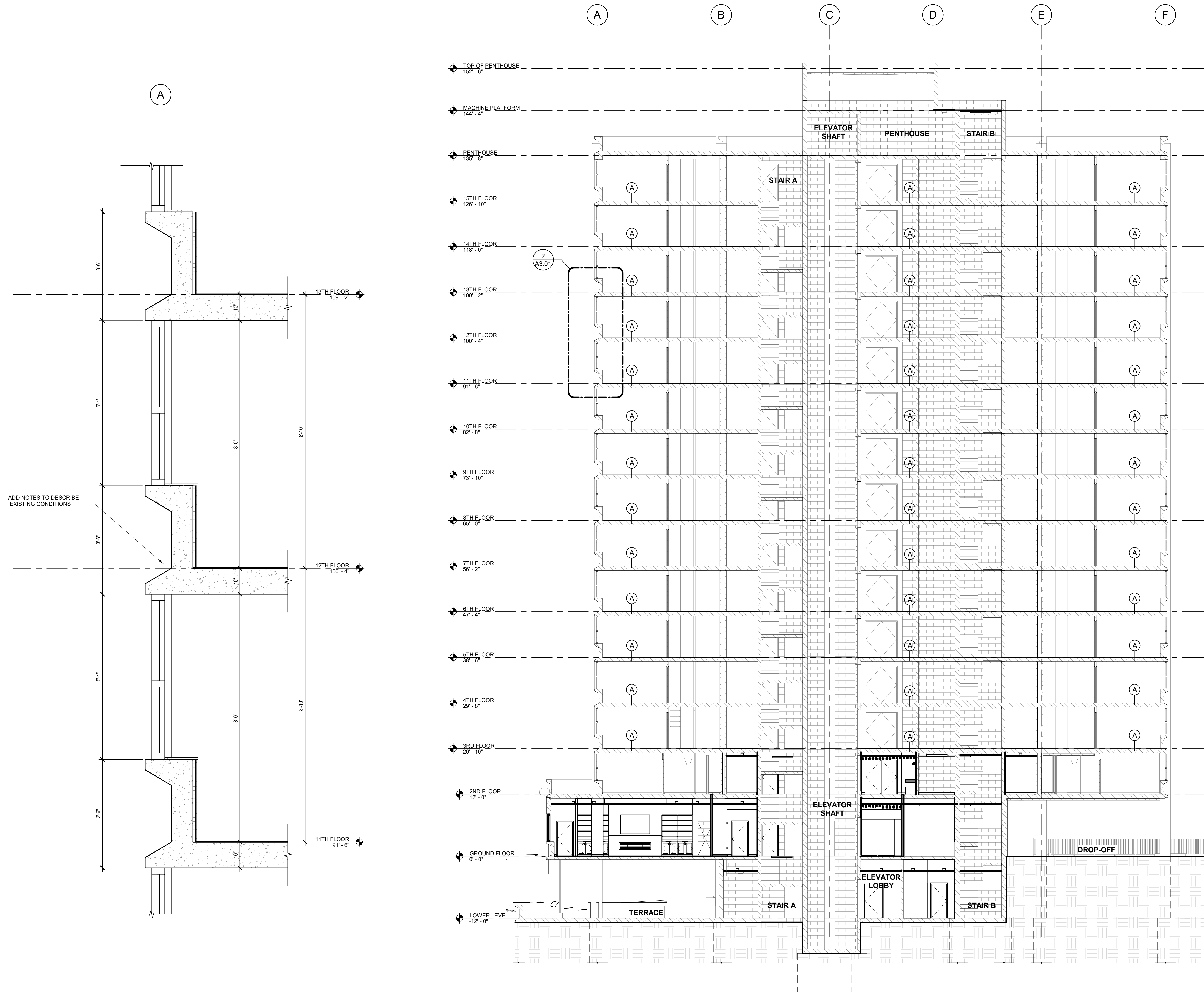
Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

TYPICAL STOREFRONT
DETAILS
A2.05

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT



DOMINICK DURANTE, JR.
LICENSE 87296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

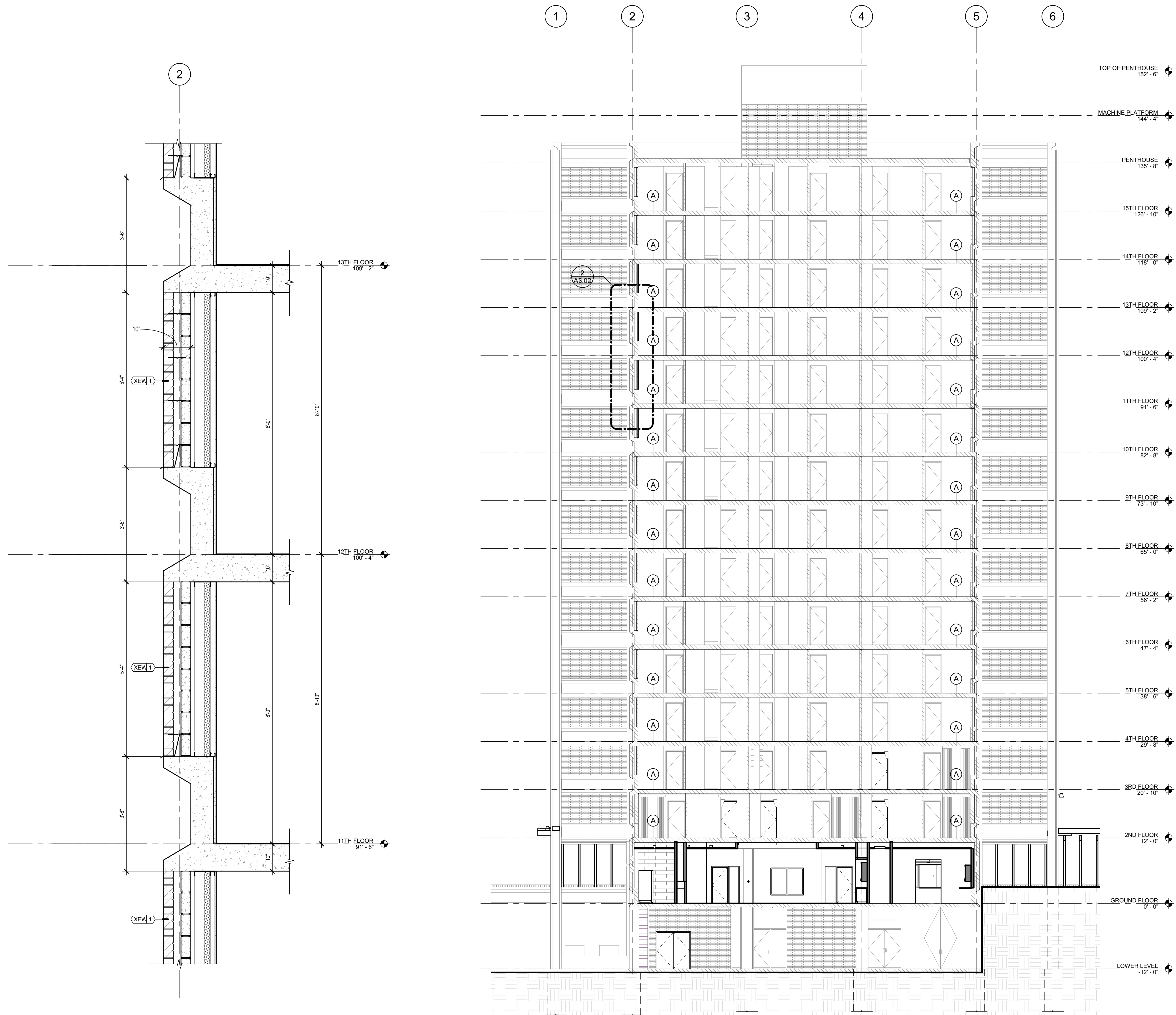
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

BUILDING SECTION

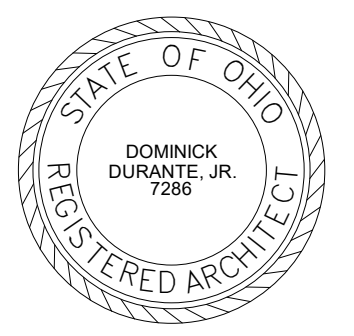
A3.01

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT



2 TYPICAL WALL SECTION - BRICK VENEER
SCALE: 3/4" = 1'-0"

1 BUILDING SECTION
SCALE: 1/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07396
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225


LDA Project No.23.47

BUILDING SECTION

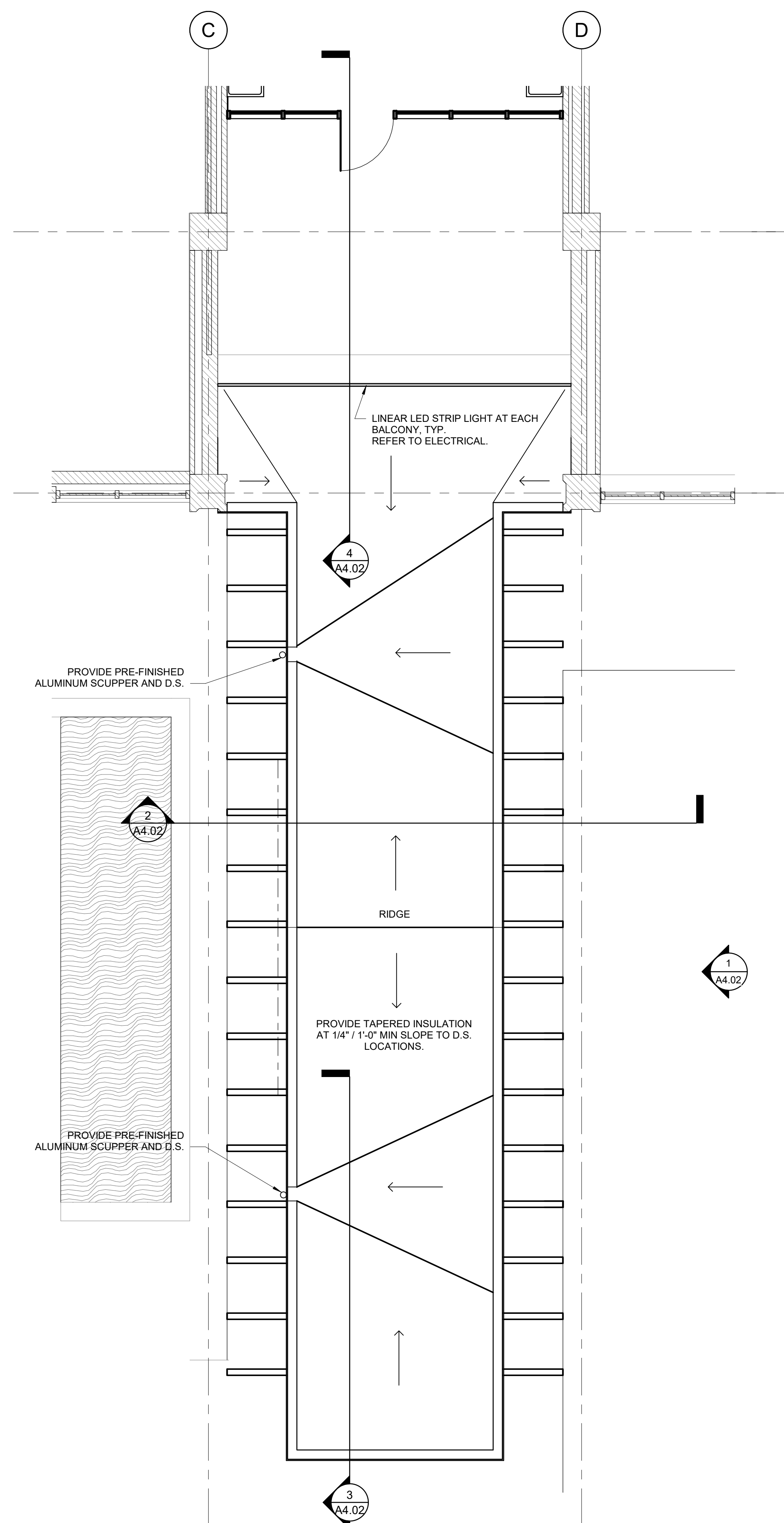
A3.02

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

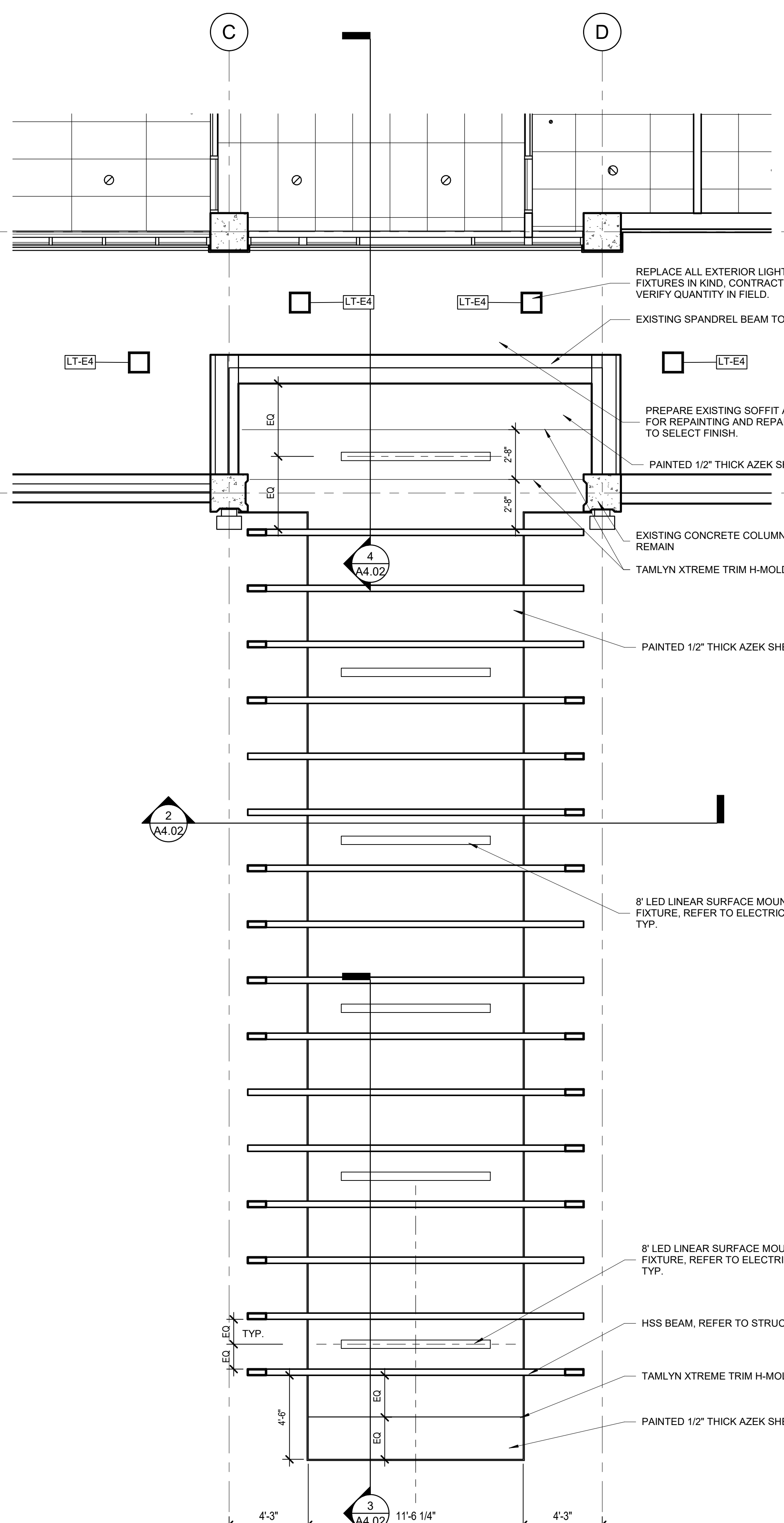
KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL  TYPICAL UNLESS NOTED OTHERWISE

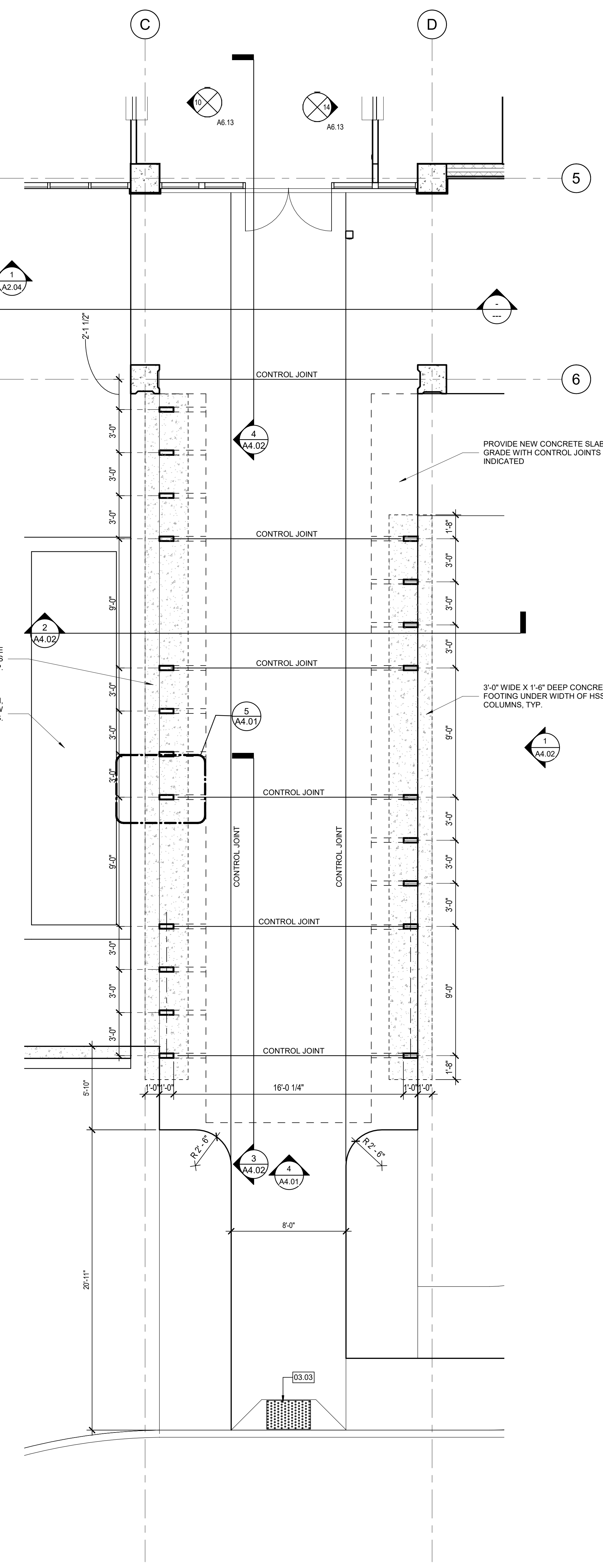
03.03 PROVIDE ADA CURB RAMP WITH ADA WARNING STRIP BY ULINE.



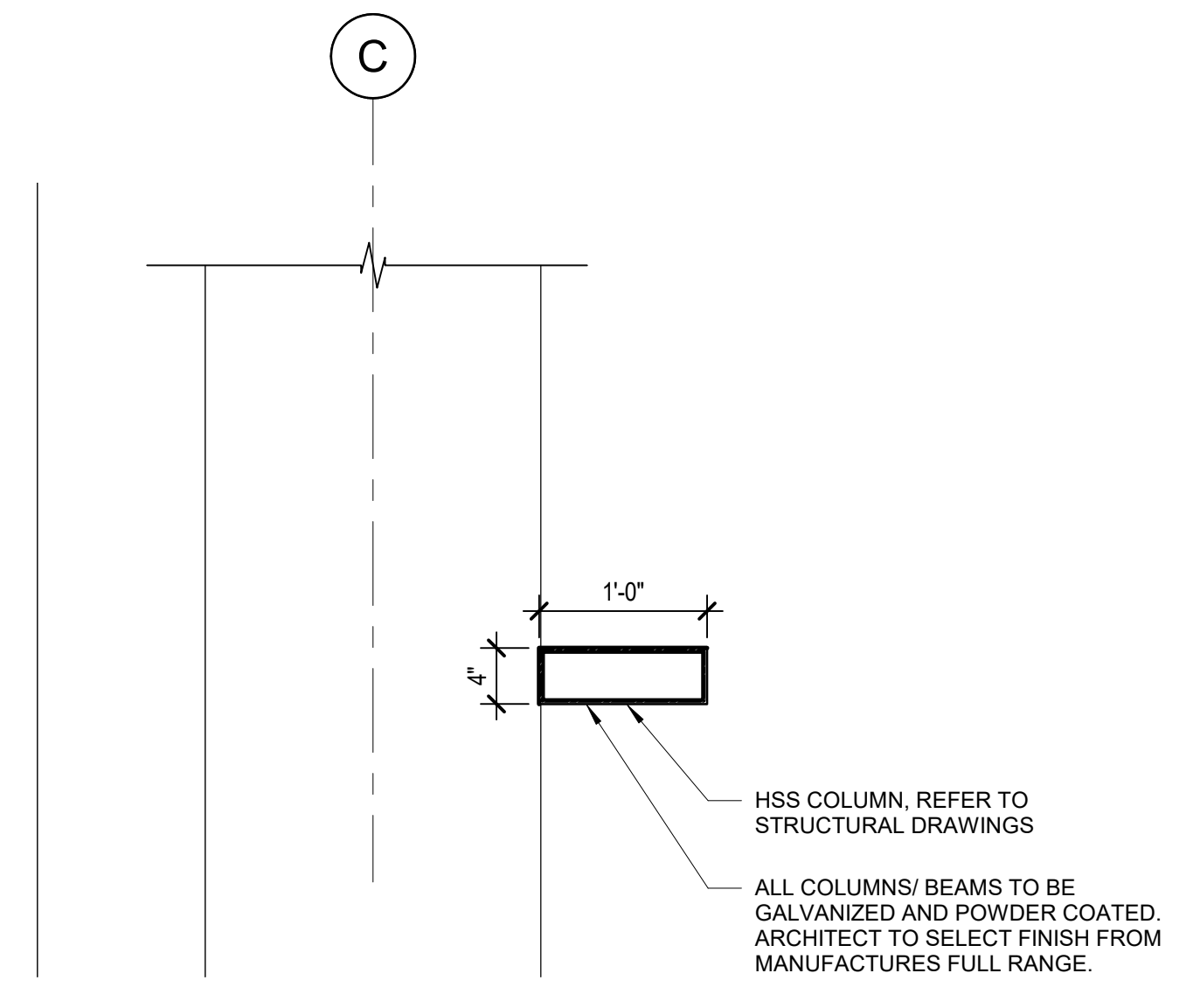
3 ENLARGED CANOPY ROOF PLAN
A4.01 SCALE: 1/4" = 1'-0"



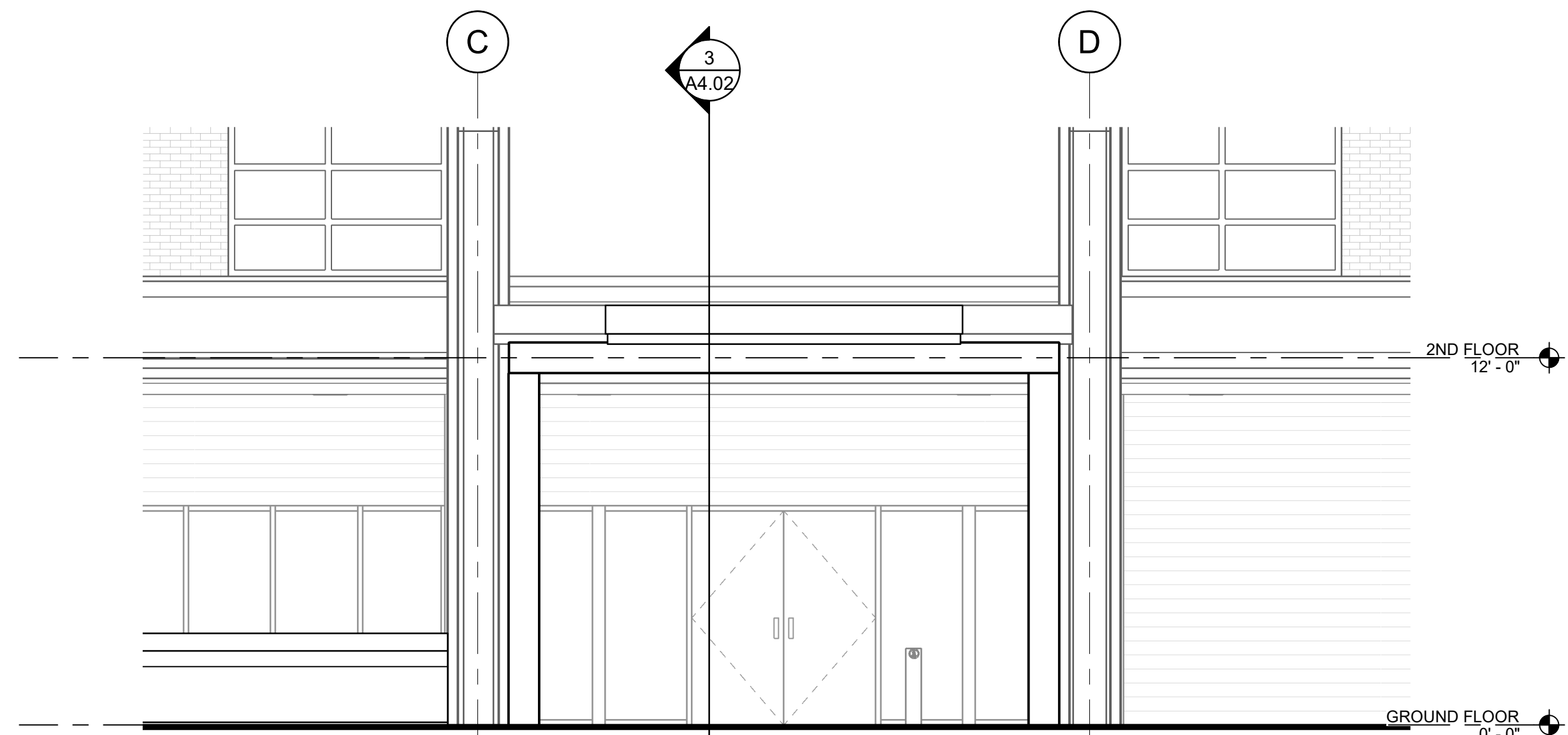
2 ENLARGED CANOPY RCP
A4.01 SCALE: 1/4" = 1'-0"



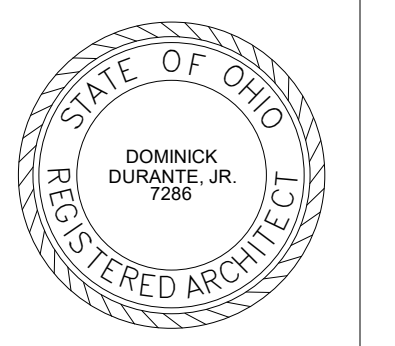
1 ENLARGED CANOPY FLOOR PLAN
A4.01 SCALE: 1/4" = 1'-0"



5 CANOPY COLUMN PLAN DETAIL
A4.01 SCALE: 1" = 1'-0"



4 ENLARGED FRONT CANOPY ELEVATION
A4.01 SCALE: 1/4" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

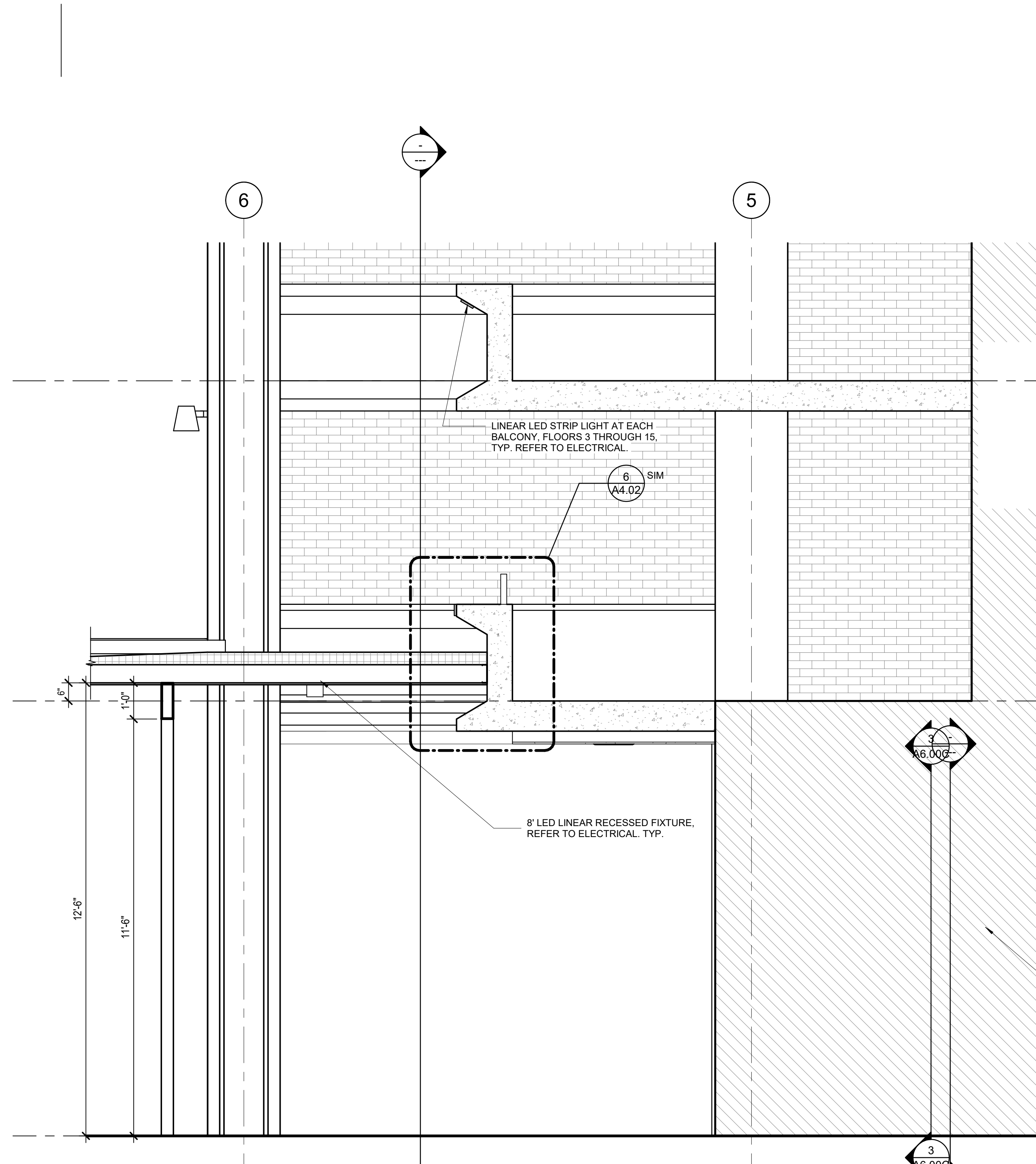
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

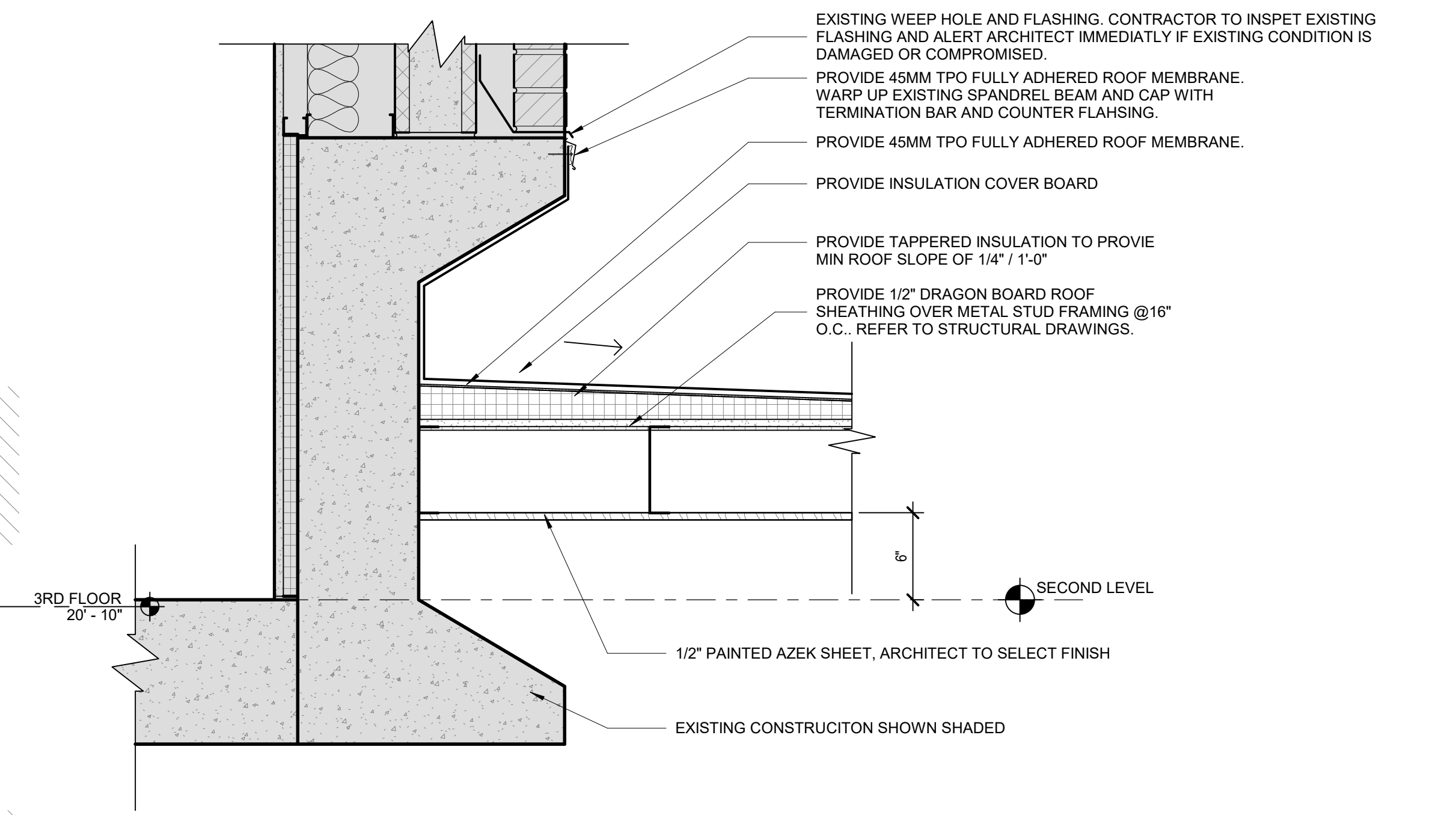
PROPOSED CANOPY PLANS

A4.01

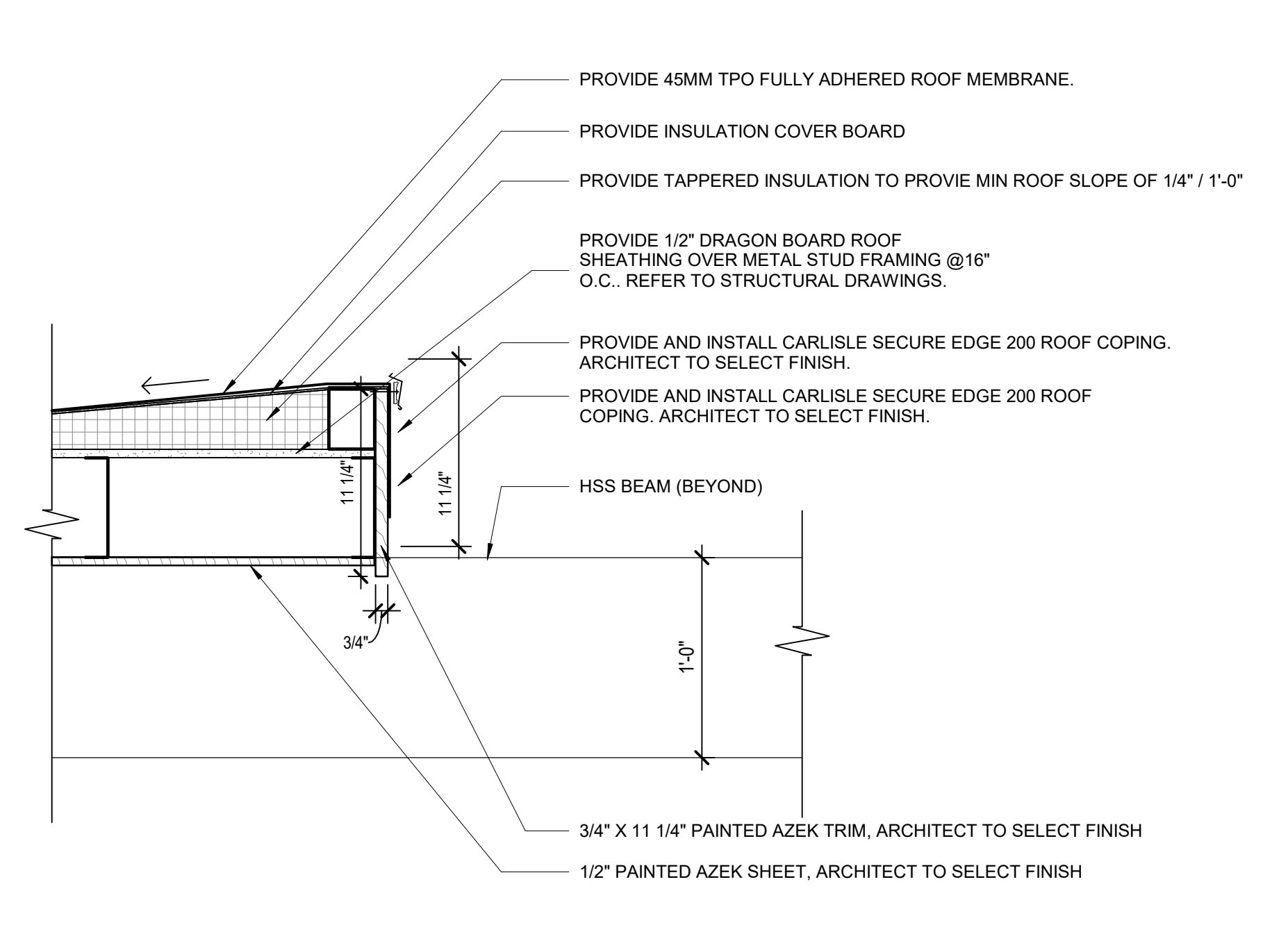
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT



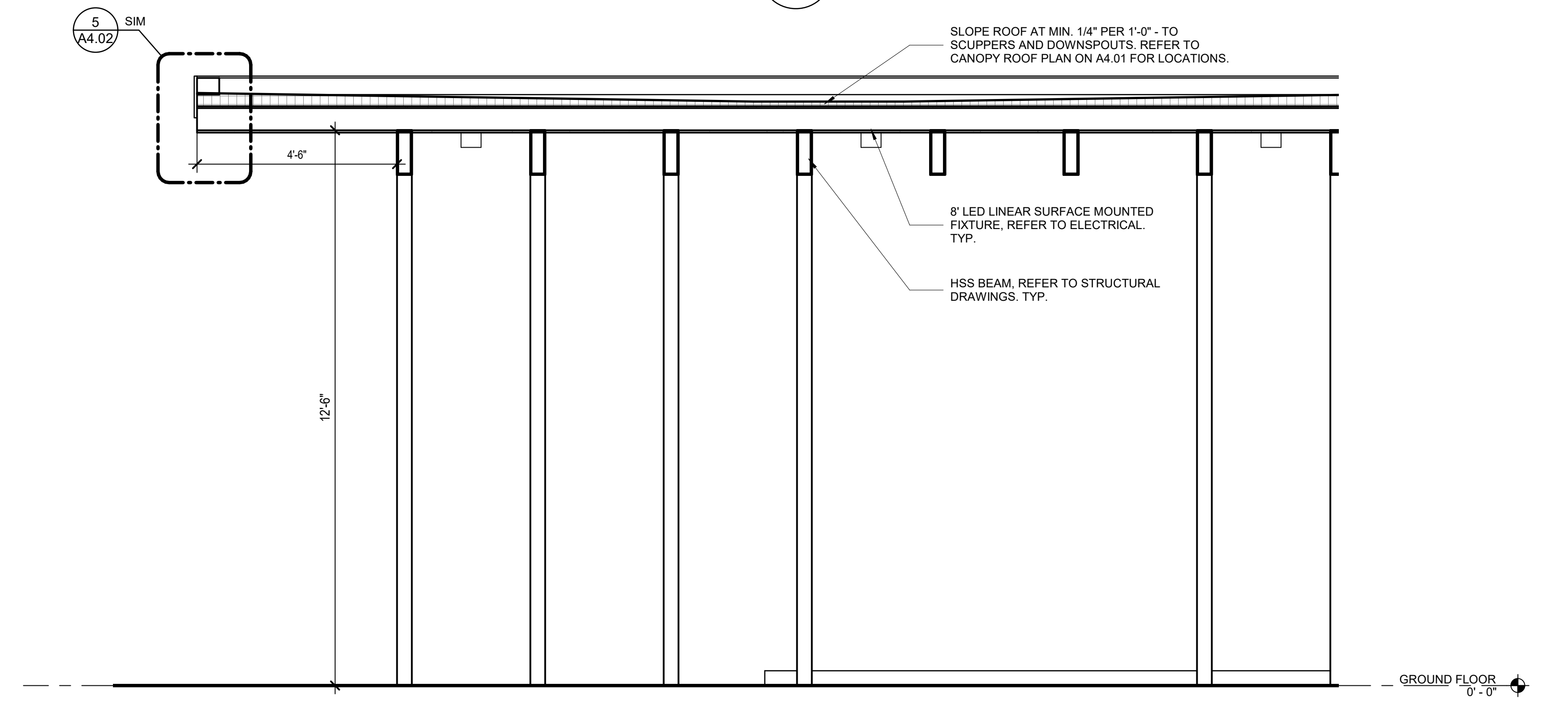
4 PROPOSED CANOPY SECTION AT BUILDING
A4.02 SCALE: 1/2" = 1'-0"



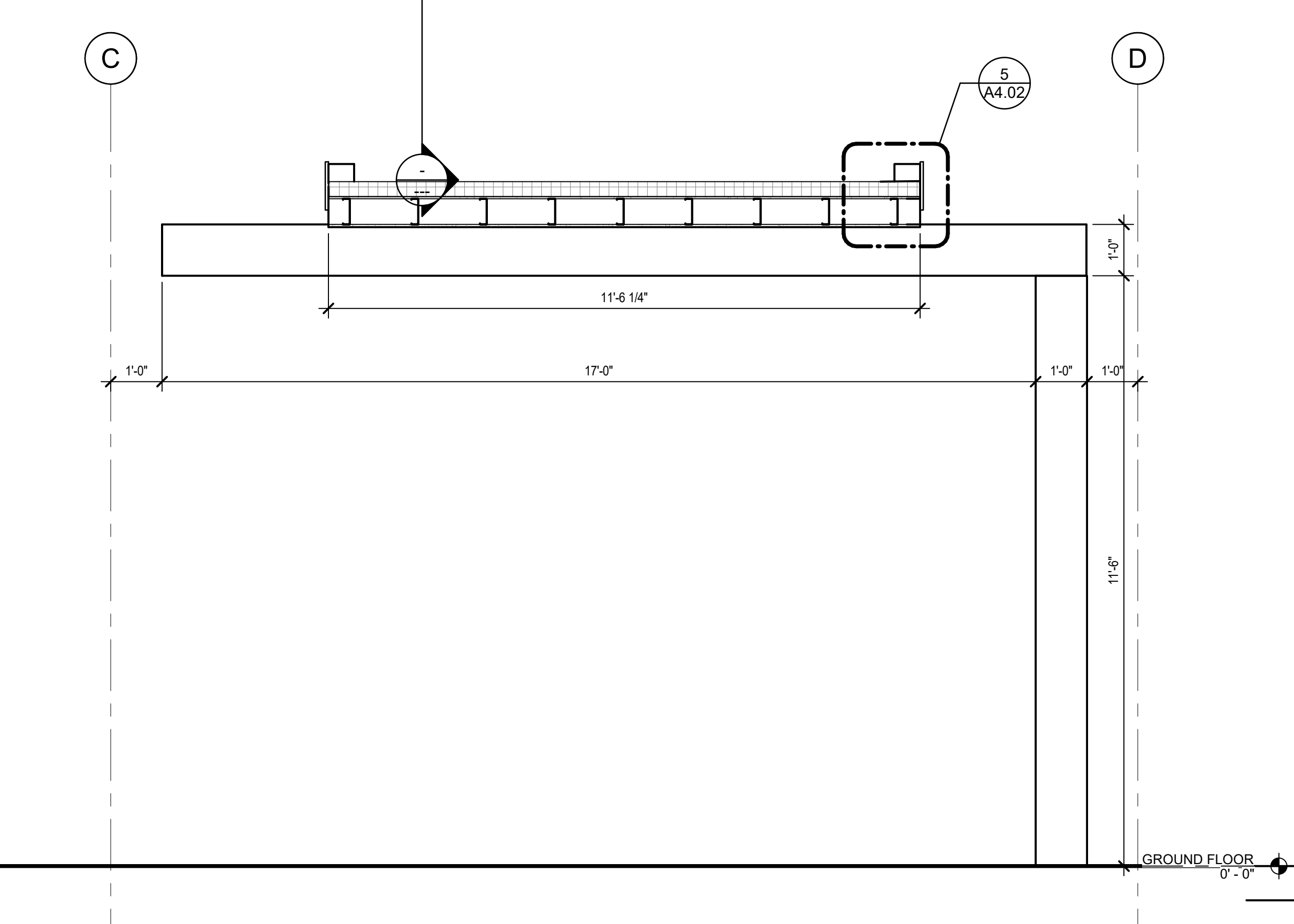
6 TYPICAL CANOPY FLASHING DETAIL
A4.02 SCALE: 1 1/2" = 1'-0"



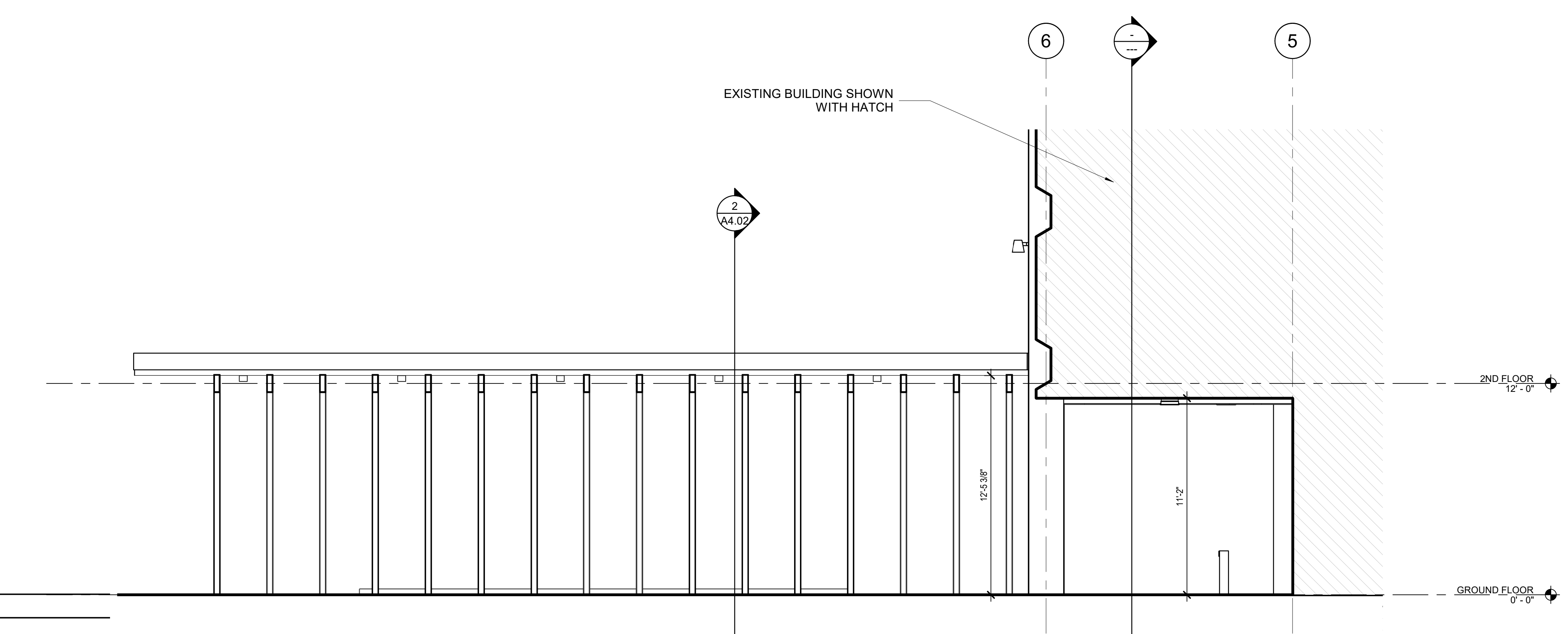
5 CANOPY EDGE DETAIL
A4.02 SCALE: 1 1/2" = 1'-0"



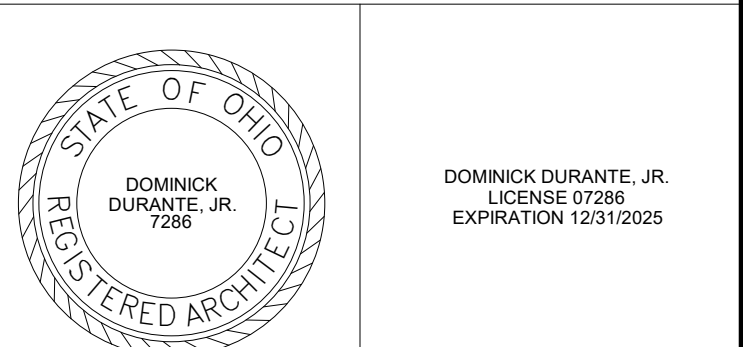
3 PROPOSED CANOPY SECTION AT OVERHANG
A4.02 SCALE: 1/2" = 1'-0"



2 PROPOSED CROSS CANOPY SECTION
A4.02 SCALE: 1/2" = 1'-0"



1 ENLARGED PROPOSED CANOPY SIDE ELEVATION
A4.02 SCALE: 1/4" = 1'-0"

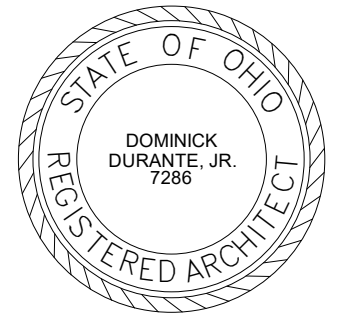
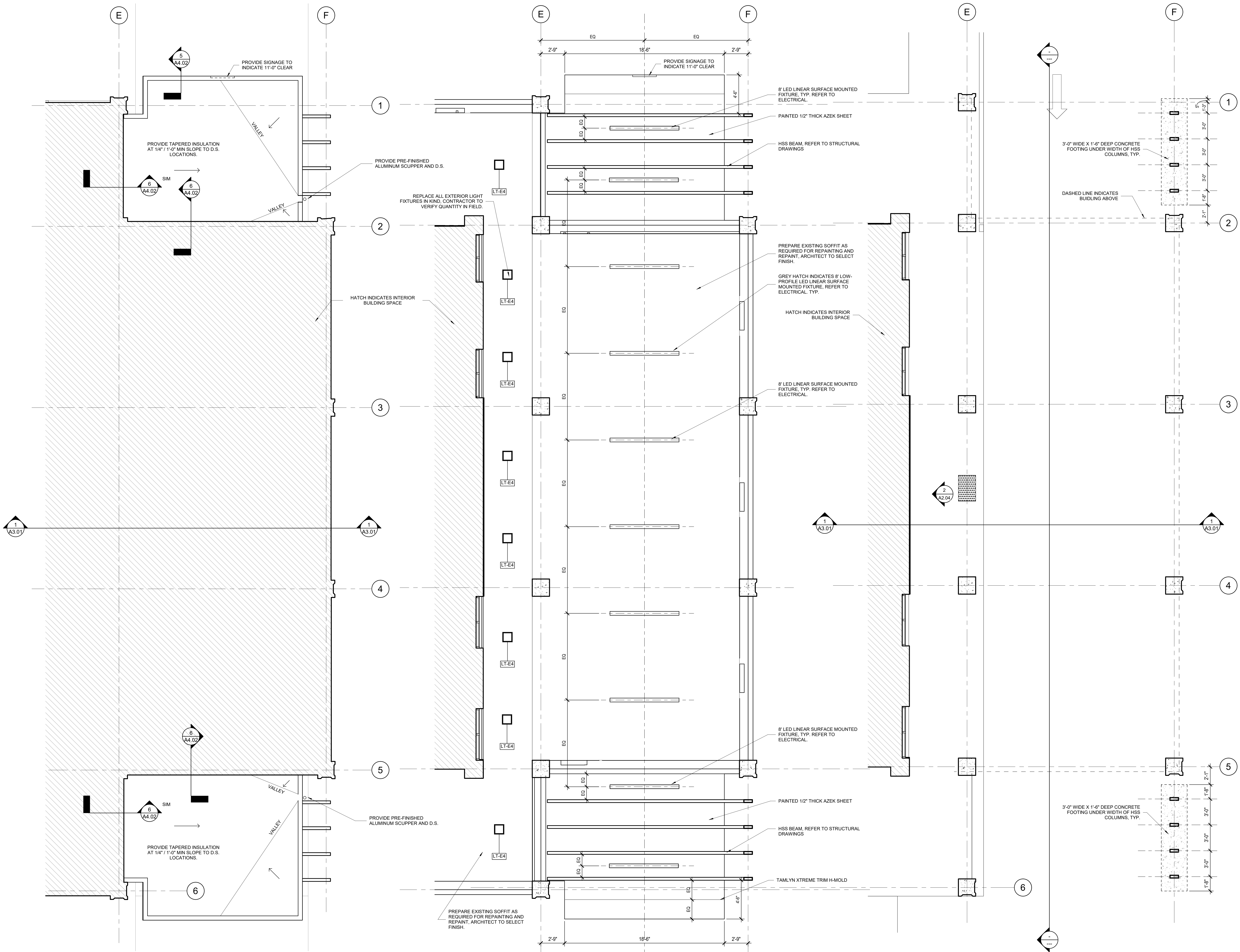


Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47
PROPOSED CANOPY ELEVATIONS AND DETAILS
A4.02

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

PROPOSED CANOPY PLANS

A4.03

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

GENERAL NOTES - REFLECTED CEILING PLAN

- ALL LIGHTS TO BE ON DIMMERS BY TYPE, TYPICAL
- LIGHT SWITCHES AND OUTLET COVERS TO BE LEGRAND RADIANT COLLECTION, COLOR WHITE.
- ALL ROOMS TO HAVE THE CAPABILITY OF TURNING LIGHTS ON AND OFF.
- EXIT LIGHTS TO BE CLEAR LED STYLE EDGE LIT.
- EXIT LIGHTS TOW BE CENTERED ON DOORWAY SAND BE PLACES 2" OVER DOOR FRAME.
- ALL NEW GRILLES, VENTS, ETC. TO BE PRE-FINISHED 'WHITE'. ALL EXISTING GRILLES, VENTS, ETC. TO BE PAINTED ADJACENT SURFACE FIELD COLOR.
- DIFFUSERS, SPEAKERS, CONDUITS, ETC. THAT ARE PART OF THE CEILING SYSTEM ARE TO BE PRE-FINISHED TO MATCH ADJACENT CEILING UNLESS NOTED OTHERWISE.
- GYPSUM WALLBOARD CEILING AND SOFFITS ARE TO BE PAINTED. VERTICAL SURFACE SOFFITS ARE TO BE PAINTED TO MATCH ADJACENT WALLS UNLESS NOTED OTHERWISE.
- COORDINATE DIFFUSER AND LIGHT FIXTURE LOCATIONS WITH MECHANICAL AND ELECTRICAL REQUIREMENTS. EXACT LOCATIONS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS SHALL GOVERN. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES.
- COORDINATE LOCATIONS OF SPRINKLER HEADS WITH APPROVED SHOP DRAWINGS.
- REFLECTED CEILING PLAN MAY NOT SHOW EXTENTS OF ELECTRICAL OR MECHANICAL PENETRATIONS OR REQUIRED ACCESS PANELS. COORDINATE WITH INTERIOR ELEVATIONS, ELECTRICAL, PLUMBING AND MECHANICAL DRAWINGS.
- CONTROL JOINTS TO BE PLACED IN DRYWALL CEILINGS 30'-0" O.C. IN EACH DIRECTION. COORDINATE LOCATIONS WITH ARCHITECT AS NEEDED. 13. PROVIDE SUPPORT AND REINFORCEMENT OF PENDANT LIGHT FIXTURES.
- GENERAL CONTRACTOR TO COORDINATE RECESSED LIGHT FIXTURE LOCATIONS WITH DUCTWORK, SPRINKLERS, AN STRUCTURE. SUBMIT REVISIONS TO LDA ARCHITECTURE FOR APPROVAL.
- CENTER SPRINKLER HEADS, DIFFUSERS, GRILLES, LIGHTING FIXTURES, ETC. IN CEILING TILES OR ALIGN IN GYPSUM BOARD CEILINGS (SEE MECHANICAL DRAWINGS FOR ADDITIONAL DIFFUSERS).
- CEILING TILES TO BE LAID OUT IN SPACES AS SHOWN IN ARCHITECTURAL REFLECTED CEILING PLANS.
- FIREHORN AND ALARM PULL TO BE VERTICALLY ALIGNED WHERE THEY OCCUR TOGETHER.
- DUPLEX RECEPTACLES TO BE ALIGNED BELOW EITHER THE WALL MOUNTED FIXTURES OR THE FIRE ALARM PULL/FIREHORN WHEREVER THEY OCCUR.

KEYED NOTES SPECIFIC TO THIS SHEET

- REFERENCED BY THE SYMBOL
- TYPICAL UNLESS NOTED OTHERWISE
- 01.04 DASHED LINE REPRESENTS CABINET/COUNTERTOP BELOW.
 - 26.03 CENTER FIXTURE IN ROOM.
 - 26.04 CENTER FIXTURE ON VANITY.
 - 26.08 CENTER FIXTURE ON KITCHEN SINK.
 - 26.13 PROVIDE POWER & SUPPORT FOR CONFERENCE ROOM TV LOCATION. VERIFY TV SIZE WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.
 - 26.16 PROVIDE OUTLET FOR FUTURE VENDING. COORDINATE WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.



Copyright © 2022 LDA architects Inc.
This drawing and related master drawings, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

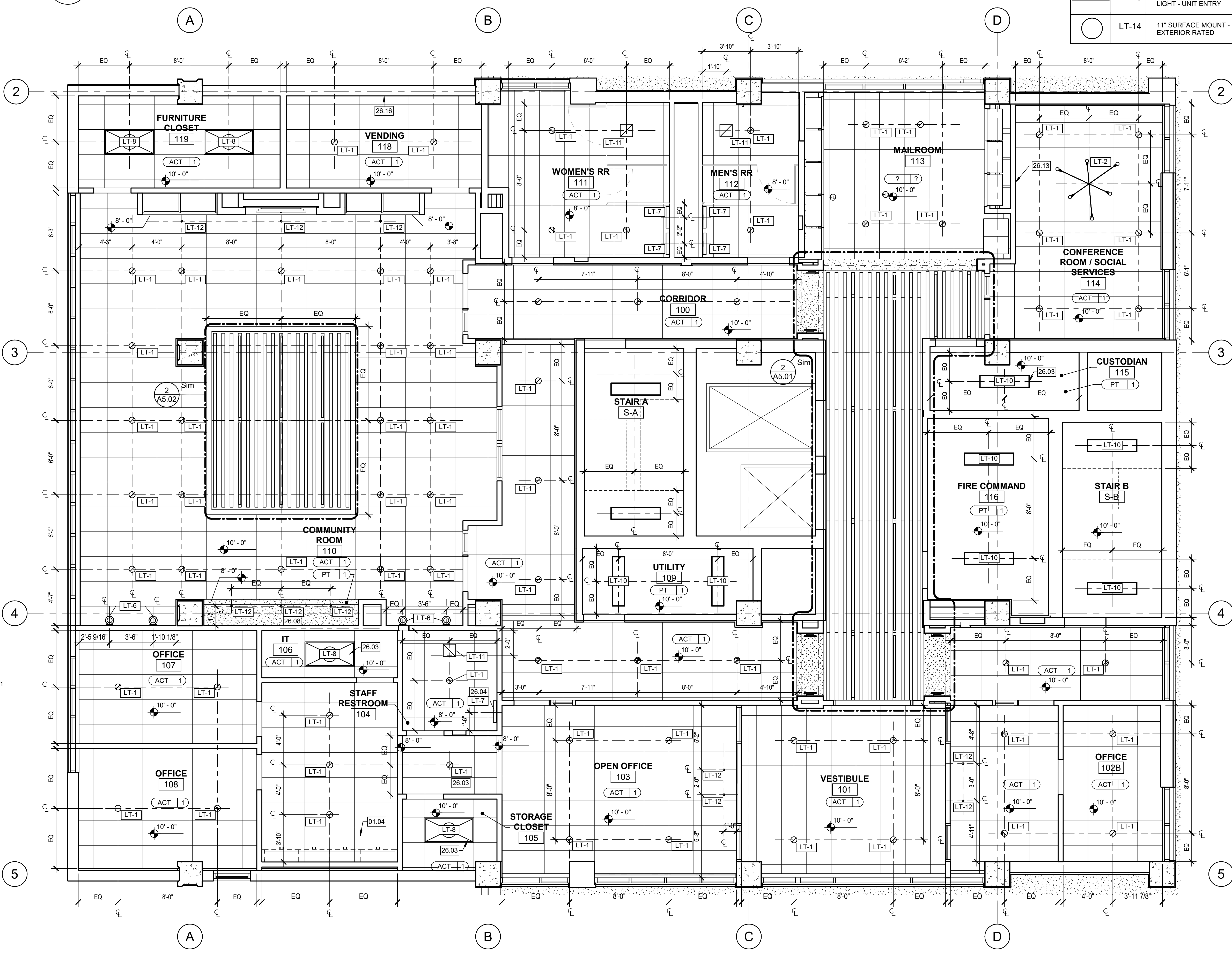
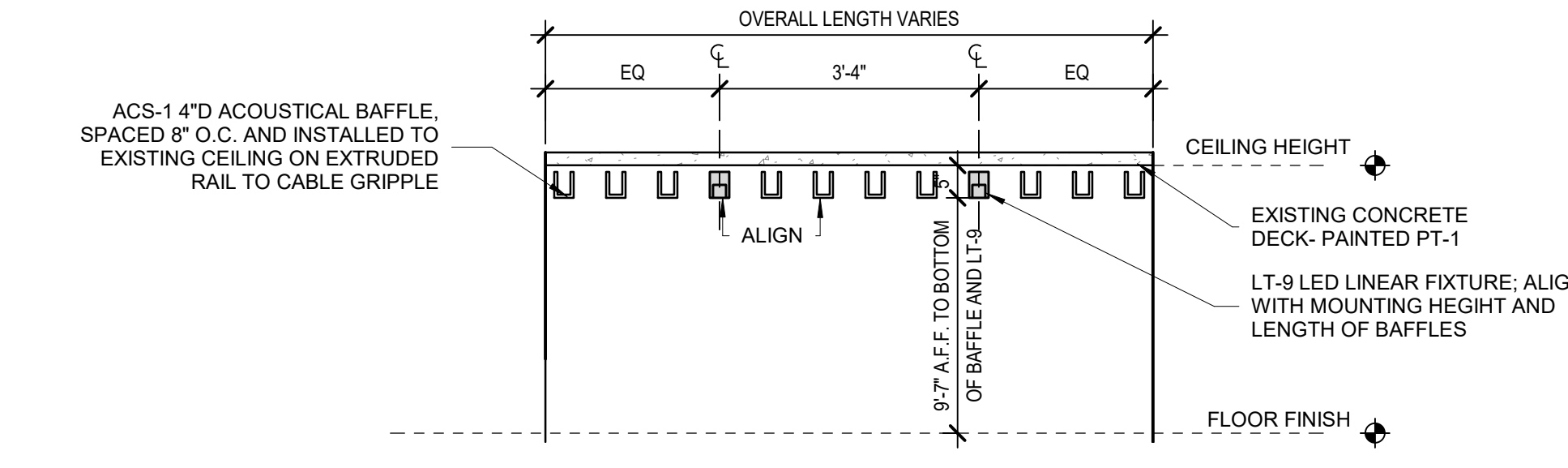
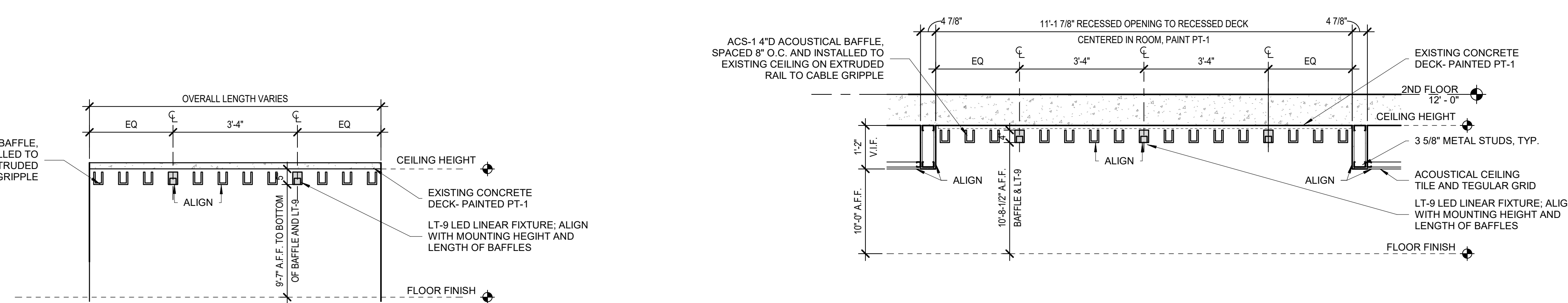
OVERALL GROUND FLOOR REFLECTED CEILING PLAN

A5.02

COMMON AREA FIXTURE LEGEND

	LT-1	6" RECESSED DOWNLIGHT
	LT-2	ALONZO 37" DIAMETER CHANDELIER
	LT-3	WALL SCONCE - ADA CERTIFIED
	LT-4	TAPE LIGHT - UNDER CABINET
	LT-5	17" FLUSH MOUNT
	LT-6	ALONZO 8" WALL SCONCE
	LT-7	24" VANITY WALL SCONCE
	LT-8	24" X 48" RECESSED PANEL
	LT-9	2" X 8" LINEAR RECESSED LIGHT
	LT-10	12" X 48" UTILITY LIGHT
	LT-11	EXHAUST FAN
	LT-12	2" MINI RECESSED DOWNLIGHT
	LT-13	24" LINEAR RECESSED LIGHT - UNIT ENTRY
	LT-14	11" SURFACE MOUNT - EXTERIOR RATED

3 COMMUNITY ROOM ACOUSTICAL CEILING DETAIL
SCALE: 1/2" = 1'-0"



2 ENLARGED COMMUNITY ROOM RCP
SCALE: 1/2" = 1'-0"

1 OVERALL GROUND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

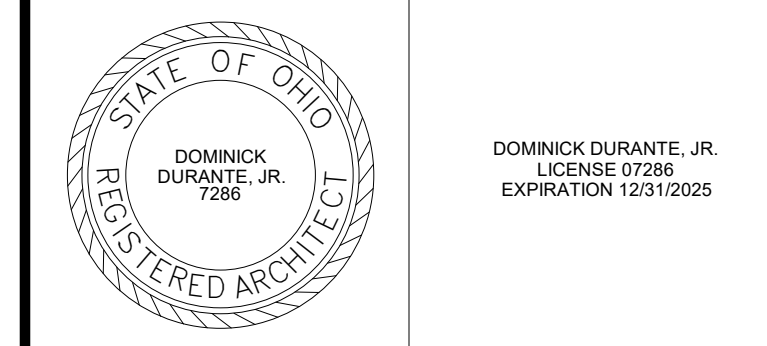
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

GENERAL NOTES - REFLECTED CEILING PLAN

- ALL LIGHTS TO BE DIMMERS BY TYPE, TYPICAL
- LIGHT SWITCHES AND OUTLET COVERS TO BE LEGRAND RADIANT COLLECTION, COLOR WHITE.
- ALL ROOMS TO HAVE THE CAPABILITY OF TURNING LIGHTS ON AND OFF.
- EXIT LIGHTS TO BE CLEAR LED STYLE EDGE LIT.
- EXIT LIGHTS TO BE CENTERED ON DOORWAY SAND BE PLACES 2" OVER DOOR FRAME.
- ALL NEW GRILLES, VENTS, ETC. TO BE PRE-FINISHED 'WHITE'. ALL EXISTING GRILLES, VENTS, ETC. TO BE PAINTED ADJACENT SURFACE FIELD COLOR.
- DIFFUSERS, SPEAKERS, CONDUITS, ETC. THAT ARE PART OF THE CEILING SYSTEM ARE TO BE PRE-FINISHED TO MATCH ADJACENT CEILING UNLESS NOTED OTHERWISE.
- GYPSUM WALLBOARD CEILING AND SOFFITS ARE TO BE PAINTED. VERTICAL SURFACE SOFFITS ARE TO BE PAINTED TO MATCH ADJACENT WALLS UNLESS NOTED OTHERWISE.
- COORDINATE DIFFUSER AND LIGHT FIXTURE LOCATIONS WITH MECHANICAL AND ELECTRICAL REQUIREMENTS. EXACT LOCATIONS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS SHALL GOVERN. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES.
- COORDINATE LOCATIONS OF SPRINKLER HEADS WITH APPROVED SHOP DRAWINGS.
- REFLECTED CEILING PLAN MAY NOT SHOW EXTENTS OF ELECTRICAL OR MECHANICAL PENETRATIONS OR REQUIRED ACCESS PANELS. COORDINATE WITH INTERIOR ELEVATIONS, ELECTRICAL PLUMBING AND MECHANICAL DRAWINGS.
- CONTROL JOINTS TO BE PLACED IN DRYWALL CEILINGS 30'-0" O.C. IN EACH DIRECTION. COORDINATE LOCATIONS WITH ARCHITECT AS NEEDED. 13. PROVIDE SUPPORT AND REINFORCEMENT OF PENDANT LIGHT FIXTURES.
- GENERAL CONTRACTOR TO COORDINATE RECESSED LIGHT FIXTURE LOCATIONS WITH DUCTWORK, SPRINKLERS, AN STRUCTURE. SUBMIT REVISIONS TO LDA ARCHITECTURE FOR APPROVAL.
- CENTER SPRINKLER HEADS, DIFFUSERS, GRILLES, LIGHTING FIXTURES, ETC. IN CEILING TILES OR ALIGN IN GYPSUM BOARD CEILINGS (SEE MECHANICAL DRAWINGS FOR ADDITIONAL DIFFUSERS).
- CEILING TILES TO BE LAID OUT IN SPACES AS SHOWN IN ARCHITECTURAL REFLECTED CEILING PLANS.
- FIREHORN AND ALARM PULL TO BE VERTICALLY ALIGNED WHERE THEY OCCUR TOGETHER.
- DUPLEX RECEPTACLES TO BE ALIGNED BELOW EITHER THE WALL MOUNTED FIXTURES OR THE FIRE ALARM PULL/FIREHORN WHEREVER THEY OCCUR.

KEYED NOTES SPECIFIC TO THIS SHEET

- REFERENCED BY THE SYMBOL
- 26.03 CENTER FIXTURE IN ROOM.
 - 26.10 CENTER FIXTURE ON DOOR/OPENING.



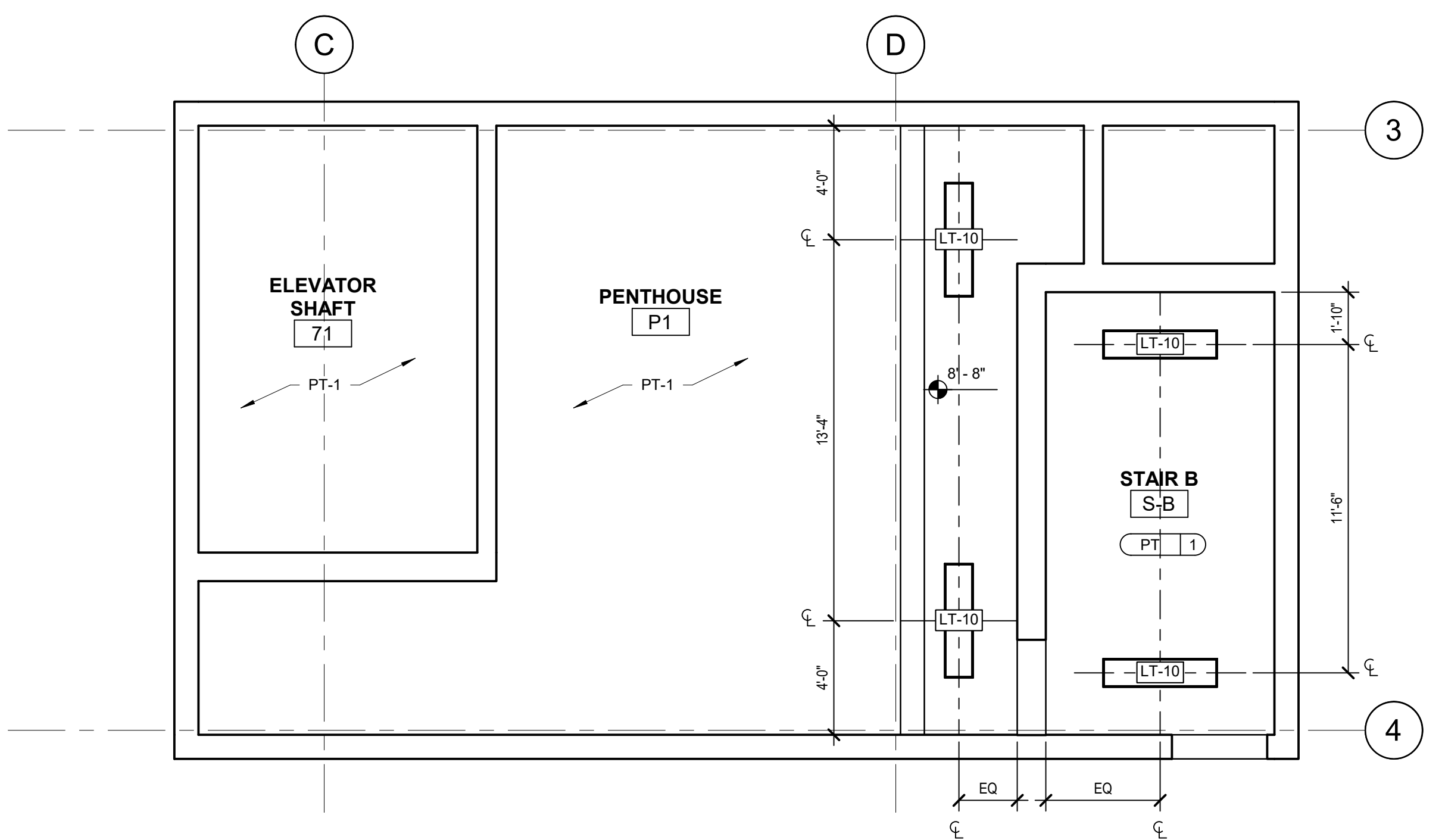
Copyright © 2022 LDA architects Inc.
 This drawing and subject matter thereon, as well as any associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. LDA. For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

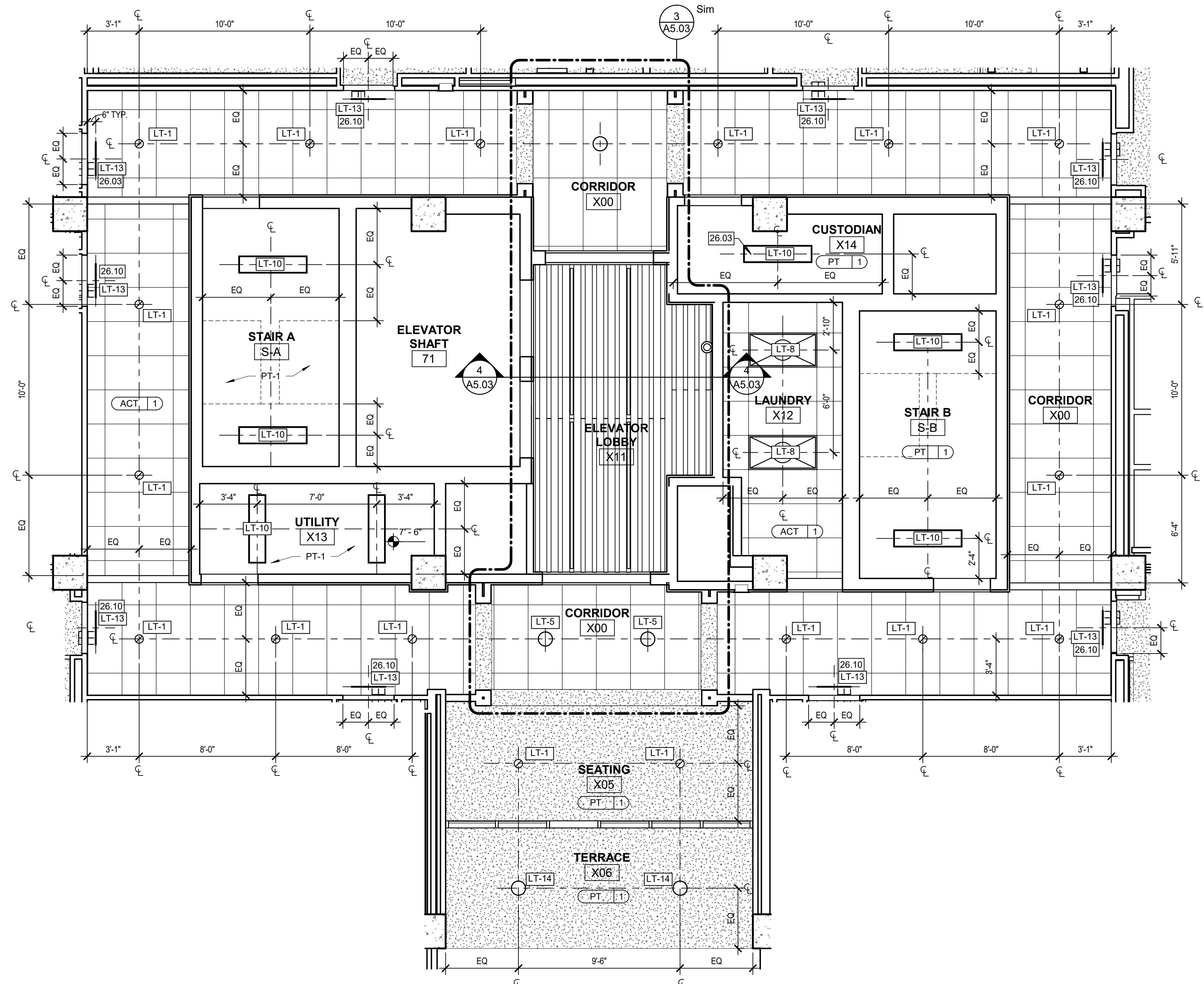
LDA Project No 23.47
OVERALL 2ND FLOOR - PENTHOUSE LEVEL REFLECTED CEILING PLAN
A5.03

COMMON AREA FIXTURE LEGEND

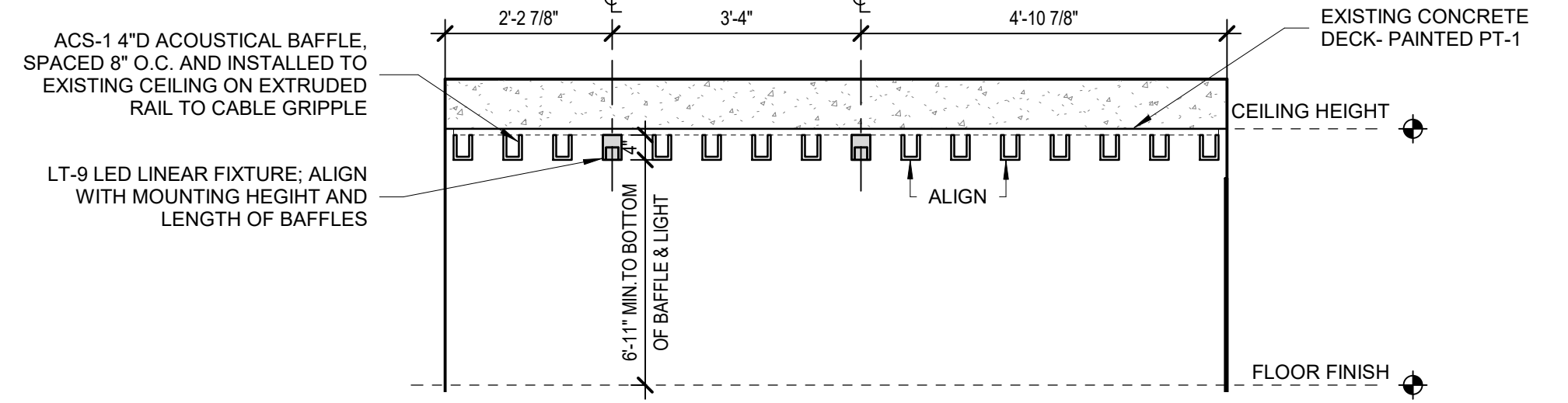
	LT-1	6" RECESSED DOWNLIGHT
	LT-2	ALONSO 37" DIAMETER CHANDELIER
	LT-3	WALL SCONCE - ADA CERTIFIED
	LT-4	TAPE LIGHT - UNDER CABINET
	LT-5	17" FLUSH MOUNT
	LT-6	ALONSO 8" WALL SCONCE
	LT-7	24" VANITY WALL SCONCE
	LT-8	24" X 48" RECESSED PANEL
	LT-9	2' X 8' LINEAR RECESSED LIGHT
	LT-10	12' X 48" UTILITY LIGHT
	LT-11	EXHAUST FAN
	LT-12	2" MINI RECESSED DOWNLIGHT
	LT-13	24" LINEAR RECESSED LIGHT - UNIT ENTRY
	LT-14	11" SURFACE MOUNT - EXTERIOR RATED



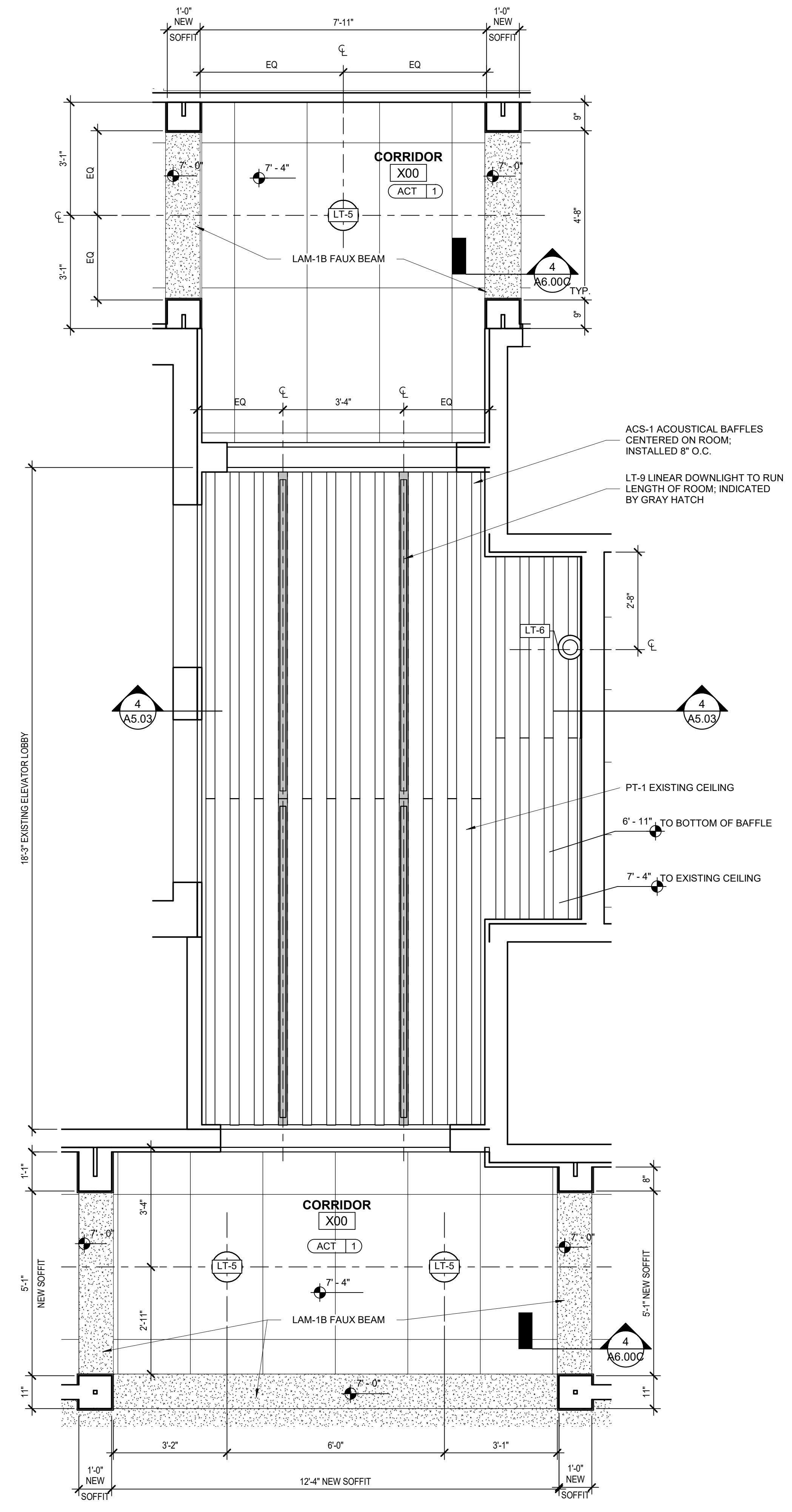
2 PENTHOUSE LEVEL REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



1 OVERALL 2ND - 15TH FLOOR REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

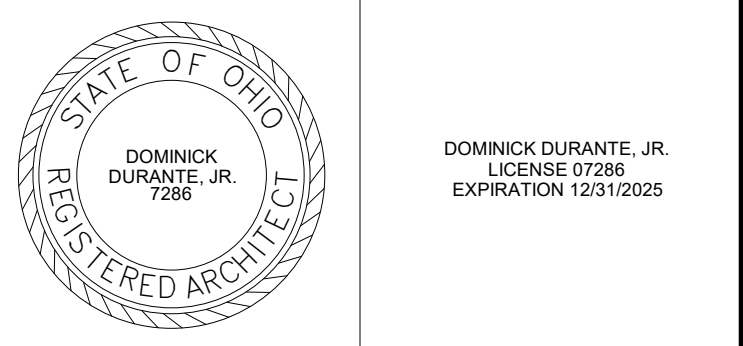
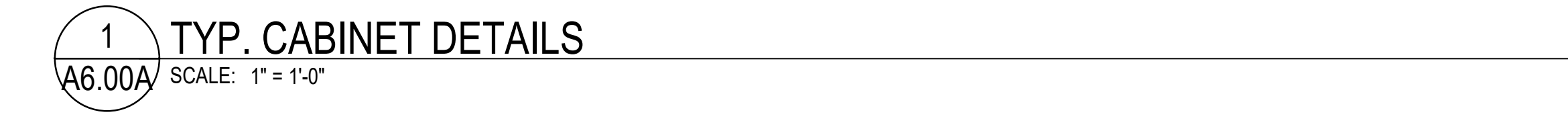
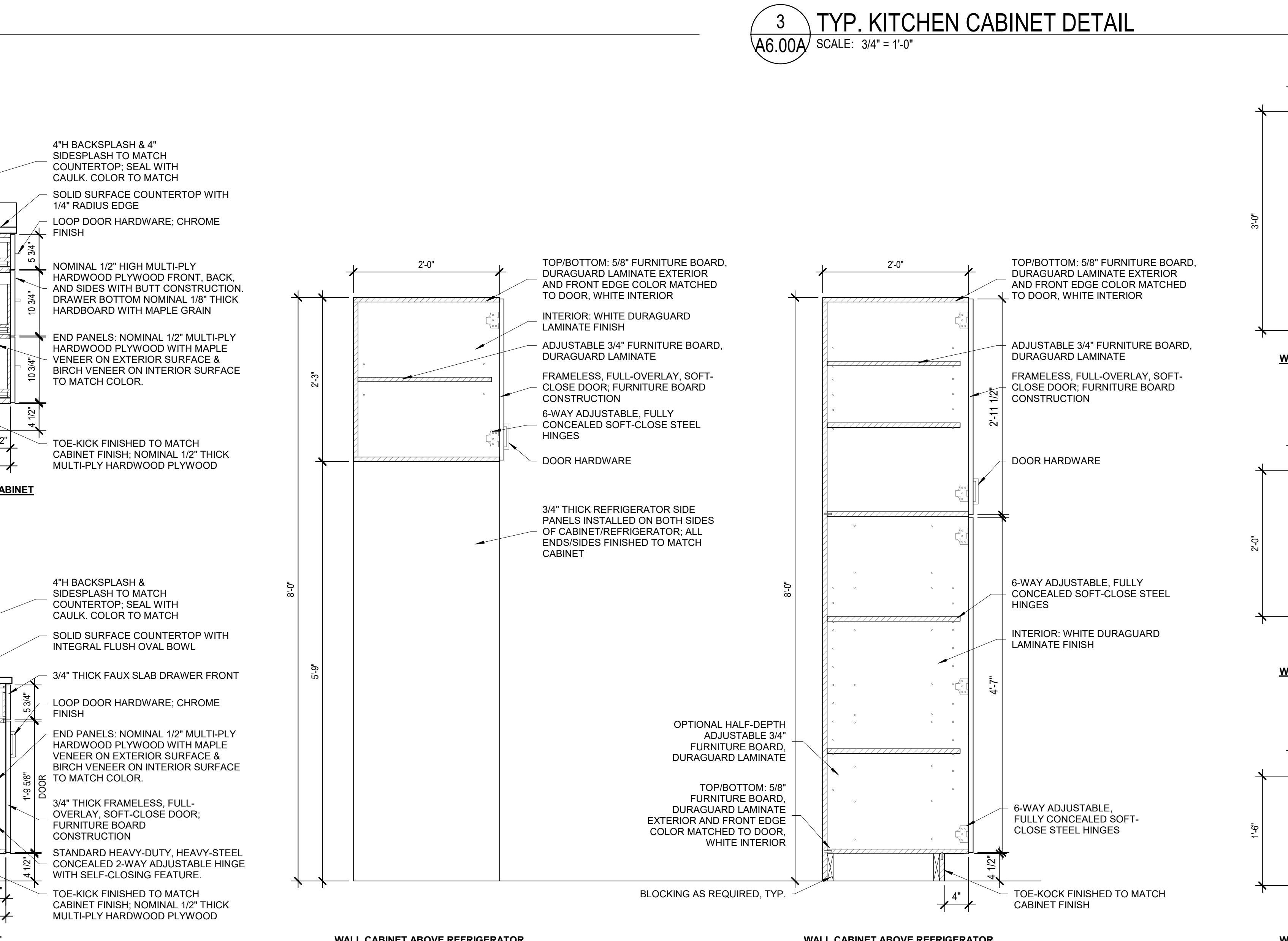
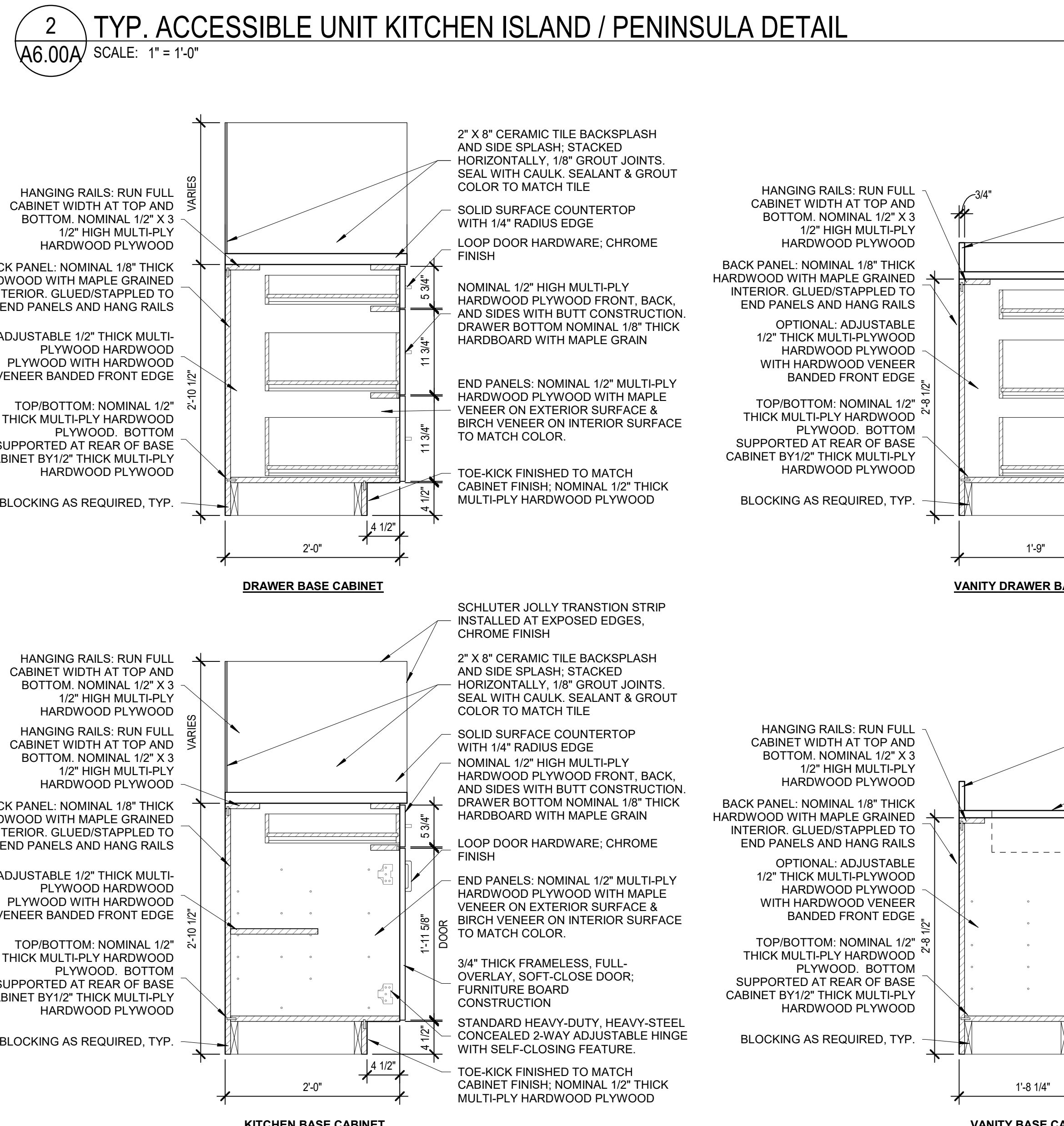
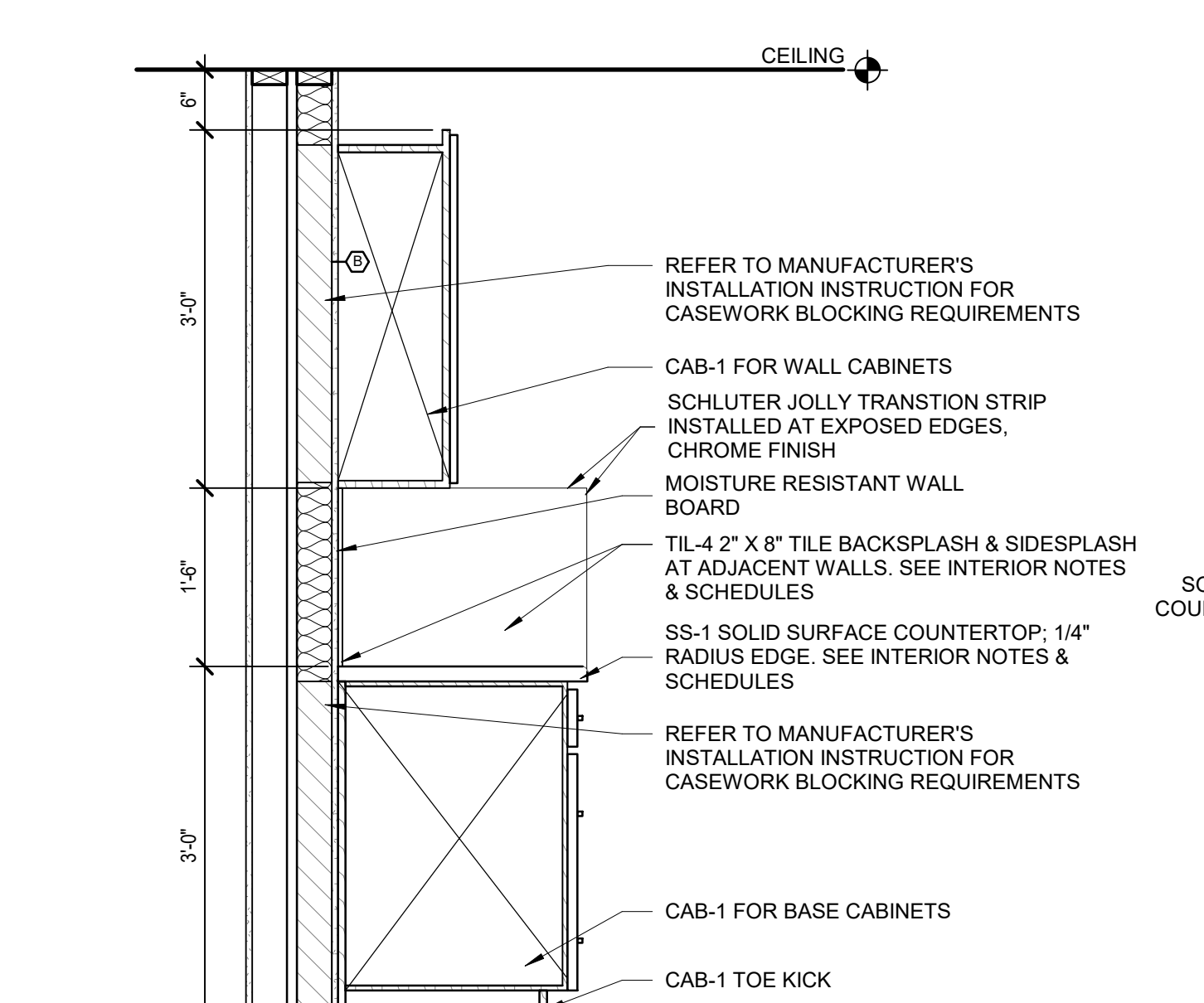
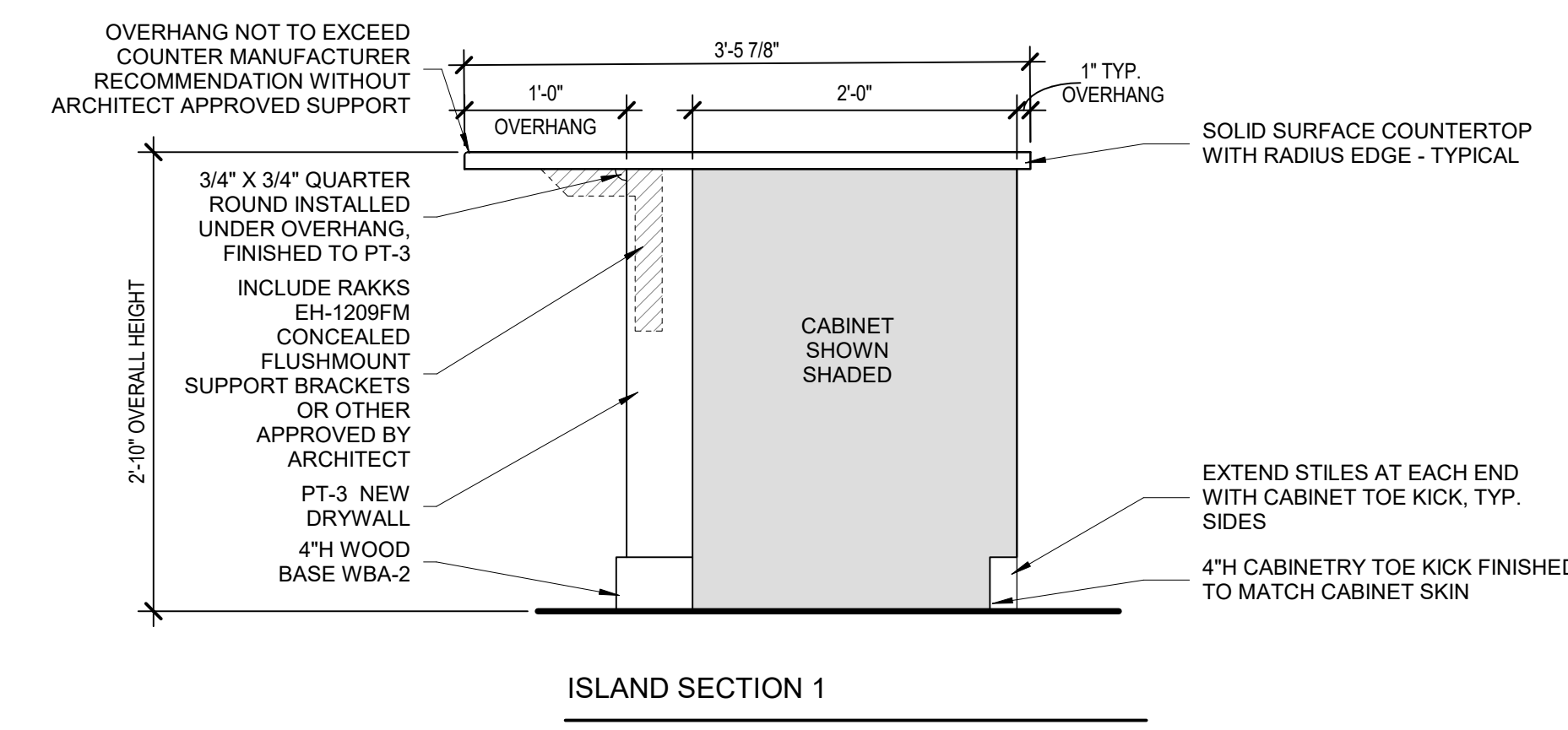
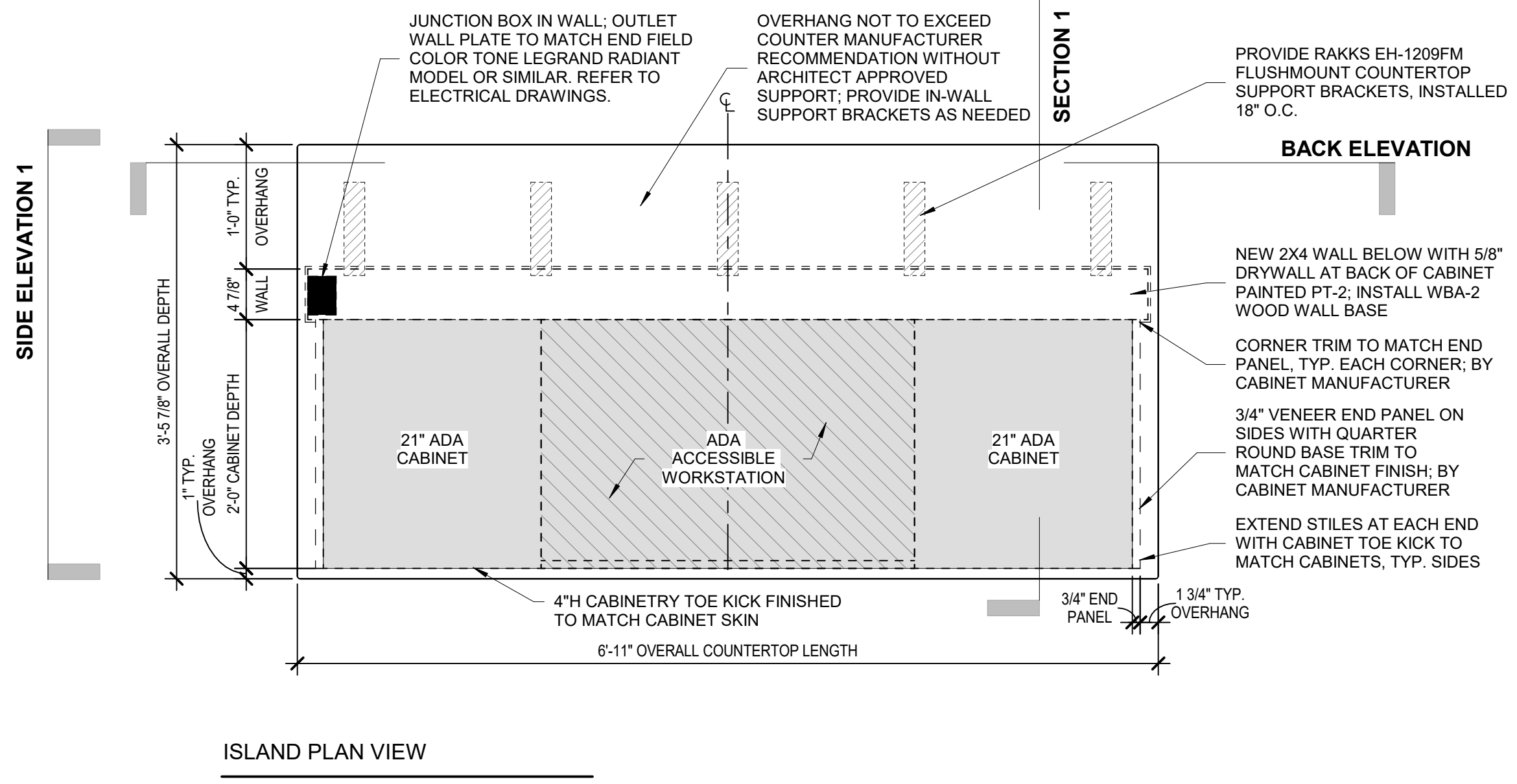
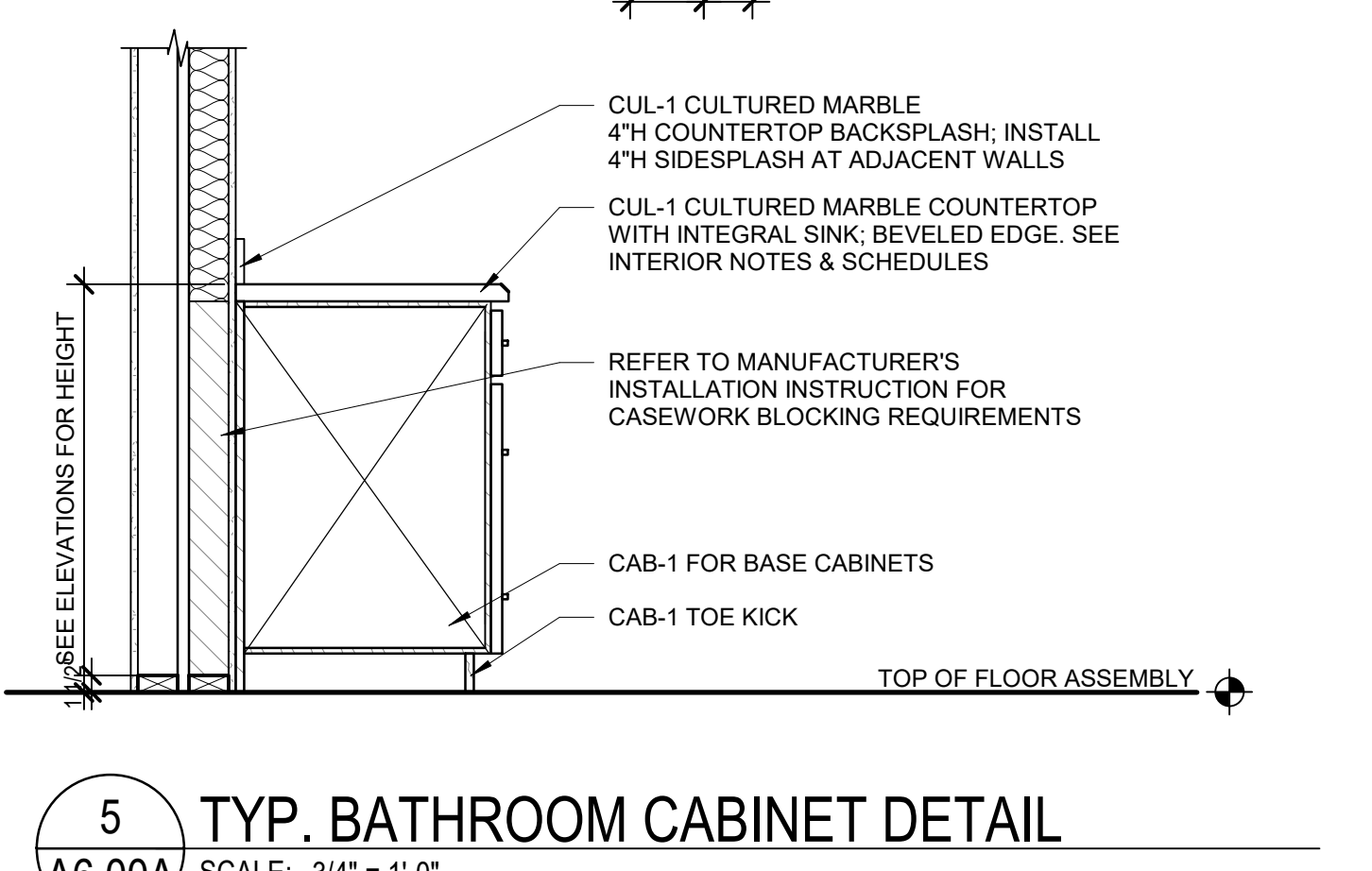
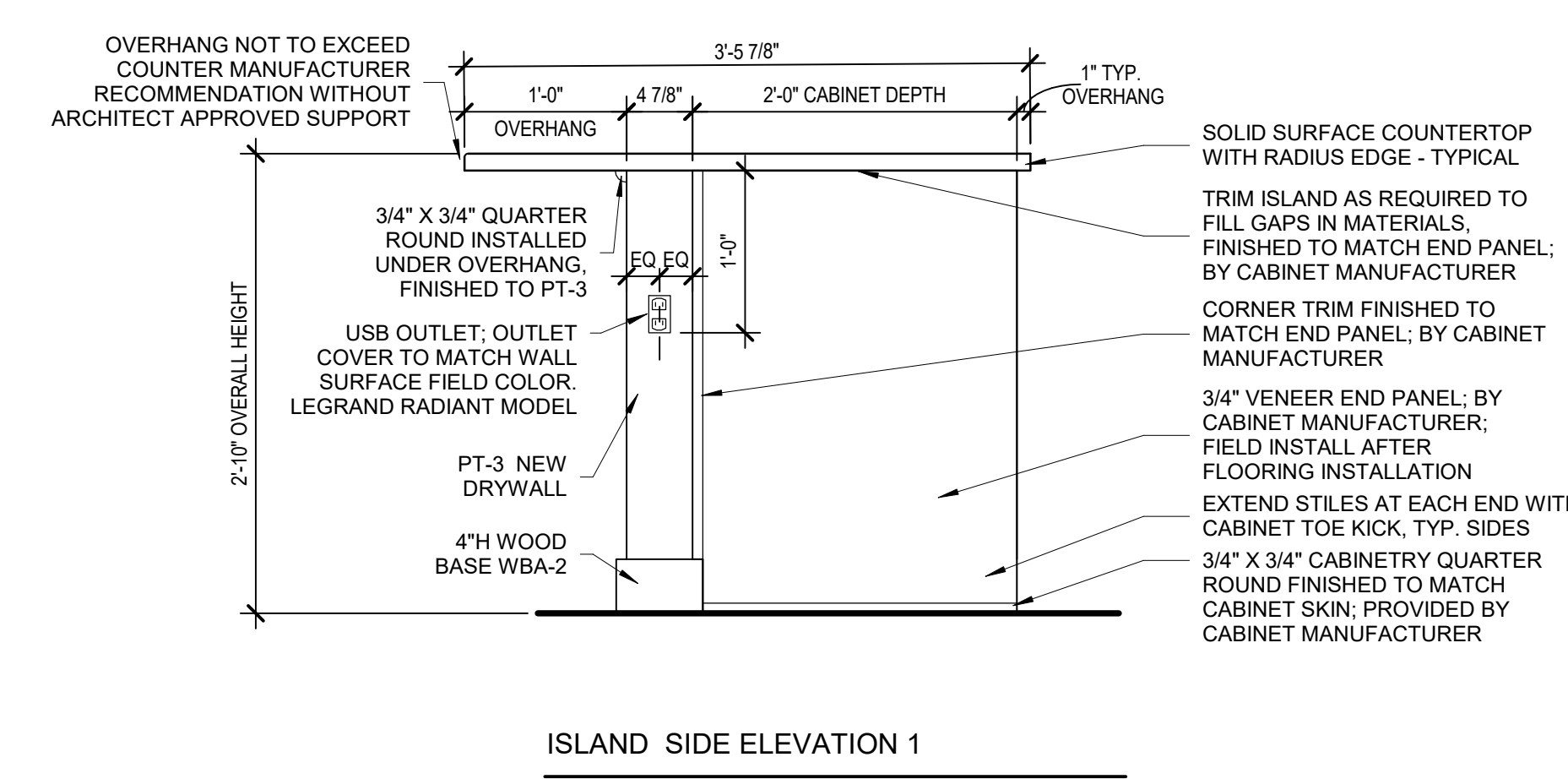
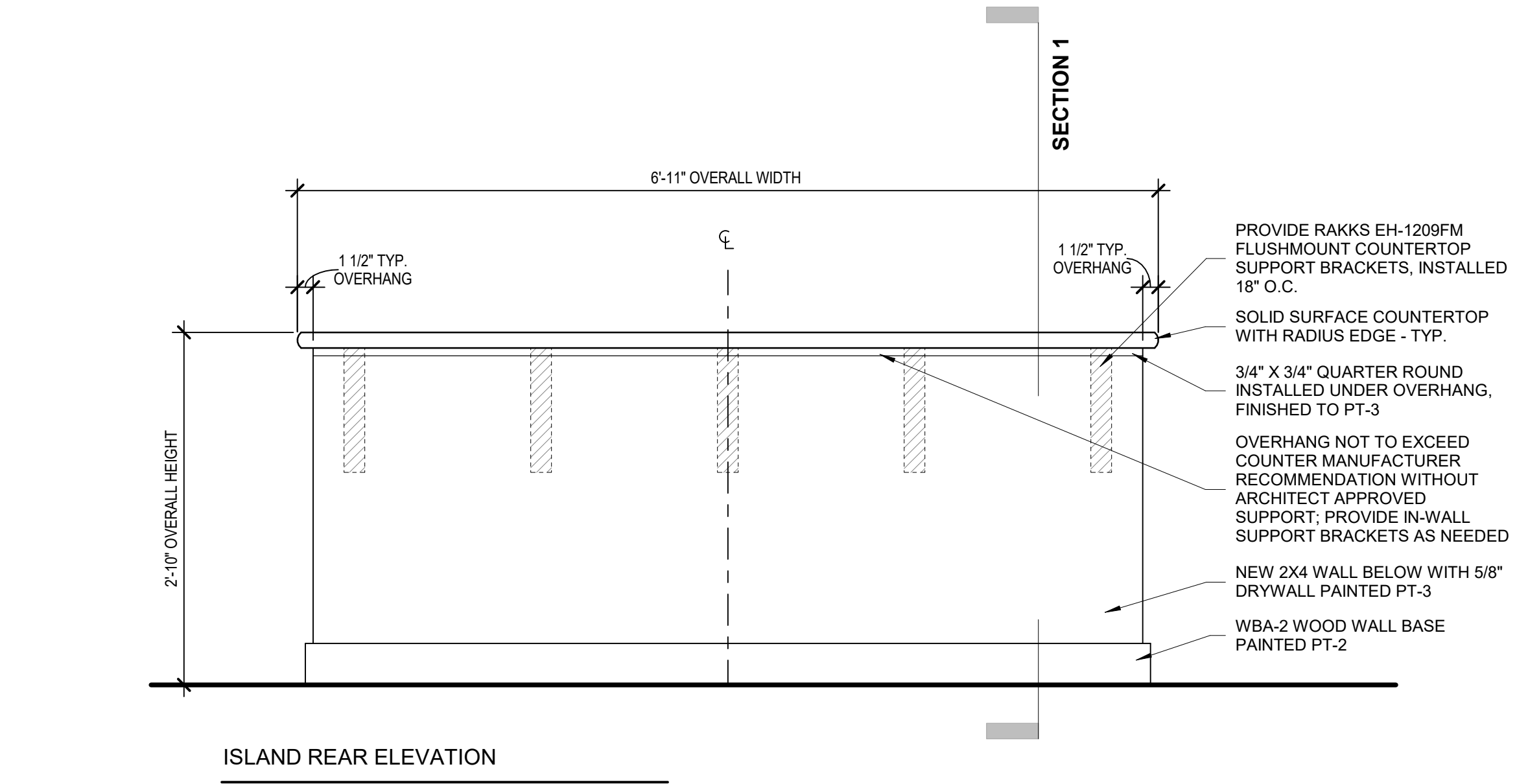


4 TYP. 2ND-15TH ELEVATOR LOBBY SOFFIT DETAIL
 SCALE: 1/2" = 1'-0"



3 OVERALL 2ND - 15TH FLOOR REFLECTED CEILING PLAN
 SCALE: 1/2" = 1'-0"

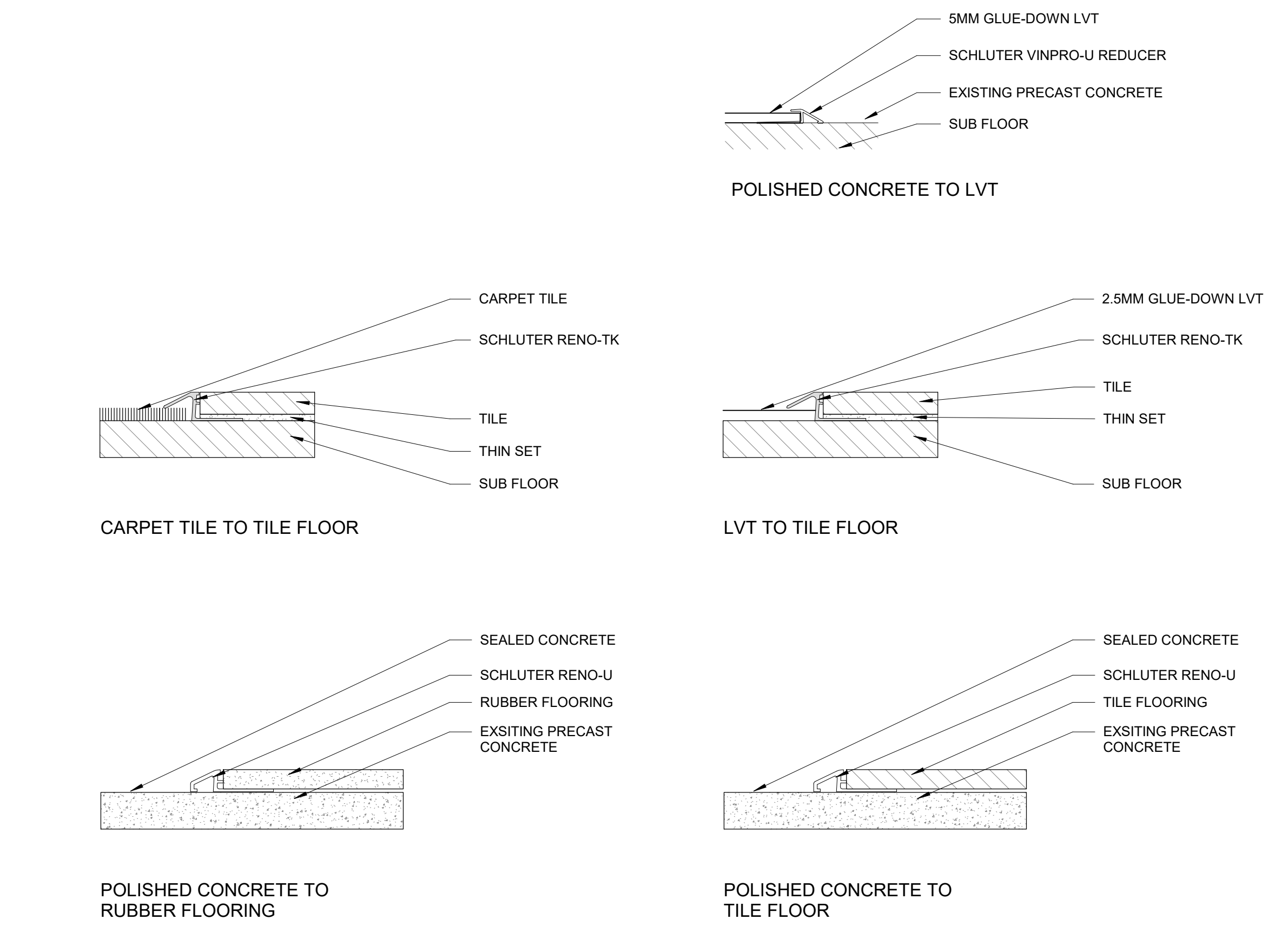
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT



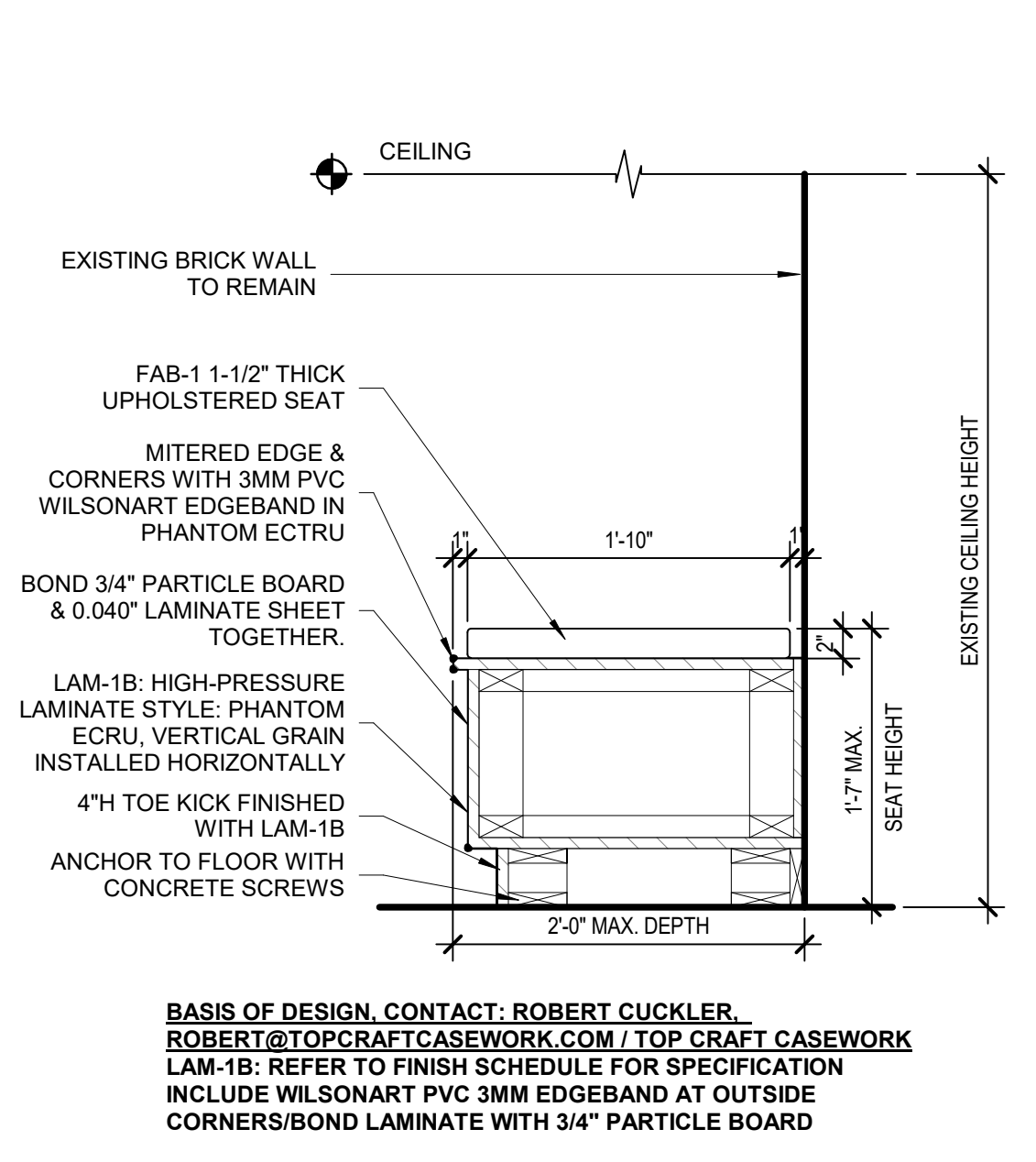
Copyright © 2022 LDA architects inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

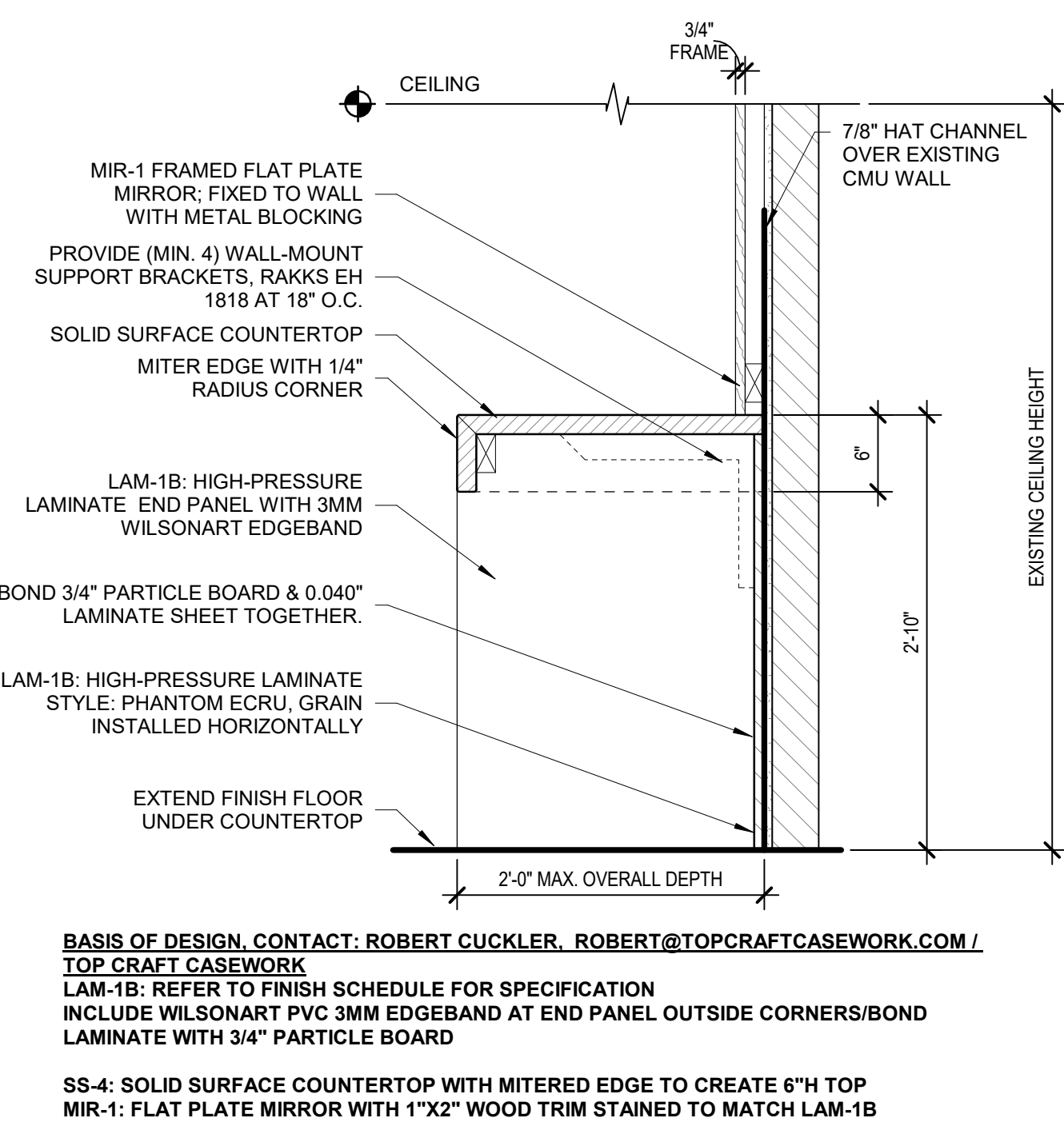
REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT



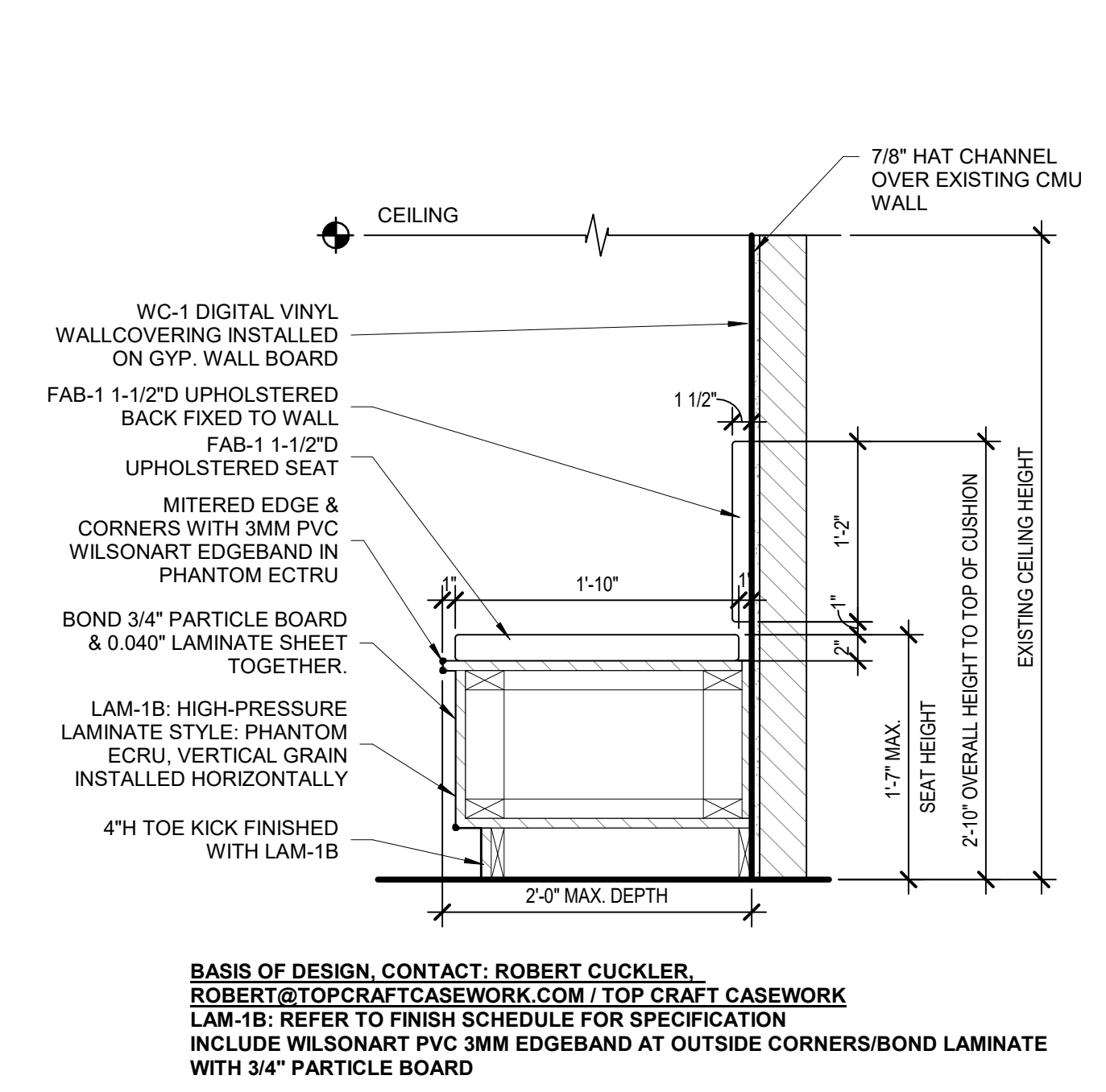
6 TRANSITION DETAILS
SCALE: 6" = 1'-0"



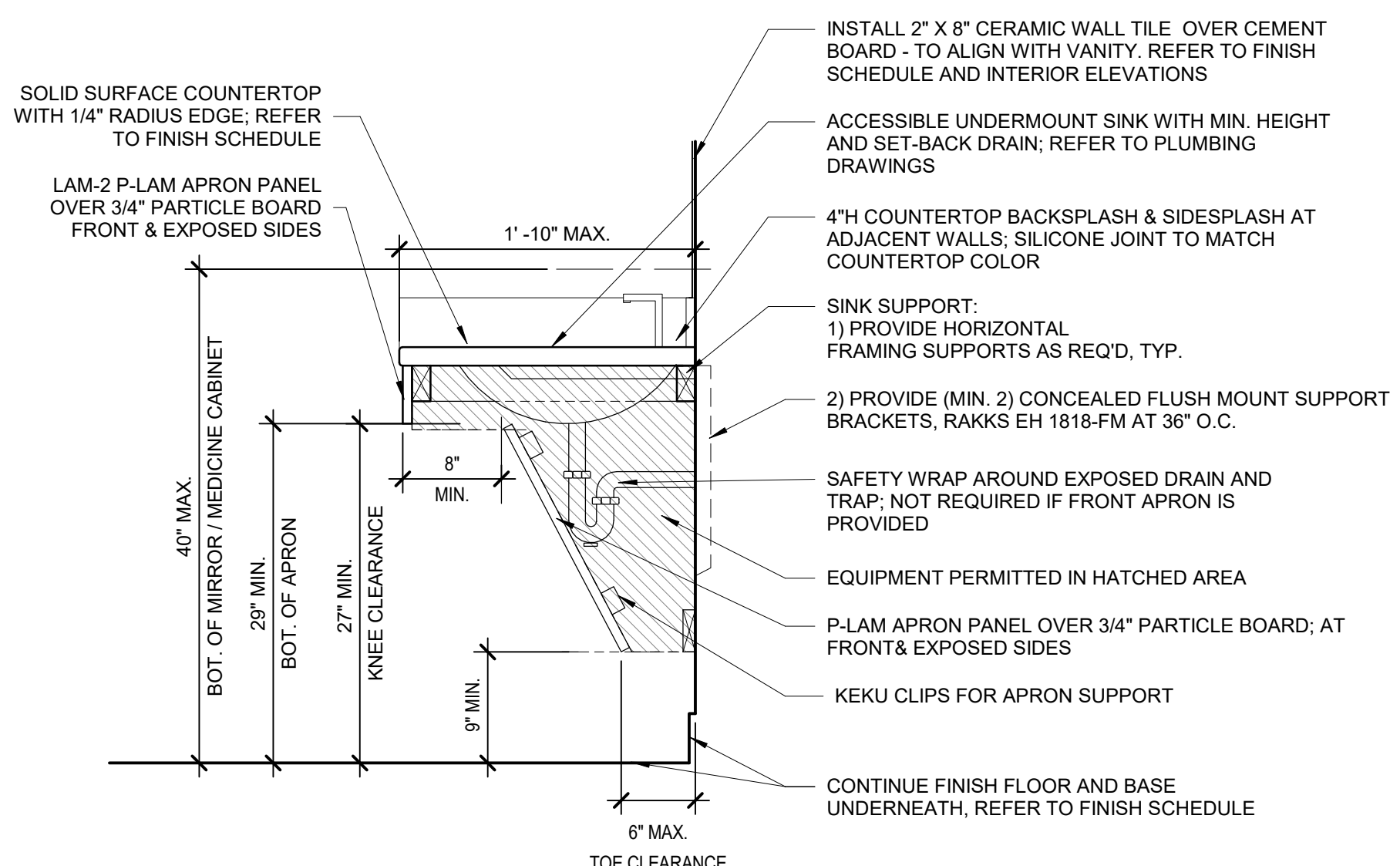
5 SEATING AREA BENCH
SCALE: 1" = 1'-0"



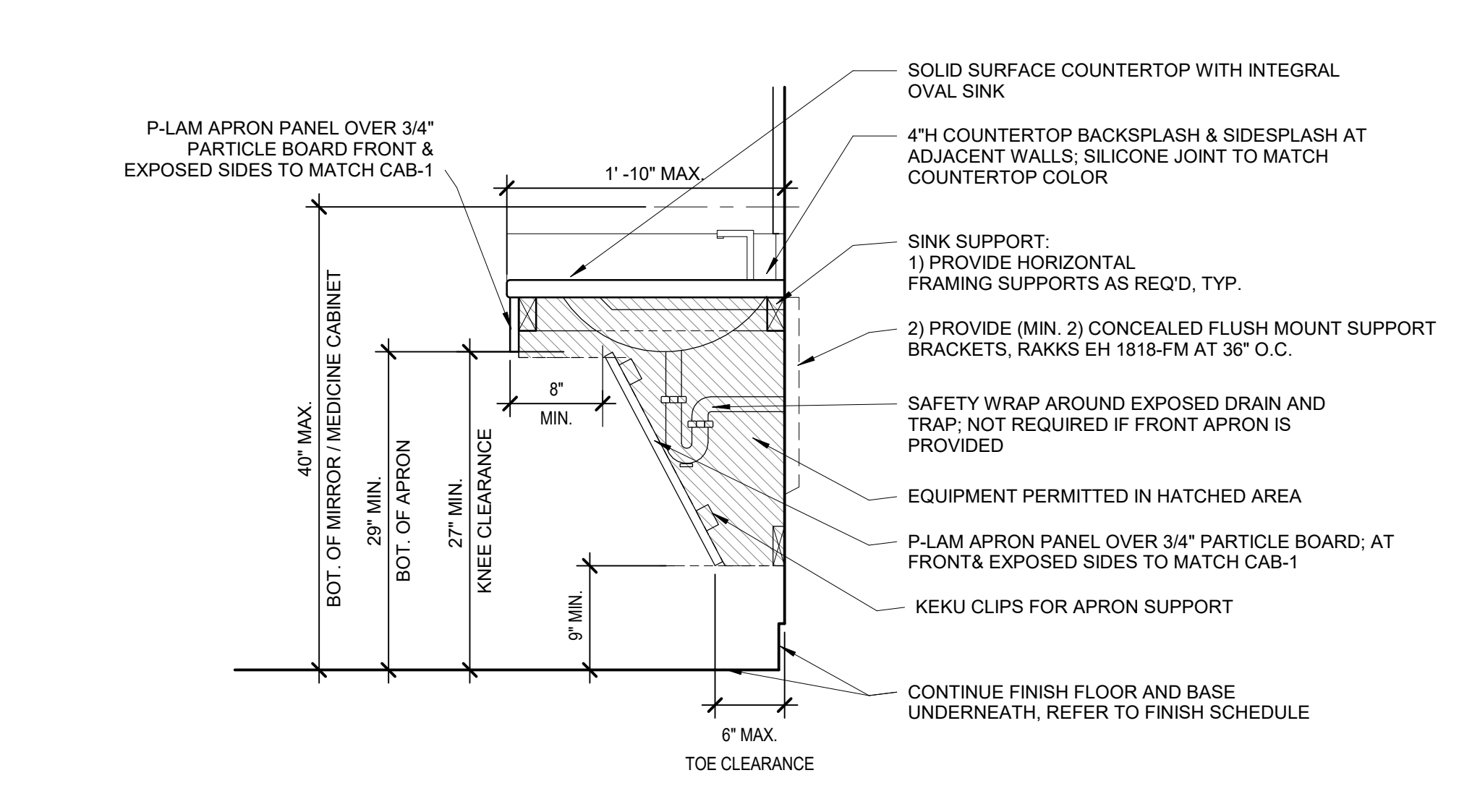
4 ELEVATOR LOBBY COUNTERTOP
SCALE: 1" = 1'-0"



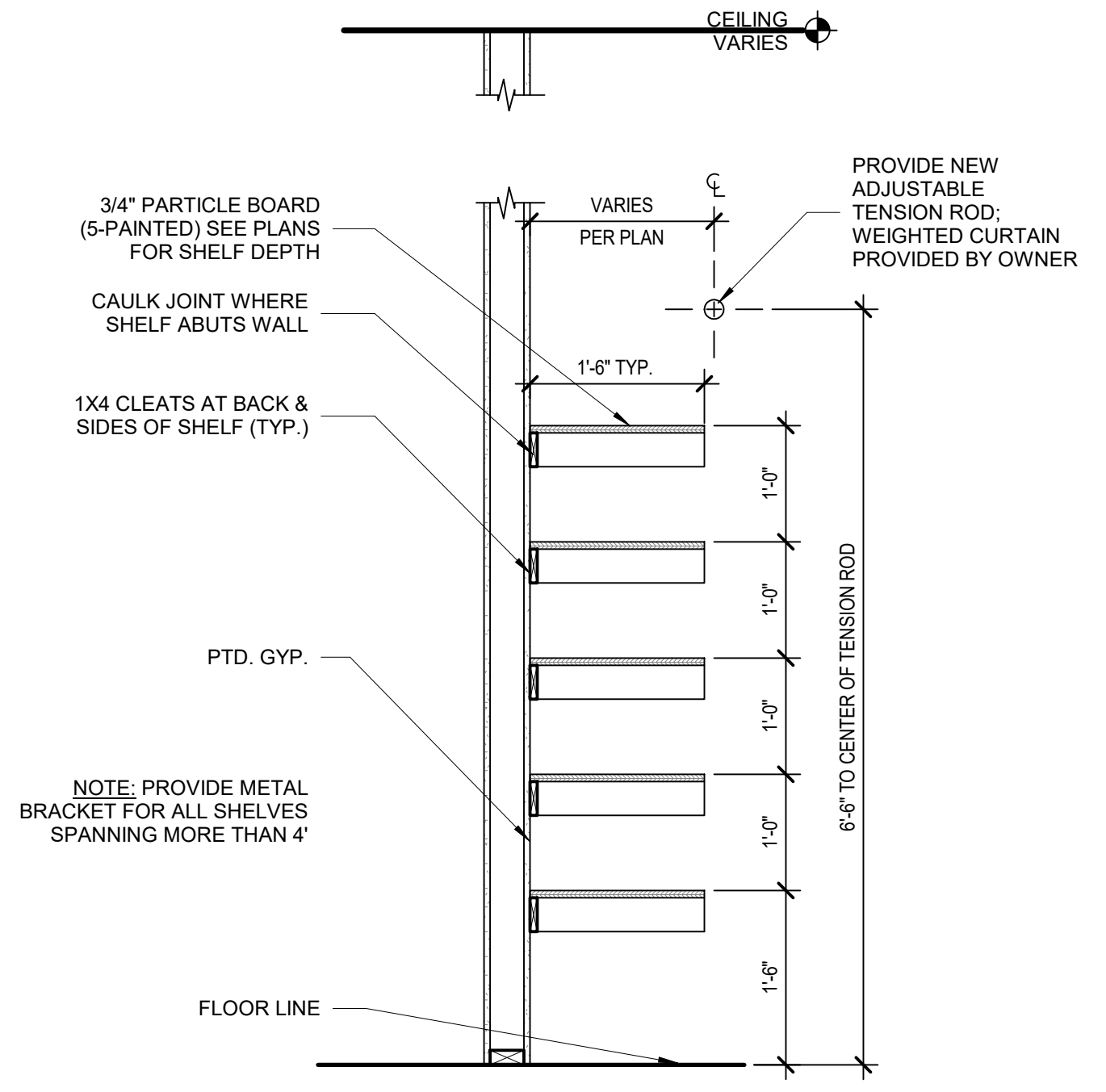
3 ELEVATOR LOBBY BENCH
SCALE: 1" = 1'-0"



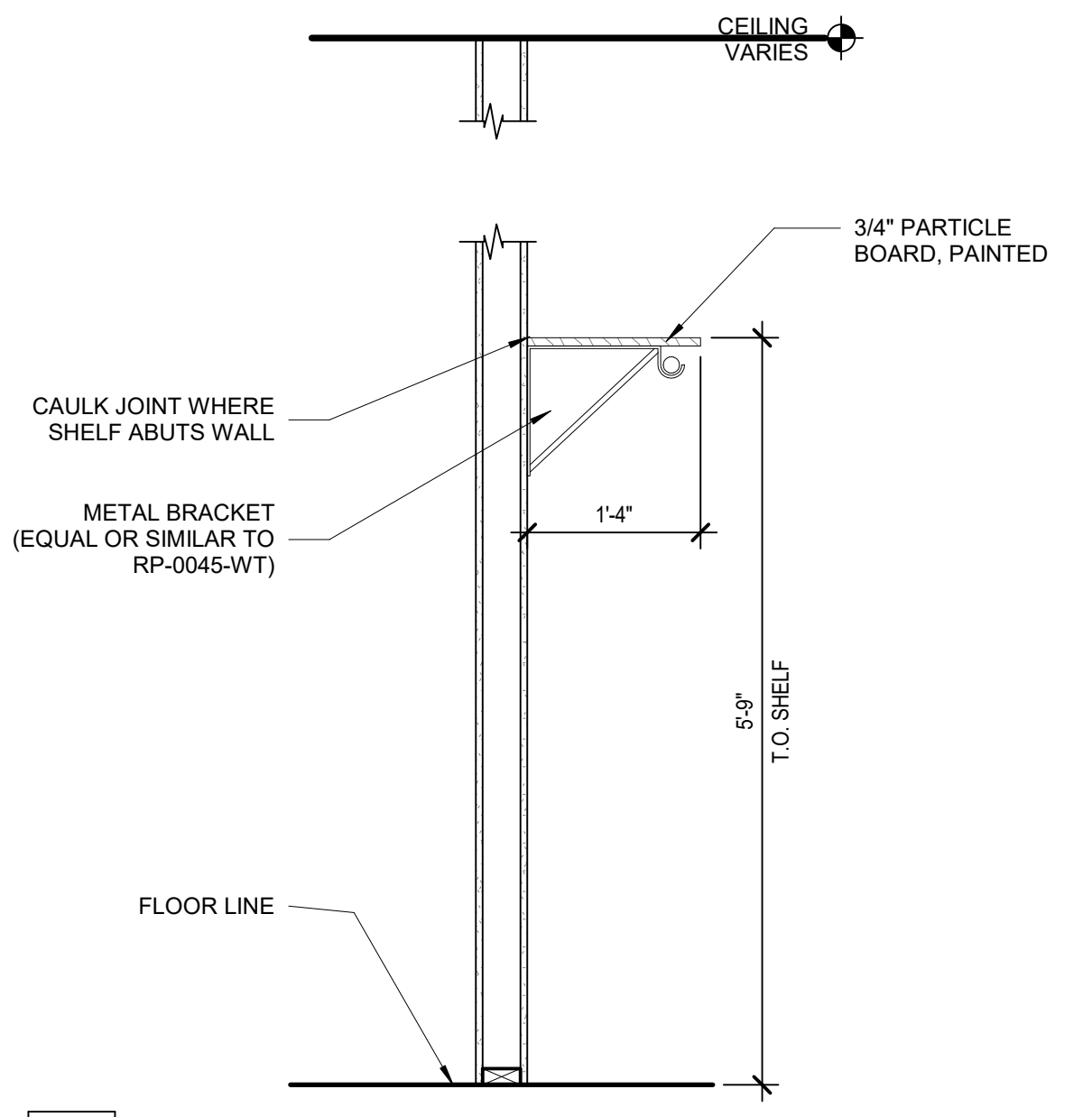
2 ADA RESTROOM PANEL
SCALE: 1" = 1'-0"



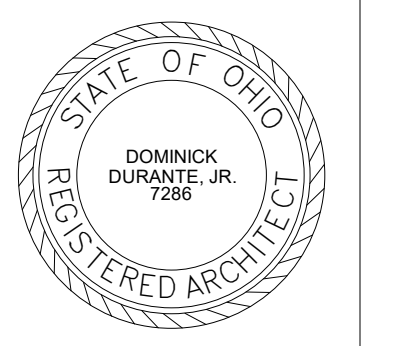
1 TYP. ADA UNIT BATHROOM VANITY
SCALE: 1" = 1'-0"



S2 DOUBLE CLEATS, SINGLE "SCREW DOWN" SHELF & REMOVABLE ROD @ LOWER CLEAT (ACCESSIBLE)



S1 SINGLE SHELF & HANGING ROD




DOMINICK DURANTE, JR.
LICENSE #7296
EXPIRATION 12/31/2025

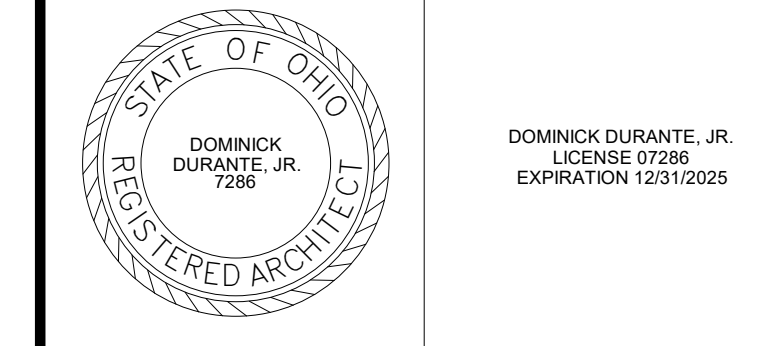
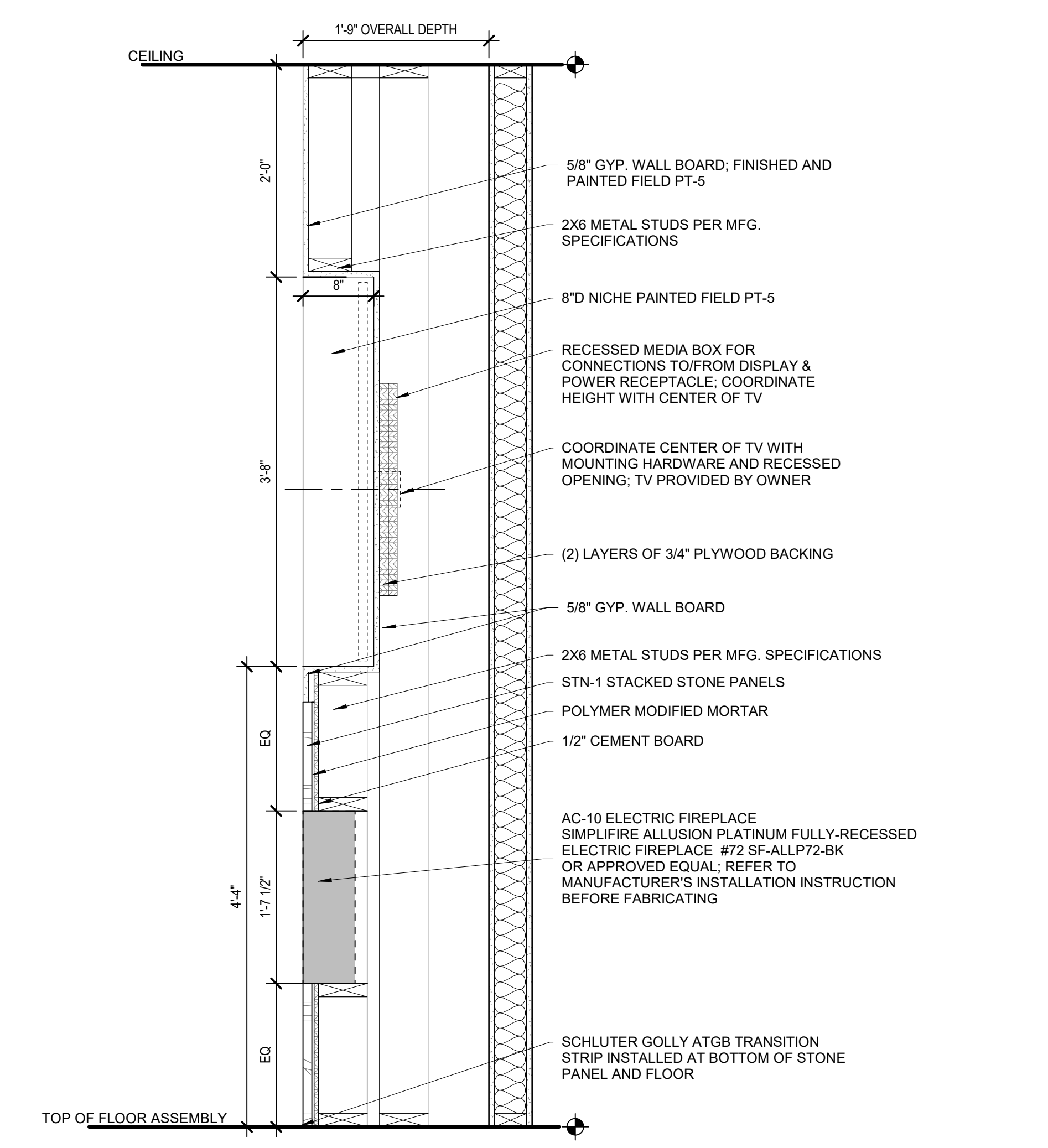
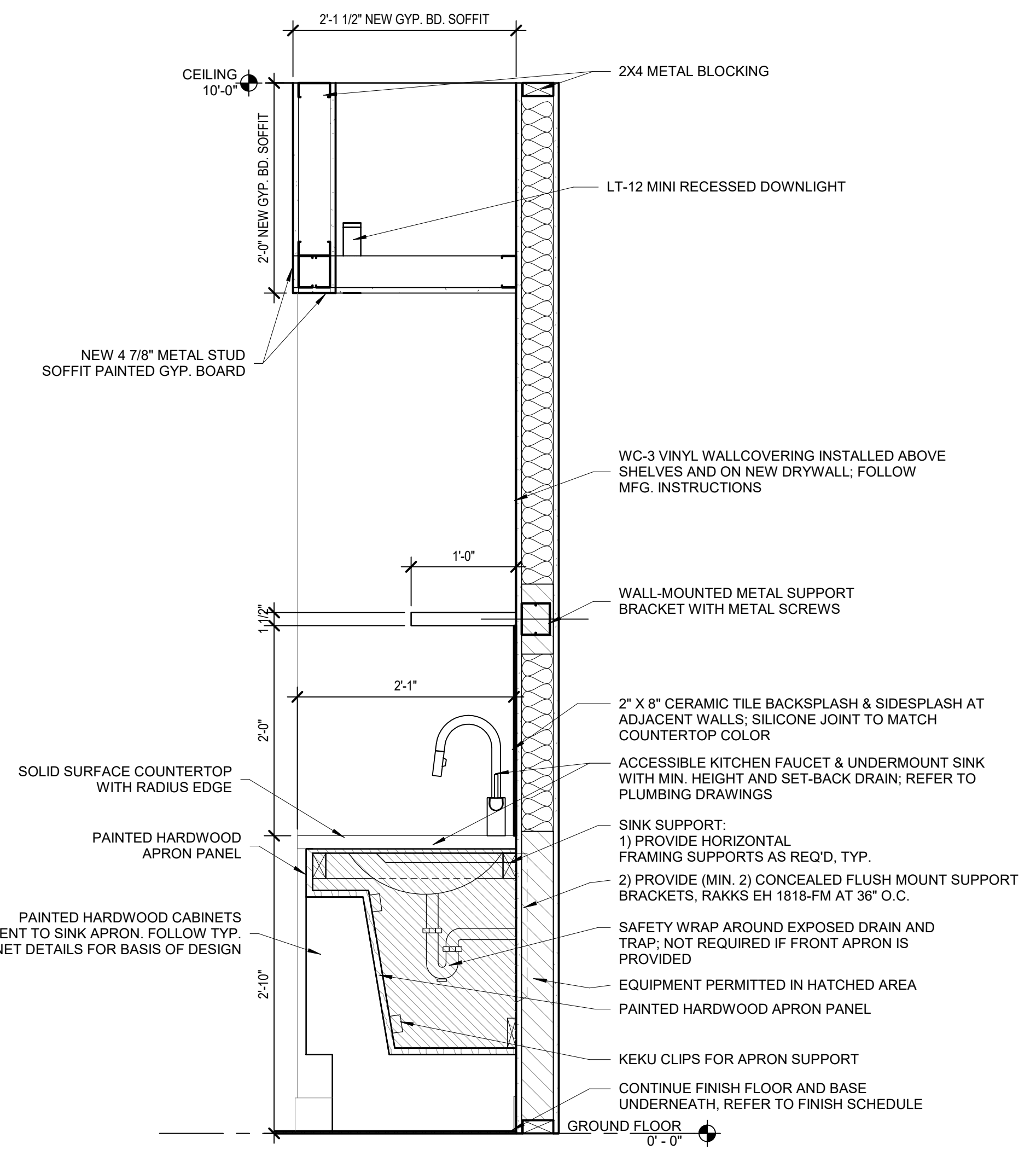
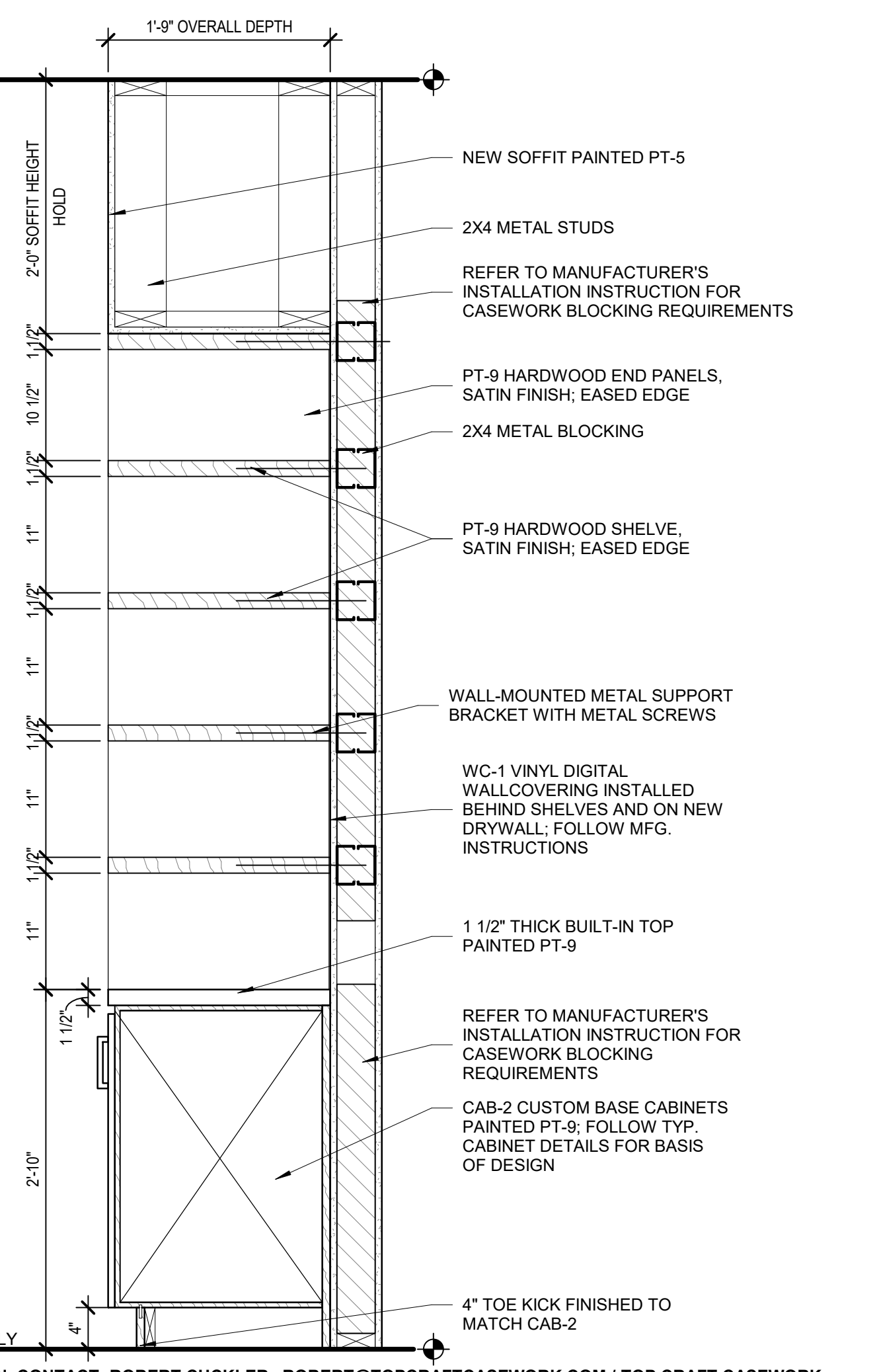
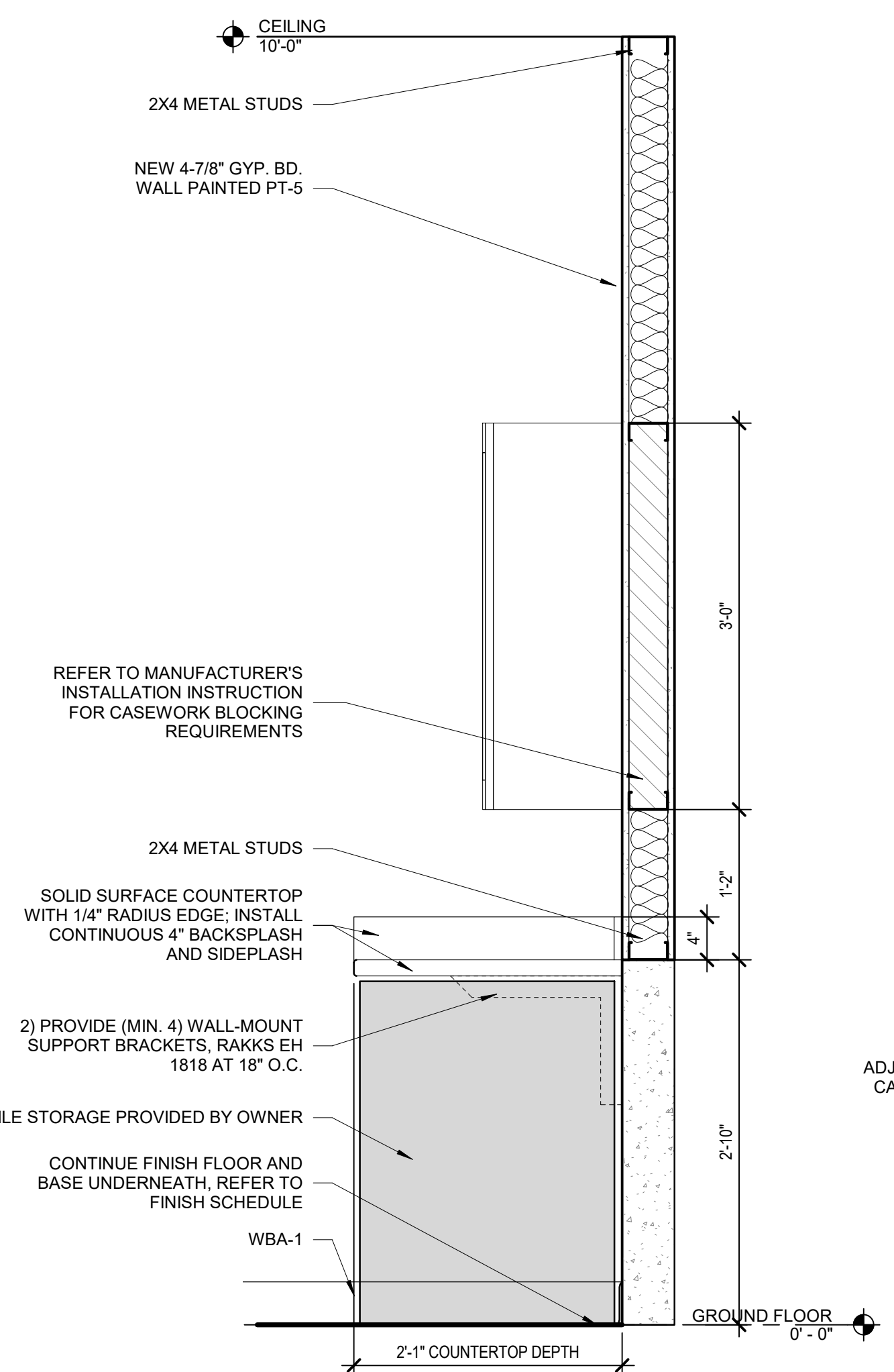
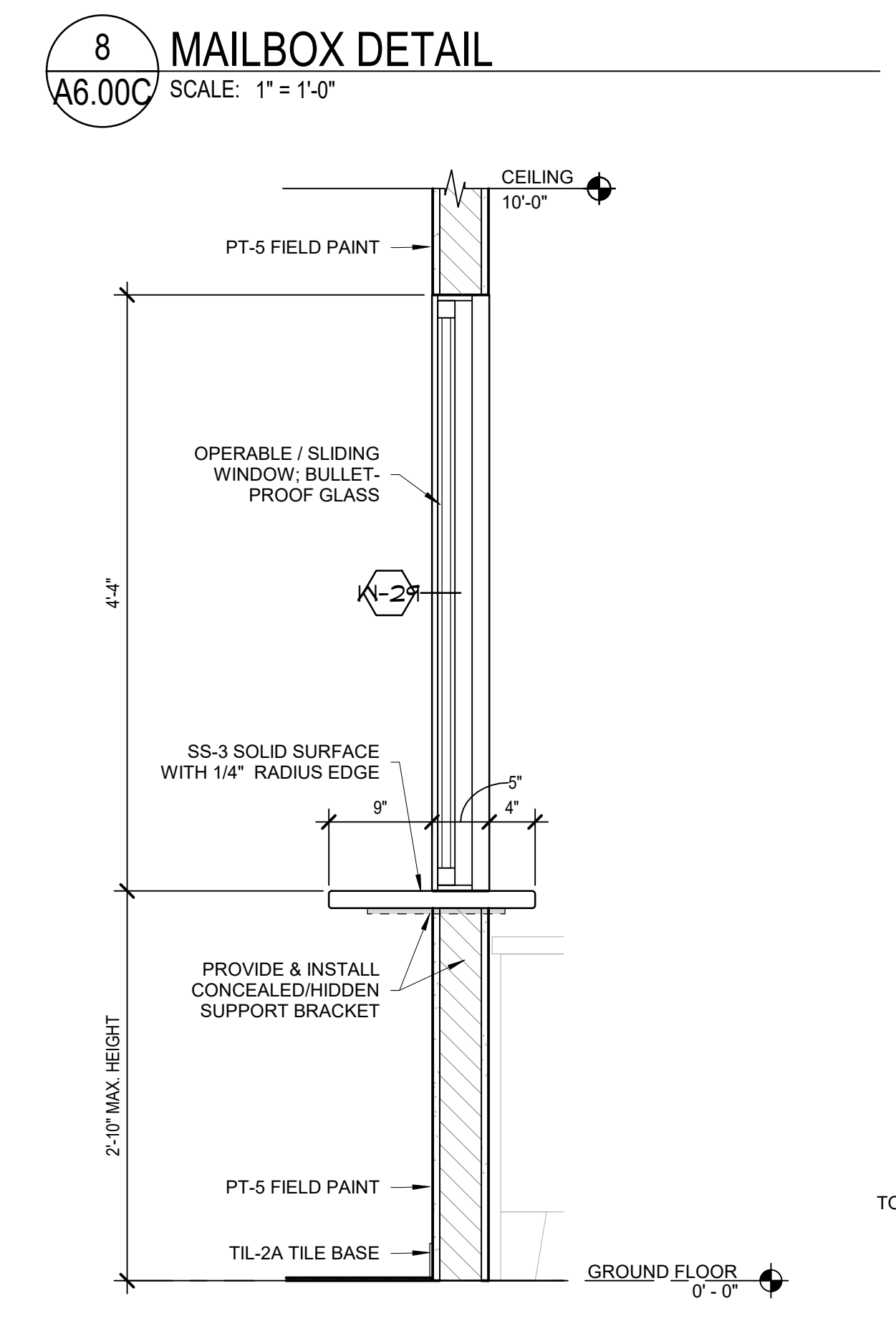
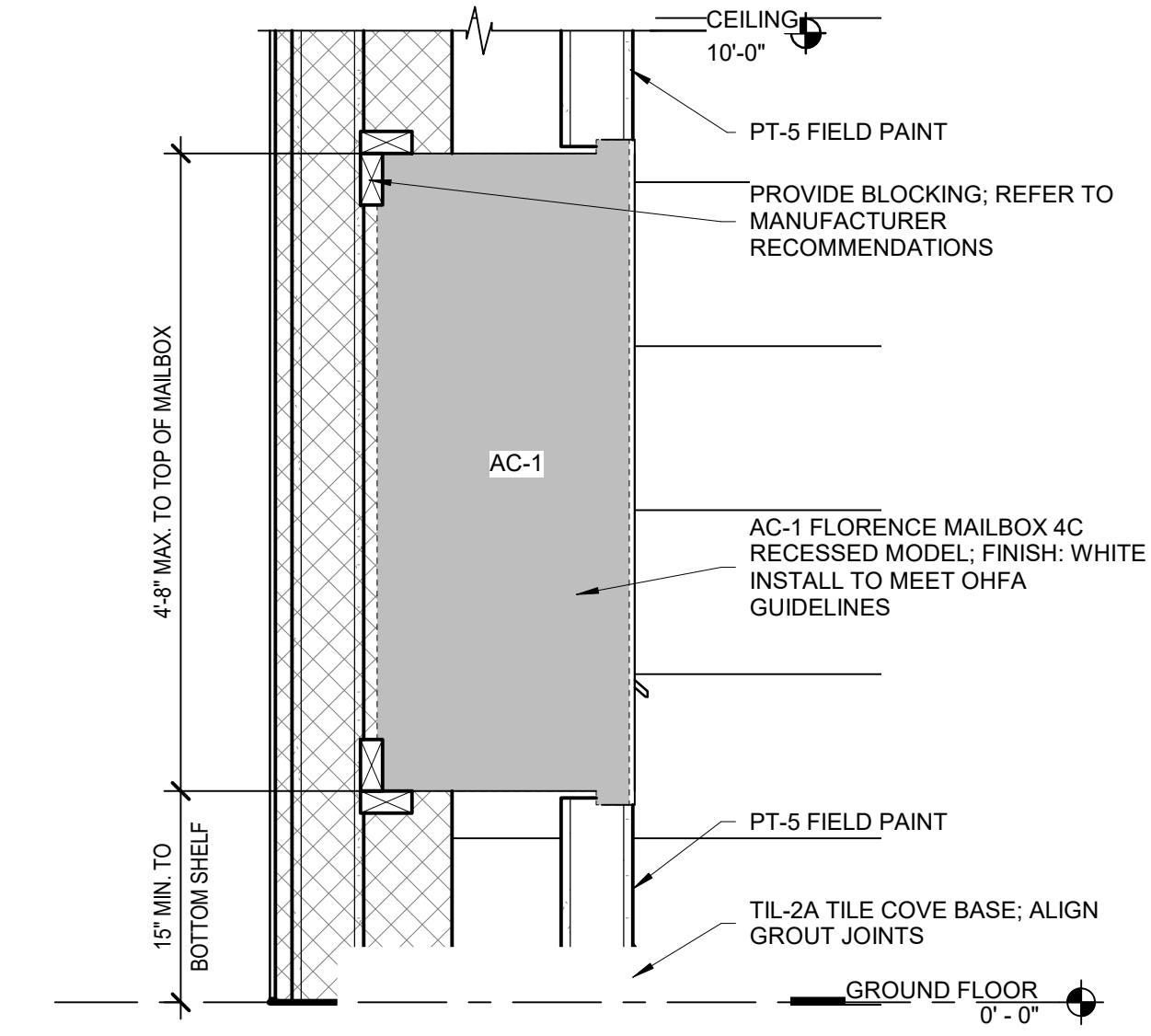
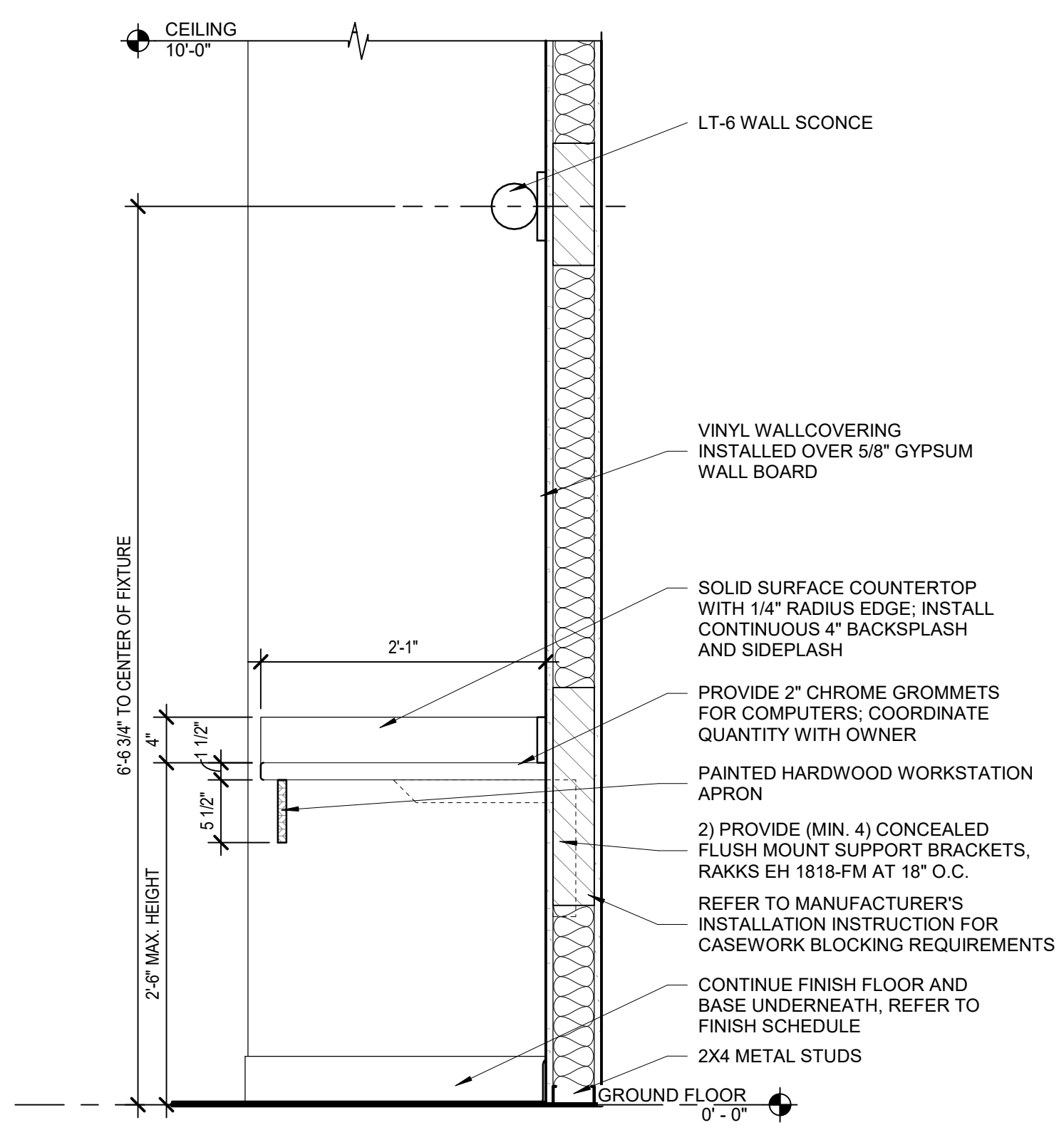
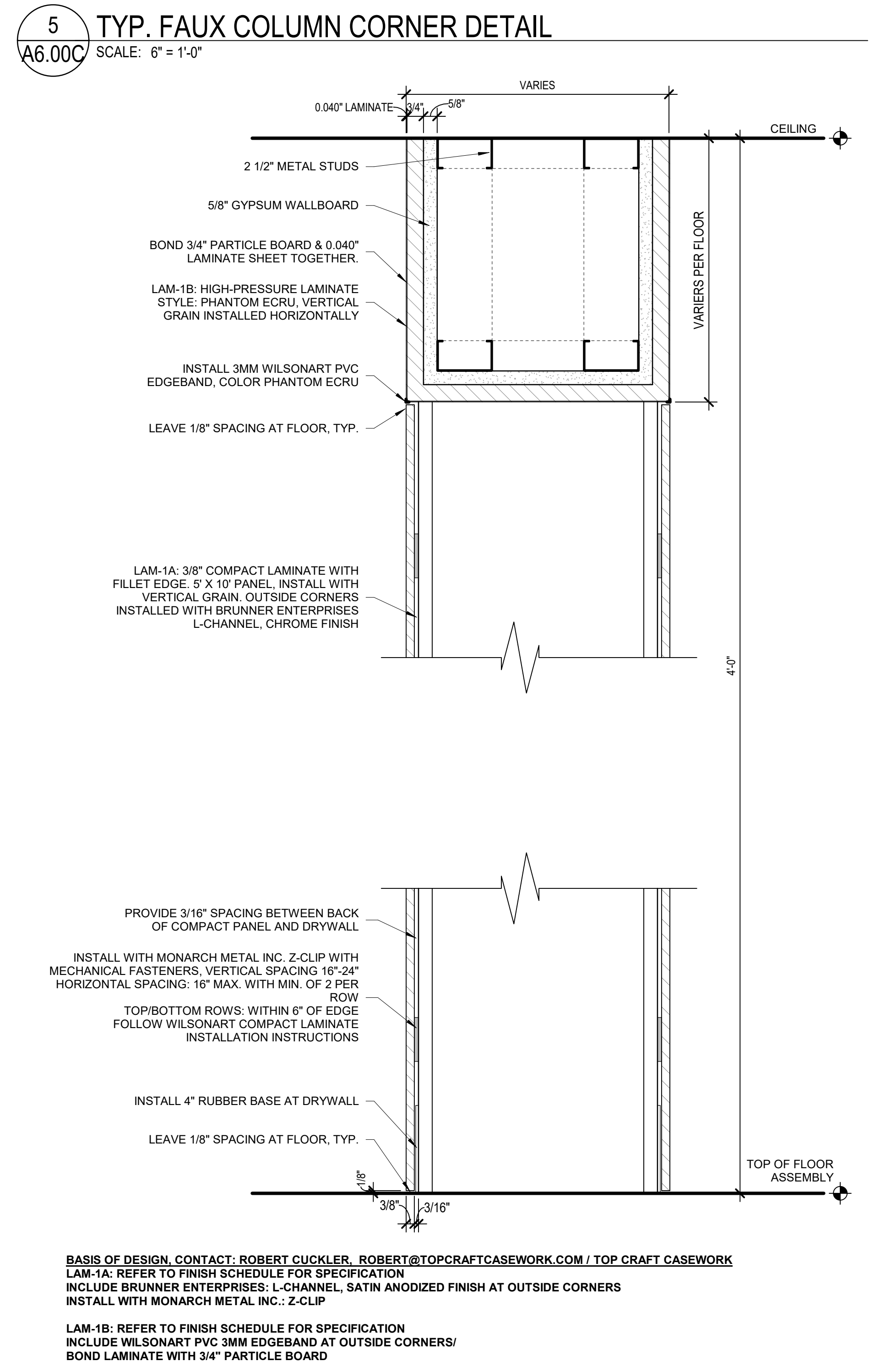
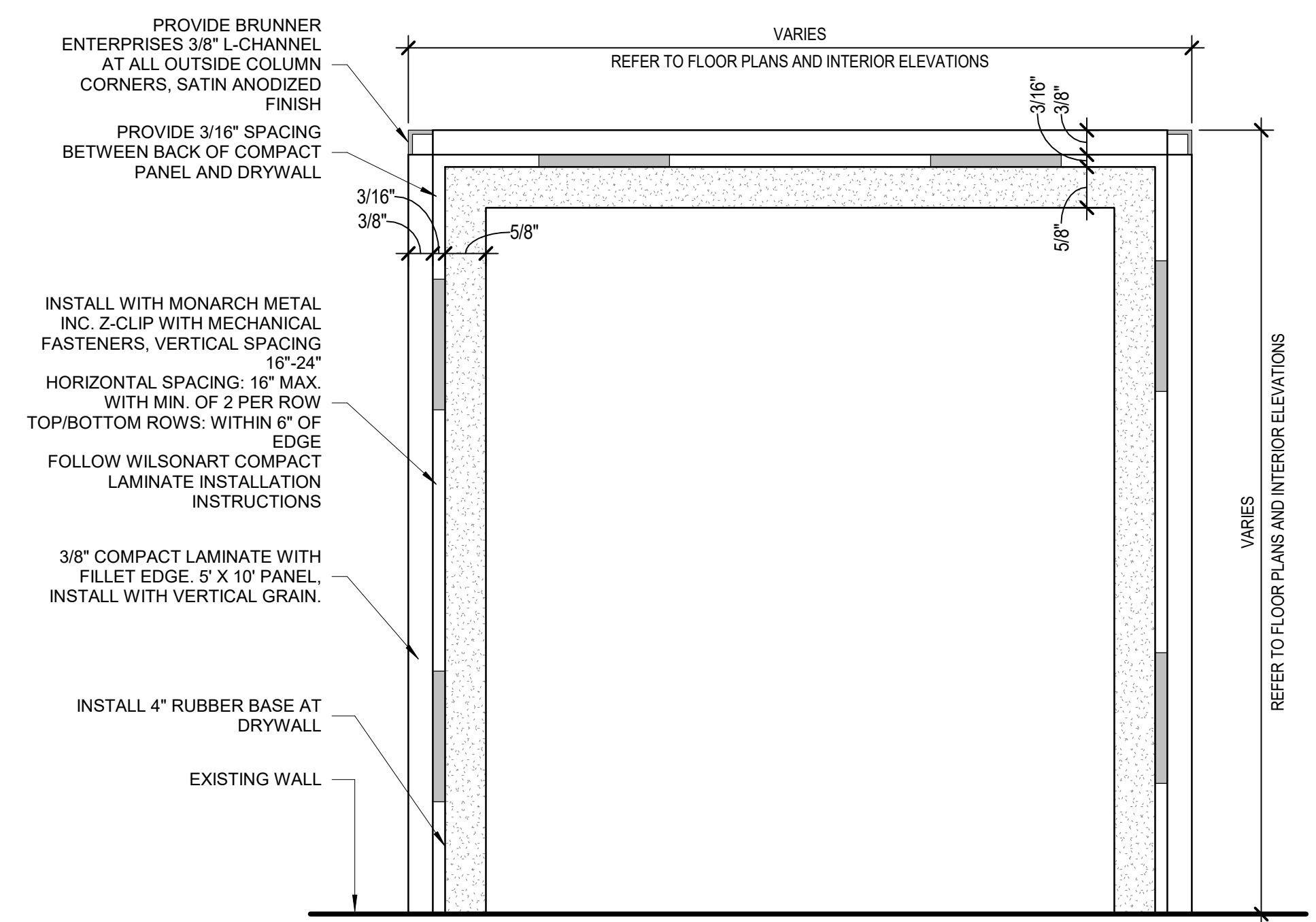
Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80% - OHFA APP.
	2024.02.01	80% CDS - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL 
TYPICAL UNLESS NOTED OTHERWISE



Copyright © 2023 LDA architects inc. This drawing and associated work, as well as associated specifications, constitute the original and confidential work of, and are the property of LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all copyright, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No. 23.47

INTERIOR DETAILS

A6.000

GENERAL NOTES - ENLARGED UNIT PLANS

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.
2. REFER TO SHEET G0.03 FOR ACCESSIBLE DETAILS TO FOLLOW.
3. THE FOLLOWING SCOPE OF WORK IS FOR ALL TYPICAL UNITS UNLESS OTHERWISE NOTED. REFER TO PLANS FOR ADDITIONAL SCOPE.

GENERAL UNIT:

- REPAIR DRYWALL & WATER DAMAGE THROUGHOUT UNITS. INSULATE WHERE POSSIBLE.
- PAINT ALL WALLS (EGGSHELL FINISH), CEILING & SOFFITS (FLAT FINISH), AND DOORS & TRIM (SATIN FINISH) WITH ONE COAT PRIMER AND 2 COATS PAINT.
- PROVIDE ACCENT WALL IN LIVING. REFER TO FINISH SCHEDULE & ENLARGED UNIT PLANS.
- ALL DRYWALL WALLS AND CEILING ARE TO RECEIVE LEVEL 4 FINISH PER STM C840 STANDARDS. USE TUFF-HIDE AT ALL JOINTS.
- PROVIDE NEW ROOM SIGNAGE W/ BRILLE AT CORRIDOR ON DOOR LEVER SIDE.
- PROVIDE NEW GLUE-DOWN VINYL PLANK FLOORING THROUGHOUT UNIT - EXCEPT BATHROOM; PREP FLOOR PER MANUFACTURERS INSTALL REQUIREMENTS.
- REMOVE ALL EXISTING FLOORING (CARPET, TILE, VCT, ETC.) THROUGHOUT UNIT DOWN TO CONCRETE/ SUBFLOORING.
- PROVIDE NEW WOOD BASE THROUGHOUT - EXCEPT BATHROOMS. REFER TO FINISH SCHEDULE WBA-2.
- REPLACE ALL EXIST. LIGHT FIXTURES, OUTLETS, SWITCHES AND COVER PLATES. NEW SWITCHES, GFCI OUTLETS & COVER PLATES, ETC. TO BE LEGRAND RADIANT IN WHITE. LIGHT FIXTURES TO BE LED.
- ALL TO BE INSTALLED AT ACCESSIBLE HEIGHTS.
- PROVIDE NEW HARDWIRED COMBO CO/SMOKE DETECTORS IN ALL UNITS. CONCEAL WIRING IN WIRE MOLD AND PAINT TO MATCH CEILING. HVI AND MOBILITY UNITS TO RECEIVE STROBES.
- INSTALL CARBON MONOXIDE DETECTORS IN ALL UNITS.
- EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS. THE NEW BLINDS SHALL BE VINYL. INSTALL DOUBLE CURTAIN RODS.
- INSTALL VENTED CLOSET SHELVING IN ALL CLOSETS (WHITE). TENSION ROD & CURTAINS TO BE INSTALLED ON ALL CLOSET AND PANTRY DOORS (CURTAINS PROVIDED BY OWNER).
- EXIST. HANGERS, NAILS, ETC. IN WALLS AND CEILINGS TO BE REMOVED AND PATCHED.
- PROVIDE SHUT OFF VALVES AT ALL PLUMBING FIXTURES.
- INSTALL SANITARY CLEANOUT.
- REPLACE ALL SEWER AND WATER LINES. PROVIDE WATER MAIN SHUT OFF VALVES FOR EACH RISER AND/OR BRANCH.
- COVER CMU WALLS WITH DRYWALL. NEW DRYWALL PAINTED EGGSHELL FINISH.
- REPLACE APARTMENT ENTRY DOORS. NEW DOORS ARE TO BE STAINED WOOD DOORS. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS.
- REPLACE ALL INTERIOR DOORS WITH PAINTED SOLID CORE WOOD DOORS. REPLACE DOORFRAMES WITH METAL FRAMES. EXISTING FRAMES MAY REMAIN IF IN GOOD SHAPE AND INTERIOR WALLS REMAIN. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS.
- INSTALL CARD ACCESS LOCKS ON ALL APARTMENT ENTRIES.
- UPGRADE EXISTING ELECTRICAL SYSTEM. PROVIDE NEW MAIN INCOMING SERVICES AND FEEDS. IF NEEDED, WIRE MOLD WILL BE REQUIRED.
- REPLACE WINDOW HEAT PUMPS.
- EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS WITH NEW VINYL BLINDS WB-1 THROUGHOUT ALL UNITS. INSTALL DOUBLE CURTAIN RODS (PROVIDED BY OWNER).
- ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING/SOFFT FINISH.
- COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.

KITCHEN:

- REPLACE SINK, FAUCET, AND APPLIANCES. NEW RANGES TO BE ELECTRICAL.
- G.C. TO PROVIDE NEW APPLIANCES. CMHA MAINTENANCE TO DETERMINE A NUMBER OF OLD APPLIANCES TO SALVAGE. G.C. TO REMOVE/DISPOSE OF REMAINING APPLIANCES. CMHA TAGS TO BE RETURNED.
- PROVIDE NEW SOLID SURFACE COUNTERTOP WITH SURFACE MOUNT SINKS AND RADIUS EDGES. INCLUDE 2" X 8" CERAMIC TILE BACKSPLASH & SIDESPLASH. INSTALLATION: HORIZONTAL STACKED. SEALANT TOP OF BACKSPLASH TO MATCH COUNTERTOP.
- PROVIDE NEW 30" WIDE VENTLESS RANGE HOOD IN STAINLESS STEEL FINISH. INSTALL (2) FIRESTOP CANISTERS UNDER HOOD.
- PROVIDE NEW ENERGY STAR REFRIGERATOR IN STAINLESS STEEL FINISH.
- REMOVE EXIST. GREASE SHIELD AT RANGES.
- PROVIDE NEW 30" WIDE ELECTRIC RANGE WITH ANTI-TIP BRACKETS W/ BLACK WHITE FINISH.
- REMOVE EXIST. GREASE SHIELD AT RANGES.
- PROVIDE NEW CABINETS WITH ANSIKCMA A161.1 CERTIFIED CABINETS.
- PROVIDE LOOP HANDLES. CHROME FINISH.
- PROVIDE NEW TOP-MOUNT SINGLE-BOWL STAINLESS STEEL SINK.
- PROVIDE NEW LEVER STYLE KITCHEN FAUCET (<2.2 GPM). PROVIDE ANTI-SCALD FAUCET.

BATHROOM:

- REPLACE FLOORING WITH NEW CERAMIC TILE FLOOR & COORDINATING TILE WALL BASE.
- SEAL/CAULK PERIMETER OF FLOORING ALONG ENTIRE PERIMETER PRIOR TO INSTALLING BASE.
- PROVIDE NEW COMFORT HEIGHT (ADA COMPLIANT) 1.28 LOW-FLOW TOILETS. INSTALL TO INCLUDE NEW WAX RING. CAULK PERIMETER OF TOILET AT FLOOR.
- TUB/ SHOWER
- PROVIDE NEW SHOWER, INCLUDING SHOWER PAN. PROVIDE NEW TUB IF SPACE ALLOWS. REFER TO ENLARGED UNIT PLANS.
- PROVIDE ACCESS PANEL TO ALL TUB DRAINMIXING VALVE.
- CAULK SHOWER/TUB AT FLOORS AND WALL TILES. PROVIDE QUARTER ROUND PVC TRIM AT BASE OF SHOWER/TUB.
- PROVIDE NEW <2.0 GPM & WATERSENSE LABEL SHOWERHEAD.
- INSTALL NEW PRESSURE-BALANCED LEVER FAUCET, STAINLESS COVER PANEL, AND MIXING VALVE.
- PROVIDE NEW LEVER STYLE WATER-SENSE FAUCET WITH <1.5 GPM AT SINKS. PROVIDE PRESSURE BALANCED FAUCET WITH ANTI-SCALD.
- PROVIDE NEW CABINETS WITH ANSIKCMA A161.1 CERTIFIED CABINETS & CULTURED MARBLE INTEGRAL OVAL SINK WITH ROLLED EDGES AND 4" BACKSPLASH & SIDESPLASH.
- PROVIDE LOOP HANDLES. CHROME FINISH.
- SEALANT TOP OF BACKSPLASH TO MATCH COUNTERTOP.
- PROVIDE NEW LED VANITY LIGHT. CENTER ON SINK & MIRROR. COST TO INCLUDE CUTTING AND RUNNING OF NEW WIRE.
- PROVIDE NEW ENERGY STAR EXHAUST FAN. PROVIDE NEW WIRING SO LIGHTING AND FAN ARE ON SEPARATE SWITCH. CLEANOUT EXIST DUCTS.
- PROVIDE NEW MIRROR, 18" TOWEL BAR, TOWEL RING, AND TOILET PAPER HOLDER, CHROME FINISH.

DOOR & DOOR HARDWARE:

- UNIT ENTRY DOORS:
 - EXIST. FIRE-RATED ENTRY DOORS & FRAMES TO REMAIN (REFER TO A3).
 - REPLACE HANDLES WITH NEW HARDWARE INTERCONNECTED LEVER STYLE HANDLE.
 - PROVIDE REPLACEMENT OF ENTRY DOORS AS NOTED ON MATRIX. (FRAMES TO REMAIN).
 - PROVIDE BRUSHED DOOR SWEEPERS AT ALL DOORS. BASIS OF DESIGN: PEMKO 18100 NB DOOR BOTTOM SWEEP. CLEAR ANODIZED ALUMINUM FINISH.
 - PAINT EXIST. DOOR FRAMES (BOTH SIDES). REFER TO FINISH SCHEDULE.
 - SAND, CLEAN, STAIN, AND PROVIDE 1 COAT OF POLYURETHANE (BOTH SIDES) AT EXIST. WOOD DOORS.
 - ENTRY DOORS TO BE EQUIPPED WITH A VIEWER AND BELL BUZZER.
- BEDROOM & BATHROOM DOORS:
 - EXIST. DOORS AND HARDWARE TO BE REPLACED.
 - PRIME/PAINT EXIST. DOOR FRAMES (BOTH SIDES).
 - REPLACE DAMAGED DOORS WITH NEW PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED. REFER TO MATRIX.
- CLOSET DOORS:
 - EXIST. DOORS TO REMAIN.
 - REPLACE DAMAGED DOORS WITH PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED. REFER TO MATRIX.
 - PROVIDE NEW HARDWARE TO ALL DOORS.
 - PRIME/PAINT EXIST. DOOR FRAME (BOTH SIDES).

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET

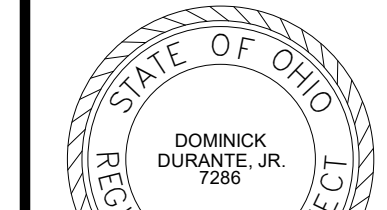
REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- | | |
|--|--|
| <p>01.04 DASHED LINE REPRESENTS CABINET/COUNTERTOP BELOW</p> <p>06.03 PROVIDE WOOD BLOCKING FOR BATHROOM FIXTURE. INSTALL PER MANUFACTURERS RECOMMENDATIONS.</p> <p>06.04 PROVIDE WOOD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS TO FULLY COMPLY WITH ANSI A171.1.</p> <p>09.03 PROVIDE AND INSTALL CONTINUOUS 4"X4" BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS. SEE FINISH SCHEDULE FOR SPECIFICATIONS.</p> <p>09.06 G.C. TO FINISH WALL AND BASE BEHIND RANGE AND REFRIGERATOR. TYP. ALL UNITS AND COMMON AREA KITCHEN.</p> <p>09.07 PROVIDE 4" CABINET TOE KICK TO MATCH CABINETRY FINISH. CUT TO LENGTH IF NEEDED.</p> <p>09.09 PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND BACKSPLASH TILE. COLOR TO MATCH COUNTERTOP COLOR.</p> <p>09.10 FINISH CABINET SIDE PANEL.</p> <p>09.13 PVC QUARTER ROUND INSTALLED AT SHOWER BASE. TO BE SEALED.</p> <p>09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.09B.</p> <p>09.16 ALIGN NEW CEILING WITH EXISTING WALL AND CEILING HEIGHT. PAINT PT-1.</p> <p>09.25 INSTALL 2"X8" CERAMIC TILE AT BACKSPLASH AND SIDEWALL OF ALL UNIT KITCHENS. STACK HORIZONTALLY AND ALIGN GROUT JOINTS. INCLUDE SCHLUTER JOLLY TRANSITION. CHROME FINISH AT EXPOSED EDGE AND TOP.</p> <p>10.01 16" DEEP WHITE CLOSET SHELVING WITH ADDITION OF HANG ROD.</p> <p>10.02 PROVIDE 2" VINYL BLINDS AT ALL UNIT WINDOWS. REFER TO FINISH SCHEDULE FOR SPECIFICATION WB-1.</p> <p>10.04 PROVIDE ADJUSTABLE TENSION ROD AT ALL CLOSETS. WEIGHTED CURTAIN TO BE PROVIDED BY OWNER.</p> <p>10.05 PROVIDE DOUBLE DRAPERY ROD AT ALL UNIT WINDOWS. REFER TO ACCESSORY SCHEDULE. CURTAIN PROVIDED BY TENANT.</p> <p>21.01 PROVIDE AND INSTALL (2) FIRE CANISTERS AT EACH RANGEHOOD.</p> <p>23.02 LOCATION OF EXISTING KITCHEN VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW KITCHEN RANGE HOOD. REFER TO MECHANICAL DRAWINGS.</p> <p>23.03 LOCATION OF EXISTING BATHROOM VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW BATHROOM EXHAUST FAN. REFER TO MECHANICAL DRAWINGS.</p> <p>26.01 PROVIDE SWITCHED OUTLET IN BEDROOMS AND LIVING ROOM WHERE NO OVERHEAD LIGHT IS LOCATED. TYPICAL ALL UNITS.</p> <p>26.03 CENTER FIXTURE IN ROOM.</p> <p>26.04 CENTER FIXTURE ON VANITY.</p> <p>26.08 CENTER FIXTURE ON KITCHEN SINK.</p> <p>26.09 CENTER FIXTURE ON SHOWER.</p> <p>26.10 CENTER FIXTURE ON DOOROPENING.</p> <p>26.11 CENTER FIXTURE ON WATER CLOSET.</p> <p>26.18 CENTER FIXTURE ON LAVATORY SINK AND MIRROR.</p> | <p>01.04 DASHED LINE REPRESENTS CABINET/COUNTERTOP BELOW</p> <p>06.03 PROVIDE WOOD BLOCKING FOR BATHROOM FIXTURE. INSTALL PER MANUFACTURERS RECOMMENDATIONS.</p> <p>06.04 PROVIDE WOOD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS TO FULLY COMPLY WITH ANSI A171.1.</p> <p>09.03 PROVIDE AND INSTALL CONTINUOUS 4"X4" BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS. SEE FINISH SCHEDULE FOR SPECIFICATIONS.</p> <p>09.06 G.C. TO FINISH WALL AND BASE BEHIND RANGE AND REFRIGERATOR. TYP. ALL UNITS AND COMMON AREA KITCHEN.</p> <p>09.07 PROVIDE 4" CABINET TOE KICK TO MATCH CABINETRY FINISH. CUT TO LENGTH IF NEEDED.</p> <p>09.09 PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND BACKSPLASH TILE. COLOR TO MATCH COUNTERTOP COLOR.</p> <p>09.10 FINISH CABINET SIDE PANEL.</p> <p>09.13 PVC QUARTER ROUND INSTALLED AT SHOWER BASE. TO BE SEALED.</p> <p>09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.09B.</p> <p>09.16 ALIGN NEW CEILING WITH EXISTING WALL AND CEILING HEIGHT. PAINT PT-1.</p> <p>09.25 INSTALL 2"X8" CERAMIC TILE AT BACKSPLASH AND SIDEWALL OF ALL UNIT KITCHENS. STACK HORIZONTALLY AND ALIGN GROUT JOINTS. INCLUDE SCHLUTER JOLLY TRANSITION. CHROME FINISH AT EXPOSED EDGE AND TOP.</p> <p>10.01 16" DEEP WHITE CLOSET SHELVING WITH ADDITION OF HANG ROD.</p> <p>10.02 PROVIDE 2" VINYL BLINDS AT ALL UNIT WINDOWS. REFER TO FINISH SCHEDULE FOR SPECIFICATION WB-1.</p> <p>10.04 PROVIDE ADJUSTABLE TENSION ROD AT ALL CLOSETS. WEIGHTED CURTAIN TO BE PROVIDED BY OWNER.</p> <p>10.05 PROVIDE DOUBLE DRAPERY ROD AT ALL UNIT WINDOWS. REFER TO ACCESSORY SCHEDULE. CURTAIN PROVIDED BY TENANT.</p> <p>21.01 PROVIDE AND INSTALL (2) FIRE CANISTERS AT EACH RANGEHOOD.</p> <p>23.02 LOCATION OF EXISTING KITCHEN VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW KITCHEN RANGE HOOD. REFER TO MECHANICAL DRAWINGS.</p> <p>23.03 LOCATION OF EXISTING BATHROOM VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW BATHROOM EXHAUST FAN. REFER TO MECHANICAL DRAWINGS.</p> <p>26.01 PROVIDE SWITCHED OUTLET IN BEDROOMS AND LIVING ROOM WHERE NO OVERHEAD LIGHT IS LOCATED. TYPICAL ALL UNITS.</p> <p>26.03 CENTER FIXTURE IN ROOM.</p> <p>26.04 CENTER FIXTURE ON VANITY.</p> <p>26.08 CENTER FIXTURE ON KITCHEN SINK.</p> <p>26.09 CENTER FIXTURE ON SHOWER.</p> <p>26.10 CENTER FIXTURE ON DOOROPENING.</p> <p>26.11 CENTER FIXTURE ON WATER CLOSET.</p> <p>26.18 CENTER FIXTURE ON LAVATORY SINK AND MIRROR.</p> |
|--|--|

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- | | |
|--|--|
| <p>D1 REMOVE PORTION OF EXISTING WALL AND ANY ASSOCIATED UTILITIES OR EQUIPMENT.</p> <p>D3 REMOVE EXIST. DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.</p> <p>D12 REMOVE ALL EXISTING FLOORING AND VINYL BASE IN ENTIRE DWELLING UNIT. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING.</p> <p>D13 REMOVE ALL EXISTING LIGHT FIXTURES IN ENTIRE DWELLING UNIT.</p> <p>D14 REMOVE EXISTING SINK, CABINETS, APPLIANCES, COUNTERTOP AND HARDWARE FROM KITCHEN AREA. APPLIANCES IN GOOD CONDITION ARE TO BE SALVAGED AND STORED. COORDINATE WITH OWNER.</p> <p>D16 REMOVE IN-WINDOW HEAT PUMP UNIT. EXISTING ASSOCIATED DUCTWORK TO REMAIN AND BE CLEANED.</p> <p>D17 REMOVE ALL EXISTING TILE FLOORING, BASE, PLUMBING FIXTURES, GRAB BARS, AND MIRRORS FROM BATHROOM.</p> <p>D18 REMOVE EXISTING ACCORDIAN DOOR AND ASSOCIATED TRACK, FRAME AND HARDWARE.</p> <p>D20 REMOVE ALL EXISTING CLOSET SHELVING.</p> | <p>D1 REMOVE PORTION OF EXISTING WALL AND ANY ASSOCIATED UTILITIES OR EQUIPMENT.</p> <p>D3 REMOVE EXIST. DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.</p> <p>D12 REMOVE ALL EXISTING FLOORING AND VINYL BASE IN ENTIRE DWELLING UNIT. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING.</p> <p>D13 REMOVE ALL EXISTING LIGHT FIXTURES IN ENTIRE DWELLING UNIT.</p> <p>D14 REMOVE EXISTING SINK, CABINETS, APPLIANCES, COUNTERTOP AND HARDWARE FROM KITCHEN AREA. APPLIANCES IN GOOD CONDITION ARE TO BE SALVAGED AND STORED. COORDINATE WITH OWNER.</p> <p>D16 REMOVE IN-WINDOW HEAT PUMP UNIT. EXISTING ASSOCIATED DUCTWORK TO REMAIN AND BE CLEANED.</p> <p>D17 REMOVE ALL EXISTING TILE FLOORING, BASE, PLUMBING FIXTURES, GRAB BARS, AND MIRRORS FROM BATHROOM.</p> <p>D18 REMOVE EXISTING ACCORDIAN DOOR AND ASSOCIATED TRACK, FRAME AND HARDWARE.</p> <p>D20 REMOVE ALL EXISTING CLOSET SHELVING.</p> |
|--|--|



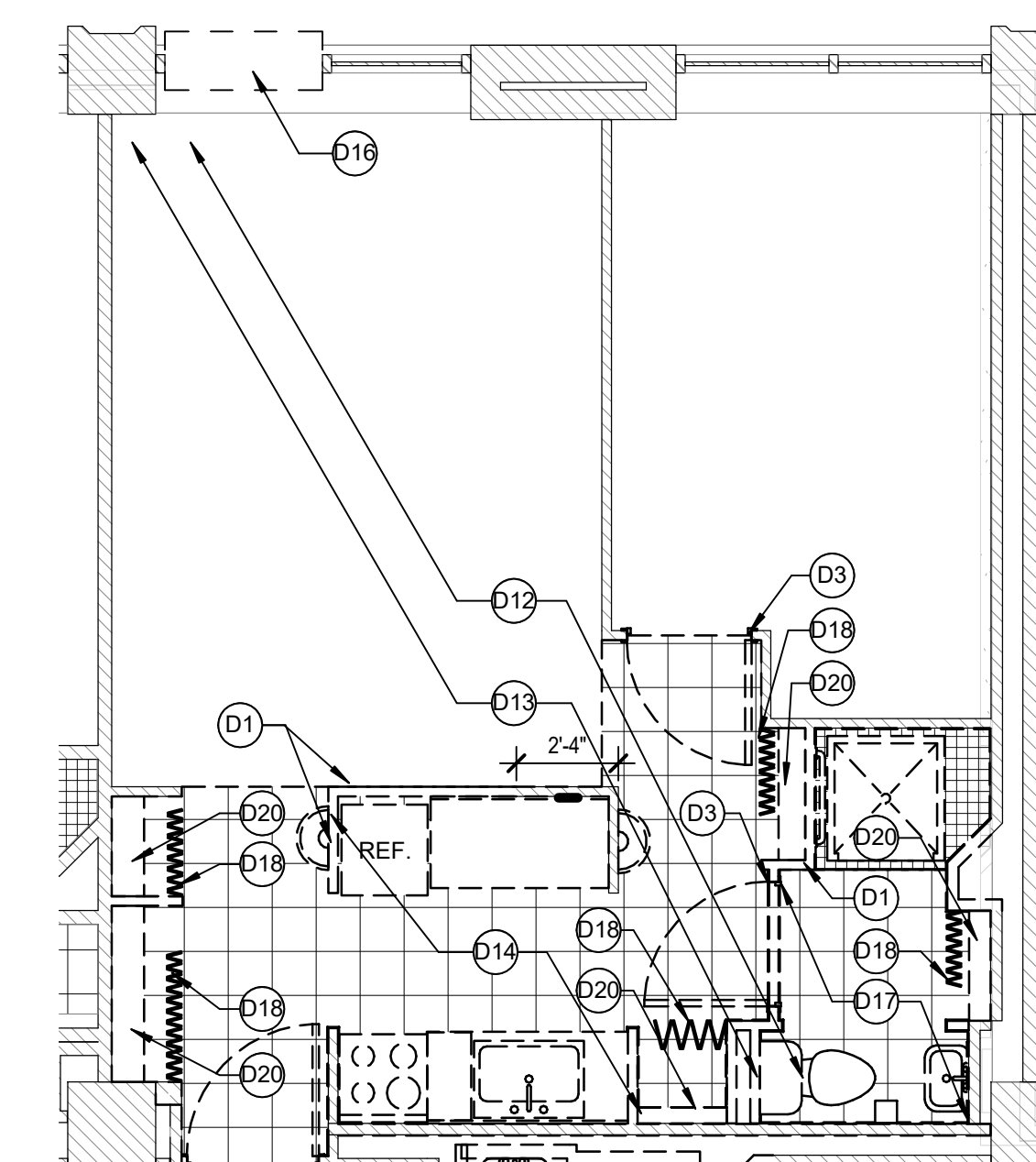
Copyright © 2022 LDA architects Inc. This drawing and related information, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, an L.L.C. For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

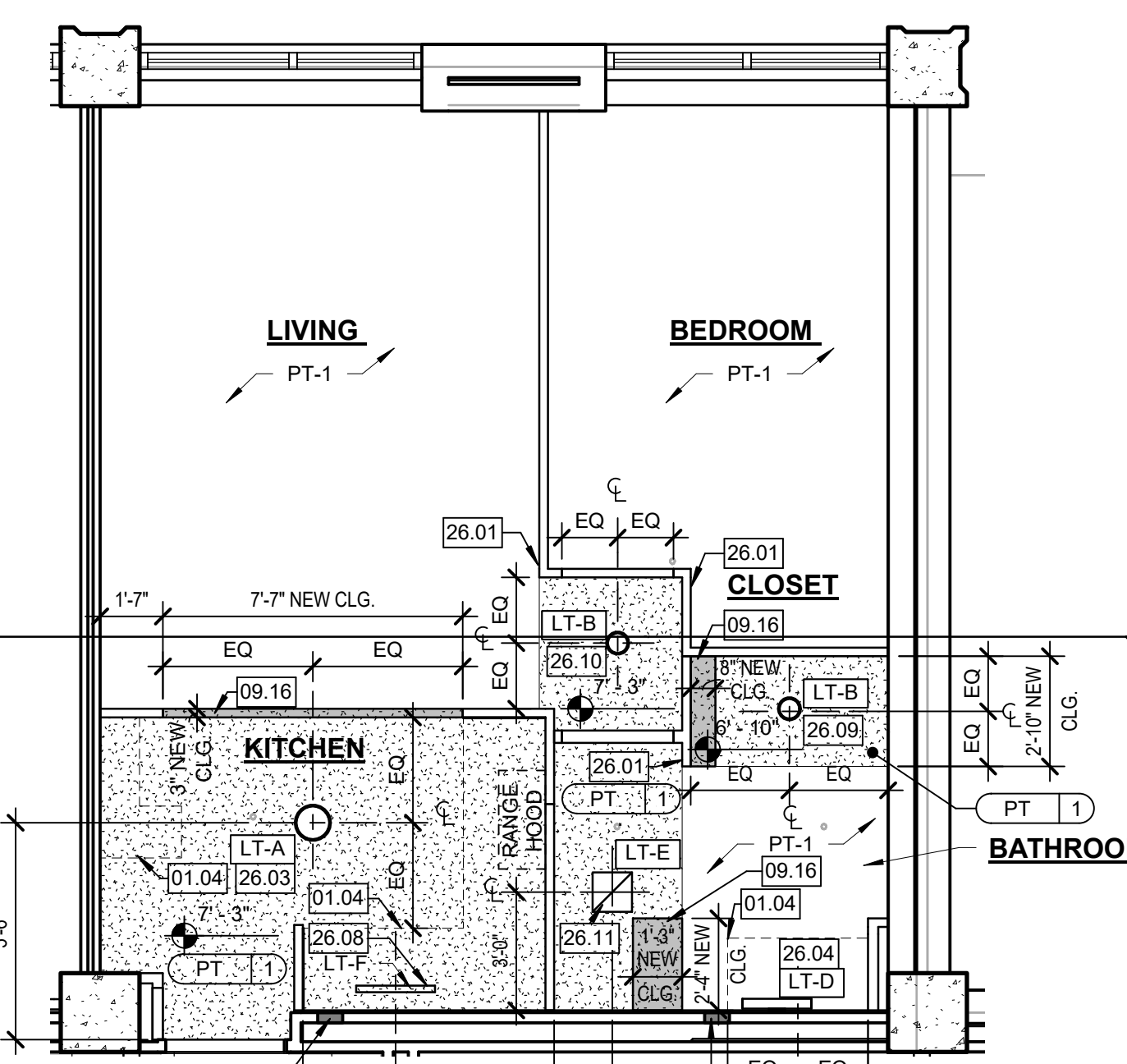
LDA Project No.23.47

ENLARGED UNIT PLAN- 1A

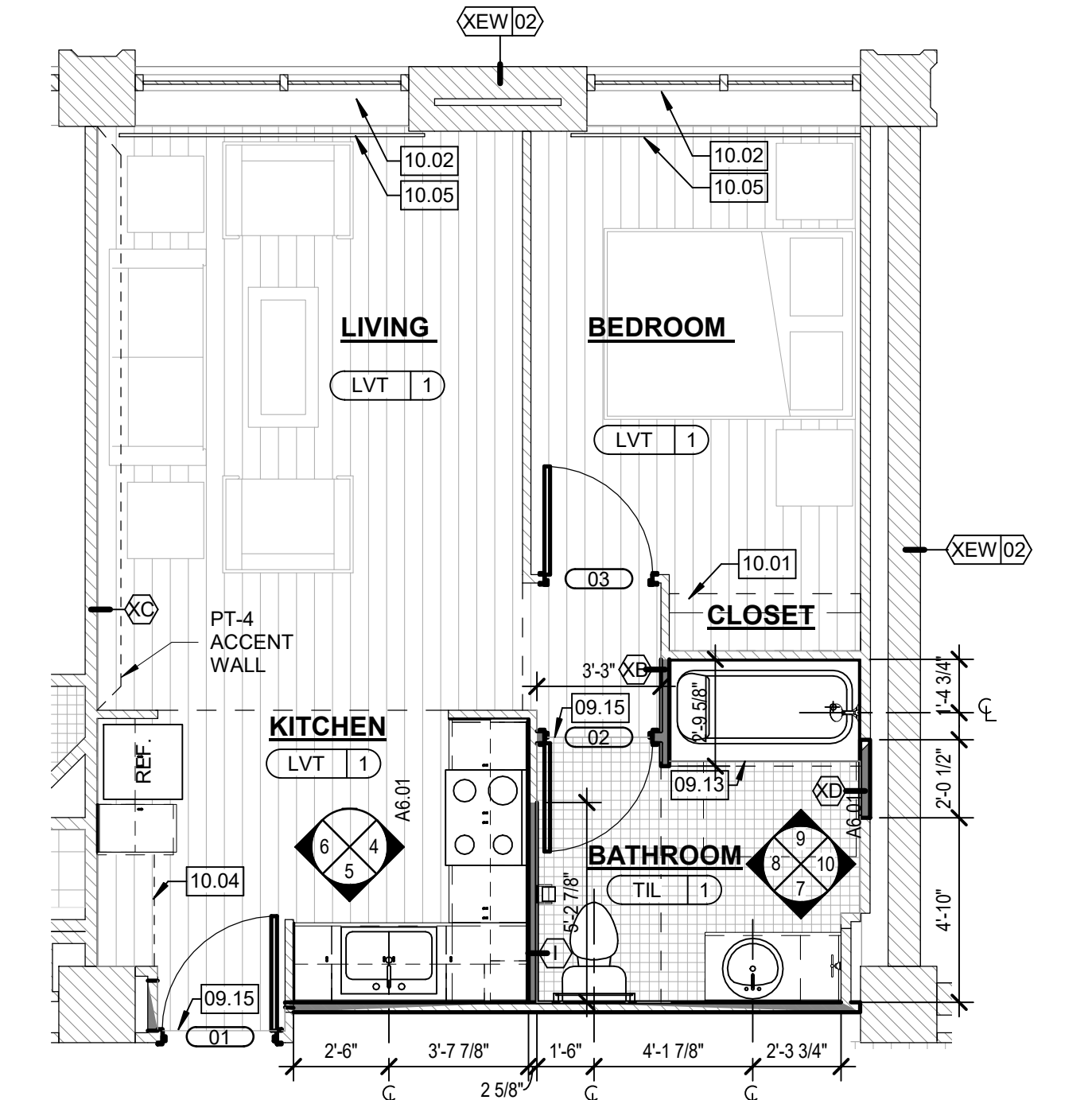
A6.01



3 UNIT 1A - DEMO
SCALE: 1/4" = 1'-0"



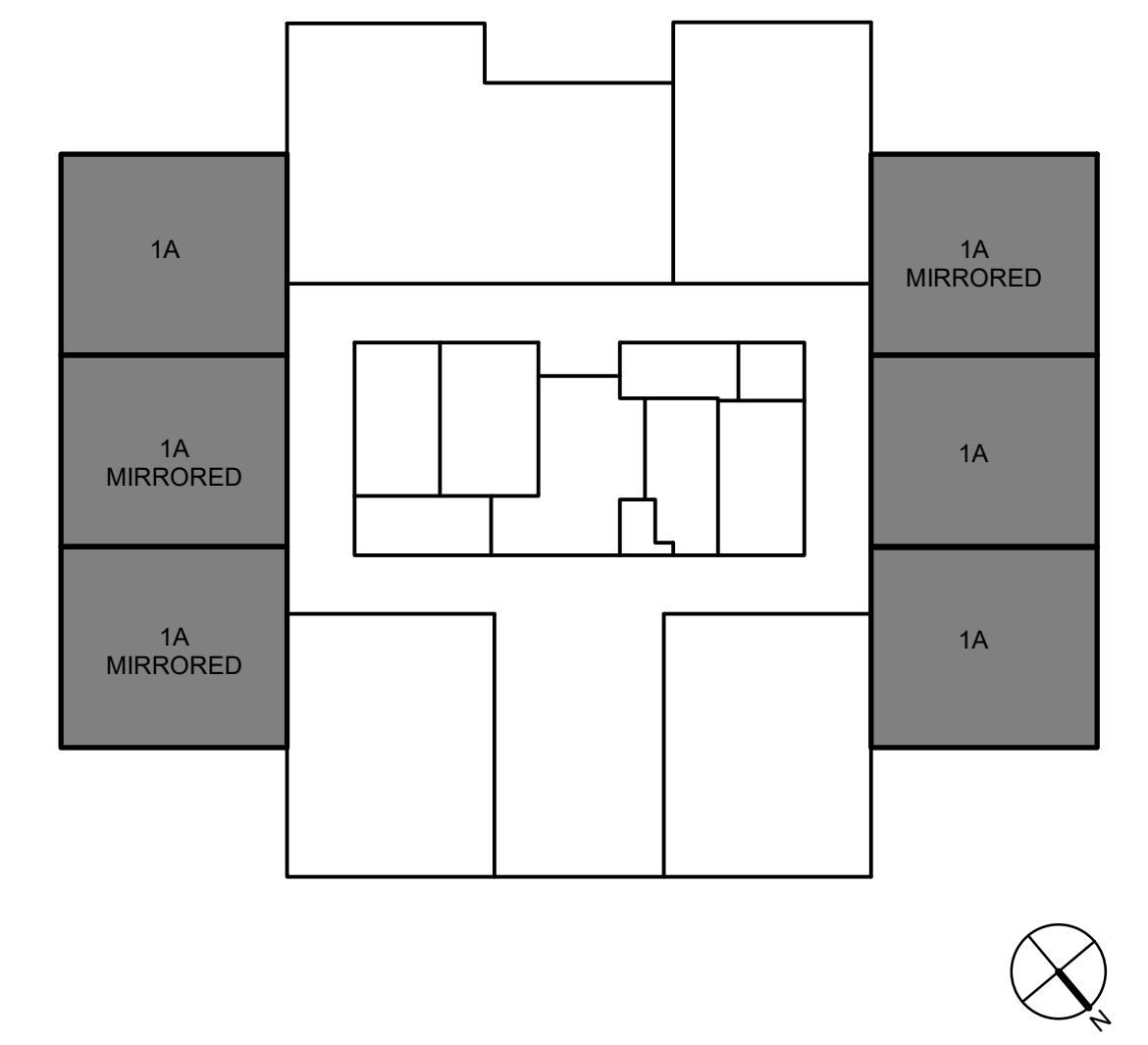
2 UNIT 1A- RCP
SCALE: 1/4" = 1'-0"



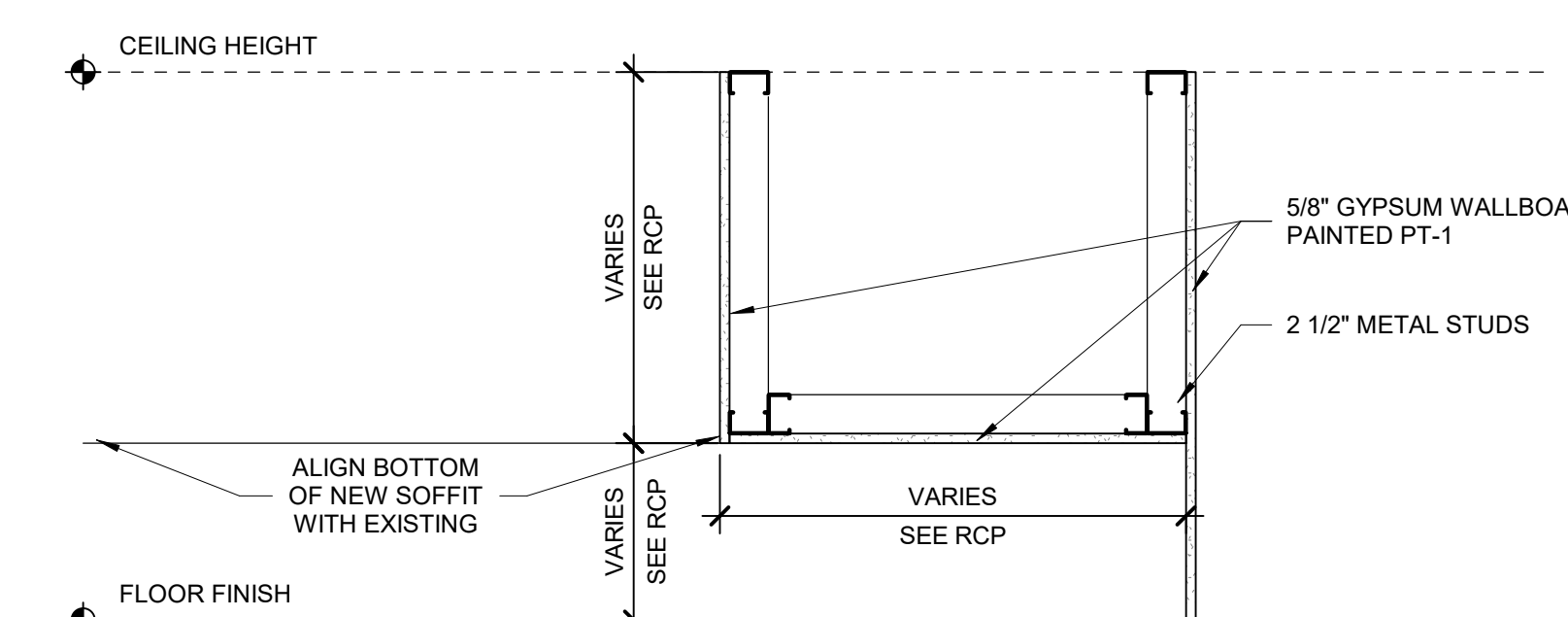
1 UNIT 1A - PROPOSED PLAN
SCALE: 1/4" = 1'-0"

CEILING LEGEND	
	EXISTING CEILING TO REMAIN; PAINT PT-1
	NEW GYP. BD. CEILING TO BE ALIGN WITH EXISTING CEILING HEIGHT; PAINT PT-1
	EXISTING GYP. BD. CEILING TO REMAIN; PT-1

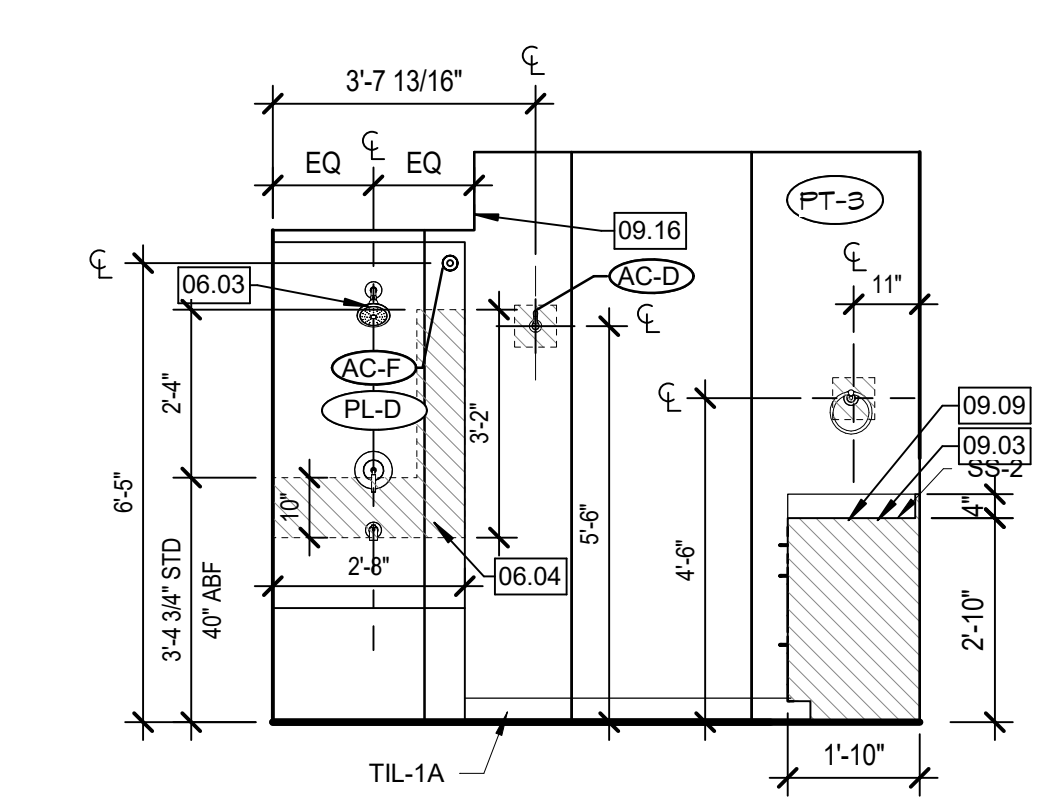
UNIT CEILING FIXTURE LEGEND	
	LT-A 11" SURFACE MOUNT PUCK LIGHT
	LT-B 7" SURFACE MOUNT PUCK LIGHT - WET RATED
	LT-C ISLAND PENDANT
	LT-D 24"W VANITY WALL SCONCE
	LT-E BATHROOM EXHAUST FAN
	LT-F TAPE LIGHT - OVER SINK



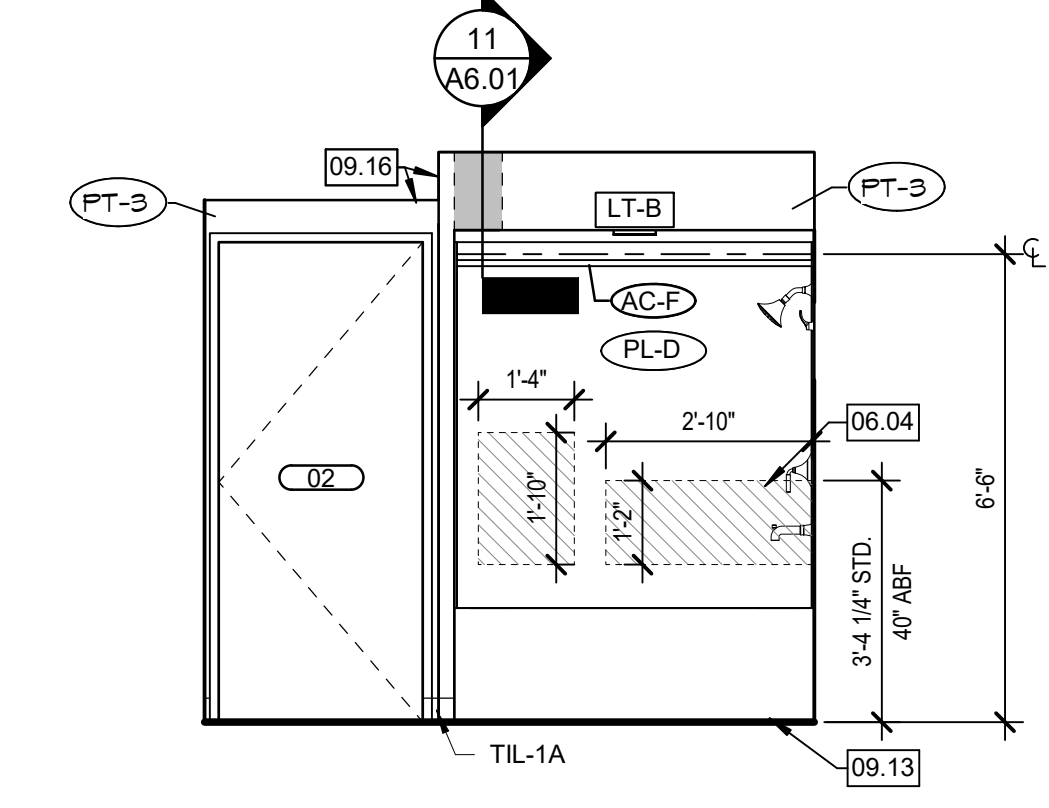
UNIT KEY PLAN - 1A



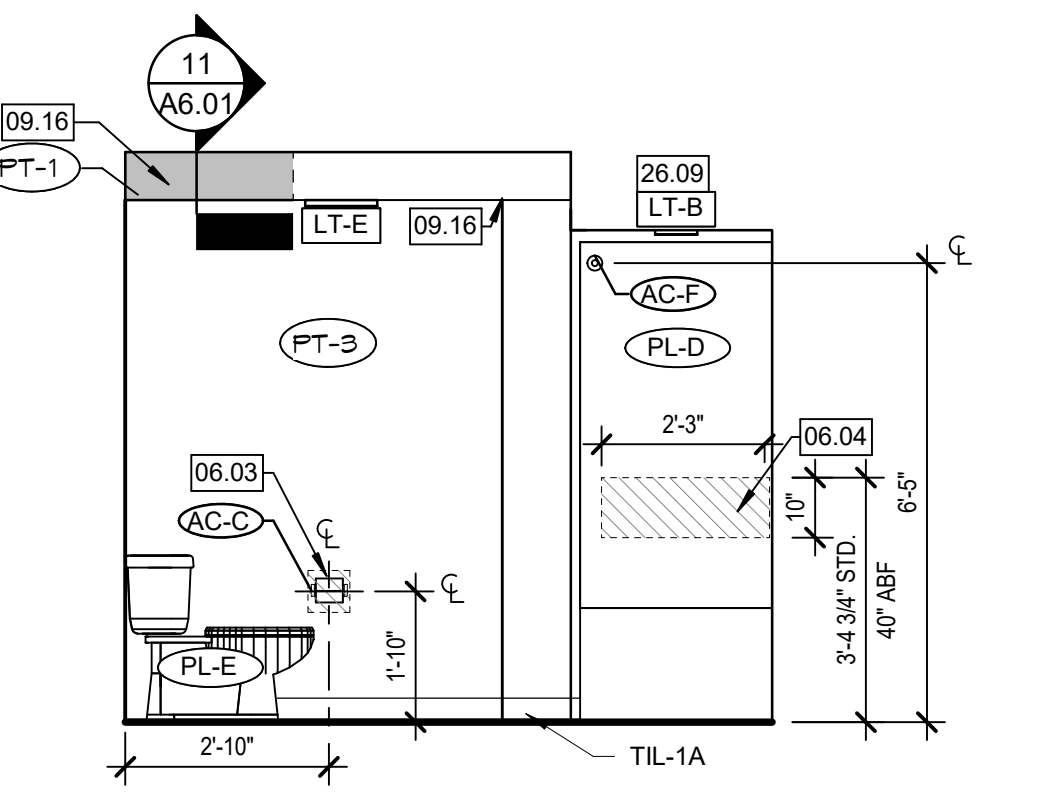
11 TYPICAL UNIT SOFFIT DETAIL
SCALE: 1" = 1'-0"



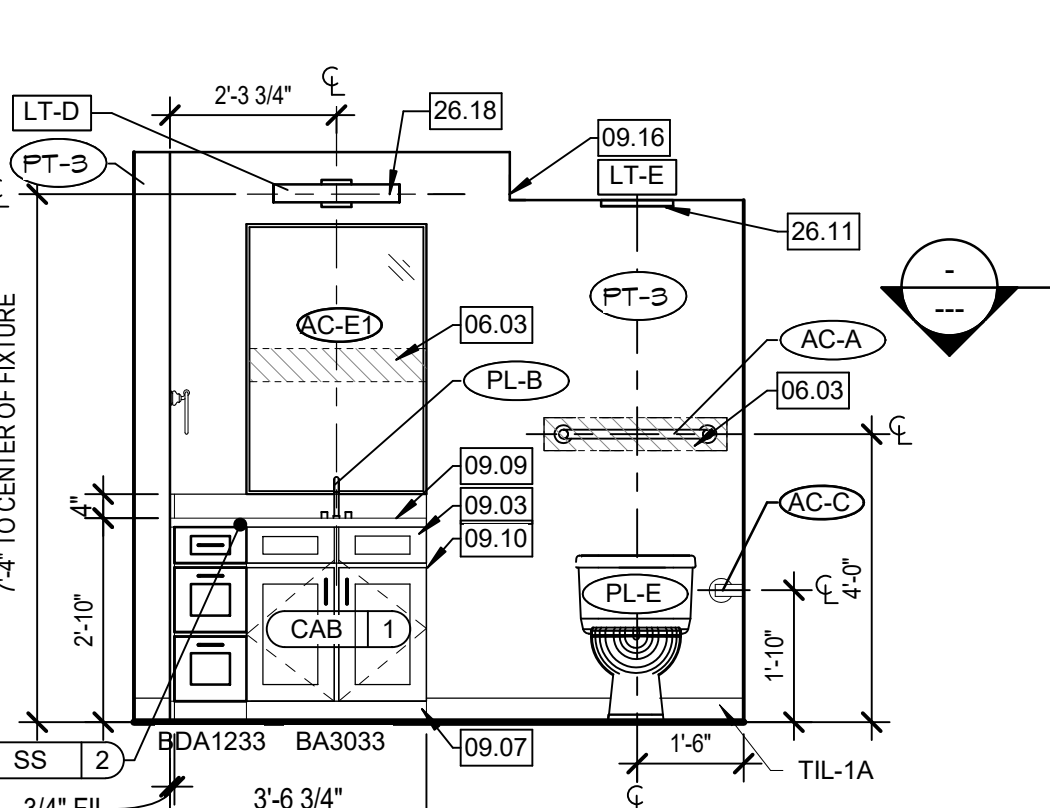
10 UNIT 1A BATH. ELEV. 4
SCALE: 3/8" = 1'-0"



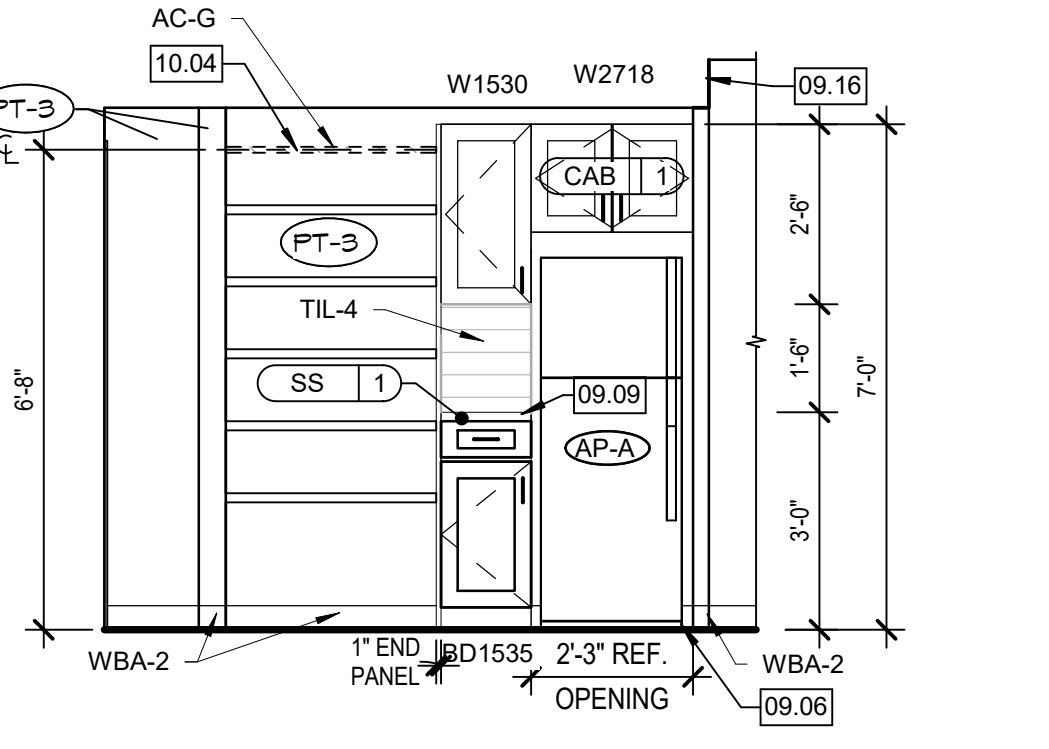
9 UNIT 1A BATH. ELEV. 3
SCALE: 3/8" = 1'-0"



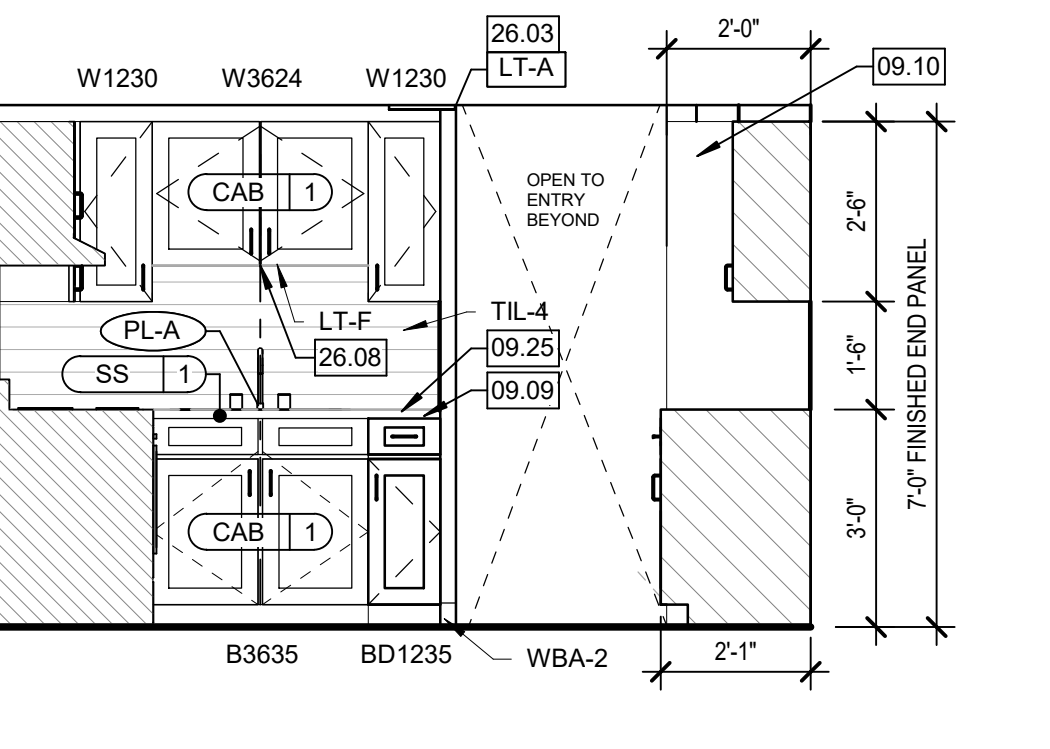
8 UNIT 1A BATH. ELEV. 2
SCALE: 3/8" = 1'-0"



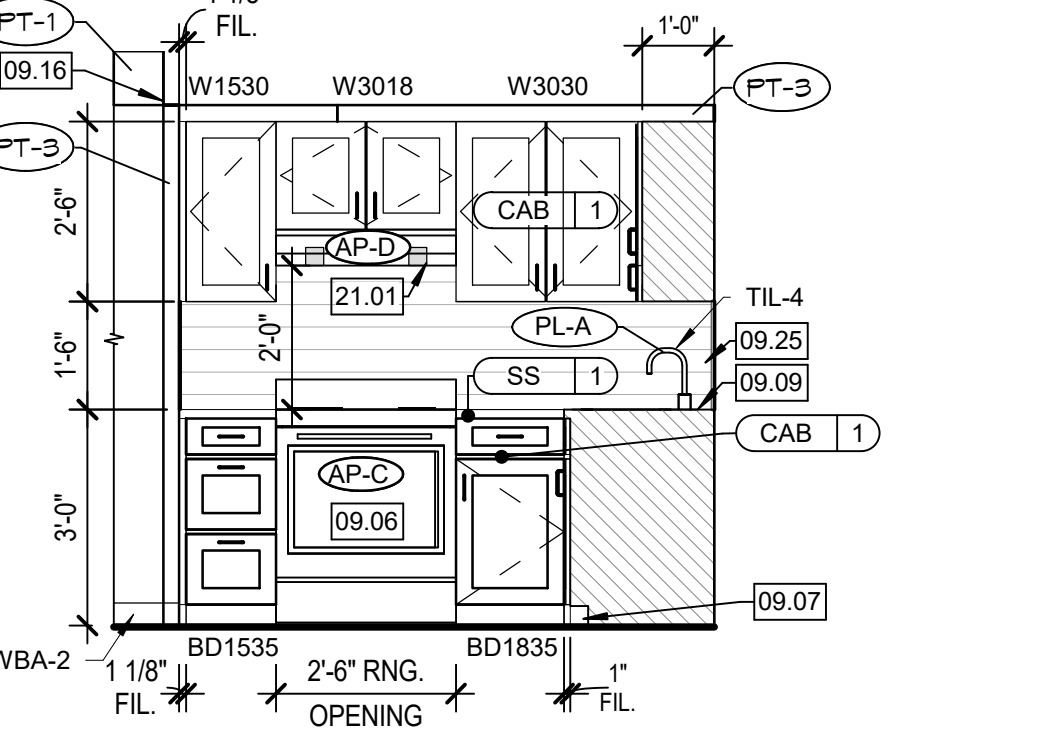
7 UNIT 1A BATH. ELEV. 1
SCALE: 3/8" = 1'-0"



6 UNIT 1A KITCHEN ELEV. 3
SCALE: 3/8" = 1'-0"



5 UNIT 1A KITCHEN ELEV. 2
SCALE: 3/8" = 1'-0"



4 UNIT 1A KITCHEN ELEV. 1
SCALE: 3/8" = 1'-0"

1 UNIT 1A - PROPOSED PLAN
SCALE: 1/4" = 1'-0"

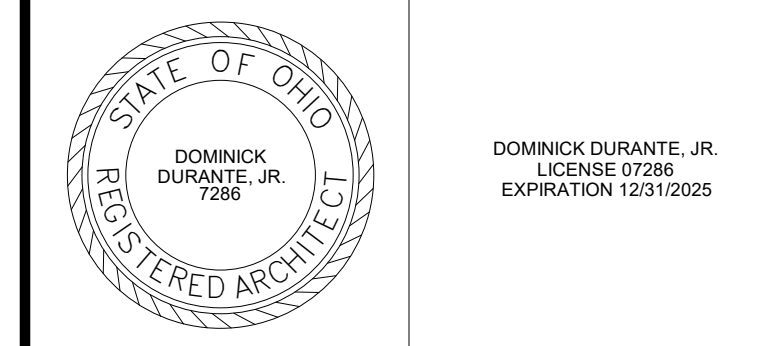
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET
 REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- 01.04 DASHED LINE REPRESENTS CABINET/COUNTERTOP BELOW.
- 06.03 PROVIDE WOOD BLOCKING FOR BATHROOM FIXTURE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 06.04 PROVIDE WOOD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS TO FULLY COMPLY WITH ANSI A117.1.
- 09.03 PROVIDE AND INSTALL CONTINUOUS 4" BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS. SEE FINISH SCHEDULE FOR SPECIFICATIONS.
- 09.06 G.C. TO FINISH WALL AND BASE BEHIND RANGE AND REFRIGERATOR. TYP. ALL UNITS AND COMMON AREA KITCHEN.
- 09.07 PROVIDE 4" CABINET TOE KICK TO MATCH CABINERY FINISH. CUT TO LENGTH IF NEEDED.
- 09.09 PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND BACKSPLASH TILE. COLOR TO MATCH COUNTERTOP COLOR.
- 09.10 FINISH CABINET SIDE PANEL.
- 09.13 PVC QUARTER ROUND INSTALLED AT SHOWER BASE. TO BE SEALED.
- 09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B.
- 09.16 ALIGN NEW CEILING WITH EXISTING WALL AND CEILING HEIGHT. PAINT PT-1.
- 09.25 INSTALL 2"x8" CERAMIC TILE AT BACKSPLASH AND SIDEWALL OF ALL UNIT KITCHENS. STACK HORIZONTALLY AND ALIGN GROUT JOINTS. INCLUDE SCHLUTER JOLLY TRANSITION, CHROME FINISH. AT EXPOSED EDGE AND TOP.
- 10.02 PROVIDE 2" VINYL BLINDS AT ALL UNIT WINDOWS. REFER TO FINISH SCHEDULE FOR SPECIFICATION WB-1.
- 10.04 PROVIDE ADJUSTABLE TENSION ROD AT ALL CLOSETS. WEIGHTED CURTAIN TO BE PROVIDED BY OWNER.
- 10.05 PROVIDE DOUBLE DRAPERY ROD AT ALL UNIT WINDOWS. REFER TO ACCESSORY SCHEDULE. CURTAIN PROVIDED BY TENANT.
- 21.01 PROVIDE AND INSTALL (2) FIRE CANISTERS AT EACH RANGEHOOD.
- 23.02 LOCATION OF EXISTING KITCHEN VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW KITCHEN RANGE HOOD. REFER TO MECHANICAL DRAWINGS.
- 23.03 LOCATION OF EXISTING BATHROOM VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW BATHROOM EXHAUST FAN. REFER TO MECHANICAL DRAWINGS.
- 26.01 PROVIDE SWITCHED OUTLET IN BEDROOMS AND LIVING ROOM WHERE NO OVERHEAD LIGHT IS LOCATED.
- 26.02 FAN AND LIGHT TO BE SWITCHED SEPARATELY AT BATHROOM. TYPICAL ALL UNITS.
- 26.03 CENTER FIXTURE IN ROOM.
- 26.04 CENTER FIXTURE ON VANITY.
- 26.08 CENTER FIXTURE ON KITCHEN SINK.
- 26.09 CENTER FIXTURE ON SHOWER.
- 26.10 CENTER FIXTURE ON DOOR/OPENING.
- 26.11 CENTER FIXTURE ON WATER CLOSET.

KEYED NOTES SPECIFIC TO THIS SHEET
 REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- D3 REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
- D6 REMOVE EXISTING WALL IN ITS ENTIRETY UP TO STRUCTURAL DECK.
- D12 REMOVE ALL EXISTING FLOORING AND VINYL BASE IN ENTIRE DWELLING UNIT. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING.
- D13 REMOVE ALL EXISTING LIGHT FIXTURES IN ENTIRE DWELLING UNIT.
- D14 REMOVE EXISTING SINK, CABINETS, APPLIANCES, COUNTERTOP AND HARDWARE FROM KITCHEN AREA. APPLIANCES IN GOOD CONDITION ARE TO BE SALVAGED AND STORED. COORDINATE WITH OWNER.
- D15 REMOVE EXISTING KITCHEN WALL AND ASSOCIATED UTILITIES.
- D16 REMOVE IN-WINDOW HEAT PUMP UNIT. EXISTING ASSOCIATED DUCTWORK TO REMAIN AND BE CLEANED.
- D17 REMOVE ALL EXISTING TILE FLOORING, BASE, PLUMBING FIXTURES, GRAB BARS, AND MIRRORS FROM BATHROOM.
- D18 REMOVE EXISTING ACCORDIAN DOOR AND ASSOCIATED TRACK, FRAME AND HARDWARE.
- D20 REMOVE ALL EXISTING CLOSET SHELVING.



Copyright © 2022 LDA architects Inc. This drawing and related matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA ARCHITECTS, INC. For use solely in connection with the project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and copyright rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No. 23.47

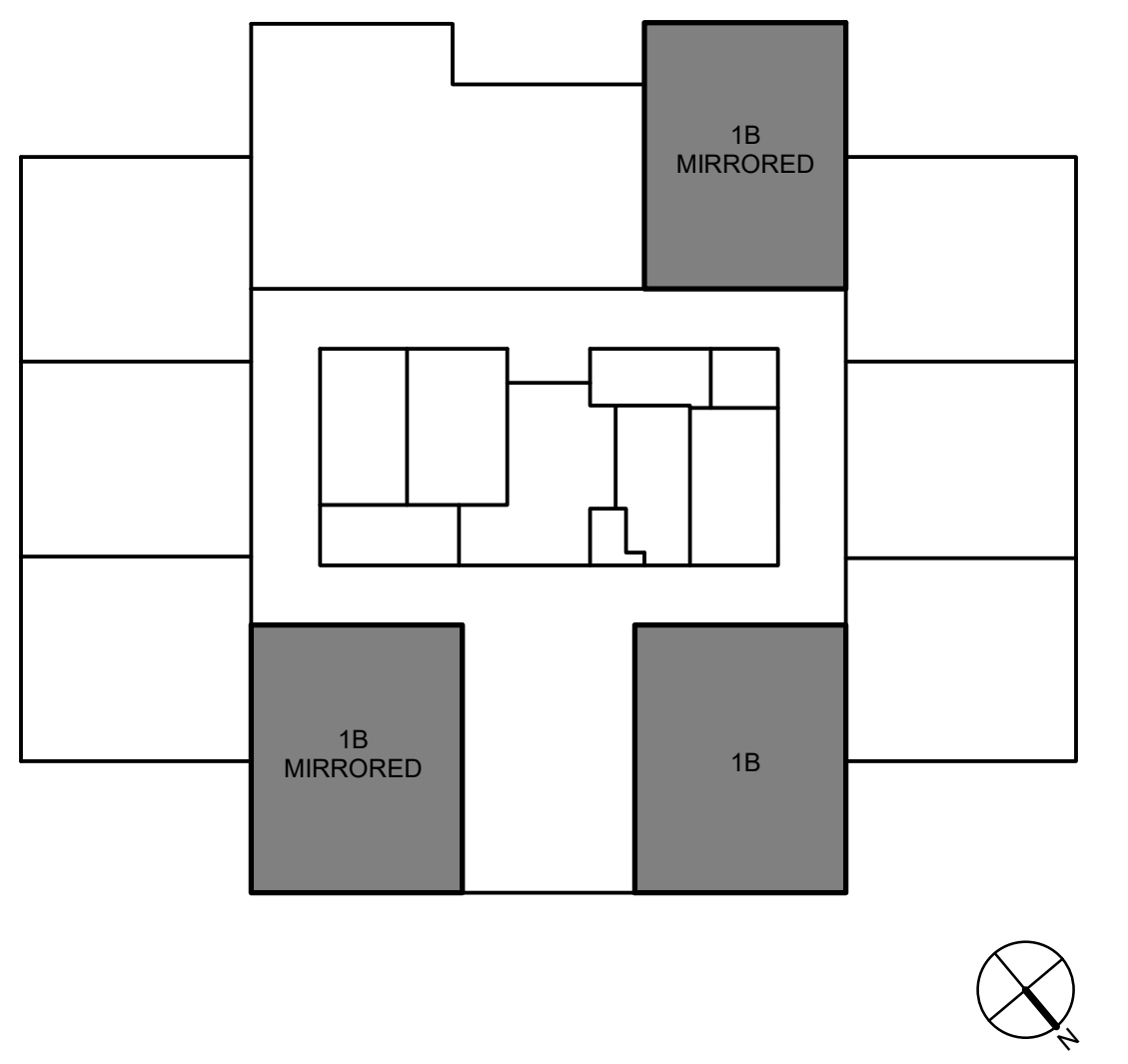
ENLARGED UNIT PLAN - 1B
A6.02

CEILING LEGEND

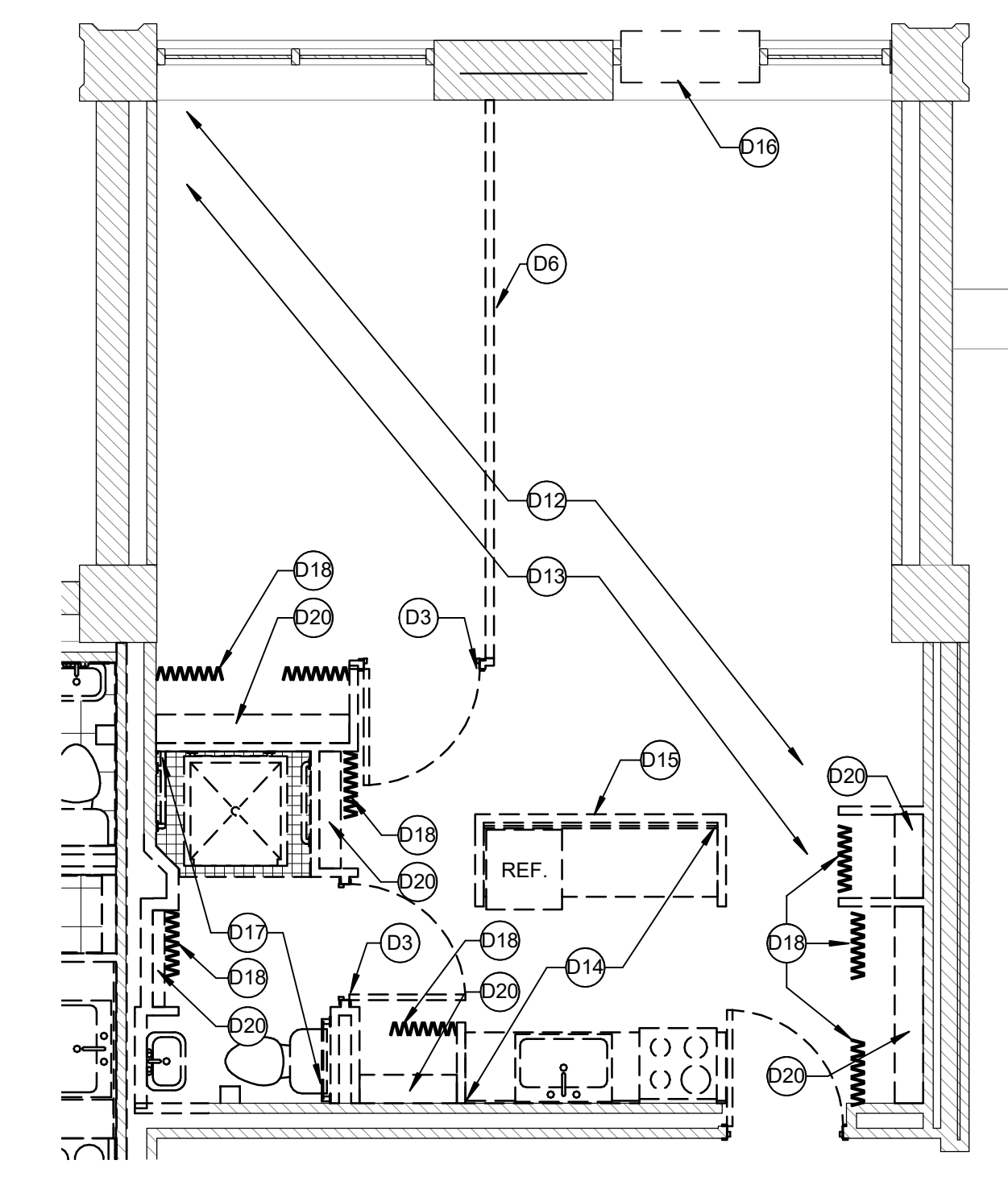
- EXISTING CEILING TO REMAIN; PAINT PT-1
- NEW GYP. BD. CEILING TO BE ALIGNED WITH EXISTING CEILING HEIGHT; PAINT PT-1
- EXISTING GYP. BD. CEILING TO REMAIN; PT-1

UNIT CEILING FIXTURE LEGEND

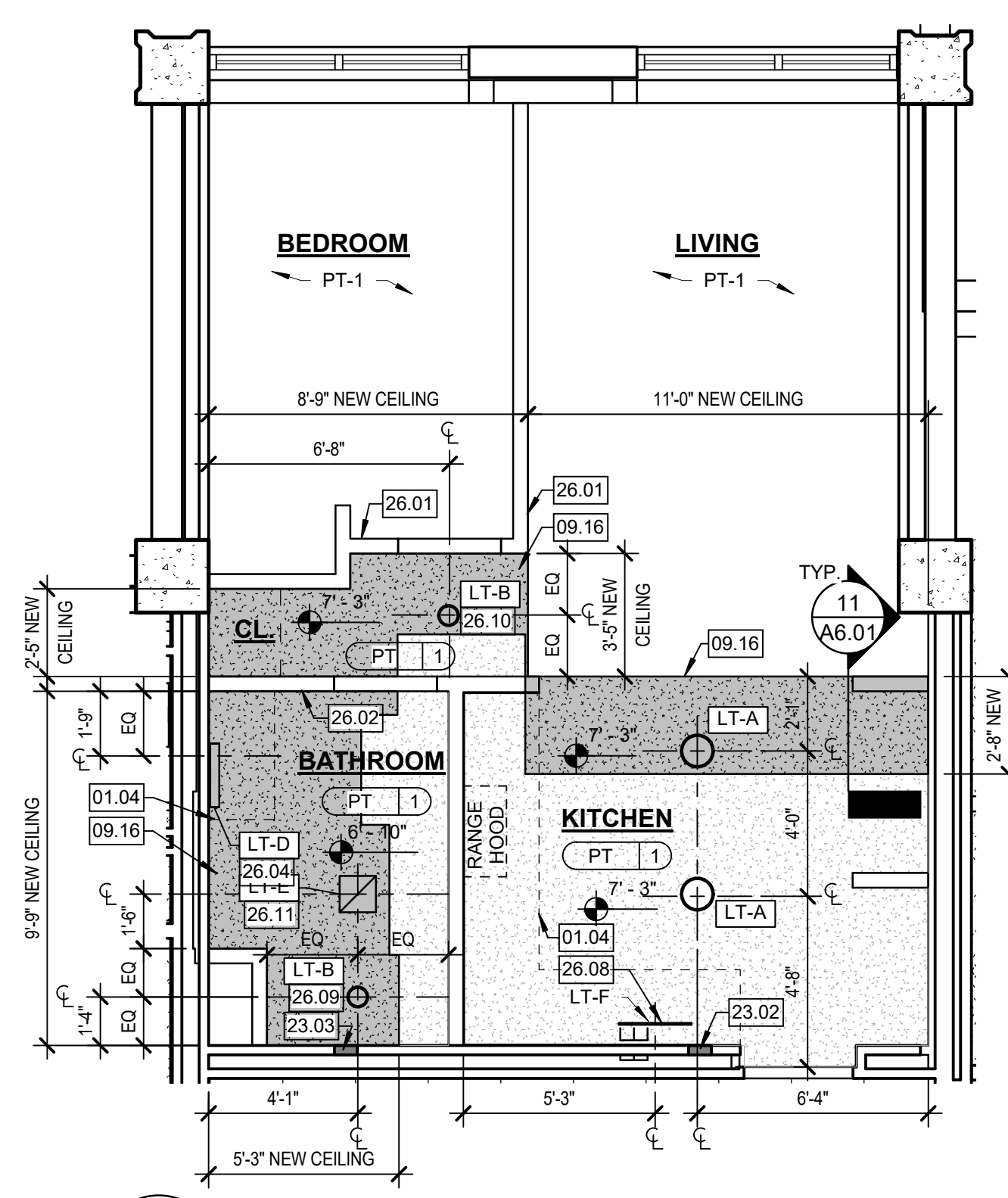
- LT-A 11" SURFACE MOUNT PUCK LIGHT
- LT-B 7" SURFACE MOUNT PUCK LIGHT - WET RATED
- LT-C ISLAND PENDANT
- LT-D 24"W VANITY WALL SCONCE
- LT-E BATHROOM EXHAUST FAN
- LT-F TAPE LIGHT - OVER SINK



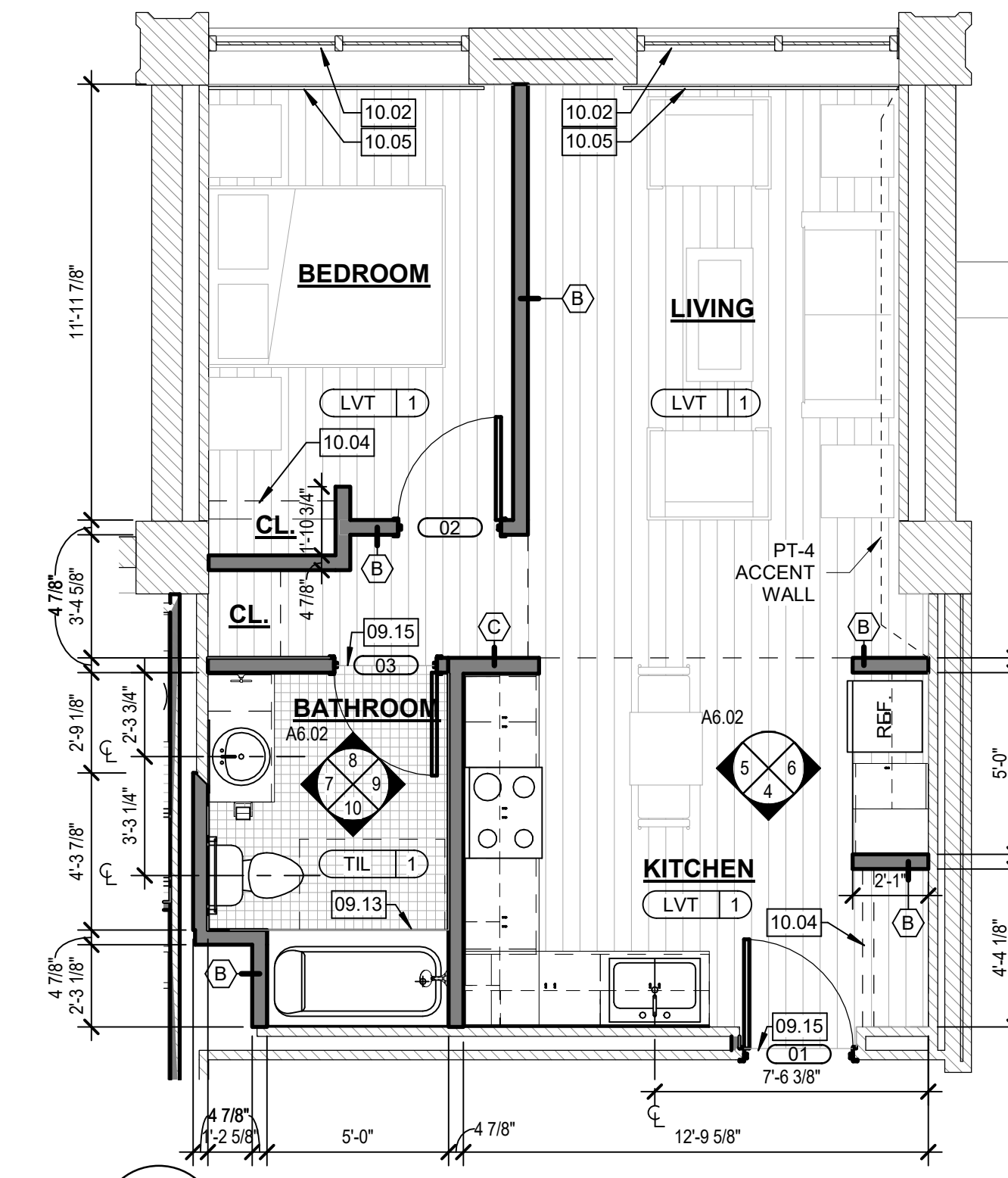
UNIT KEY PLAN - 1B



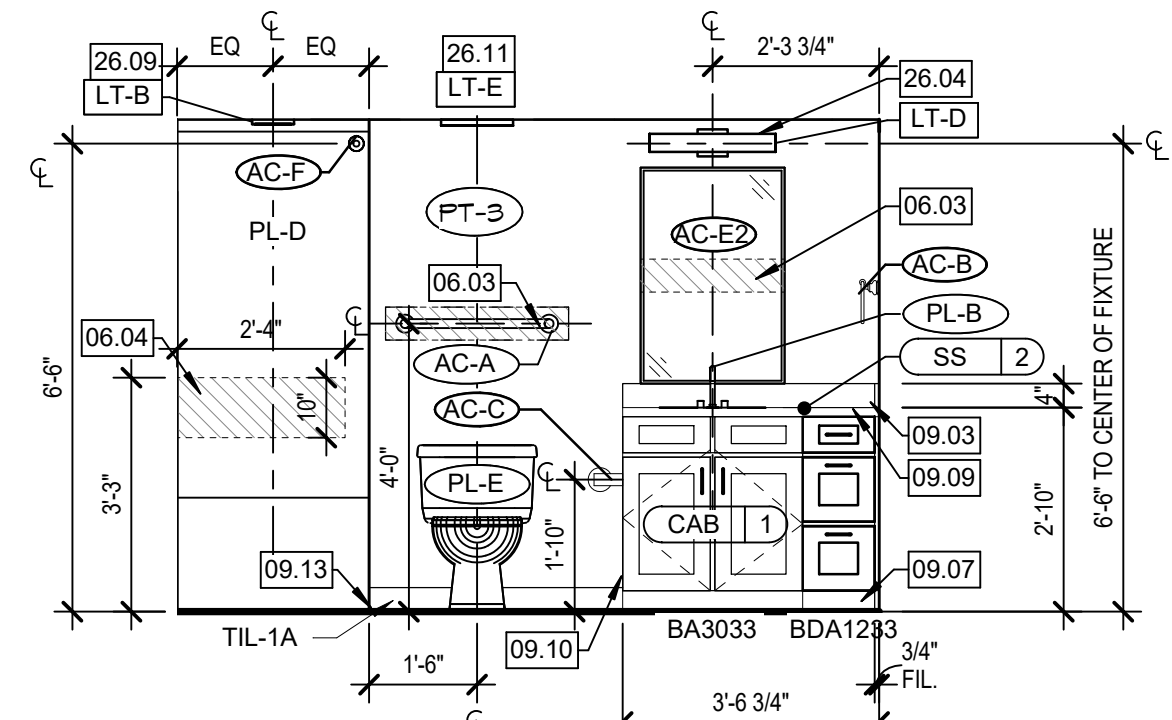
2 UNIT 1B - DEMO
 SCALE: 1/4" = 1'-0"



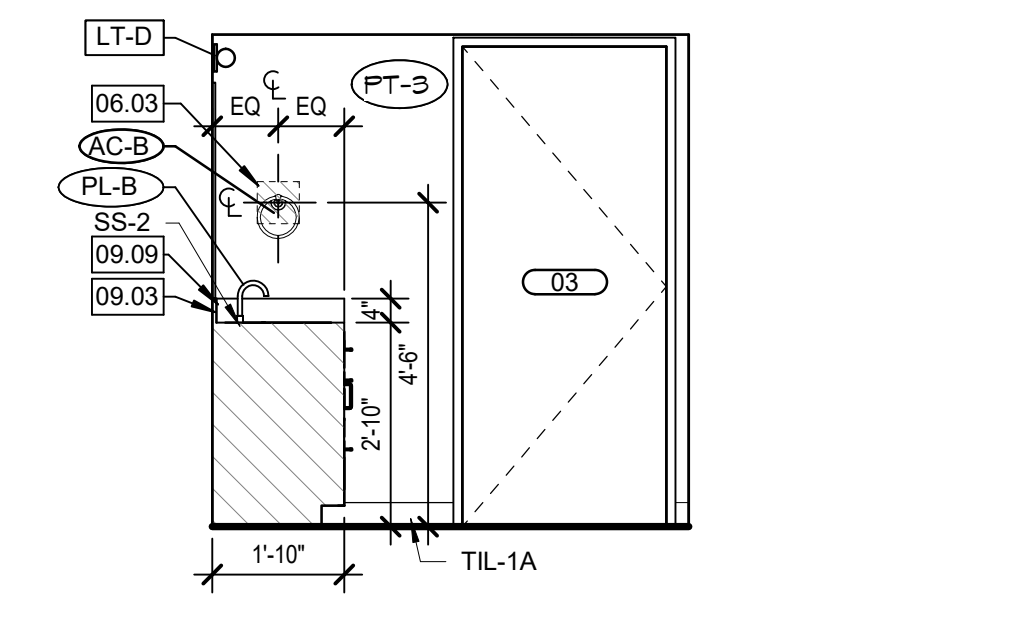
3 UNIT 1B - RCP
 SCALE: 1/4" = 1'-0"



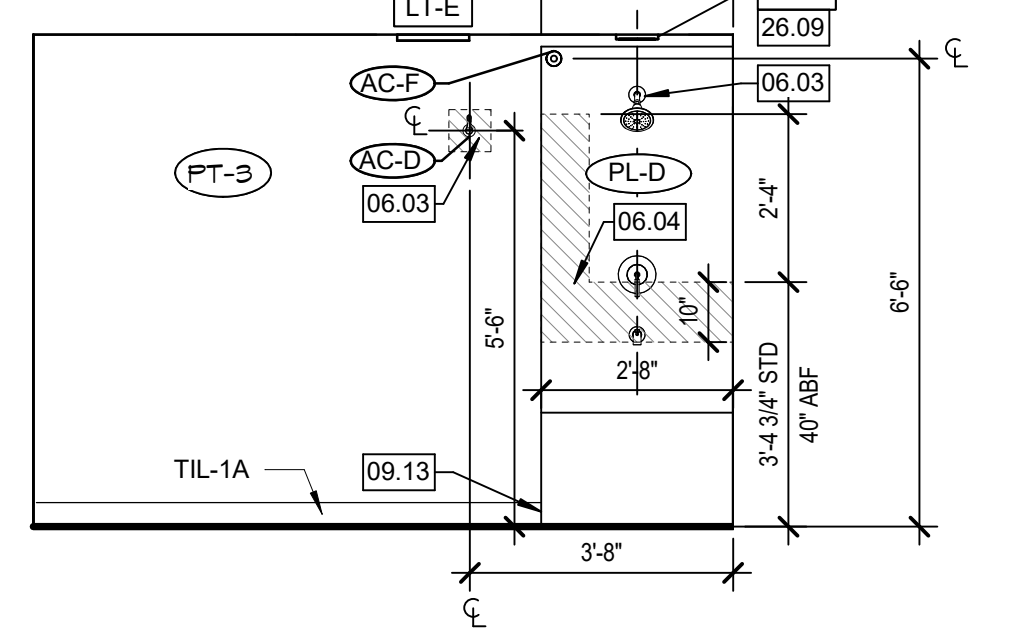
1 UNIT 1B - PROPOSED PLAN
 SCALE: 1/4" = 1'-0"



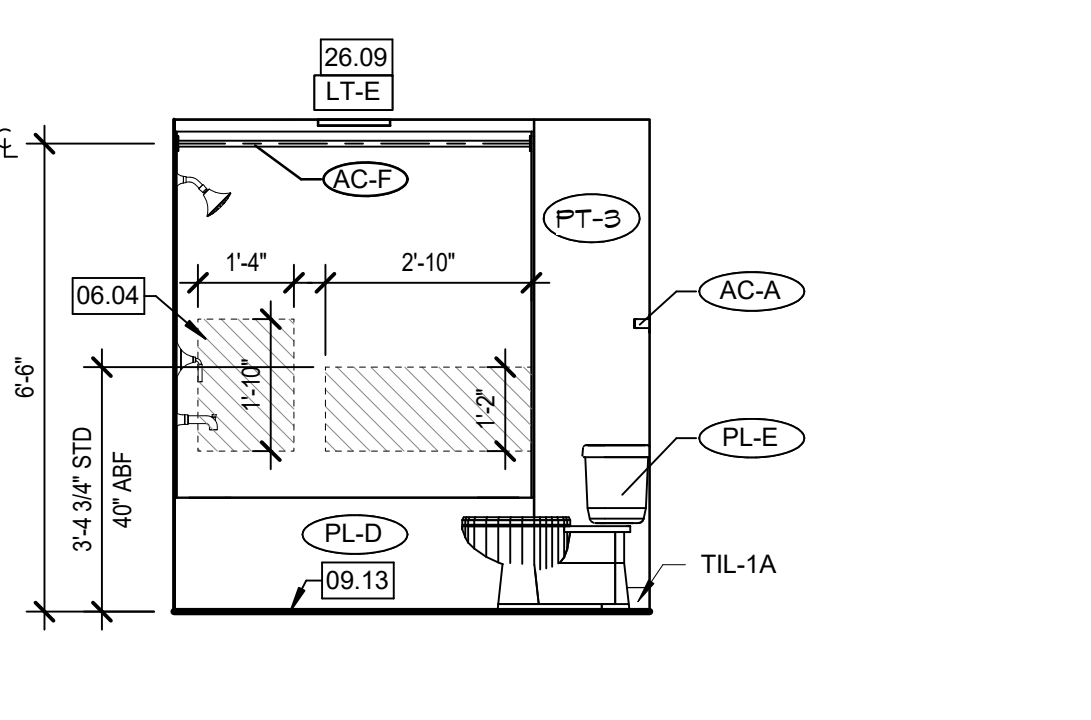
7 UNIT 1B BATH. ELEV. 4
 SCALE: 3/8" = 1'-0"



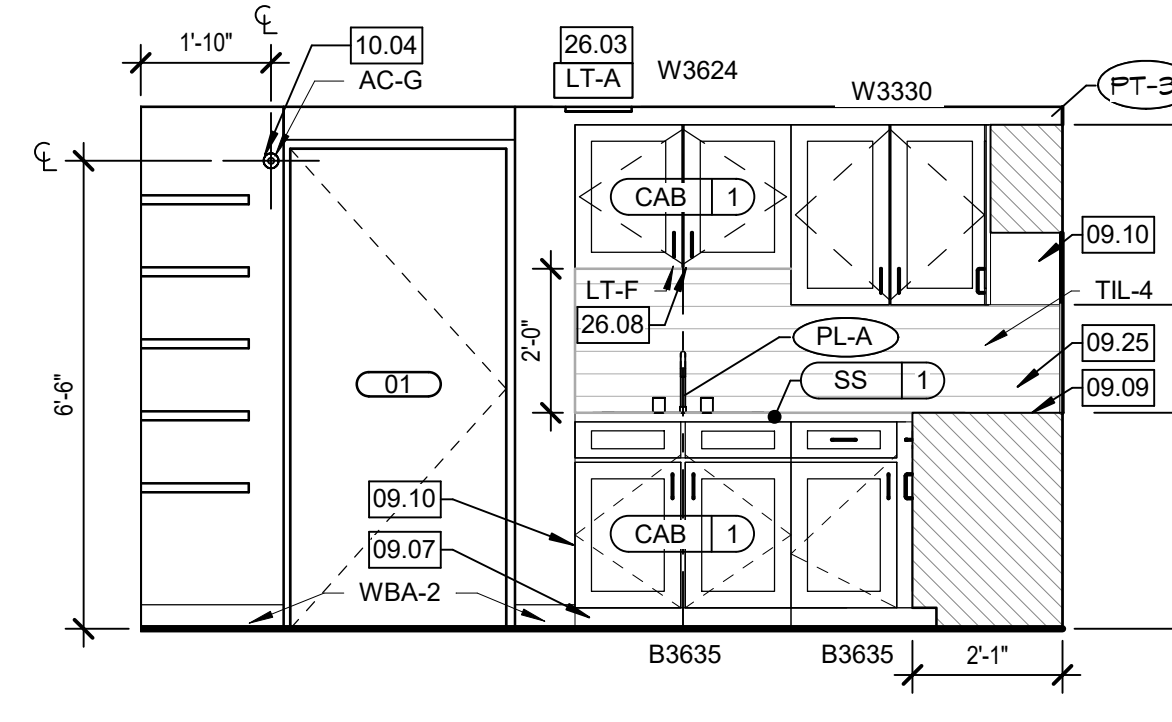
8 UNIT 1B BATH. ELEV. 1
 SCALE: 3/8" = 1'-0"



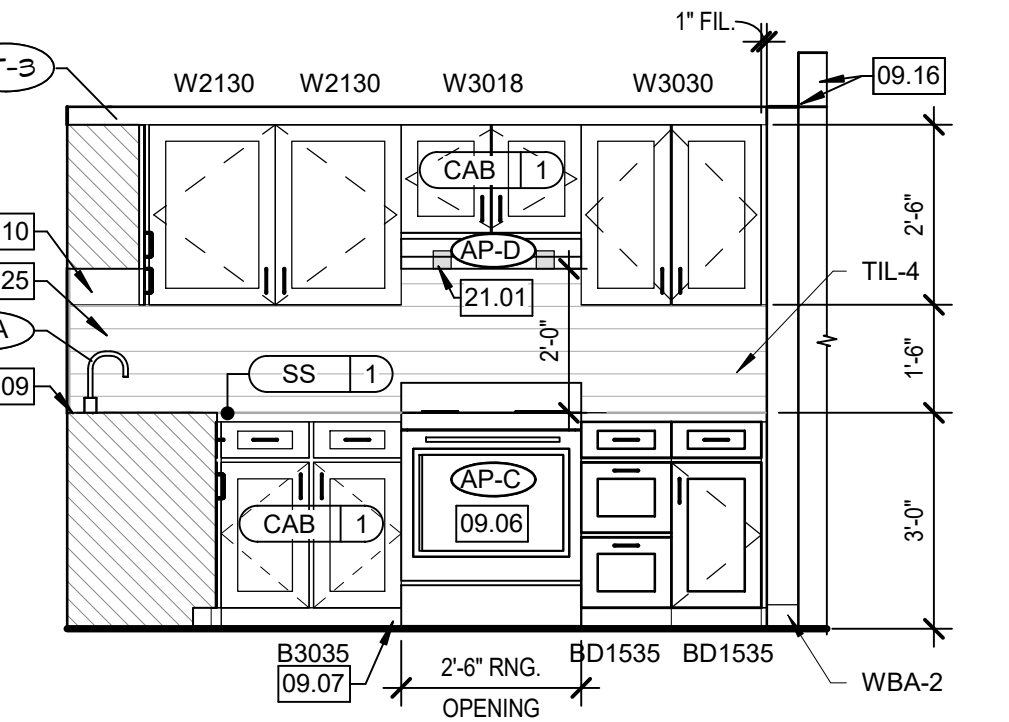
9 UNIT 1B BATH. ELEV. 2
 SCALE: 3/8" = 1'-0"



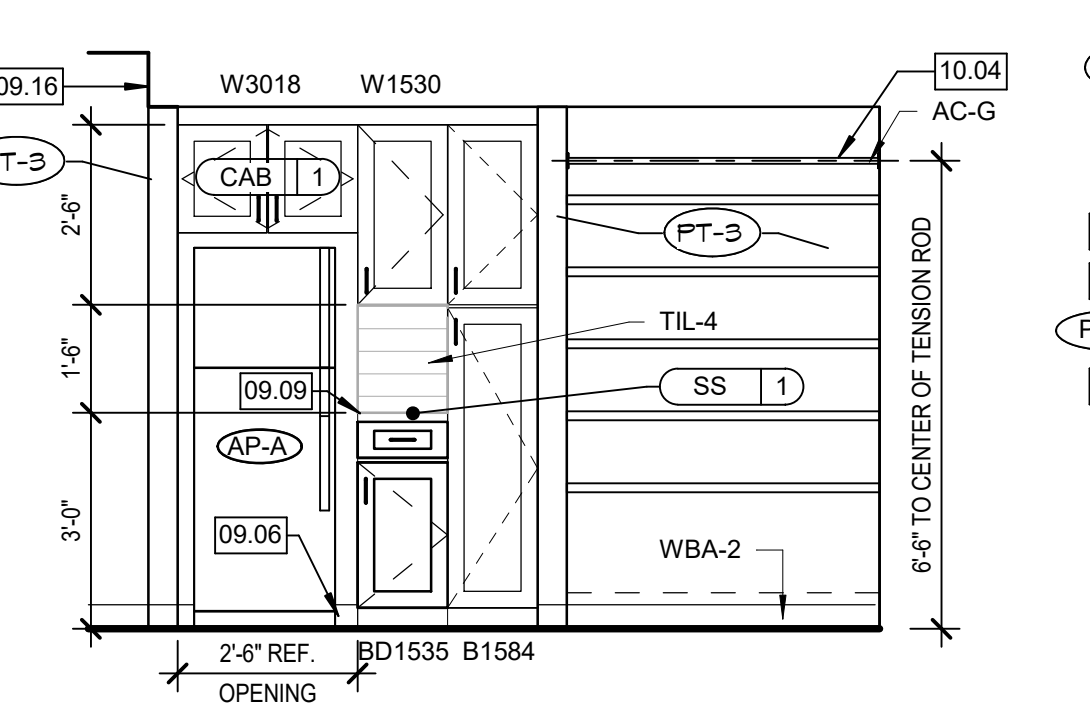
10 UNIT 1B BATH. ELEV. 3
 SCALE: 3/8" = 1'-0"



4 UNIT 1B KITCHEN ELEV. 1
 SCALE: 3/8" = 1'-0"



5 UNIT 1B KITCHEN ELEV. 2
 SCALE: 3/8" = 1'-0"



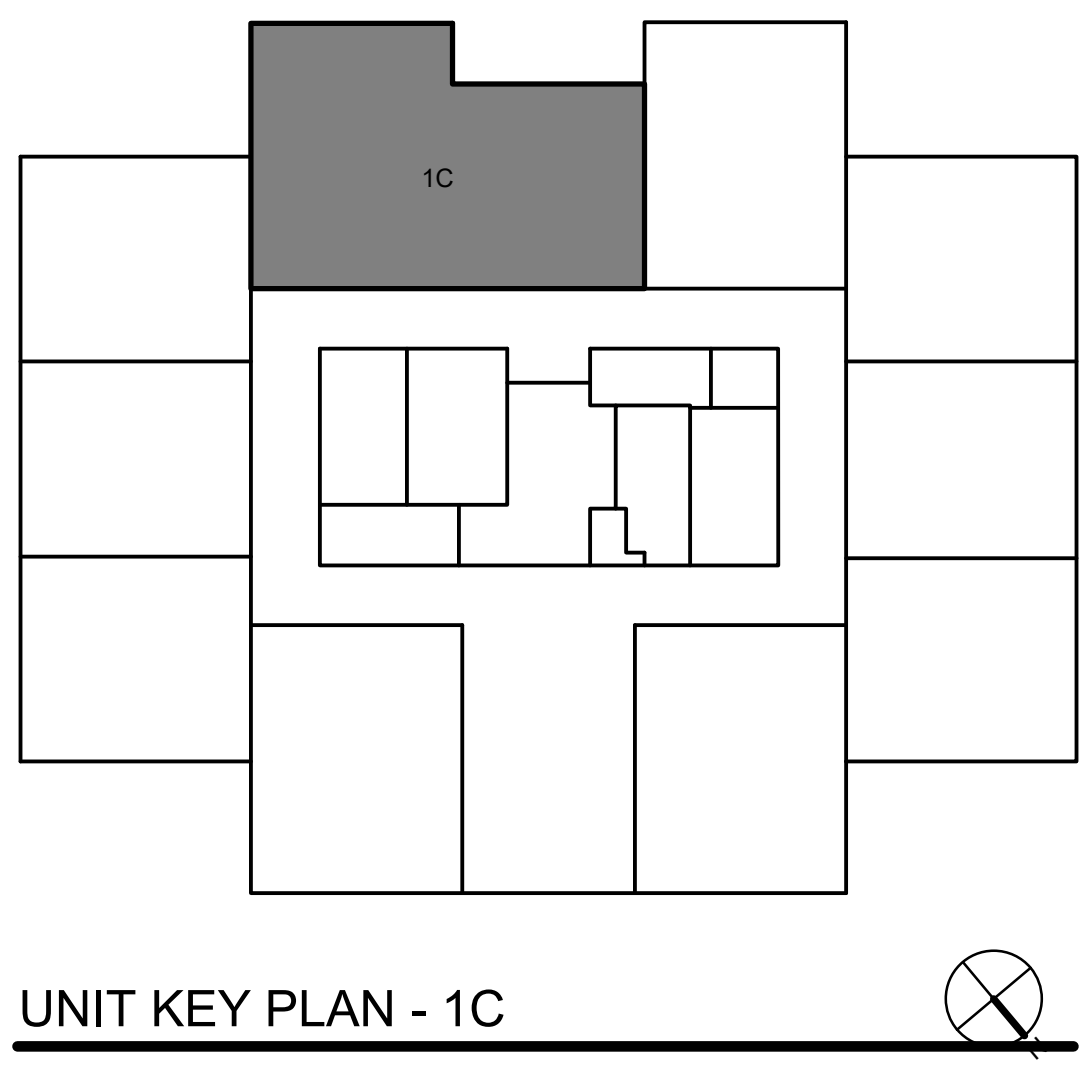
6 UNIT 1B KITCHEN ELEV. 3
 SCALE: 3/8" = 1'-0"

GENERAL NOTES - ENLARGED ACCESSIBLE UNIT PLANS

- REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.
 - REFER TO SHEET G0.03 FOR ACCESSIBLE DETAILS TO FOLLOW.
 - THE FOLLOWING SCOPE OF WORK IS FOR ALL ACCESSIBLE UNITS UNLESS OTHERWISE NOTED. REFER TO PLANS FOR ADDITIONAL SCOPE.
- GENERAL UNIT:**
- REPAIR DRYWALL & WATER DAMAGE THROUGHOUT UNITS. INSULATE WHERE POSSIBLE.
 - PAINT ALL WALLS (EGGSHELL FINISH), CEILING & SOFFITS (FLAT FINISH), AND DOORS & TRIM (SATIN FINISH) WITH ONE COAT PRIMER AND 2 COATS PAINT.
 - PROVIDE ADJACENT WALL IN LIVING. REFER TO FINISH SCHEDULE & ENLARGED UNIT PLANS.
 - ALL DRYWALL WALLS AND CEILING ARE TO RECEIVE LEVEL 4 FINISH PER STM C840 STANDARDS. USE TUFF-IDE AT ALL JOINTS.
 - PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT CORRIDOR ON DOOR LEVER SIDE.
 - PROVIDE NEW GLUE-DOWN VINYL PLANK FLOORING THROUGHOUT UNIT - EXCEPT BATHROOM; PREP FLOOR PER MANUFACTURER'S INSTALL REQUIREMENTS.
 - REMOVE ALL EXISTING FLOORING (CARPET, TILE, VCT, ETC.) THROUGHOUT UNIT DOWN TO CONCRETE/SUBFLOORING.
 - REMOVE NEW WOOD BASE THROUGHOUT - EXCEPT BATHROOMS. REFER TO FINISH SCHEDULE WBA-2.
 - REPLACE ALL EXIST LIGHT FIXTURES, OUTLETS, SWITCHES AND COVER PLATES. NEW SWITCHES, GFCI OUTLETS & COVER PLATES, ETC. TO BE LEGRAND RADIANT IN WHITE. LIGHT FIXTURES TO BE LED.
 - ALL TO BE INSTALLED AT ACCESSIBLE HEIGHTS.
 - PROVIDE NEW HARDWIRED COMBO CO/SMOKE DETECTORS IN ALL UNITS. CONCEAL WIRING IN WIRE MOLD AND PAINT TO MATCH CEILING. HVI AND MOBILITY UNITS TO RECEIVE STROBES.
 - INSTALL CARBON MONOXIDE DETECTORS IN ALL UNITS.
 - EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS. NEW BLINDS SHALL BE VINYL. INSTALL DOUBLE CURTAIN RODS.
 - INSTALL VENTED CLOSET SHELVING IN ALL CLOSETS (WHITE). TENSION ROD & CURTAINS TO BE INSTALLED ON ALL CLOSET AND PANTRY DOORS (CURTAINS PROVIDED BY OWNER).
 - TOP OF CLOTHES ROD AT 48" A.F.F.
 - BOTTOM OF LOWEST 5-SHELF UNIT 15" A.F.F.
 - EXIST. HANGERS, NAILS, ETC. IN WALLS AND CEILING TO BE REMOVED AND PATCHED.
 - PROVIDE SHUT OFF VALVES AT ALL PLUMBING FIXTURES.
 - INSTALL SANITARY CLEANOUT.
 - REPLACE ALL SEWER AND WATER LINES. PROVIDE WATER MAIN SHUT OFF VALVES FOR EACH RISER AND/OR BRANCH.
 - COVER CMU WALLS WITH DRYWALL. NEW DRYWALL PAINTED EGGSHELL FINISH.
 - REPLACE APARTMENT ENTRY DOORS. NEW DOORS ARE TO BE STAINED WOOD DOORS. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS.
 - REPLACE ALL INTERIOR DOORS WITH PAINTED SOLID CORE WOOD DOORS. REPLACE DOORFRAMES WITH METAL FRAMES. EXISTING FRAMES MAY REMAIN IF IN GOOD SHAPE AND INTERIOR WALLS REMAIN. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS.
 - INSTALL CARD ACCESS LOCKS ON ALL APARTMENT ENTRIES.
 - UPGRADE EXISTING ELECTRICAL SYSTEM. PROVIDE NEW MAIN INCOMING SERVICES AND FEEDS, IF NEEDED. WIRE MOLD WILL BE PROVIDED BY OWNER.
 - REPLACE WINDOW HEAT PUMPS.
 - EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS WITH NEW VINYL. BLINDS W/ 1" THROUGHOUT ALL UNITS. INSTALL DOUBLE CURTAIN RODS (PROVID BY OWNER).
 - ALL MECHANICAL, GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CELING/DOOR FINISH.
 - COORDINATE FINAL CABINERY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.
- KITCHEN:**
- REPLACE SINK, FAUCET, AND APPLIANCES. NEW FRONT-CONTROL RANGES TO BE ELECTRICAL.
 - G.C. TO PROVIDE NEW APPLIANCES. CMHA MAINTENANCE TO DETERMINE A NUMBER OF OLD APPLIANCES TO SALVAGE. G.C. TO REMOVE/DISPOSE OF REMAINING APPLIANCES. CMHA TAGS TO BE RETURNED.
 - PROVIDE NEW SOLID SURFACE COUNTERTOP WITH SURFACE MOUNT SINKS AND ROLLED EDGES. INSTALL 4" HIGH ROLLED BACKSPLASH & SIDESPLASH. SEALANT TOP OF BACKSPLASH TO MATCH COUNTERTOP.
 - PROVIDE NEW 30" WIDE VENTLESS RANGE HOOD IN STAINLESS STEEL FINISH. INSTALL 2 FIRESTOP CANISTERS UNDER HOOD.
 - PROVIDE ACCESSIBLE RANGE HOOD SWITCH ON FACE OF WORKSTATION IN ALL ACCESSIBLE UNITS.
 - PROVIDE NEW ENERGY STAR REFRIGERATOR IN STAINLESS STEEL FINISH.
 - PROVIDE NEW 30" WIDE ELECTRIC RANGE WITH ANTI-TIP BRACKETS W/ BLACK WHITE FINISH.
 - REMOVE EXIST. GREASE SHIELD AT RANGES AND PROVIDE NEW STAINLESS STEEL GREASE SHIELDS ON BOTH SIDES OF RANGES (BACK & SIDE WALL).
 - PROVIDE NEW CABINETS WITH ANSIKCMA A161.1 CERTIFIED CABINETS.
 - PROVIDE LOOP HANDLES.
 - PROVIDE 33" WORKSTATION NEXT TO RANGE AT ALL ACCESSIBLE UNITS.
 - PROVIDE ANTI-SCALD FAUCET.
 - PROVIDE BLOCKINGS AT KITCHEN CABINETS AS INDICATED BY MANUFACTURER.
- BATHROOM:**
- REPLACE FLOORING WITH NEW CERAMIC TILE FLOOR & COORDINATING TILE WALL BASE.
 - SEAL CAULK PERIMETER OF FLOORING ALONG ENTIRE PERIMETER PRIOR TO INSTALLING BASE.
 - PROVIDE FLOOR DRAIN IN CENTER OF BATHROOM.
 - PROVIDE NEW COMFORT HEIGHT ADA COMPLIANT 1.28 LOW-FLOW TOILETS. INSTALL TO INCLUDE NEW WAX RING, CAULK PERIMETER OF TOILET AT FLOOR.
 - TUB SHOWER
 - PROVIDE NEW ROLL-IN SHOWER, INCLUDING SHOWER PAN. REFER TO ENLARGED UNIT PLANS.
 - PROVIDE NEW 2.2 GPM WATER-SENSE LABEL SHOWERHEAD & HANDSHOWER.
 - INSTALL NEW PRESSURE-BALANCED LEVER FAUCET, STAINLESS COVER PANEL, AND MIXING VALVE.
 - PROVIDE NEW LEVER STYLE WATER-SENSE FAUCET WITH <1.5 GPM AT SINKS. PROVIDE PRESSURE BALANCED FAUCET WITH ANTI-SCALD.
 - PROVIDE NEW BRUSHED NICKEL SWEEPERS AT ALL NOTES. BASIS OF DESIGN: PEMKO 18100_NB DOOR BOTTOM SWEEP. CLEAN AND REFINISH ALUMINUM FINISH.
 - PAINT EXIST. DOOR FRAMES (BOTH SIDES). REFER TO FINISH SCHEDULE.
 - SAND, CLEAN, STAIN, AND PROVIDE 1" COAT OF POLYURETHANE (BOTH SIDES) AT EXIST. WOOD DOORS.
 - ENTRY DOORS TO BE EQUIPPED WITH A VIEWER AND BELL BUZZER.
- BEDROOM & BATHROOM DOORS:**
- EXIST. DOORS AND HARDWARE TO BE REPLACED.
 - PRIME/PAIN EXIST. DOOR FRAMES (BOTH SIDES).
 - REPLACE DAMAGED DOORS WITH NEW PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED. REFER TO MATRIX.
- CLOSET DOORS:**
- EXIST. DOORS TO REMAIN.
 - REPLACE DAMAGED DOORS WITH PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED. REFER TO MATRIX.
 - PROVIDE NEW HARDWARE TO ALL DOORS.
 - PRIME/PAINT EXIST. DOOR FRAME (BOTH SIDES).

KEYED NOTES SPECIFIC TO THIS SHEET

- REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE
- | REV | DATE | DESCRIPTION |
|-----|------------|-----------------------------|
| | 2023.12.18 | DRAFT DESIGN DEVELOPMENT |
| | 2024.01.05 | DESIGN DEVELOPMENT |
| | 2024.01.15 | DRAFT 80% - OHFA APP. |
| | 2024.02.01 | 80% CD'S - OHFA APPLICATION |
| | 2024.03.21 | BIDDING AND PERMIT |
- REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE
- | | |
|-------|--|
| 01.04 | DASHED LINE REPRESENTS CABINET/COUNTERTOP BELOW. |
| 06.02 | PROVIDE WOOD BLOCKING FOR INSTALLATION OF GRAB BARS TO FULLY COMPLY WITH ANSI A117.1. |
| 06.03 | PROVIDE WOOD BLOCKING FOR BATHROOM FIXTURE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. |
| 06.05 | PROVIDE BLOCKING FOR SHOWER SEAT. |
| 09.03 | PROVIDE AND INSTALL CONTINUOUS 4" BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS. SEE FINISH SCHEDULE FOR SPECIFICATIONS. |
| 09.04 | PROVIDE ADA PANEL FINISHED TO MATCH ADJACENT CABINET AND TO MEET ANSI TYPE A REQUIREMENTS. WALL BASE, WALL COLOR, AND FLOORING ARE TO BE CONTINUED UNDER PANEL. INSTANCES ACCESSIBLE SINK MUST HAVE PIPES WRAPPED WITH INSULATION. |
| 09.05 | G.C. TO FINISH WALL AND BASE AT ADA PANEL. -TYP. |
| 09.06 | G.C. TO FINISH WALL AND BASE BEHIND RANGE. AND REFRIGERATOR. TYP. ALL UNITS AND COMMON AREA KITCHEN. |
| 09.08 | PROVIDE 9" CABINET TOE KICK TO MATCH CABINERY FINISH IN ANSI TYPE A UNITS ONLY. CUT TO LENGTH IF NEEDED. |
| 09.09 | PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND COUNTERTOP TO MATCH COUNTERTOP COLOR. |
| 09.10 | FINISH CABINET SIDE PANEL. |
| 09.11 | IN-WALL BRACKETS PROVIDED AND INSTALLED FOR SUPPORT OF COUNTERTOP OVERHANG PER COUNTERTOP MANUFACTURER. |
| 09.12 | WORKSTATION APRON TO MATCH CABINET. |
| 09.14 | INSTALL WALL-MOUNTED COUNTERTOP SUPPORTS AT FLOATING COUNTERTOP. |
| 09.15 | INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00. |
| 09.16 | ALIGN NEW CEILING WITH EXISTING WALL AND CEILING HEIGHT. PAINT PT-1. |
| 09.25 | INSTALL 2"X6" CERAMIC TILE AT BACKSPLASH AND SIDEWALL OF ALL UNIT KITCHENS. STACK HORIZONTALY AND ALIGN GROUT JOINTS. INCLUDE SCHLUTTER JOLLY TRANSITION, CHROME FINISH AT EXPOSED EDGE AND TOP. |
| 10.02 | INSTALL 2" VINYL BLINDS AT ALL UNIT WINDOWS. REFER TO FINISH SCHEDULE FOR SPECIFICATION WB-1. |
| 10.03 | CLOSET SHELVING AT ACCESSIBLE UNITS TO BE 48" MAX. A.F.F. |
| 10.04 | PROVIDE ADJUSTABLE TENSION ROD AT ALL CLOSETS. WEIGHTED CURTAIN TO BE PROVIDED BY OWNER. |
| 10.05 | PROVIDE DOUBLE DRAPERY ROD AT ALL UNIT WINDOWS. REFER TO ACCESSORY SCHEDULE. CURTAIN PROVIDED BY TENANT. |
| 21.01 | PROVIDE AND INSTALL (2) FIRE CANISTERS AT EACH RANGEHOOD. |
| 22.01 | PROVIDE FLOOR DRAIN IN ALL UNITS. MIN. SLOPE 1/4" PER FOOT. SEE PLUMBING DRAWINGS. |
| 23.02 | LOCATION OF EXISTING KITCHEN VENTILATION PROVIDE NEW DUCTWORK AND CONNECT TO NEW KITCHEN RANGE HOOD. REFER TO MECHANICAL DRAWINGS. |
| 23.03 | LOCATION OF EXISTING BATHROOM VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW BATHROOM EXHAUST FAN. REFER TO MECHANICAL DRAWINGS. |
| 26.01 | PROVIDE SWITCHED OUTLET IN BEDROOMS AND LIVING ROOM WHERE NO OVERHEAD LIGHT IS LOCATED. TYPICAL ALL UNITS. |
| 26.04 | CENTER FIXTURE ON VANITY. |
| 26.05 | ACCESSIBLE HOOD SWITCH TO BE INCLUDED AT FACE OF WORKSTATION IN ALL ACCESSIBLE UNITS. |
| 26.06 | ACCESSIBLE SWITCH TO UNDERCABINET LIGHT TO BE INSTALLED AT FACE OF ADA PANEL AT ALL ACCESSIBLE UNITS. |
| 26.08 | CENTER FIXTURE ON KITCHEN SINK. |
| 26.09 | CENTER FIXTURE ON SHOWER. |
| 26.10 | CENTER FIXTURE ON DOOR/CLOSETING. |
| 26.11 | CENTER FIXTURE ON WATER CLOSET. |
| 26.12 | PROVIDE NEW LIGHT SWITCH OUTSIDE OF WALK-IN CLOSET IN ACCESSIBLE UNIT. INSTALL AT ACCESSIBLE HEIGHT. |
| D3 | REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY. |



KEYED NOTES SPECIFIC TO THIS SHEET

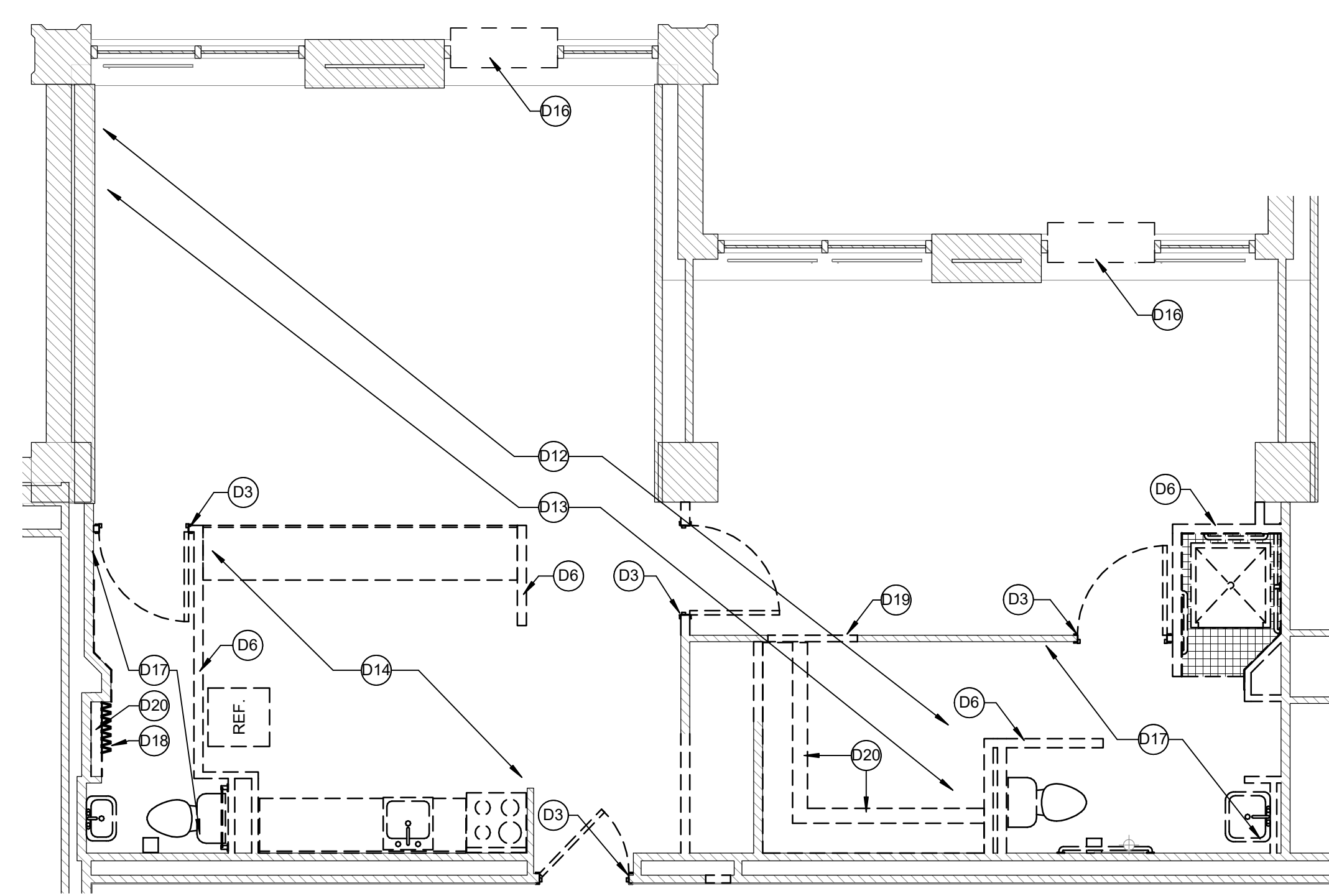
- REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE
- REMOVE EXISTING WALL IN ITS ENTIRETY UP TO STRUCTURAL DECK.
 - REMOVE ALL EXISTING FLOORING AND VINYL BASE IN ENTIRE DWELLING UNIT. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING.
 - REMOVE ALL EXISTING LIGHT FIXTURES IN ENTIRE DWELLING UNIT.
 - REMOVE IN-WINDOW HEAT PUMP UNIT. EXISTING ASSOCIATED DUCTWORK TO REMAIN AND BE CLEANED.
 - REMOVE ALL EXISTING TILE FLOORING, BASE, PLUMBING FIXTURES, GRAB BARS, AND MIRRORS FROM BATHROOM.
 - REMOVE EXISTING ACCORDIAN DOOR AND ASSOCIATED TRACK, FRAME AND HARDWARE.
 - REMOVE PORTION OF EXISTING WALL TO ACCOMMODATE NEW DOOR. REFER TO DOOR SCHEDULE FOR NEW DOOR SIZE.
 - REMOVE ALL EXISTING CLOSET SHELVING.

CEILING LEGEND

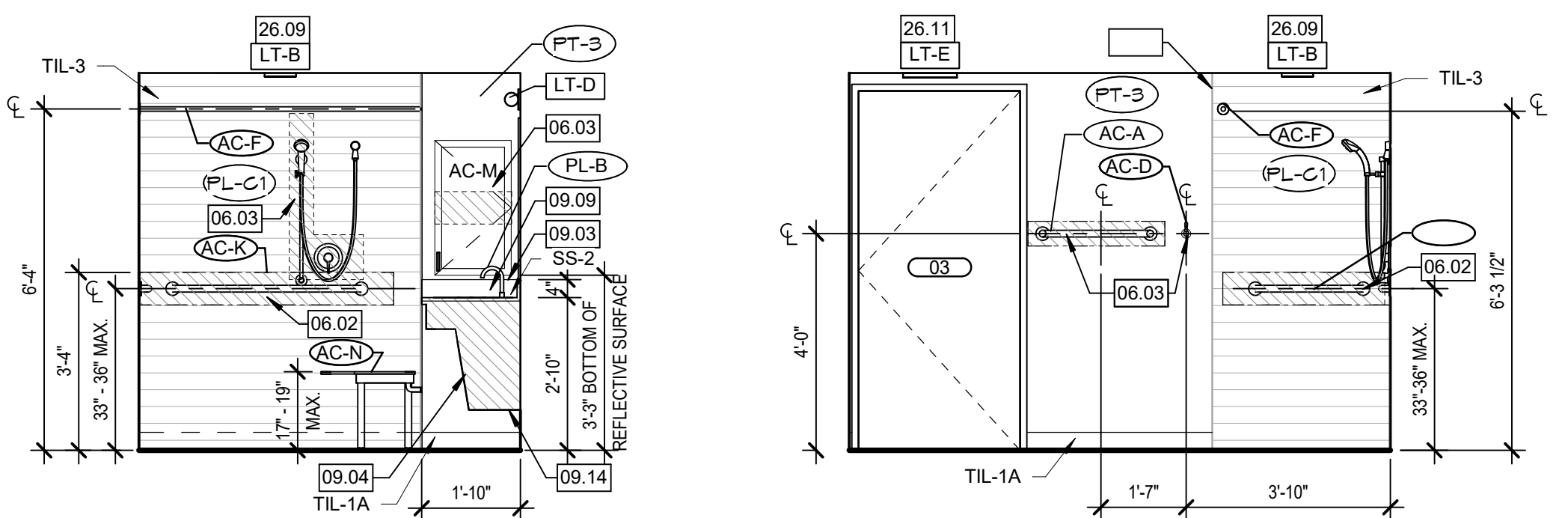
	EXISTING CEILING TO REMAIN; PAINT PT-1
	NEW GYP. BD. CEILING TO BE ALIGN WITH EXISTING CEILING HEIGHT; PAINT PT-1
	EXISTING GYP. BD. CEILING TO REMAIN; PT-1

UNIT CEILING FIXTURE LEGEND

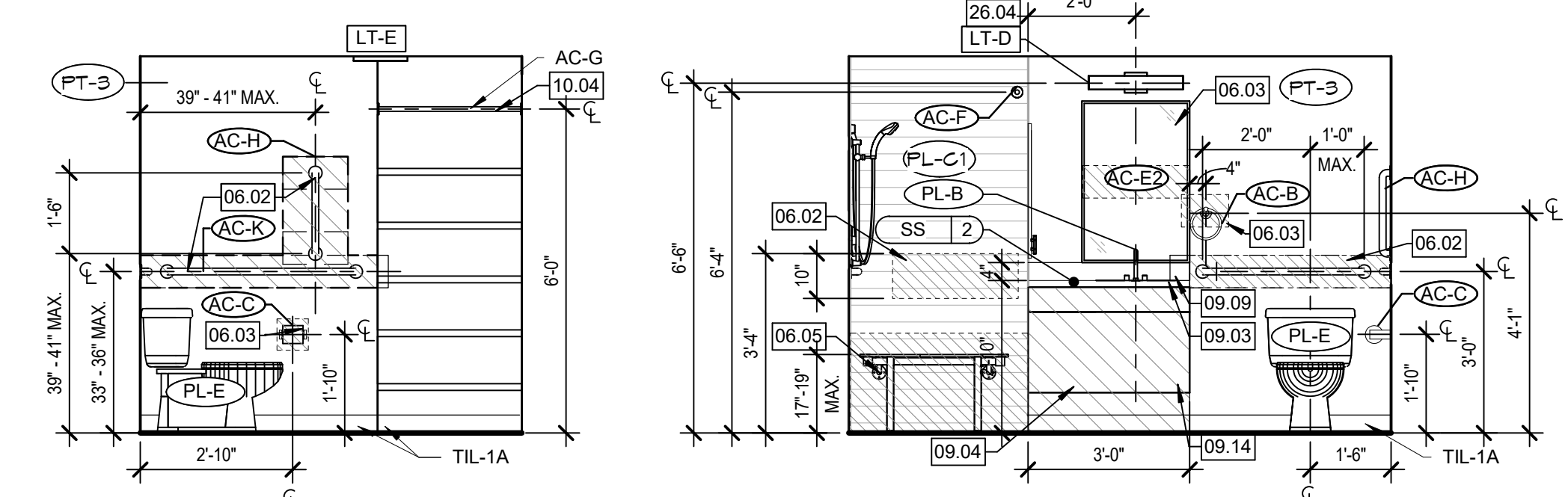
	LT-A 11" SURFACE MOUNT PUCK LIGHT
	LT-B 7" SURFACE MOUNT PUCK LIGHT - WET RATED
	LT-C ISLAND PENDANT
	LT-D 24" W VANITY WALL SCONCE
	LT-E BATHROOM EXHAUST FAN
	LT-F TAPE LIGHT - OVER SINK



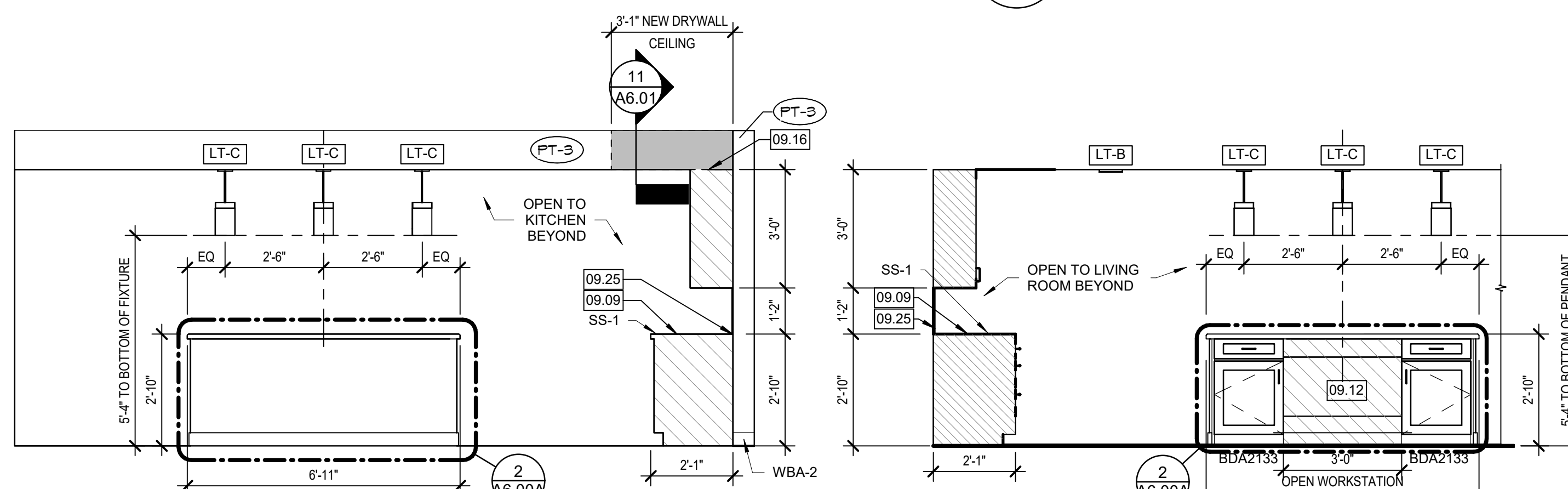
2 UNIT 1 C - DEMO (CD)
SCALE: 1/4" = 1'-0"



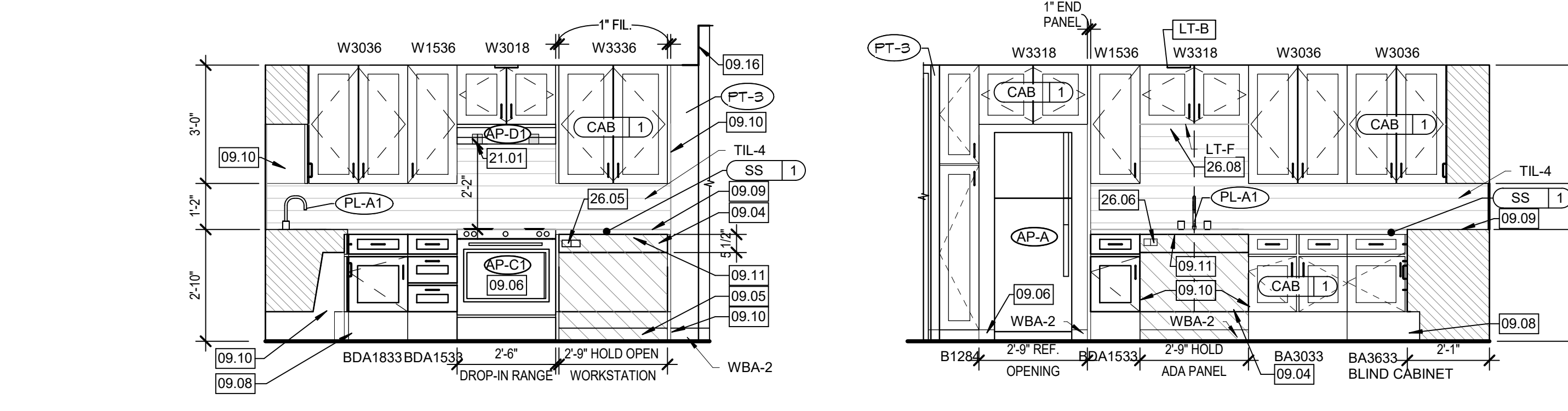
9 UNIT 1C BATH. ELEV. 3 SCALE: 3/8" = 1'-0"
10 UNIT 1C BATH. ELEV. 4 SCALE: 3/8" = 1'-0"



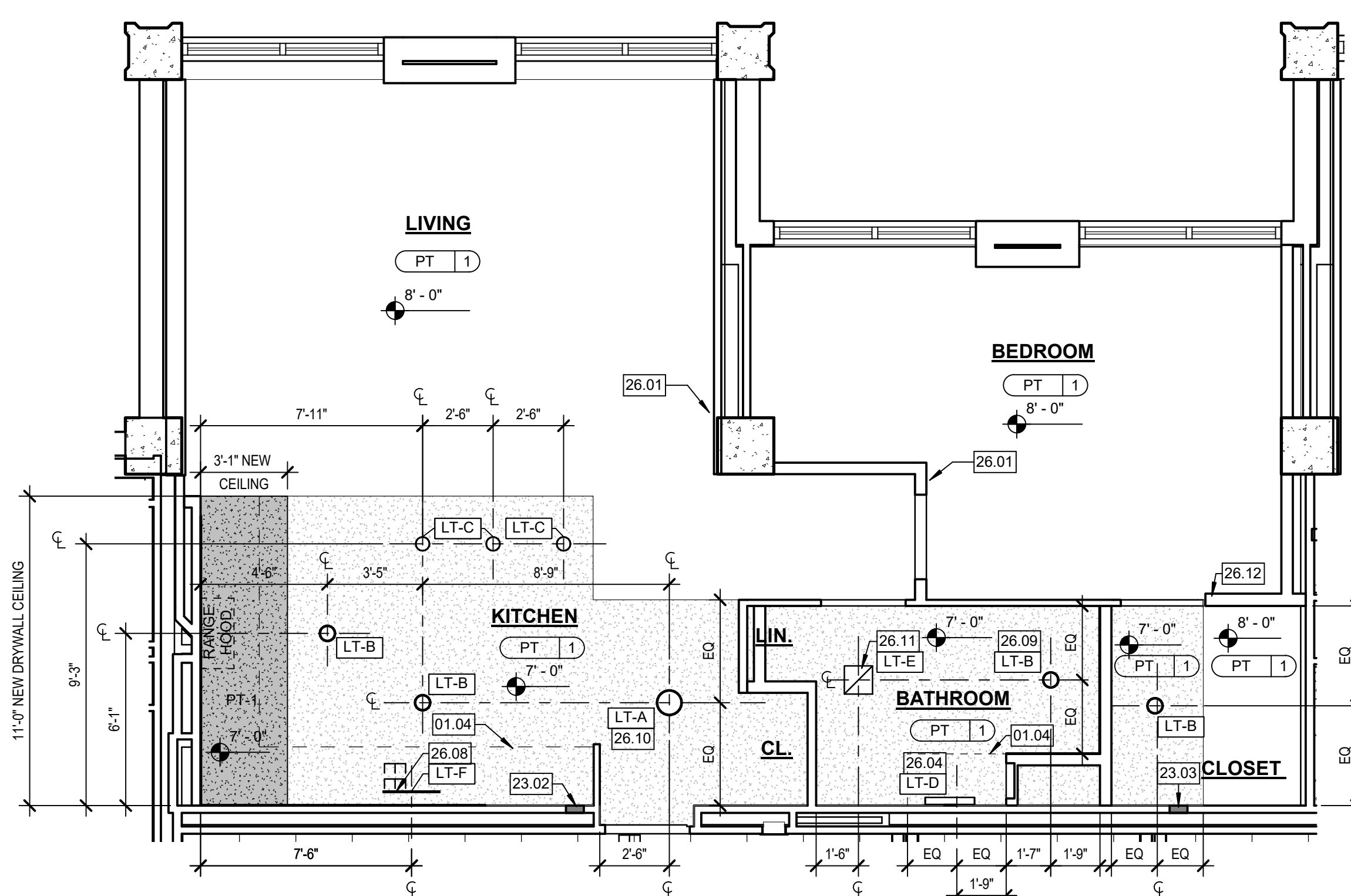
7 UNIT 1C BATH. ELEV. 1 SCALE: 3/8" = 1'-0"
8 UNIT 1C BATH. ELEV. 2 SCALE: 3/8" = 1'-0"



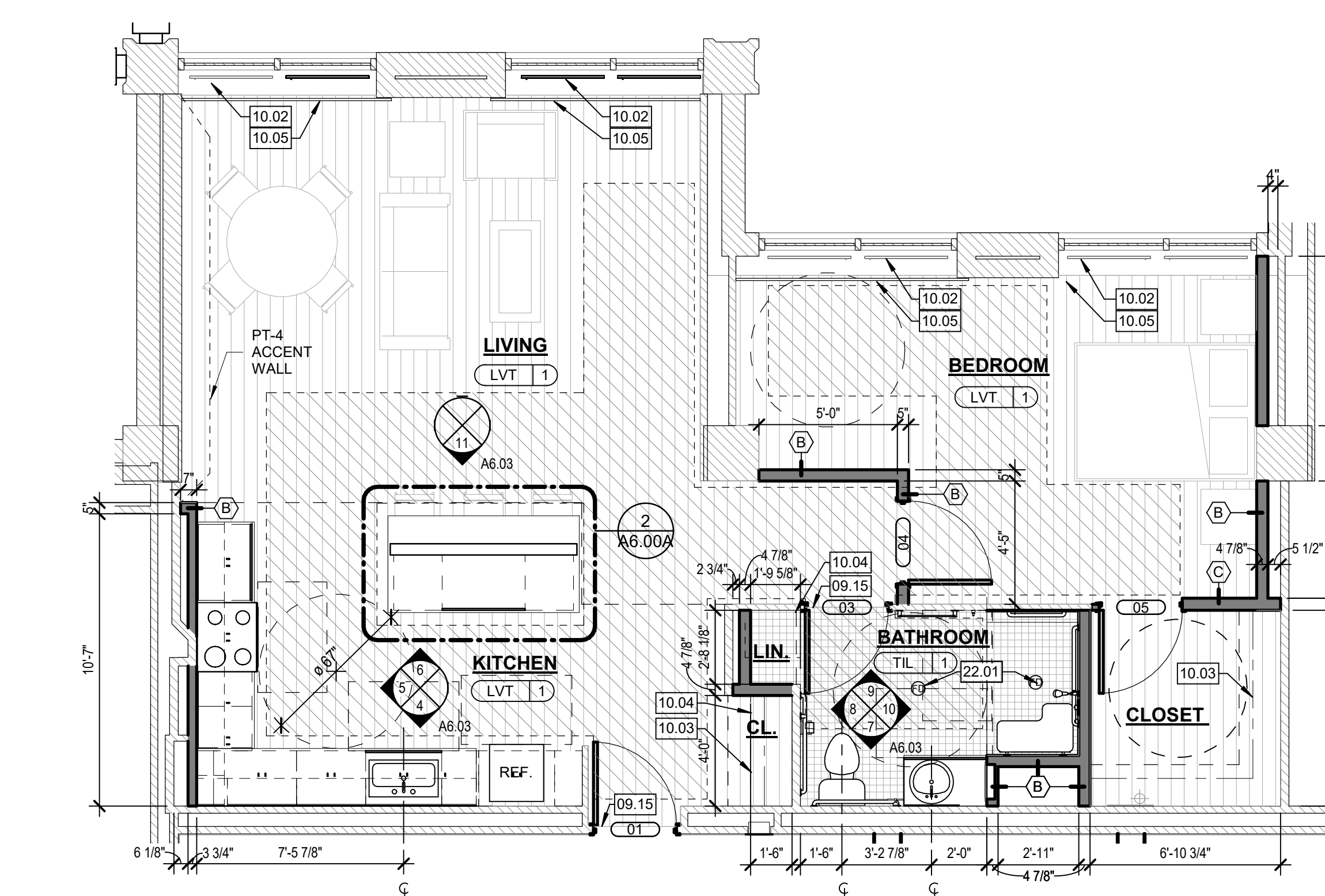
6 UNIT 1C KITCHEN ELEV. 3 SCALE: 3/8" = 1'-0"
11 UNIT 1C KITCHEN ELEV. 4 SCALE: 3/8" = 1'-0"



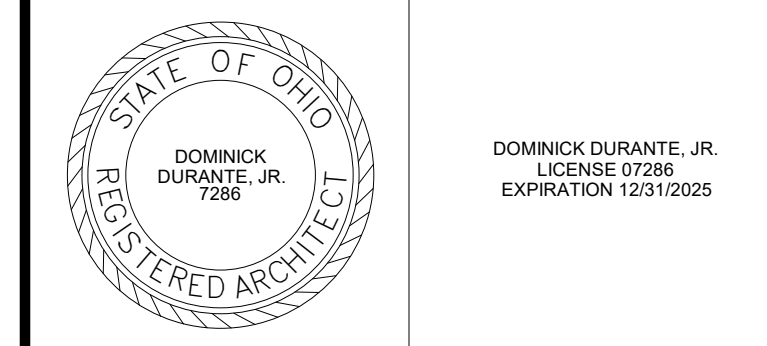
4 UNIT 1C KITCHEN ELEV. 1 SCALE: 3/8" = 1'-0"
5 UNIT 1C KITCHEN ELEV. 2 SCALE: 3/8" = 1'-0"



3 UNIT 1 C - RCP
SCALE: 1/4" = 1'-0"



1 UNIT 1 C - PROPOSED (CD)
SCALE: 1/4" = 1'-0"



Copyright © 2022 LDA architects Inc.
This drawing and related material thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA ARCHITECTS, INC. First use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and copyright rights, including the copyright therein, and shall not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

ENLARGED UNIT PLAN - 1C

A6.03

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

FLOOR PLAN LEGEND

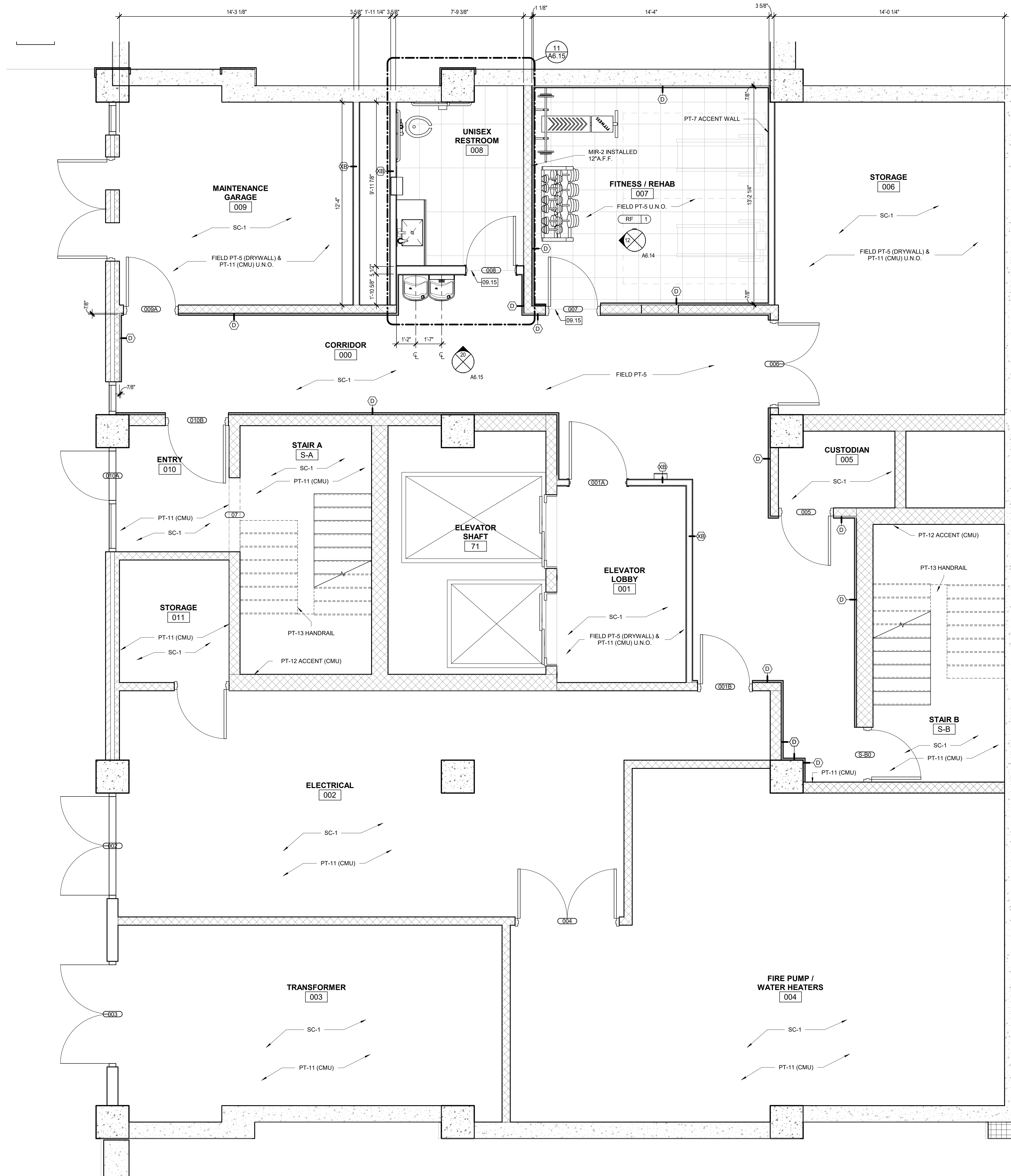
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

GENERAL NOTES: COMMON AREA

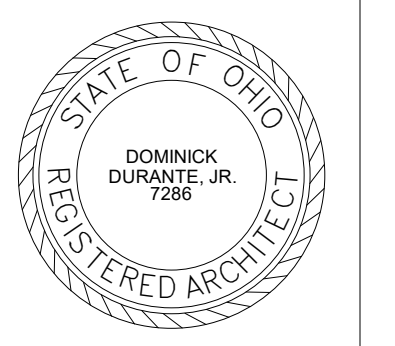
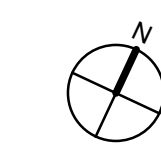
1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.
- 1A. REFER TO A1.00 SERIES FOR SCOPE OF WORK PER FLOOR.
2. SEE A7.00 SERIES FOR INTERIOR SCHEDULES AND A8.00 SERIES FOR INTERIOR DETAILS.
3. ALL FURNITURE & BUILT-IN SEATING IS FOR REFERENCE ONLY. TO BE PROVIDED BY OWNER.
4. PROVIDE TRANSITION STRIP WHERE FLOOR OR WALL FINISH MATERIAL CHANGES. REFER TO TRANSITION DETAILS A.X.X.
5. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.
6. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING FINISH.
7. REFER TO FLOOR PLANS, FINISH PLANS, & INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE.

KEYED NOTES SPECIFIC TO THIS SHEET

- REFERENCED BY THE SYMBOL
- TYPICAL UNLESS NOTED OTHERWISE
- 09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B.



1 OVERALL BASEMENT LEVEL FINISH PLAN
A6.10 SCALE: 3/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 97396
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

BASEMENT FINISH PLAN

A6.10

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

FLOOR PLAN LEGEND

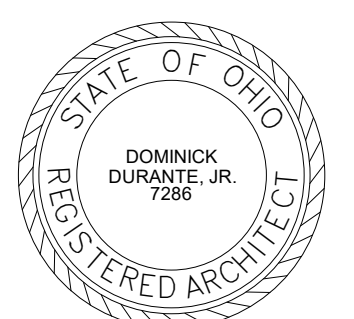
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

GENERAL NOTES: COMMON AREA

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.
- 1A. REFER TO A1.00 SERIES FOR SCOPE OF WORK PER FLOOR.
2. SEE A7.00 SERIES FOR INTERIOR SCHEDULES AND A6.00 SERIES FOR INTERIOR DETAILS.
3. ALL FURNITURE & BUILT-IN SEATING IS FOR REFERENCE ONLY. TO BE PROVIDED BY OWNER.
4. PROVIDE TRANSITION STRIP WHERE FLOOR OR WALL FINISH MATERIAL CHANGES. REFER TO TRANSITION DETAILS AXXX.
5. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.
6. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING FINISH.
7. REFER TO FLOOR PLANS, FINISH PLANS, & INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE.

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL

- TYPICAL UNLESS NOTED OTHERWISE
- 08.01 AUTOMATIC DOOR OPERATOR PUSH PLATE. REFER TO SPECIFICATIONS.
 - 08.02 POLE MOUNTED AUTOMATIC DOOR OPERATOR PUSH PLATE. REFER TO SPECIFICATIONS.
 - 09.11 IN-WALL BRACKETS PROVIDED AND INSTALLED FOR SUPPORT OF COUNTERTOP OVERHANGS PER COUNTERTOP MANUFACTURER.
 - 09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B.
 - 26.13 PROVIDE POWER & SUPPORT FOR CONFERENCE ROOM TV LOCATION. VERIFY TV SIZE WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.
 - 26.14 PROVIDE POWER & SUPPORT IN RECESSED NICHE FOR COMMUNITY ROOM TV LOCATION. VERIFY TV SIZE WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.
 - 26.15 PROVIDE FLOOR & WALL OUTLETS FOR OFFICE FURNITURE. COORDINATE LOCATIONS & QUANTITY WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.
 - 26.16 PROVIDE OUTLET FOR FUTURE VENDING. COORDINATE WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.
 - 26.17 PROVIDE FLOOR OUTLET AT CENTER OF CONFERENCE ROOM TABLE. REFER TO ELECTRICAL PLANS.



DOMINICK DURANTE, JR.
LICENSE #7296
EXPIRATION 12/31/2025

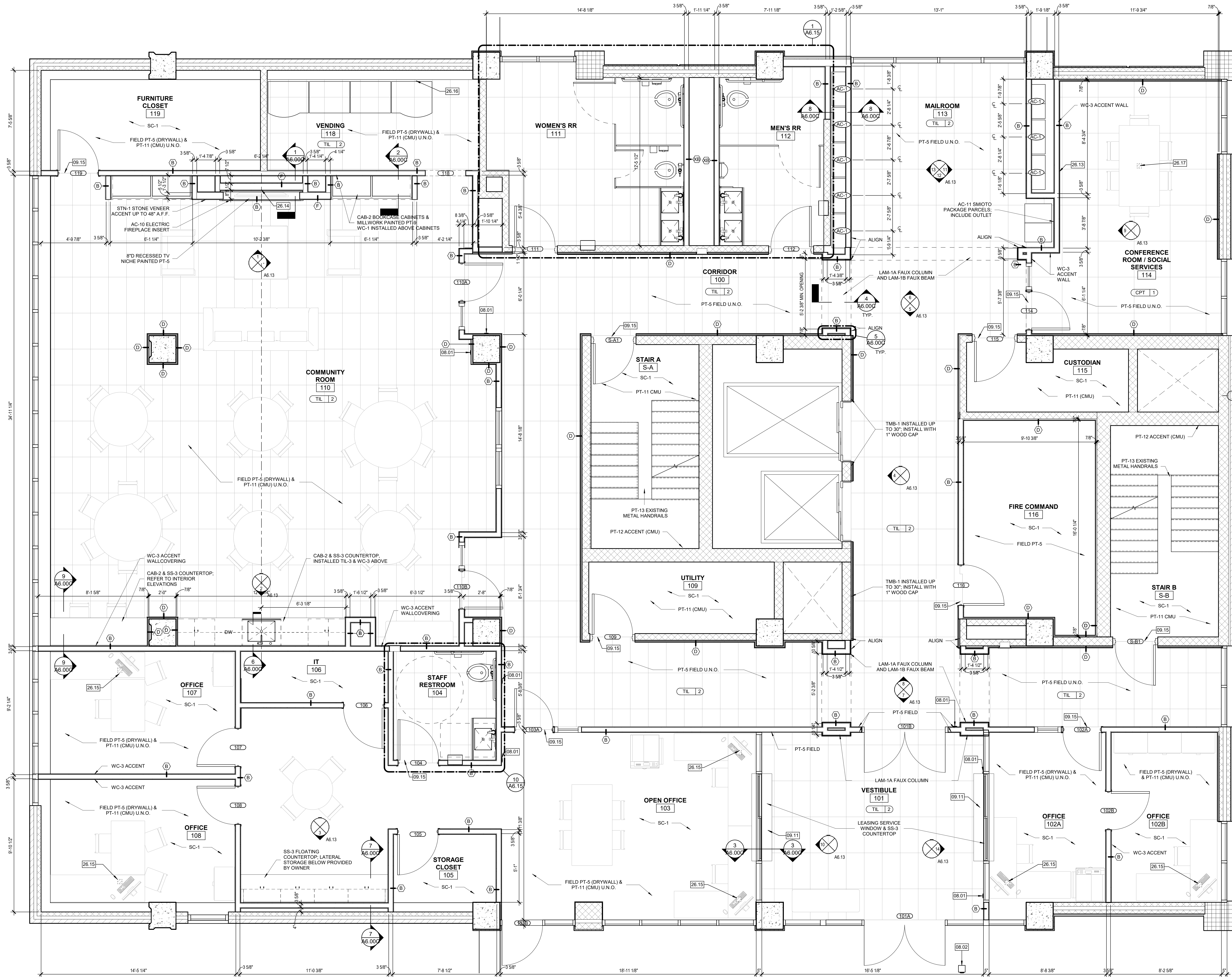
Copyright © 2022 LDA architects, Inc.
This drawing and related matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

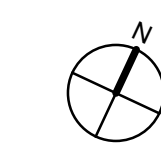
LDA Project No.23.47

GROUND FLOOR FINISH PLAN

A6.11



1 GROUND FLOOR FINISH PLAN
SCALE: 3/8" = 1'-0"



REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

FLOOR PLAN LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

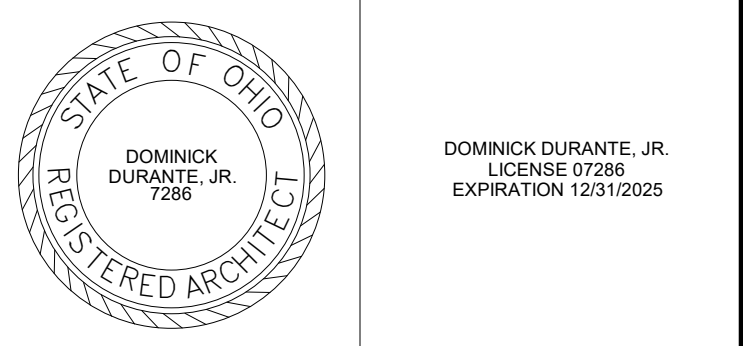
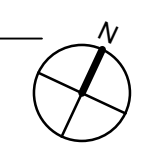
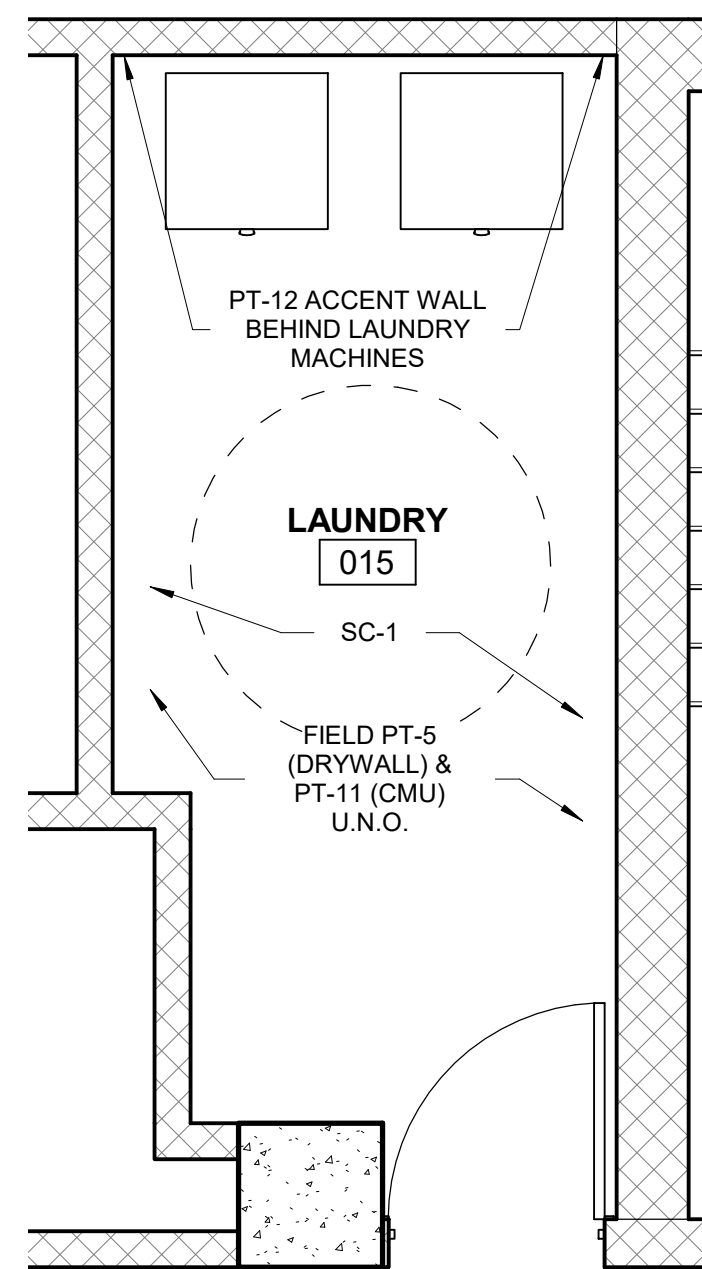
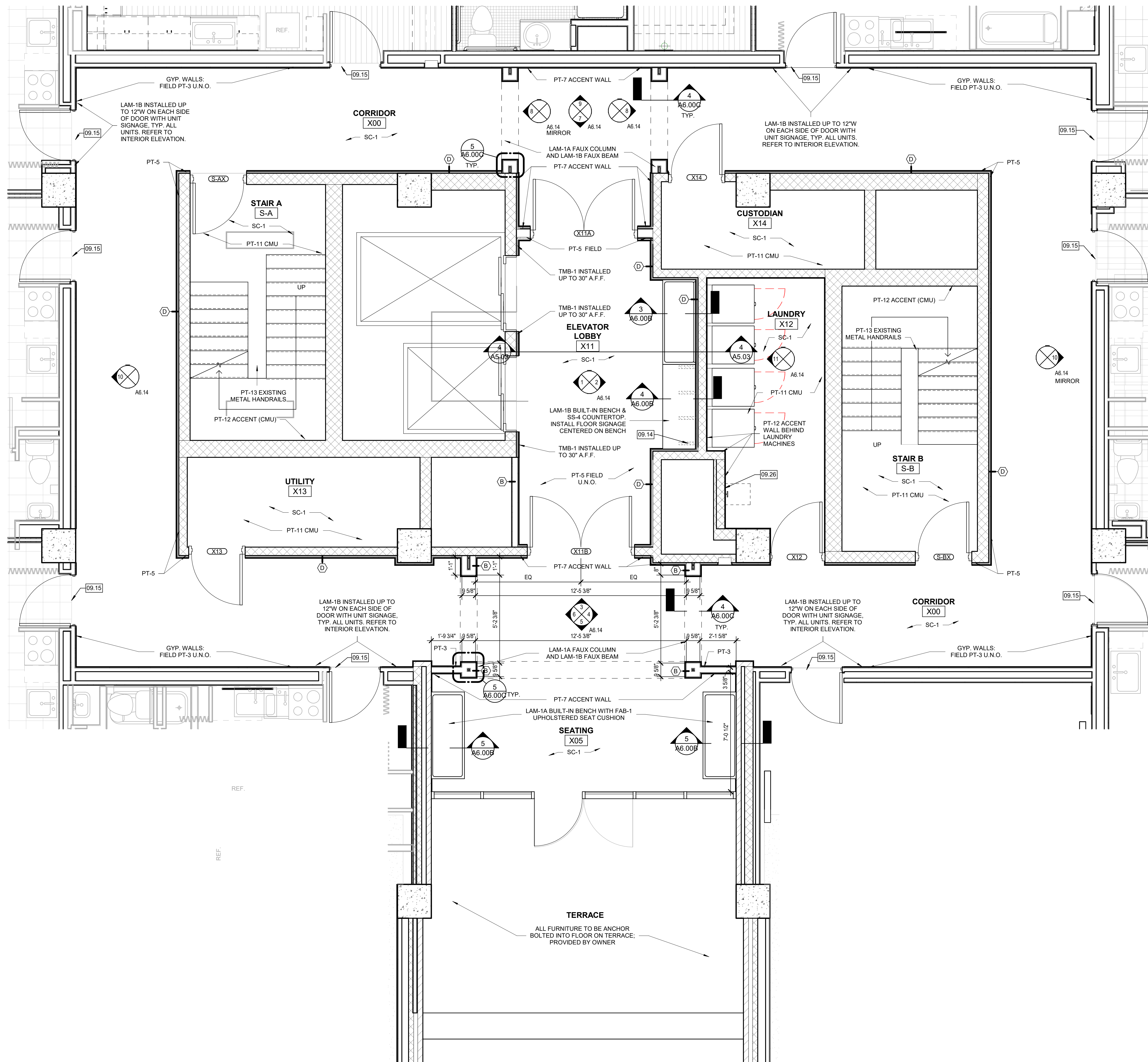
GENERAL NOTES: COMMON AREA

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.
- 1A. REFER TO A1.00 SERIES FOR SCOPE OF WORK PER FLOOR.
2. SEE A7.00 SERIES FOR INTERIOR SCHEDULES AND A6.00 SERIES FOR INTERIOR DETAILS.
3. ALL FURNITURE & BUILT-IN SEATING IS FOR REFERENCE ONLY. TO BE PROVIDED BY OWNER.
4. PROVIDE TRANSITION STRIP WHERE FLOOR OR WALL FINISH MATERIAL CHANGES. REFER TO TRANSITION DETAILS AX-XX.
5. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.
6. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING FINISH.
7. REFER TO FLOOR PLANS, FINISH PLANS, & INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- 09.14 INSTALL WALL-MOUNTED COUNTERTOP SUPPORTS AT FLOATING COUNTERTOP.
- 09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B.
- 09.26 PAINT TRASH CHUTE COVER TO MATCH ADJACENT WALL COVER.



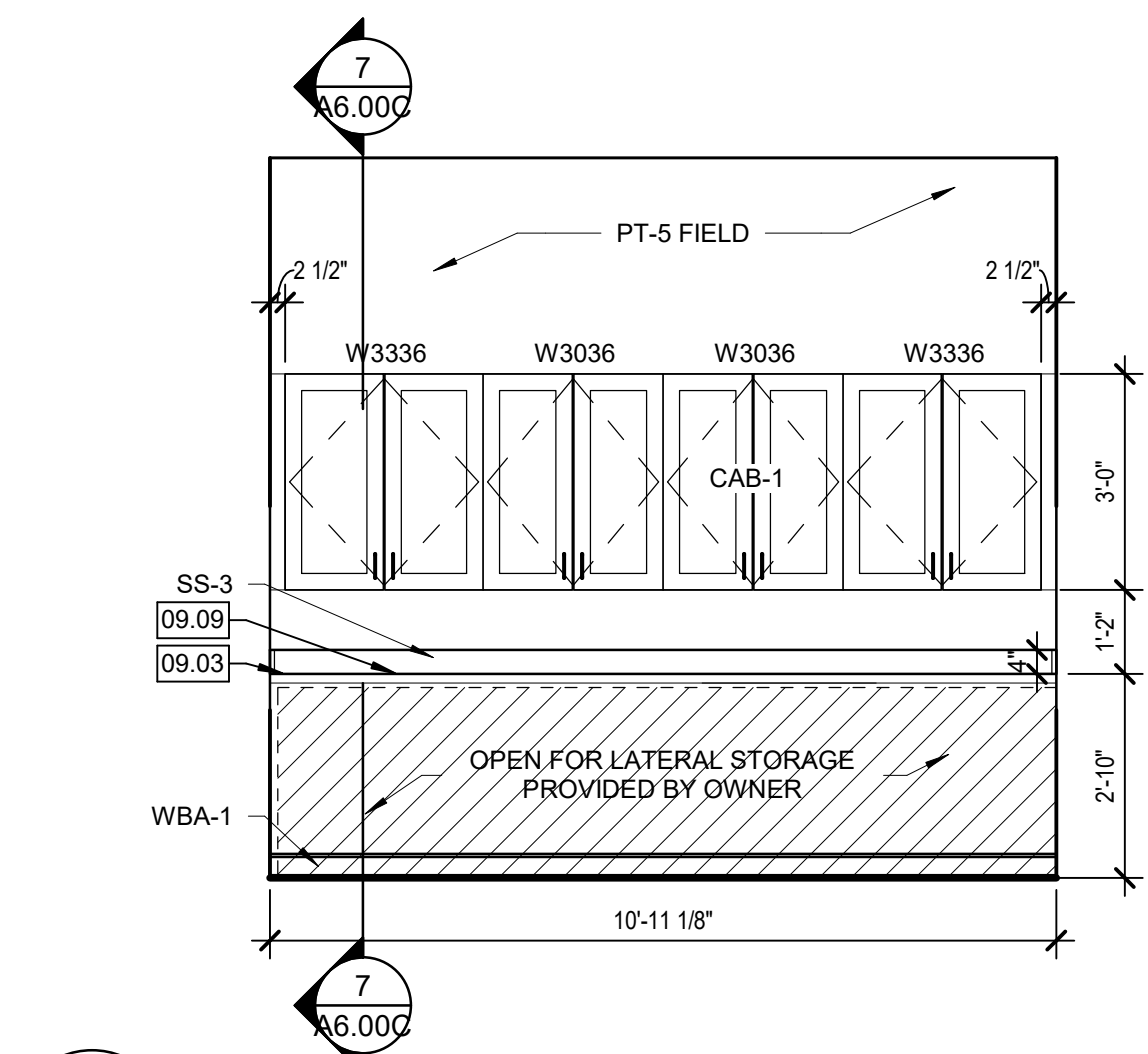
Copyright © 2022 LDA architects Inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

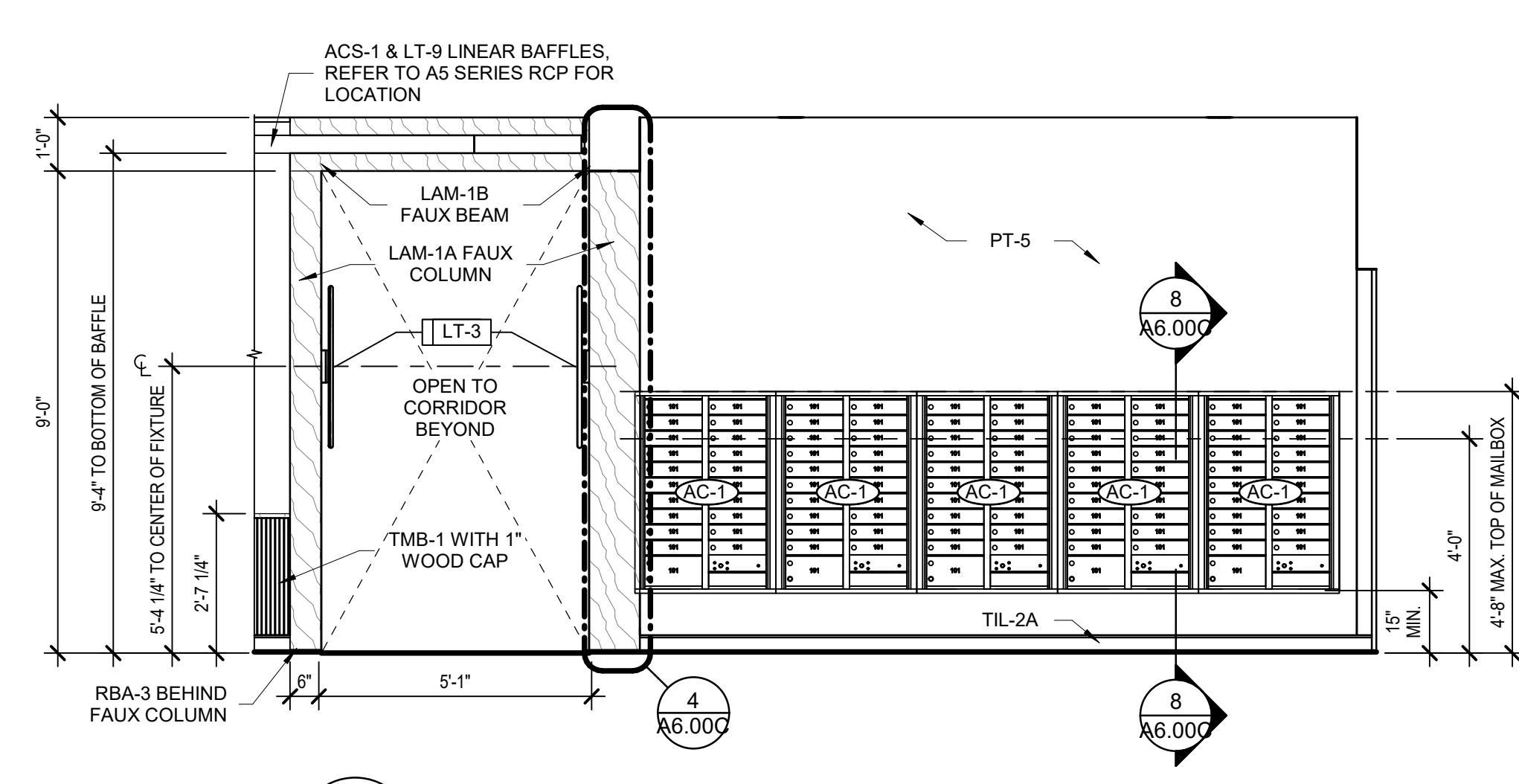
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL
TYPICAL UNLESS NOTED OTHERWISE

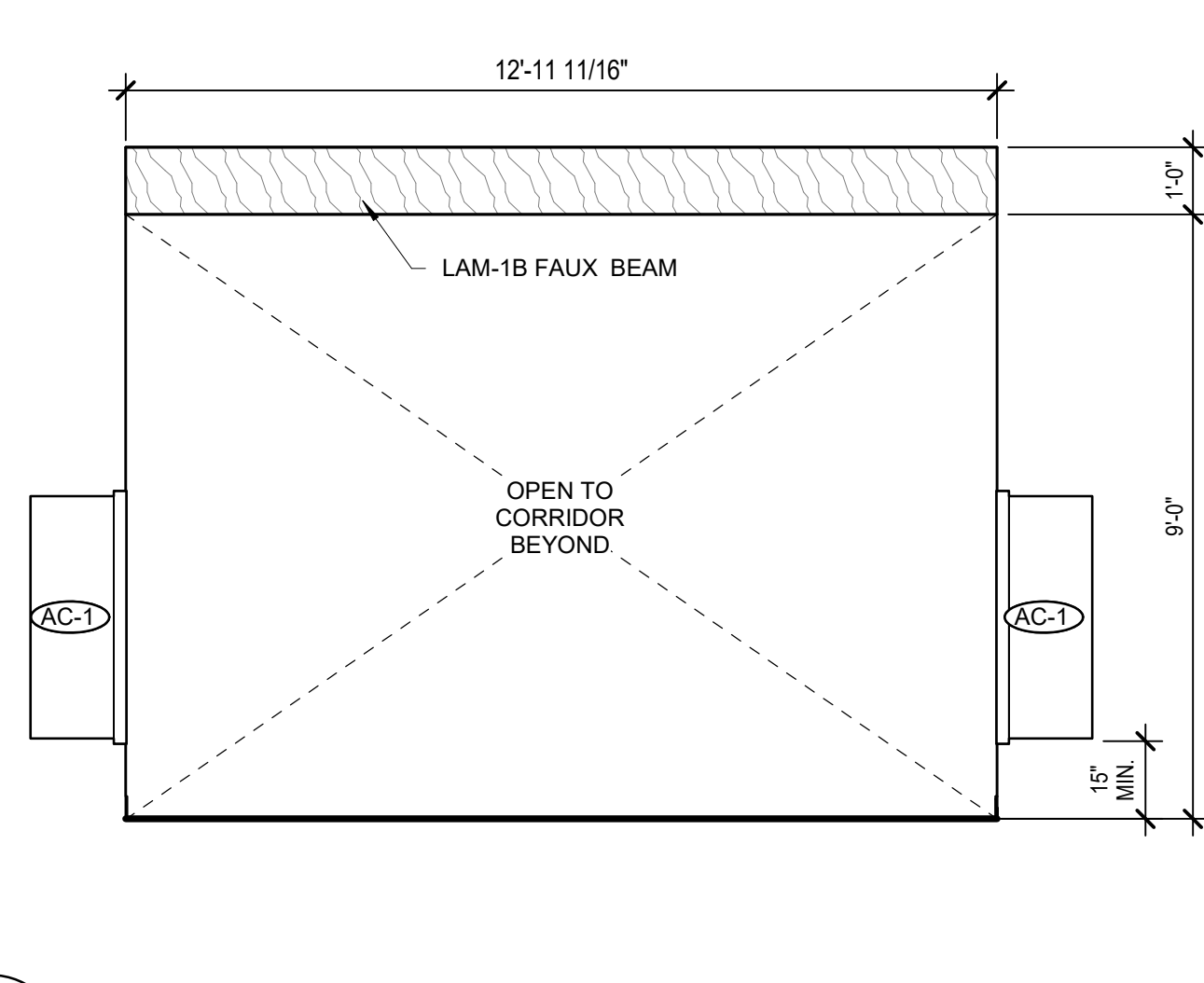
- 08.01 AUTOMATIC DOOR OPERATOR PUSH PLATE. REFER TO SPECIFICATIONS.
- 08.03 PROVIDE AND INSTALL CONTINUOUS 4" H BACKSPASH AND SIDESPLASH AT ADJACENT WALLS. SEE FINISH SCHEDULE FOR SPECIFICATIONS.
- 08.07 PROVIDE 4" CABINET TOE KICK TO MATCH CABINETS FINISH. CUT TO LENGTH IF NEEDED.
- 08.09 PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND BACKSPASH TILE. COLOR TO MATCH COUNTERTOP COLOR.
- 08.11 IN-WALL BRACKETS PROVIDED AND INSTALLED FOR SUPPORT OF COUNTERTOP OVERHANG PER COUNTERTOP MANUFACTURER. WORKSTATION APRON TO MATCH CABINET.
- 08.12 WORKSTATION APRON TO MATCH CABINET.
- 08.24 INCLUDE 2" GROMMET FOR FUTURE COMPUTER / WIRES AT WORKSTATION. PROVIDE POWER & SUPPORT FOR CONFERENCE ROOM TV LOCATION. VERIFY TV SIZE WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.
- 26.13



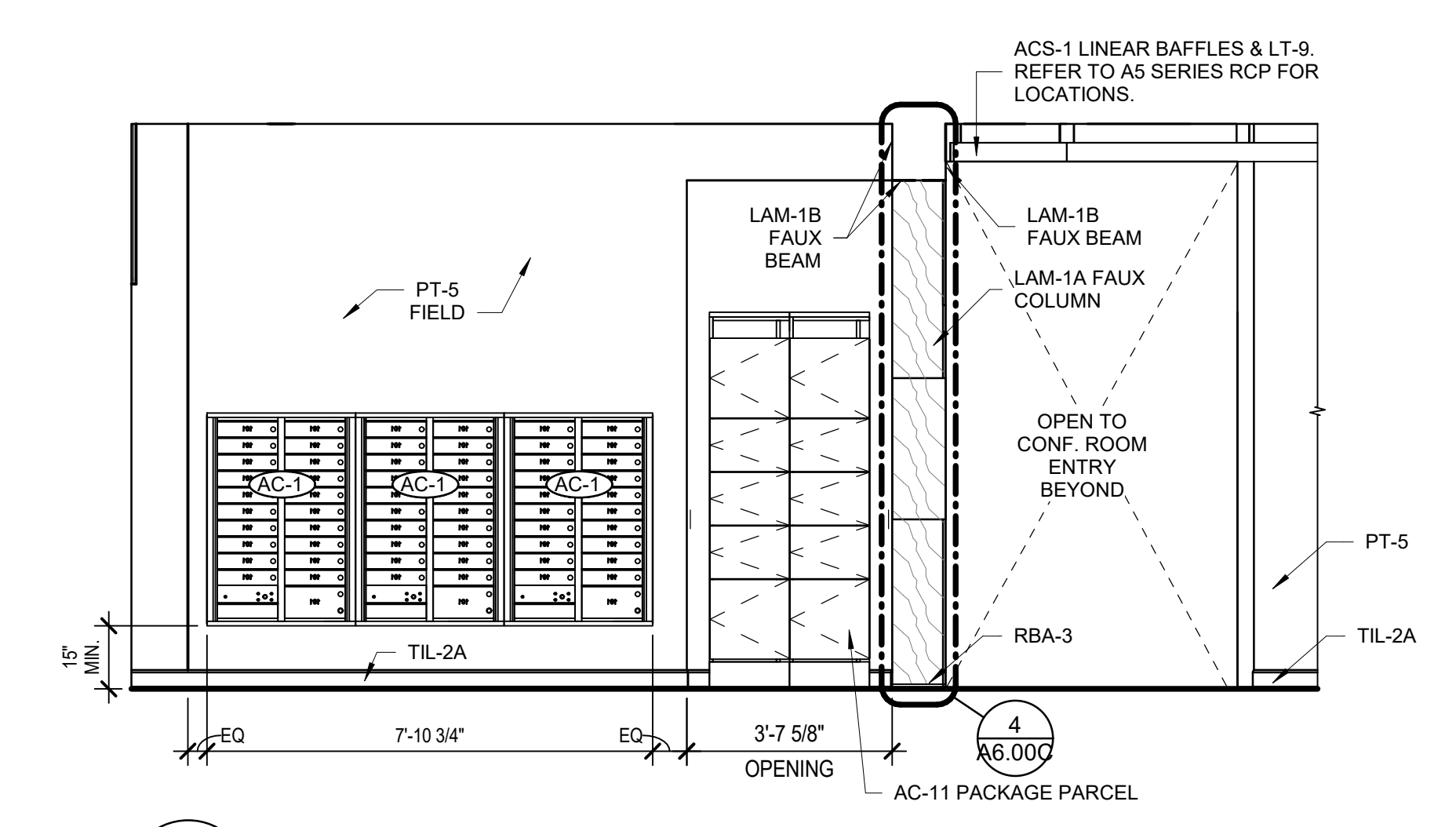
3 OPEN OFFICE - STORAGE
A6.13 SCALE: 3/8" = 1'-0"



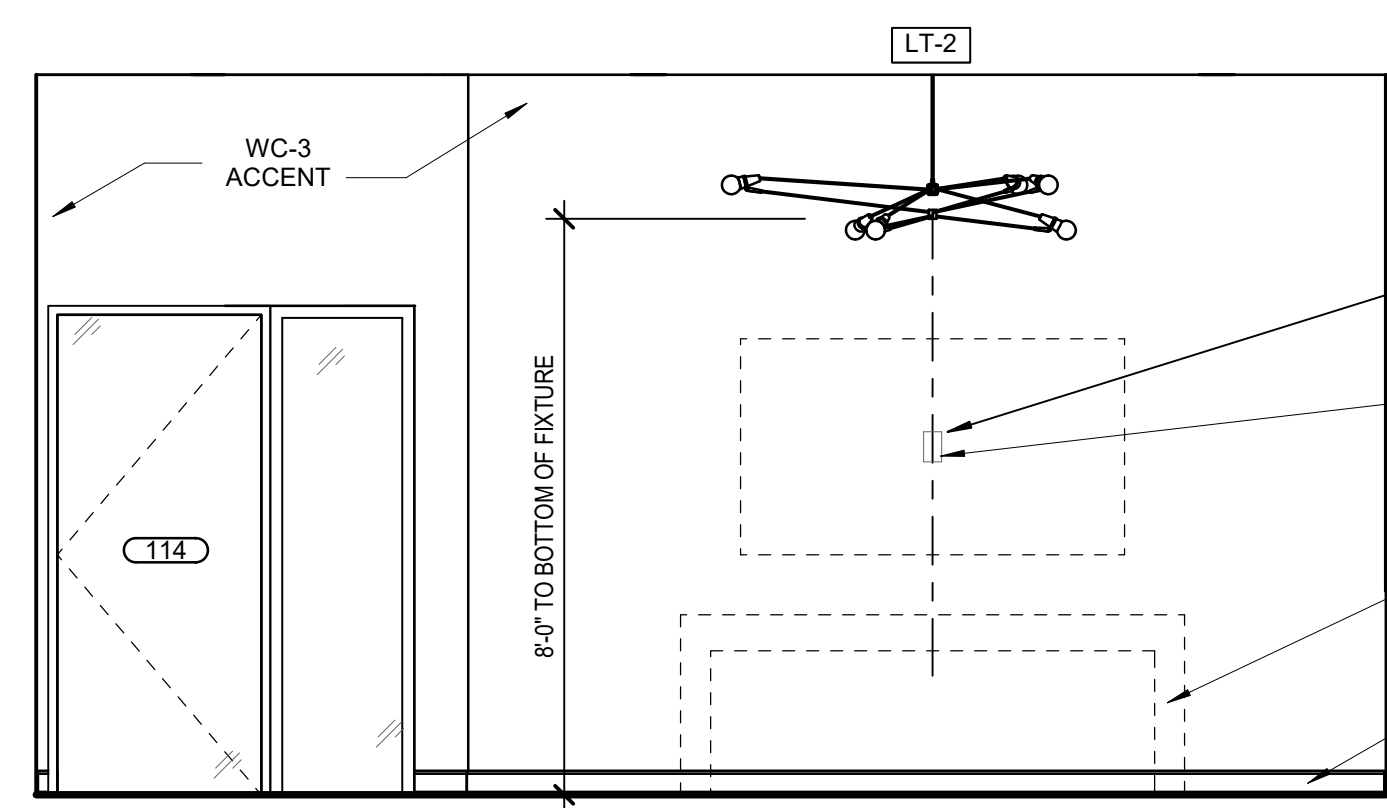
13 MAIL ELEV. 3
A6.13 SCALE: 3/8" = 1'-0"



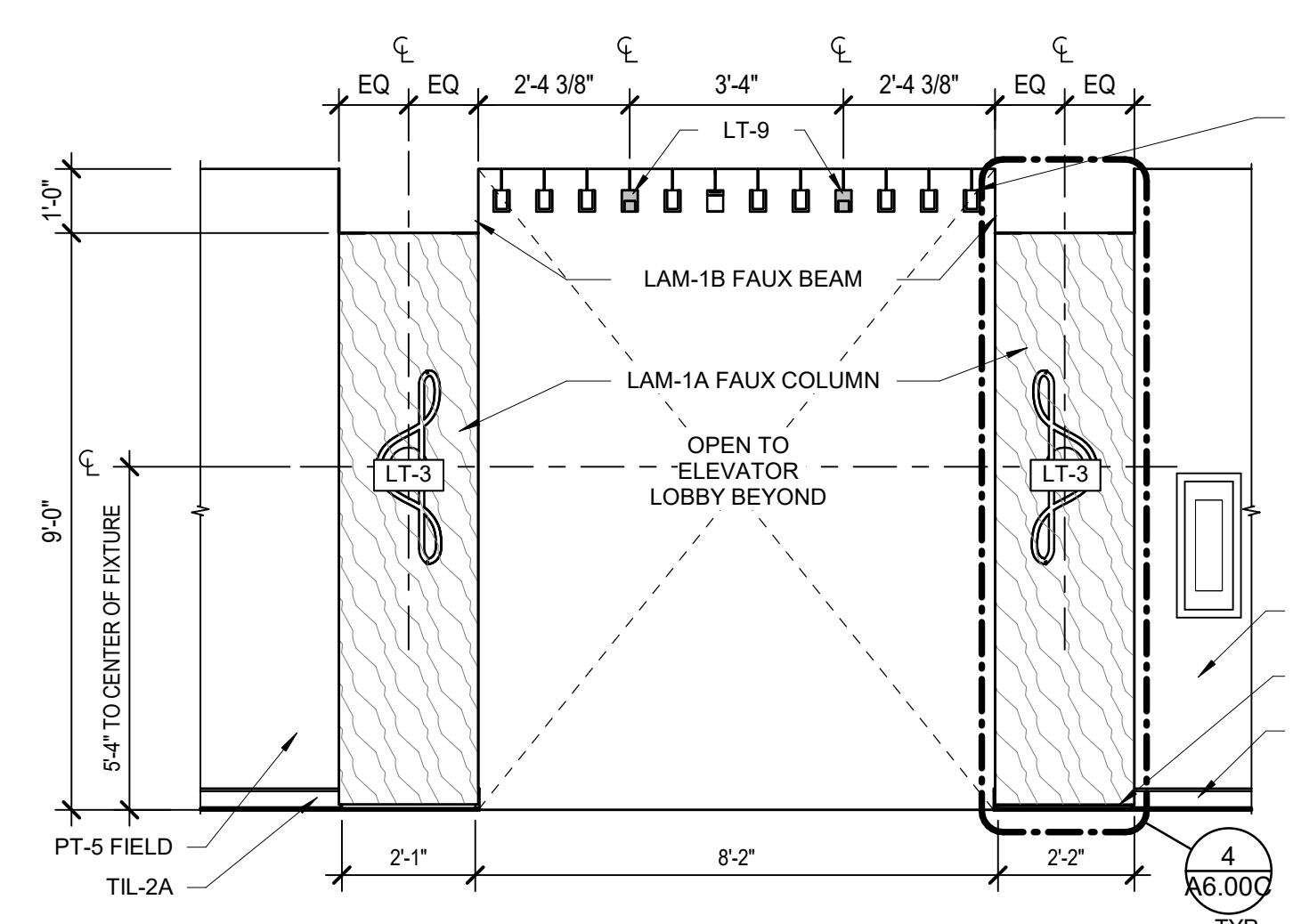
12 MAIL ELEV. 2
A6.13 SCALE: 3/8" = 1'-0"



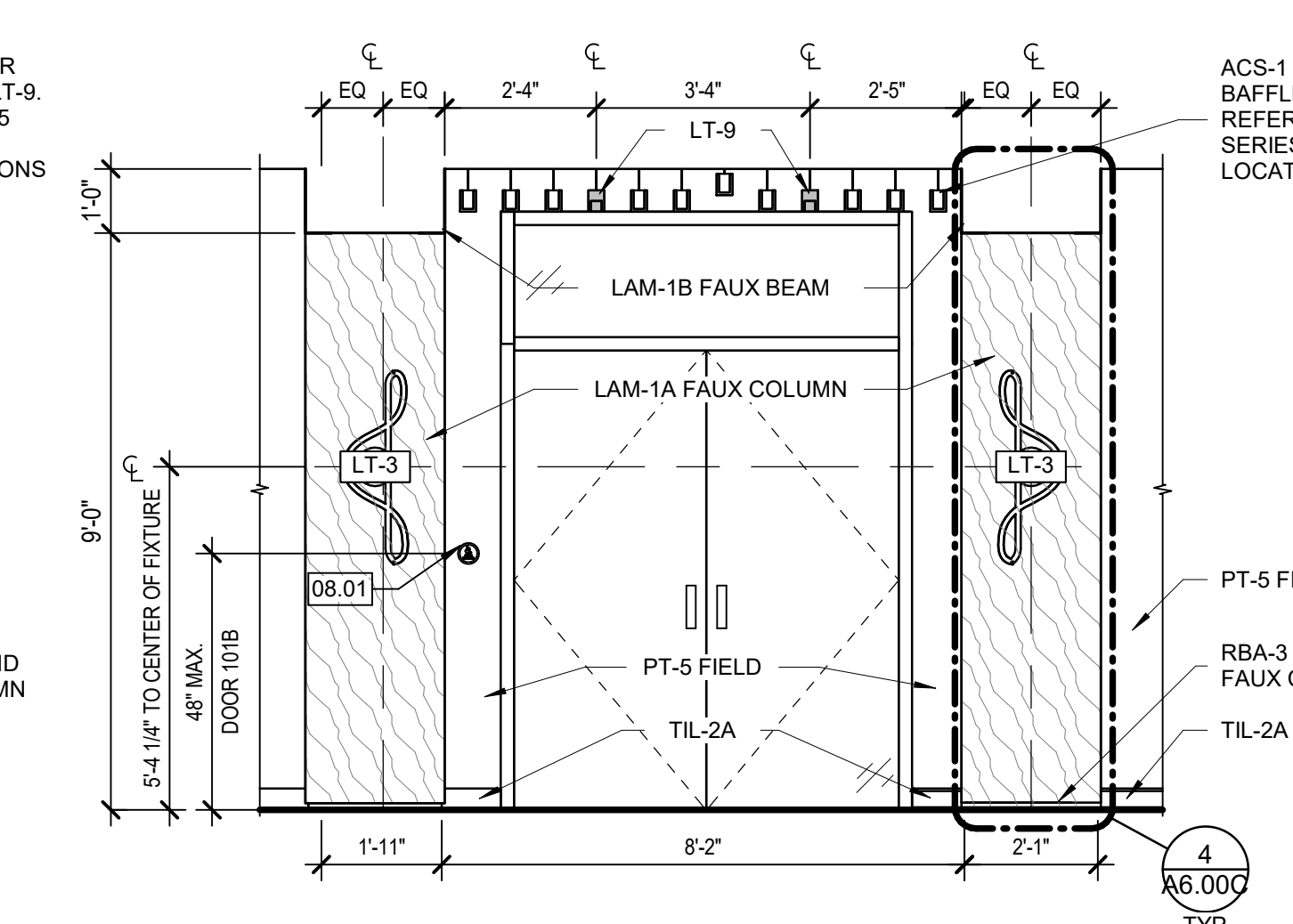
11 MAIL ELEV. 1
A6.13 SCALE: 3/8" = 1'-0"



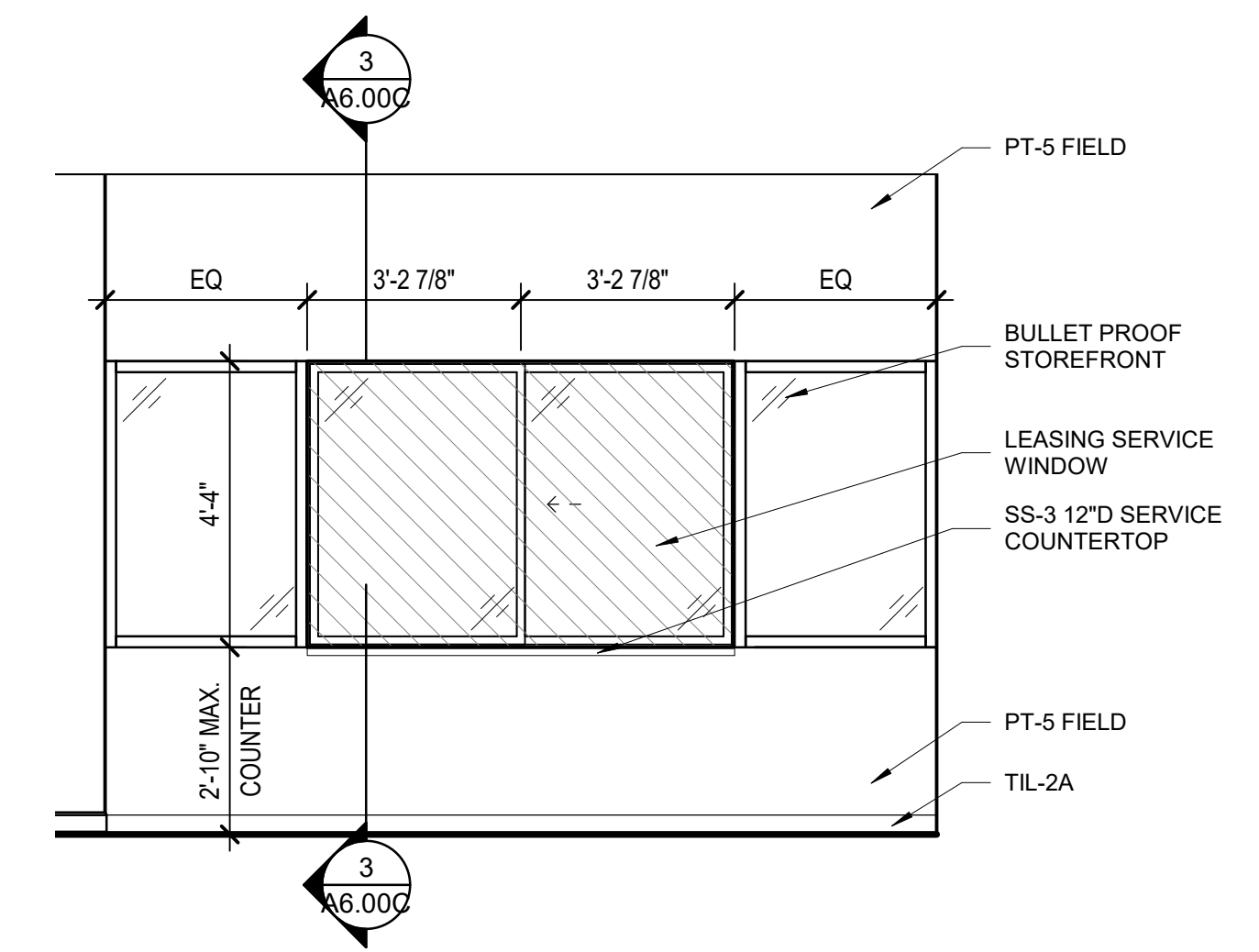
9 CONF. ROOM ELEV. 1
A6.13 SCALE: 3/8" = 1'-0"



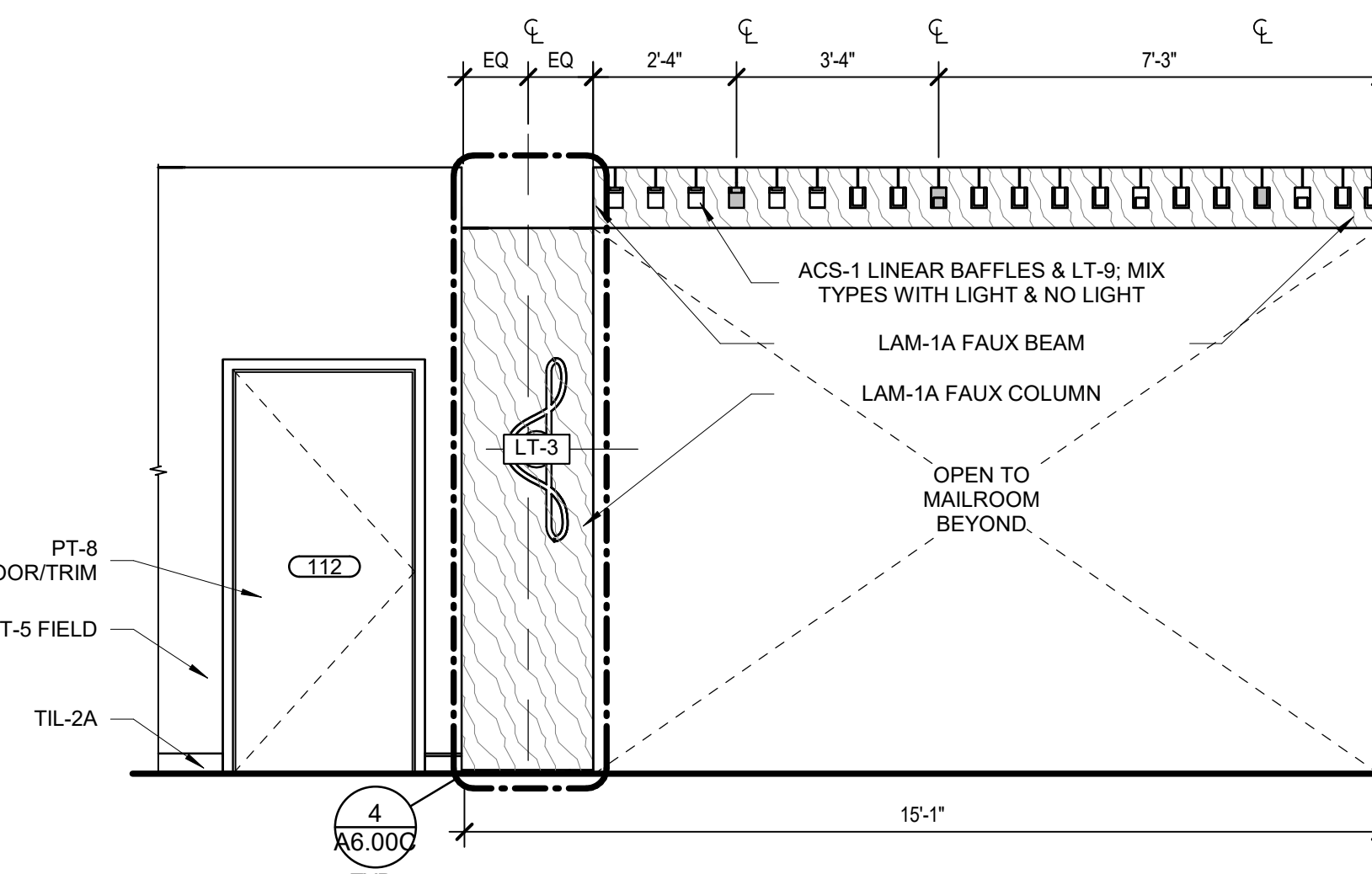
8 GROUND FLOOR CORRIDOR - ELEV. 4
A6.13 SCALE: 3/8" = 1'-0"



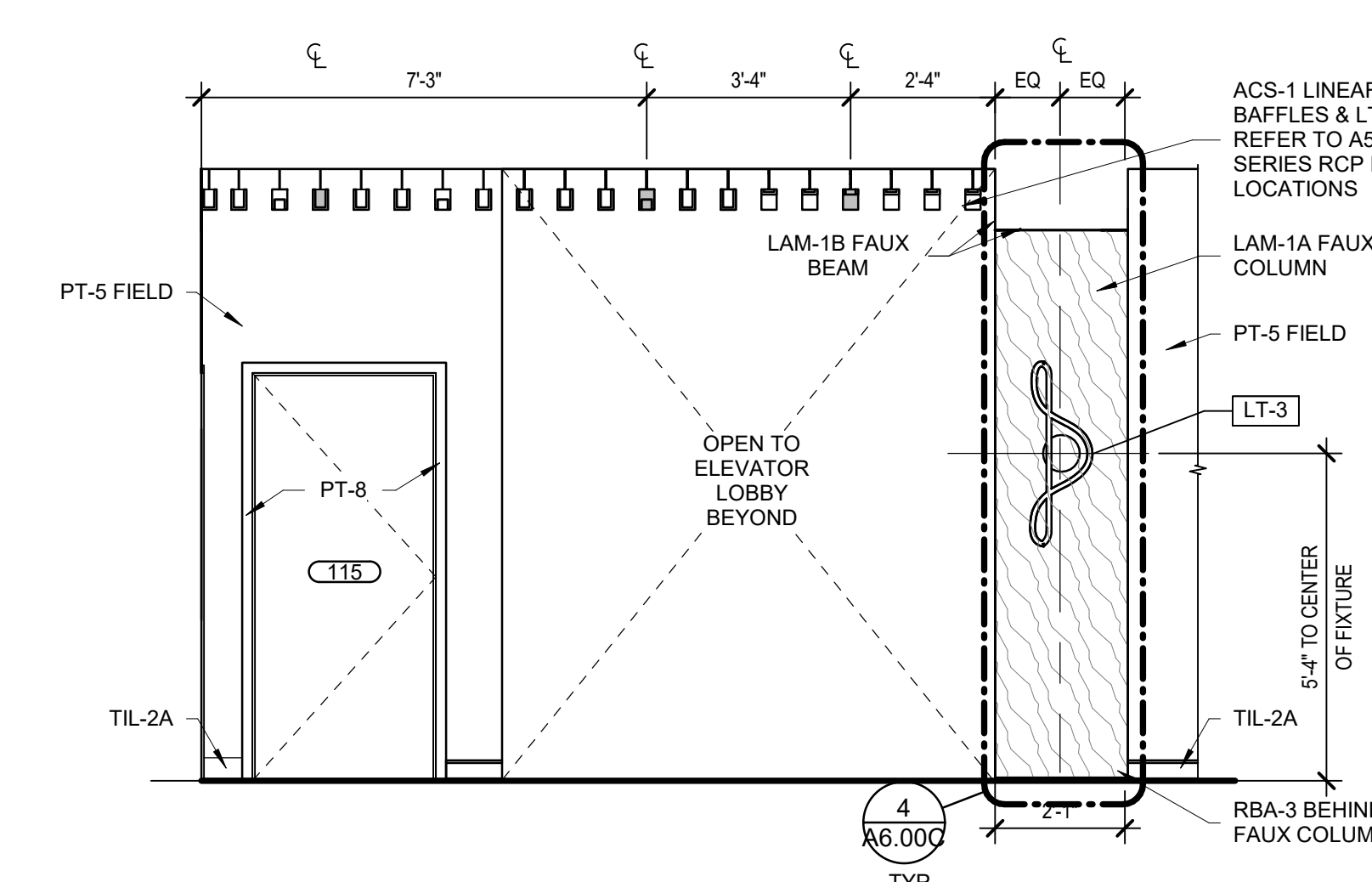
7 GROUND FLOOR CORRIDOR - ELEV. 3
A6.13 SCALE: 3/8" = 1'-0"



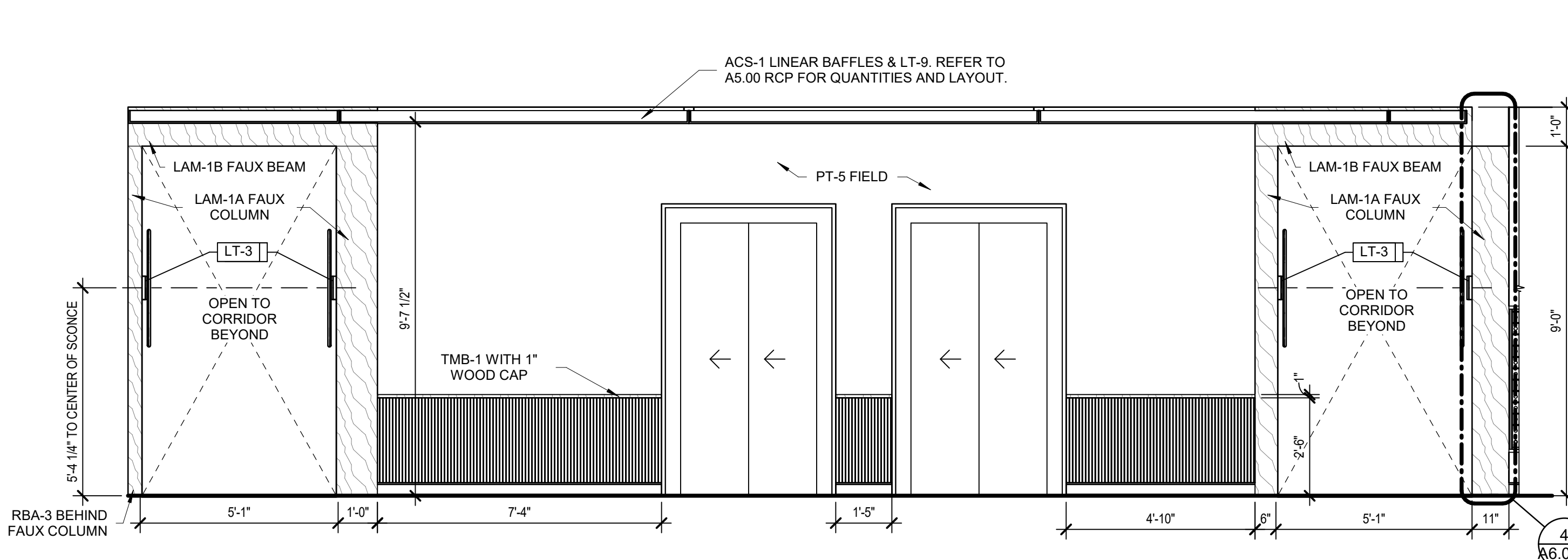
10 VESTIBULE ELEV. 1
A6.13 SCALE: 3/8" = 1'-0"



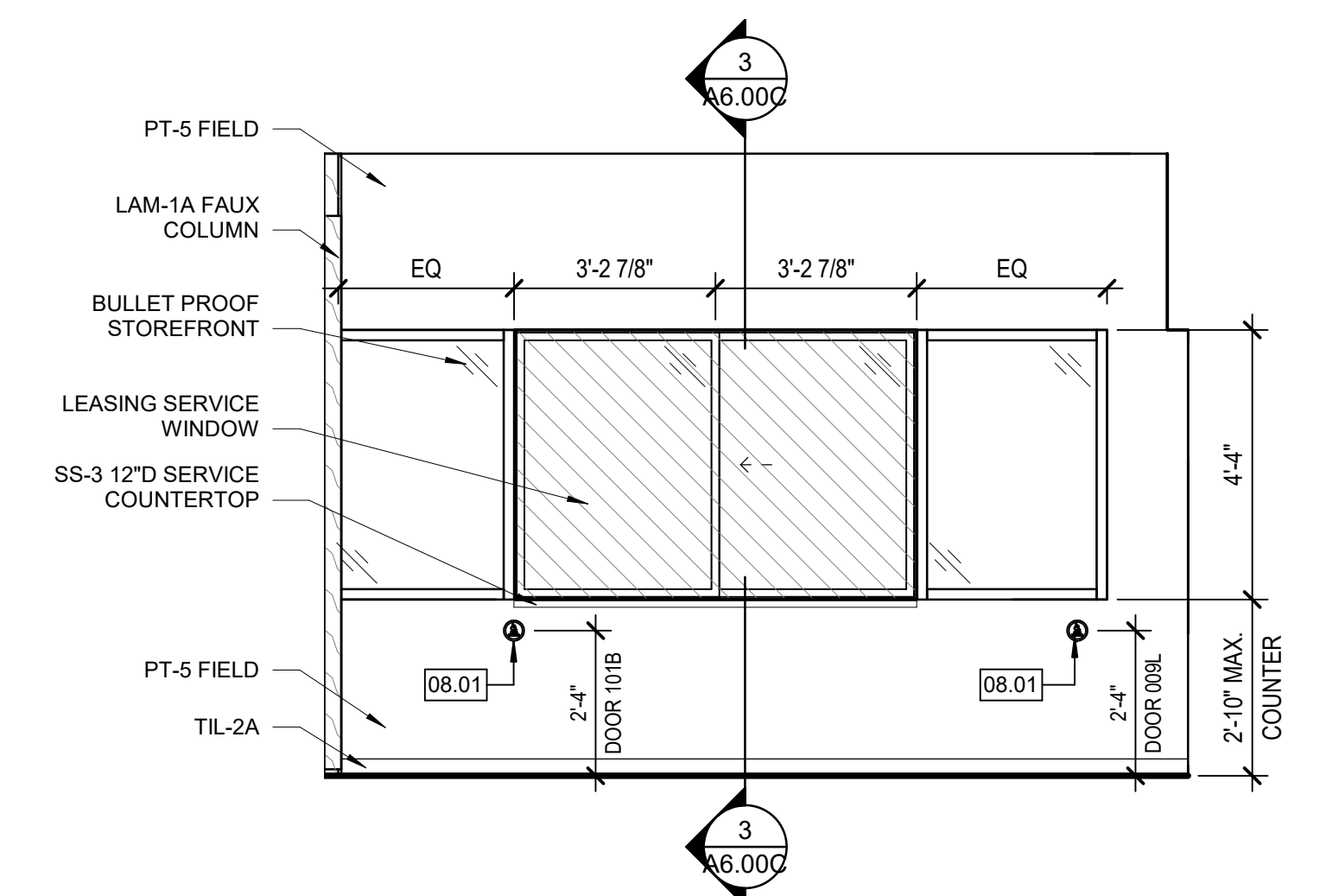
6 GROUND FLOOR CORRIDOR - ELEV. 2
A6.13 SCALE: 3/8" = 1'-0"



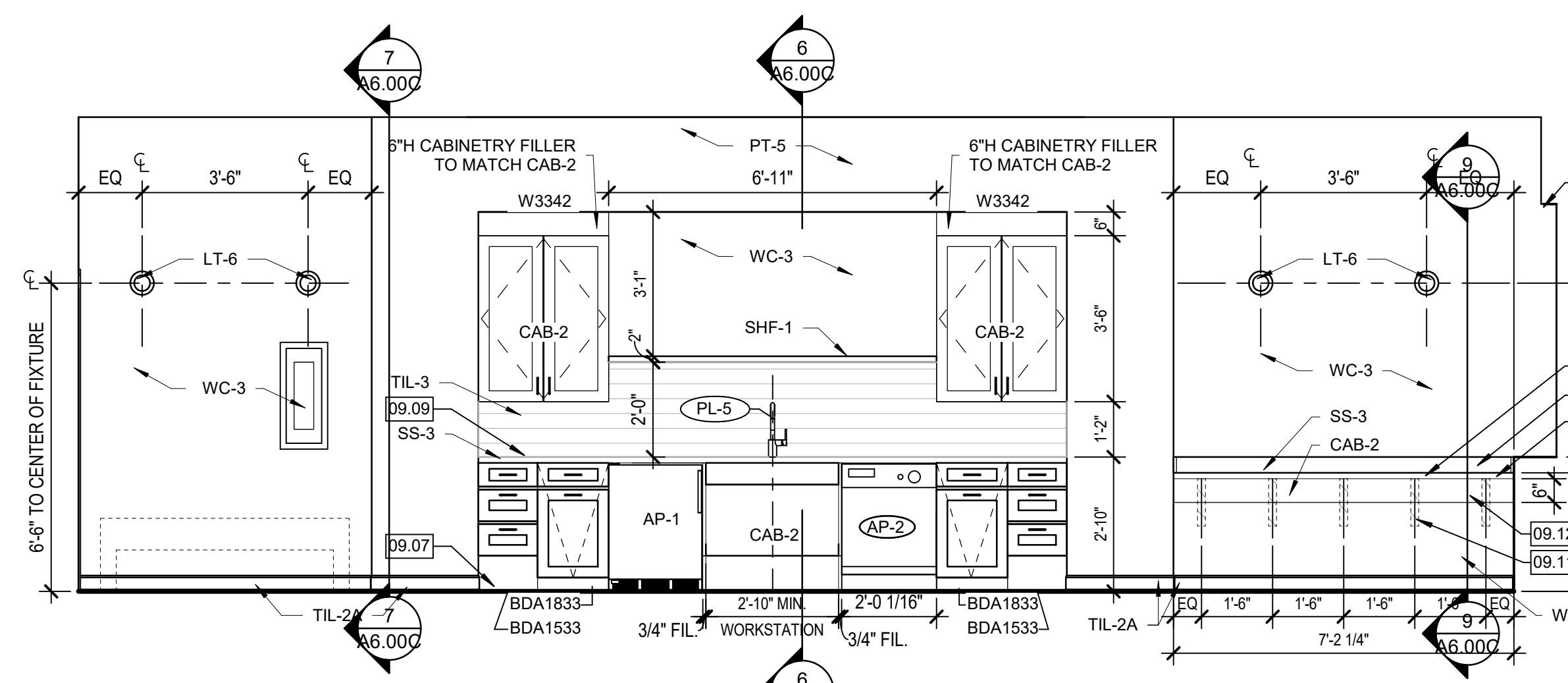
5 GROUND FLOOR CORRIDOR - ELEV. 1
A6.13 SCALE: 3/8" = 1'-0"



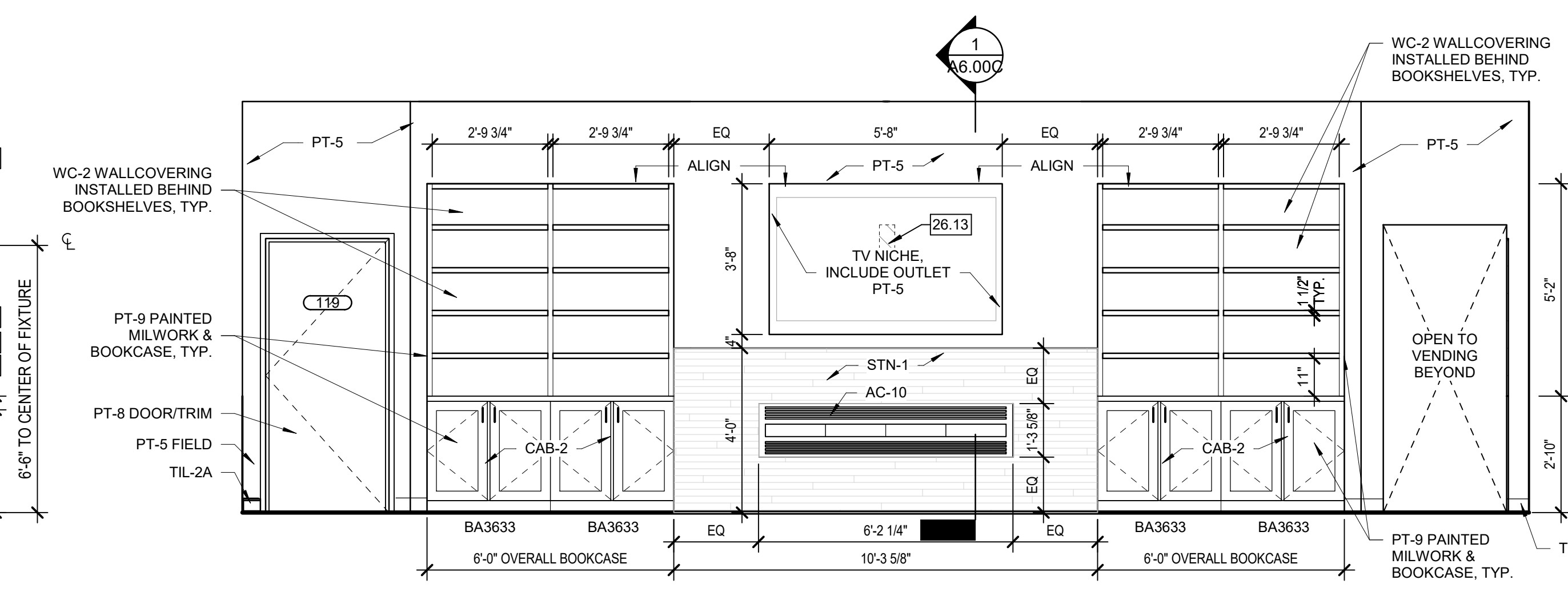
4 GROUND FL. ELEV. LOBBY
A6.13 SCALE: 3/8" = 1'-0"



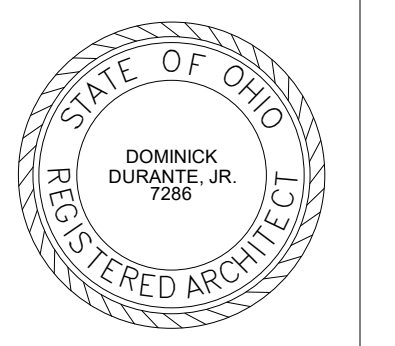
14 VESTIBULE ELEV. 2
A6.13 SCALE: 3/8" = 1'-0"



2 KITCHENETTE ELEV.
A6.13 SCALE: 3/8" = 1'-0"



1 COMMUNITY ROOM - BOOKCASE
A6.13 SCALE: 3/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and related master drawings, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

COMMON AREA INTERIOR ELEVATIONS


A6.13

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

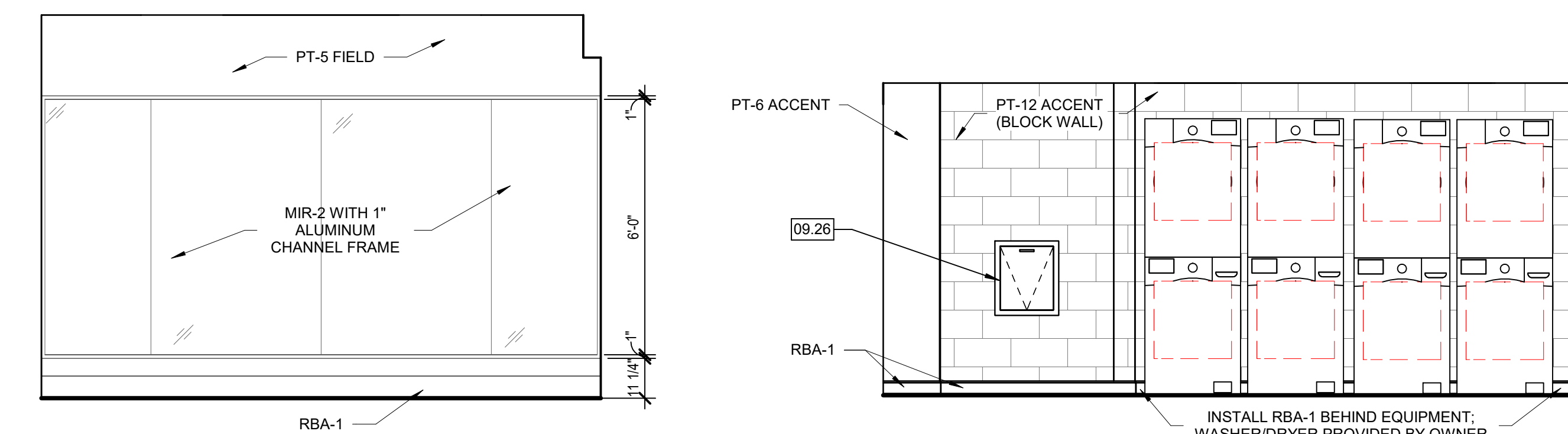
GENERAL NOTES: COMMON AREA

- REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.
- REFER TO A1.00 SERIES FOR SCOPE OF WORK PER FLOOR.
- SEE A7.00 SERIES FOR INTERIOR SCHEDULES AND A8.00 SERIES FOR INTERIOR DETAILS.
- ALL FURNITURE & BUILT-IN SEATING IS FOR REFERENCE ONLY. TO BE PROVIDED BY OWNER.
- PROVIDE TRANSITION STRIP WHERE FLOOR OR WALL FINISH MATERIAL CHANGES. REFER TO TRANSITION DETAILS AS XX.
- COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.
- ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING FINISH.
- REFER TO FLOOR PLANS, FINISH PLANS, & INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE.

KEYED NOTES SPECIFIC TO THIS SHEET

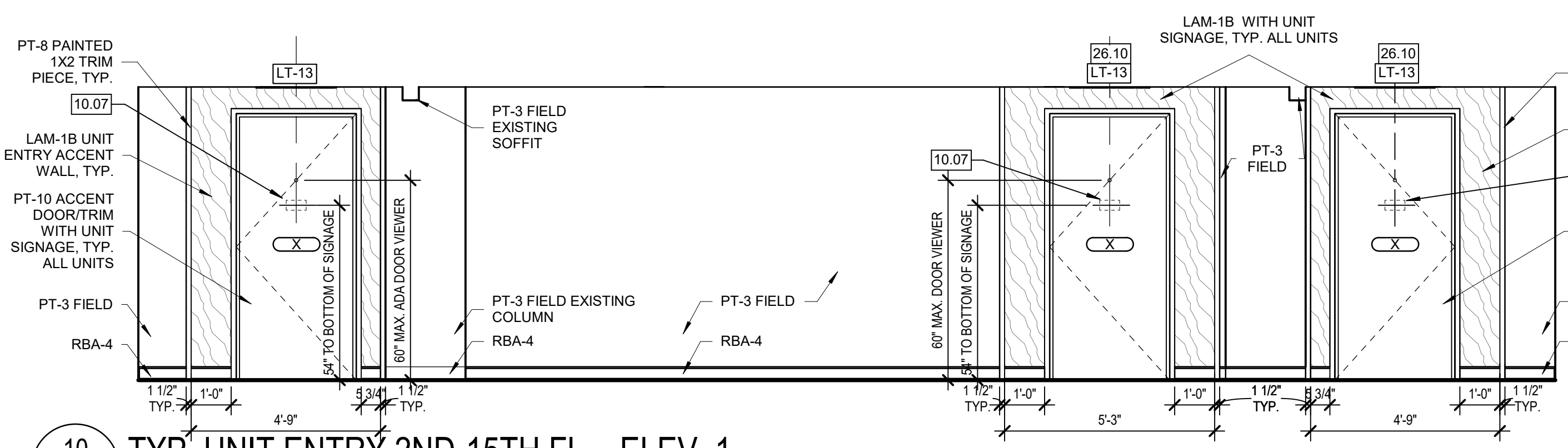
REFERENCED BY THE SYMBOL  TYPICAL UNLESS NOTED OTHERWISE

- 09.26 PAINT TRASH CHUTE COVER TO MATCH ADJACENT WALL COVER.
- 10.07 UNIT ROOM SIGNAGE TO BE INSTALLED TO MEET ADA GUIDELINES. CENTER ON FACE OF UNIT ENTRY DOOR.
- 26.10 CENTER FIXTURE ON DOOR/OPENING.

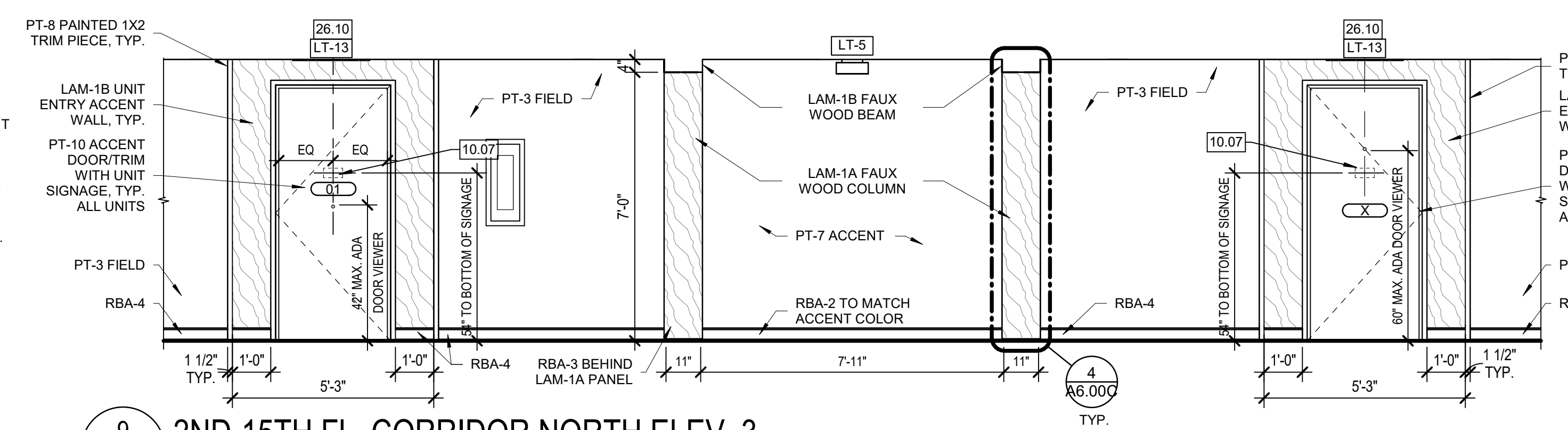


12 FITNESS / REHAB ELEV. 1
A6.14 SCALE: 3/8" = 1'-0"

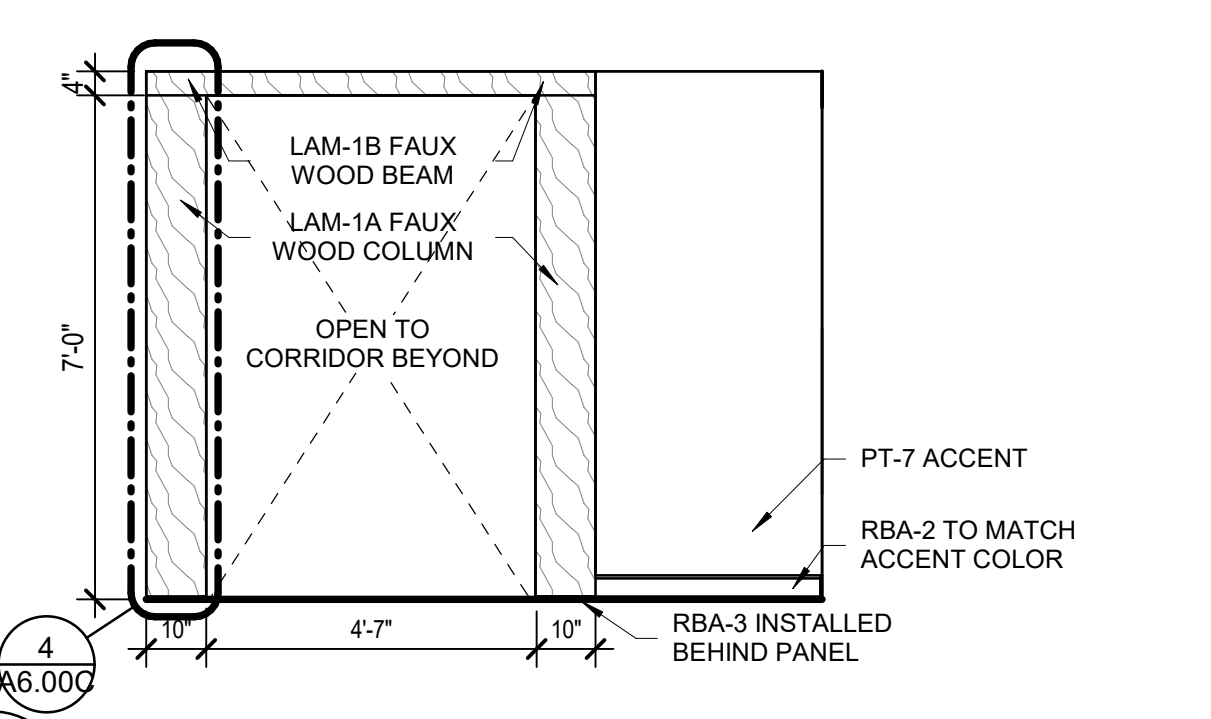
11 TYP. LAUNDRY ROOM - EVEN FLOORS
A6.14 SCALE: 3/8" = 1'-0"



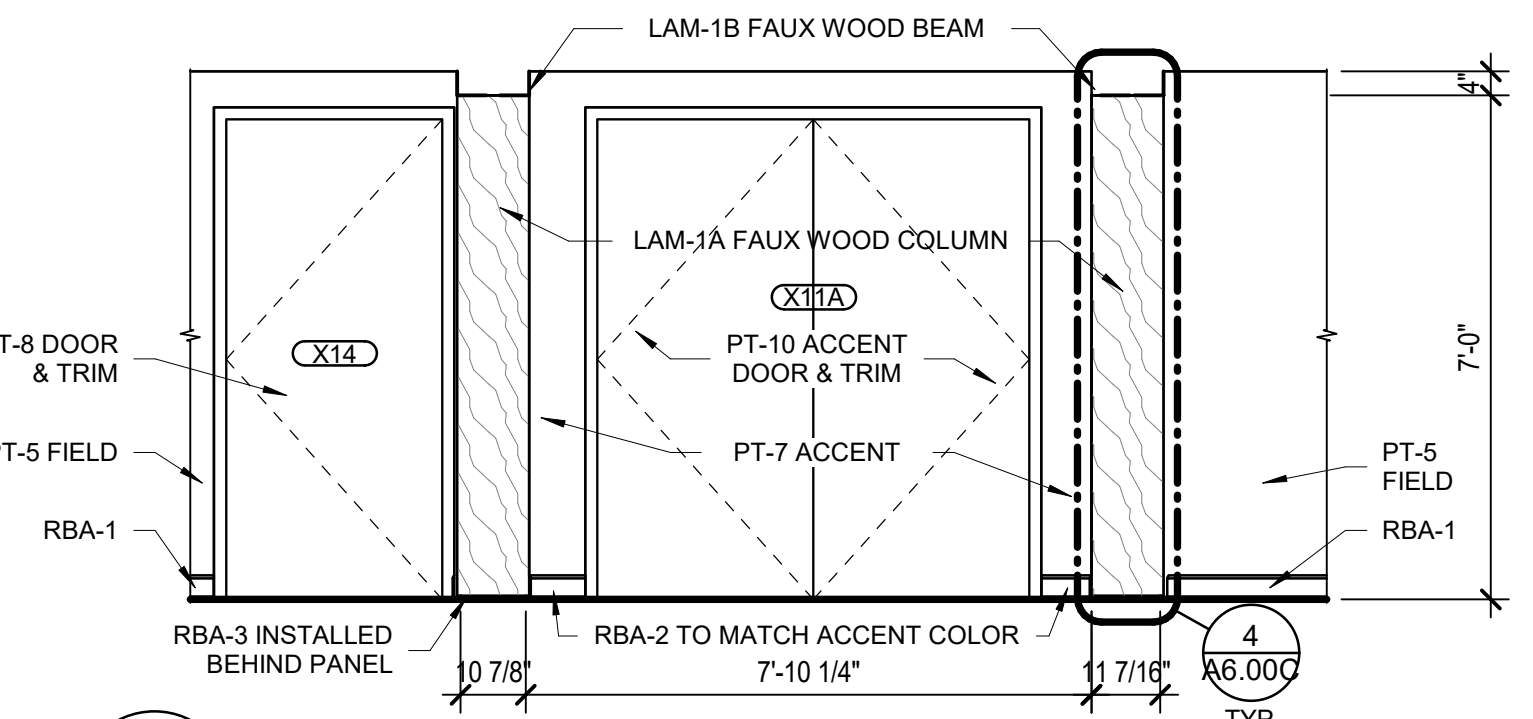
10 TYP. UNIT ENTRY 2ND-15TH FL. - ELEV. 1
A6.14 SCALE: 3/8" = 1'-0"



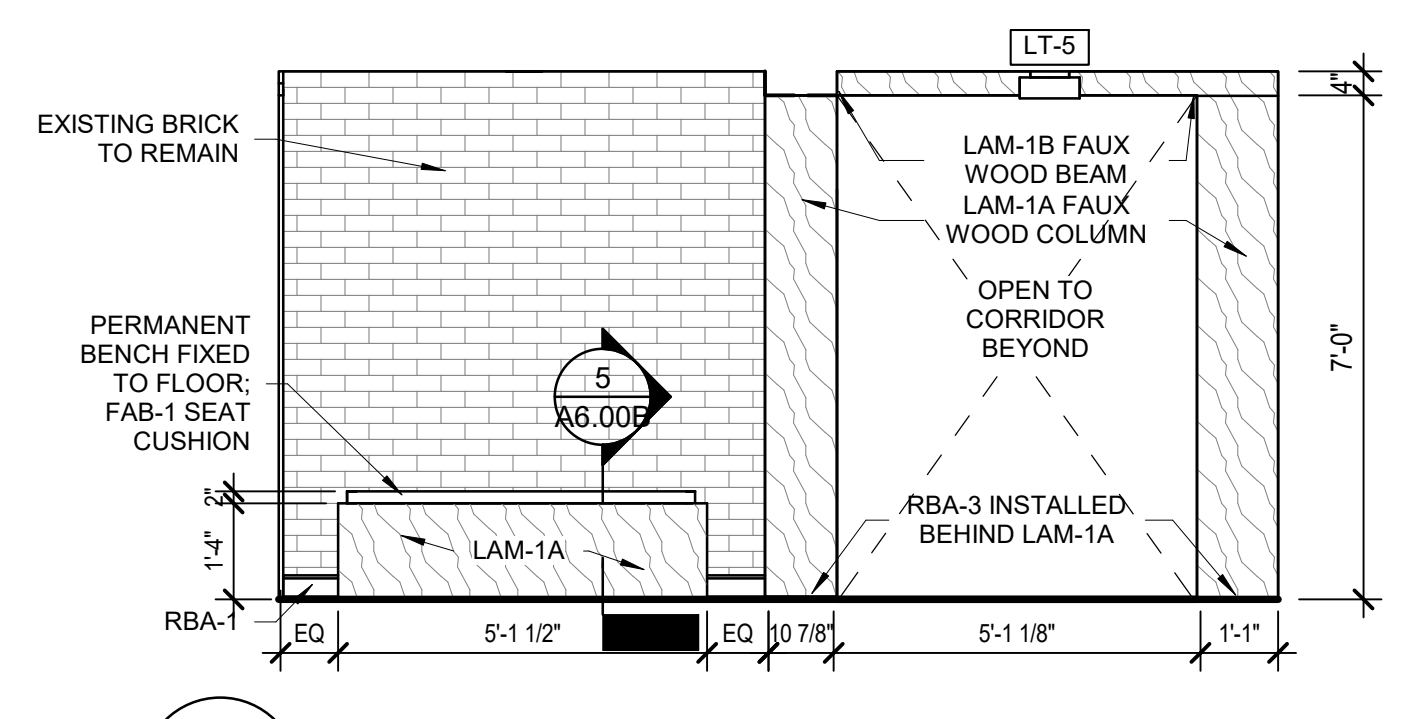
9 2ND-15TH FL. CORRIDOR NORTH ELEV. 3
A6.14 SCALE: 3/8" = 1'-0"



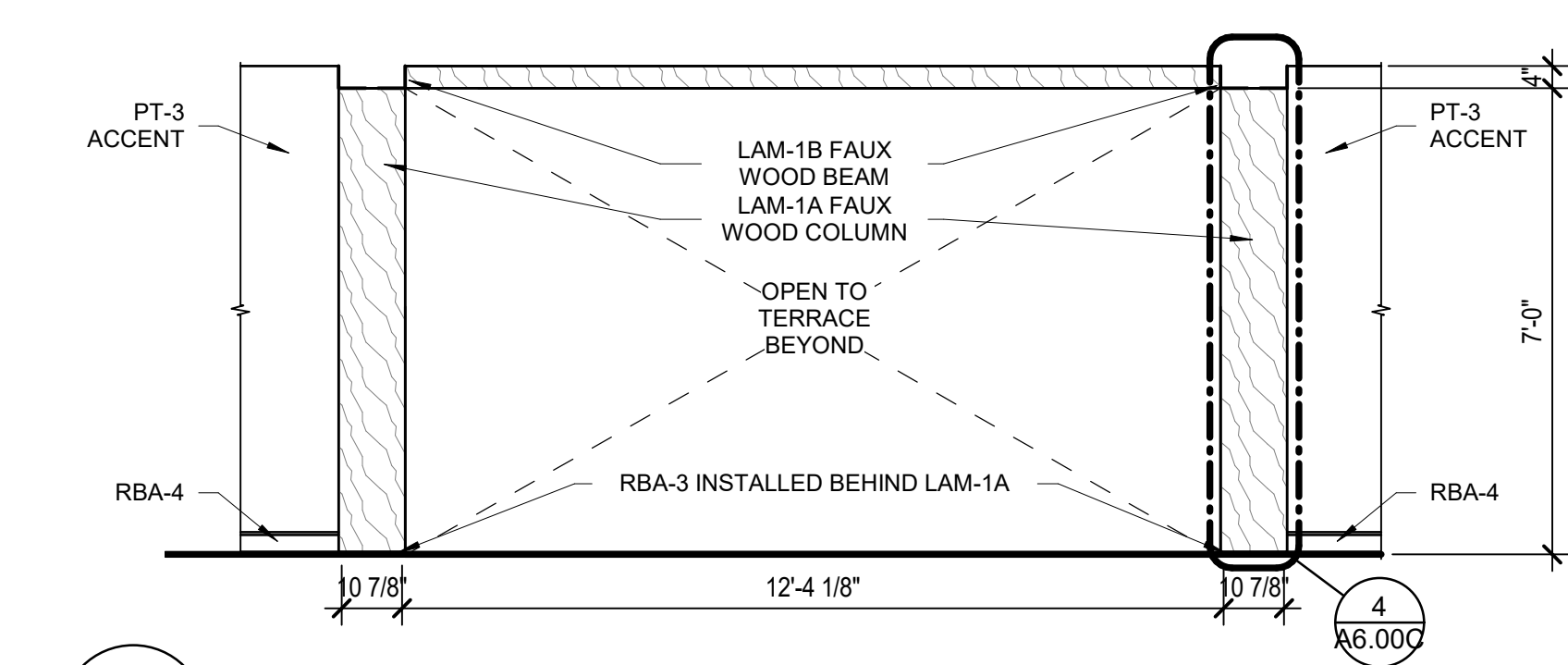
8 2ND-15TH FL. CORRIDOR NORTH ELEV. 2
A6.14 SCALE: 3/8" = 1'-0"



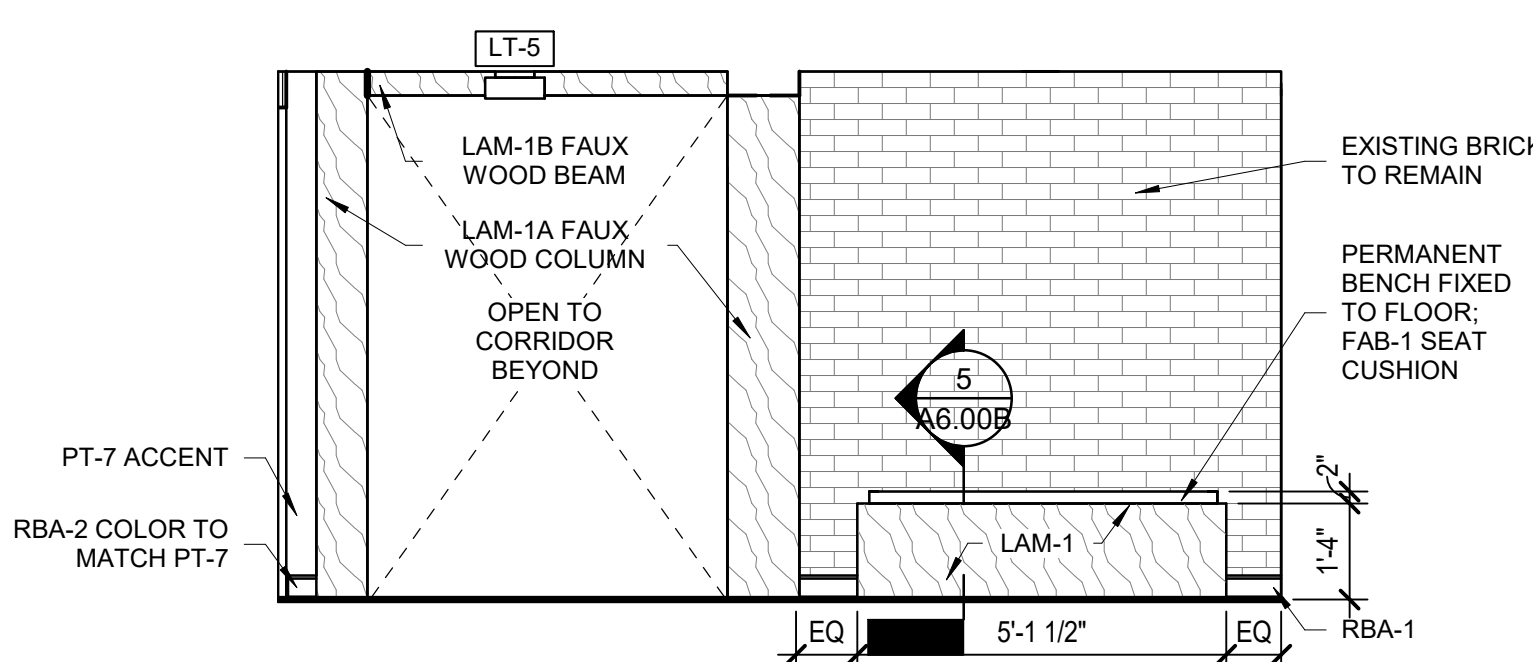
7 2ND-15TH FL. CORRIDOR NORTH ELEV. 1
A6.14 SCALE: 3/8" = 1'-0"



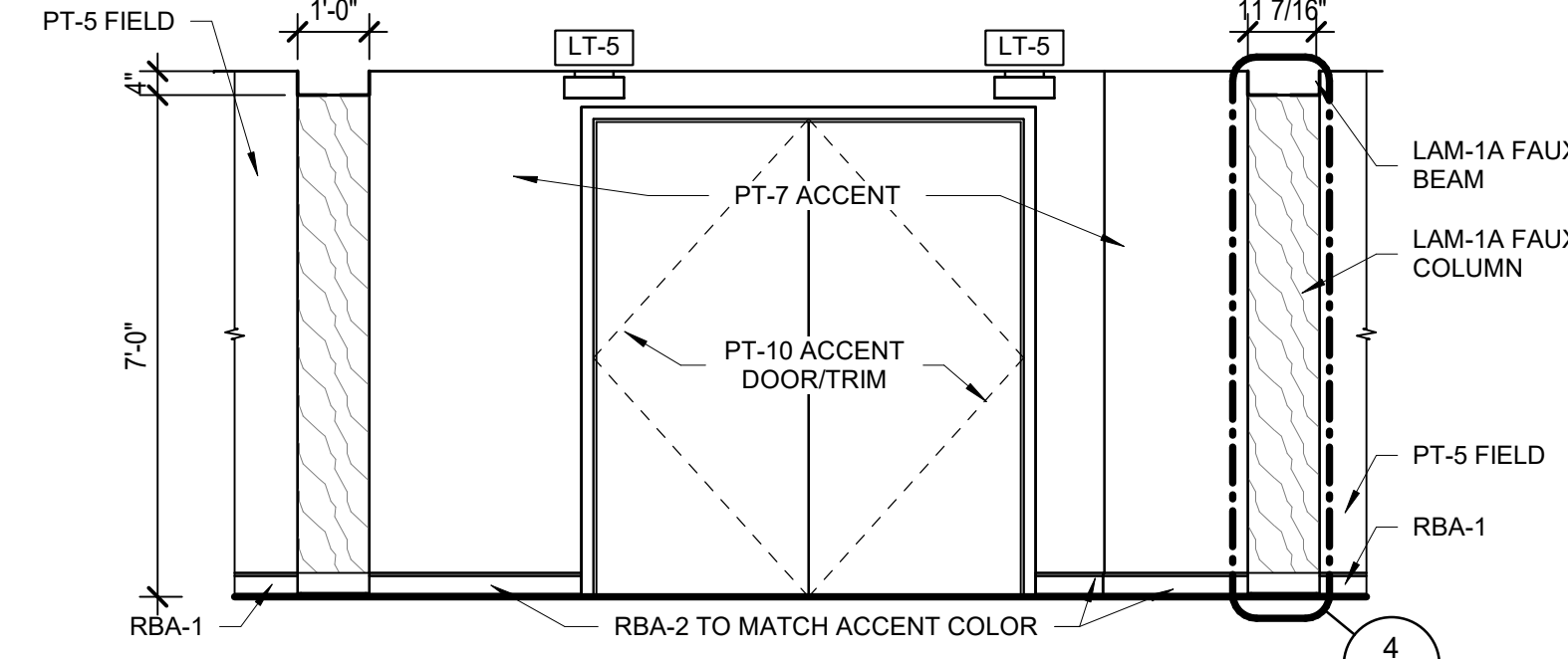
6 2ND-15TH FL. CORRIDOR SOUTH ELEV. 4
A6.14 SCALE: 3/8" = 1'-0"



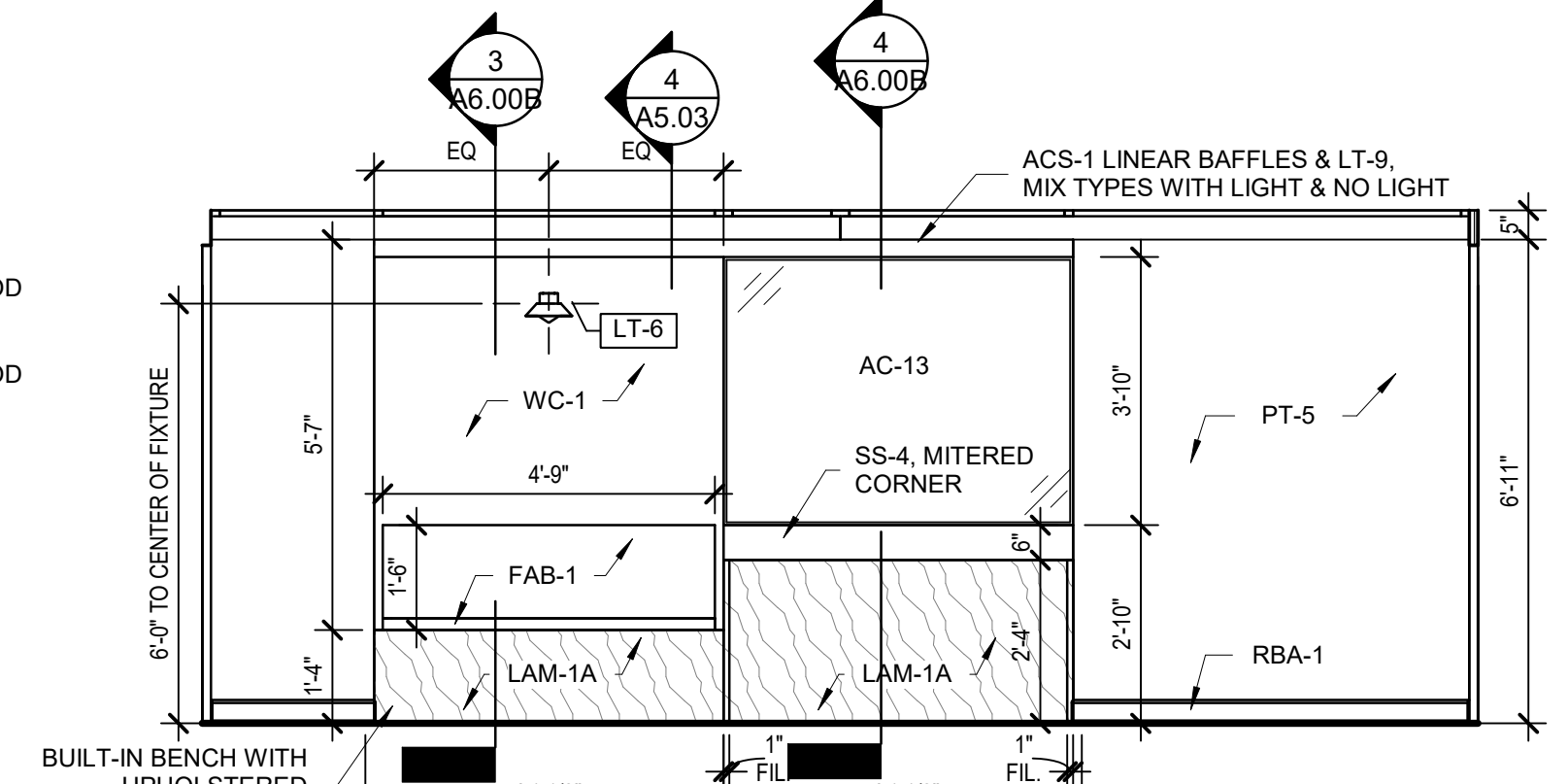
5 2ND-15TH FL. CORRIDOR SOUTH ELEV. 3
A6.14 SCALE: 3/8" = 1'-0"



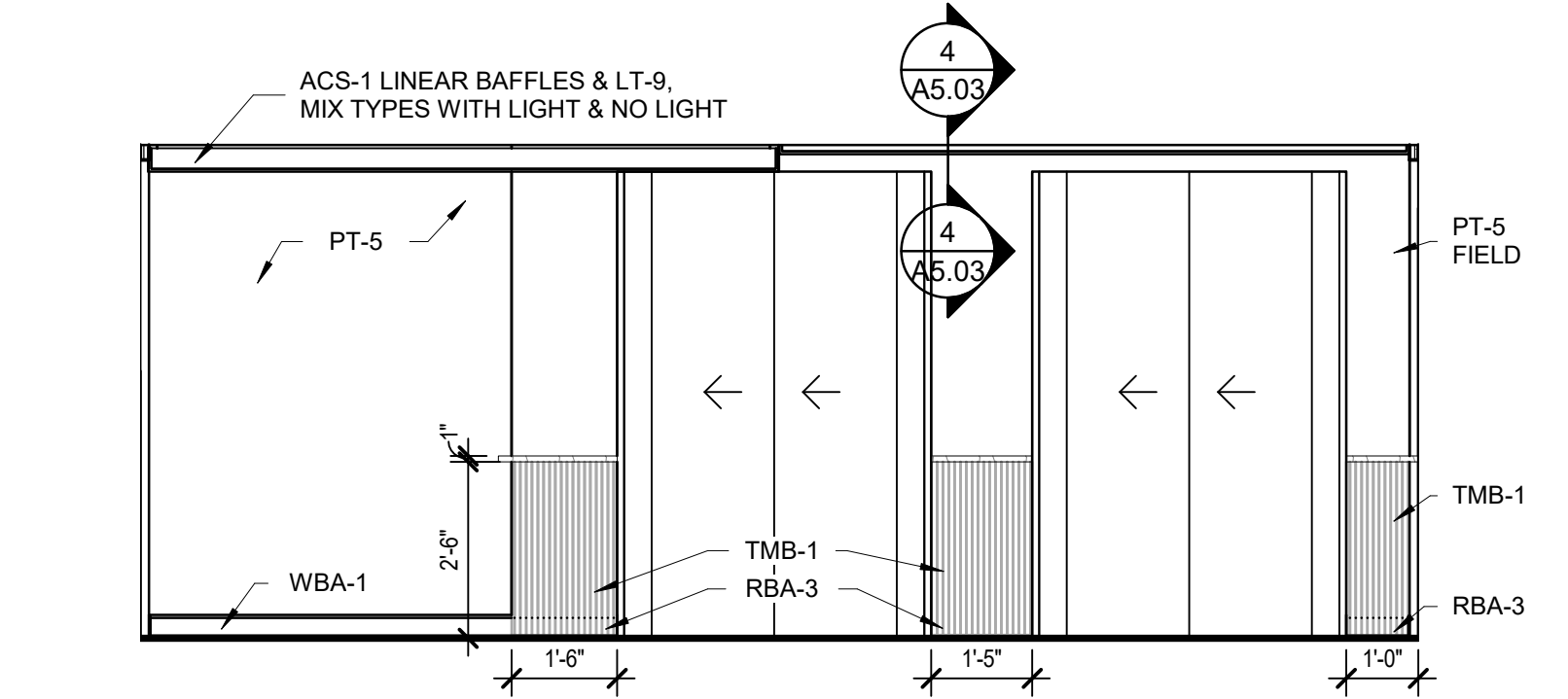
4 2ND-15TH FL. CORRIDOR SOUTH ELEV. 2
A6.14 SCALE: 3/8" = 1'-0"



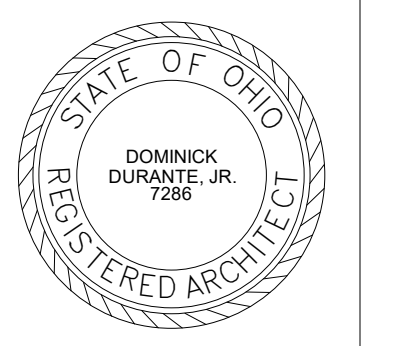
3 2ND-15TH FL. CORRIDOR SOUTH ELEV. 1
A6.14 SCALE: 3/8" = 1'-0"



2 TYP. ELEVATOR LOBBY 2ND-15TH FL. ELEV. 2
A6.14 SCALE: 3/8" = 1'-0"



1 TYP. ELEVATOR LOBBY 2-15 FL. - ELEV. 1
A6.14 SCALE: 3/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and related matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

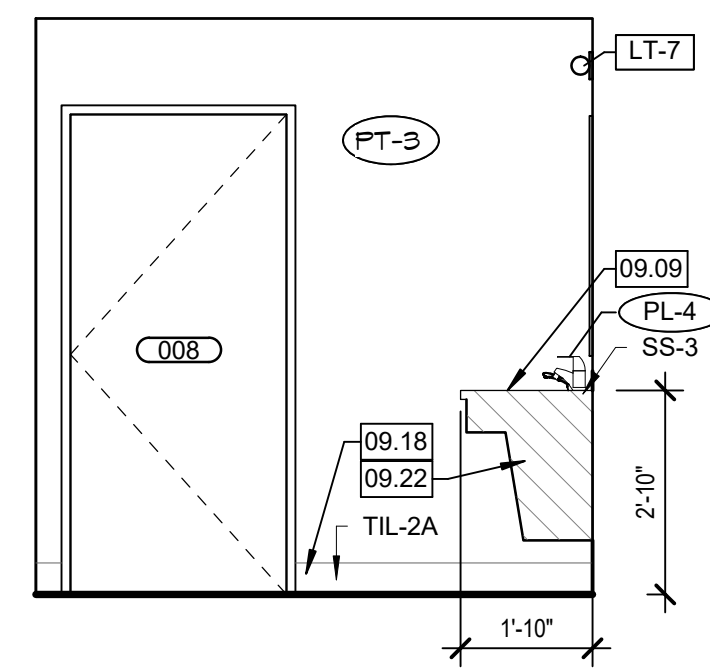
FLOOR PLAN LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN.
- NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.
- ACCESSIBLE PATH.
- ACCESSIBLE UNIT LOCATION.
- AUDIO / VISUAL UNIT LOCATION.

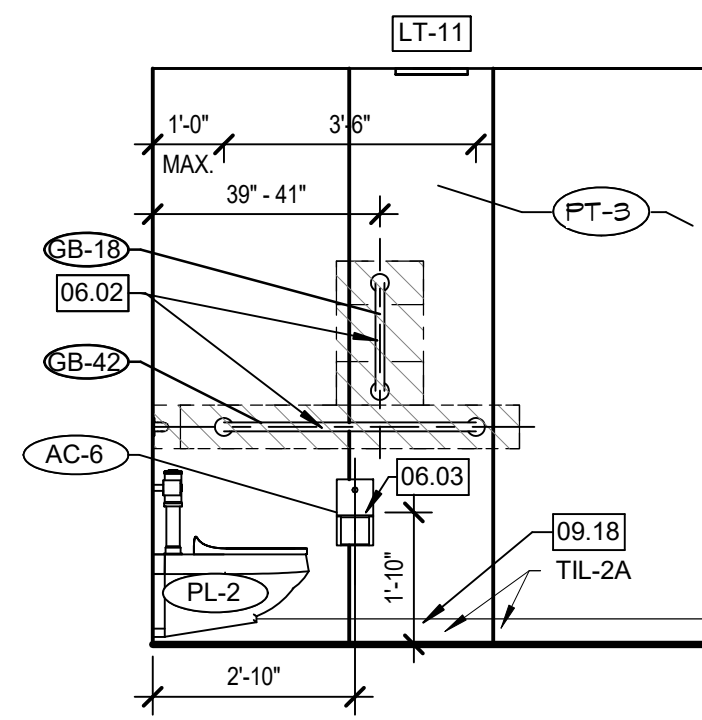
KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

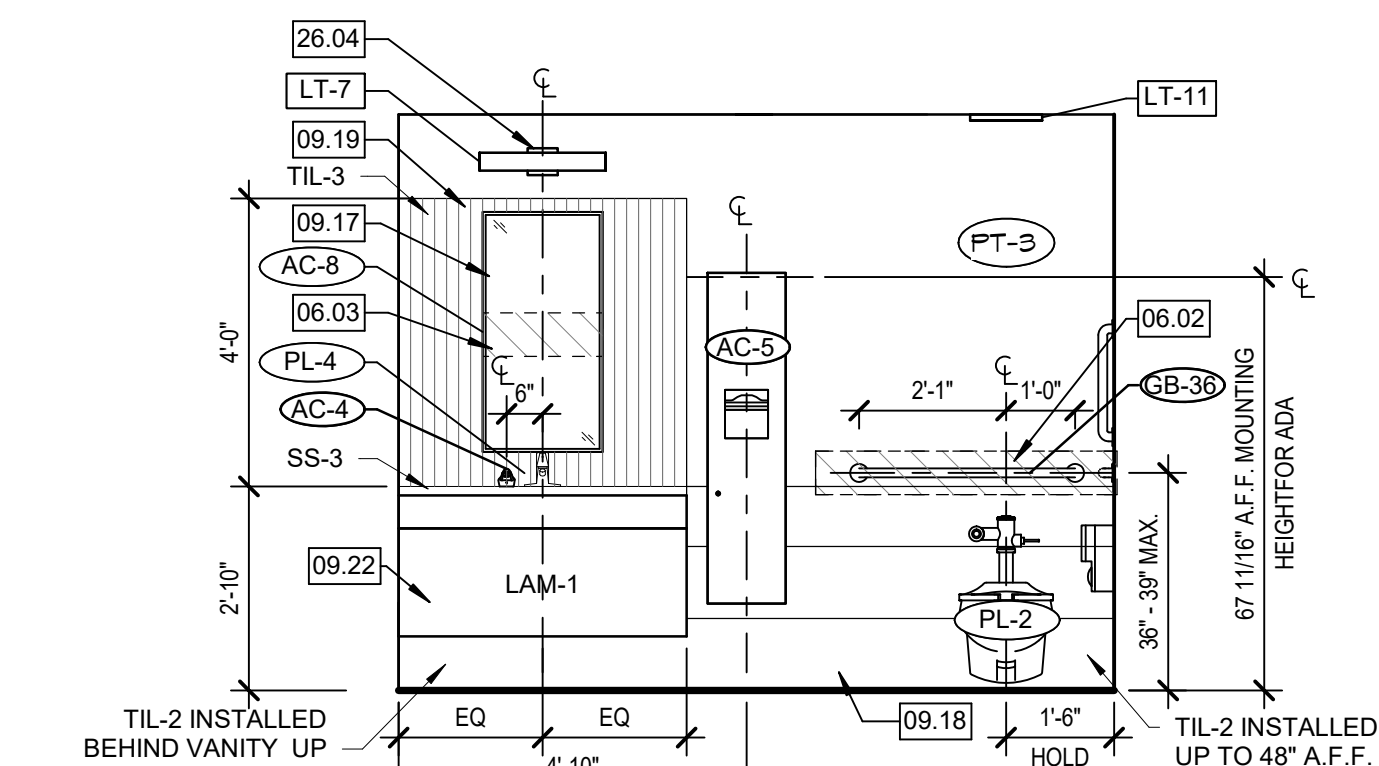
- 06.02 PROVIDE WOOD BLOCKING FOR INSTALLATION OF GRAB BARS TO FULLY COMPLY WITH ANSI A117.1.
- 06.03 PROVIDE WOOD BLOCKING FOR BATHROOM FIXTURE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 09.04 PROVIDE ADA PANEL FINISHED TO MATCH ADJACENT CABINET AND TO MEET ANSI TYPE A REQUIREMENTS. WALL BASE, WALL COLOR, AND FLOORING ARE TO BE CONTINUED UNDER PANEL INSTANCES. ACCESSIBLE SINK MUST HAVE PIPES WRAPPED WITH INSULATION.
- 09.09 PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND BACKSPLASH TILE. COLOR TO MATCH COUNTERTOP COLOR.
- 09.17 BOTTOM OF REFLECTIVE SURFACE TO BE INSTALLED AT 40" MAX. A.F.F.
- 09.18 ALIGN GROUT JOINTS.
- 09.19 CENTER TILE ON VANITY.
- 09.20 ALIGN WALL TILE WITH COUNTERTOP.
- 09.21 INSTALL TRANSITION STRIP AT EDGE OF WALL TILE. SEE TRANSITION DETAILS.
- 09.22 PROVIDE LAMINATE ADA PANEL AND TO MEET ANSI TYPE A REQUIREMENTS. WALL BASE, WALL COLOR, AND FLOORING ARE TO BE CONTINUED UNDER PANEL INSTANCES. ACCESSIBLE SINK MUST HAVE PIPES WRAPPED WITH INSULATION.
- 26.04 CENTER FIXTURE ON VANITY.



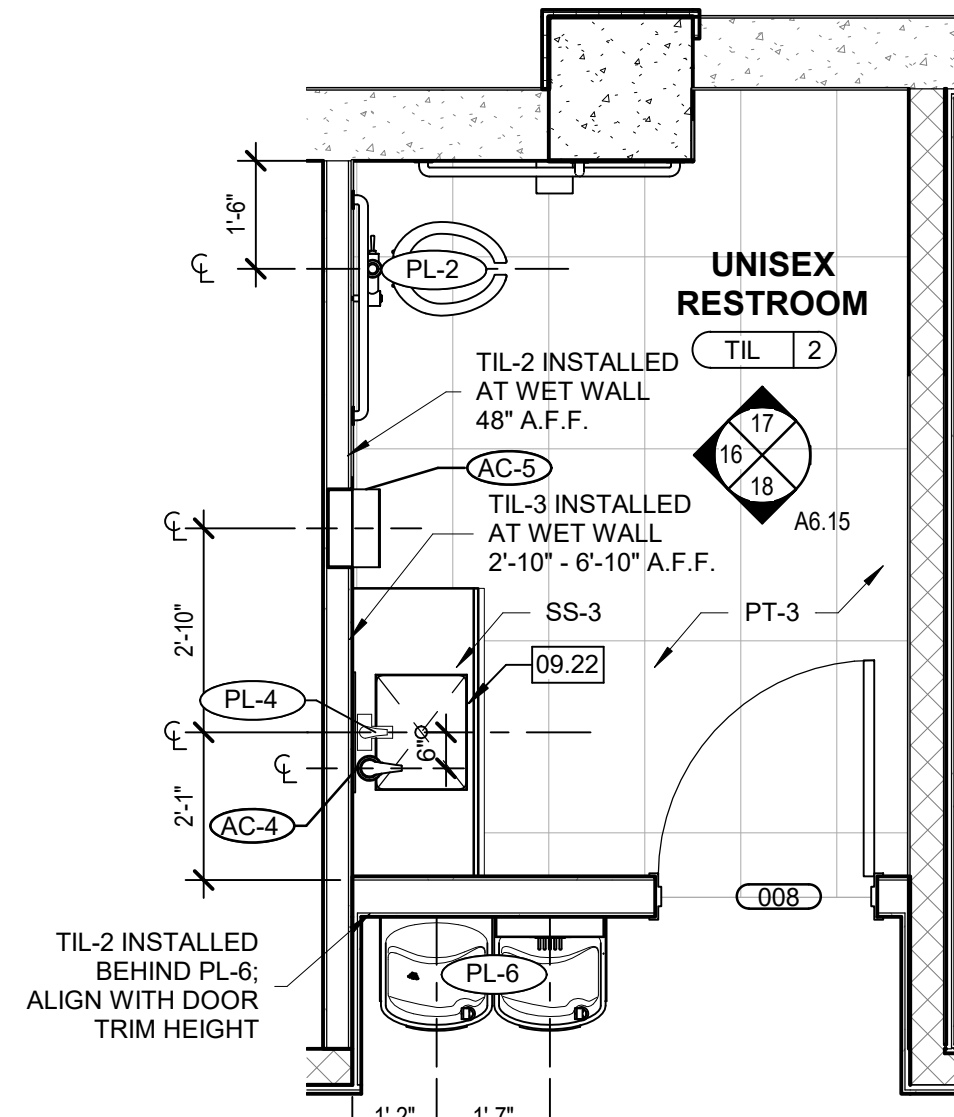
18 LOWER LEVEL RESTROOM ELEV. 4
A6.15 SCALE: 3/8" = 1'-0"



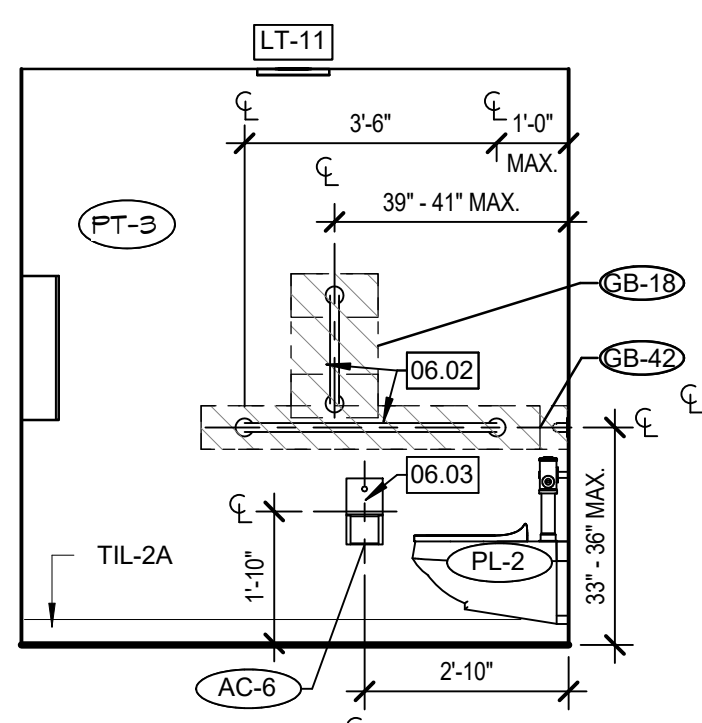
17 LOWER LEVEL RESTROOM ELEV. 2
A6.15 SCALE: 3/8" = 1'-0"



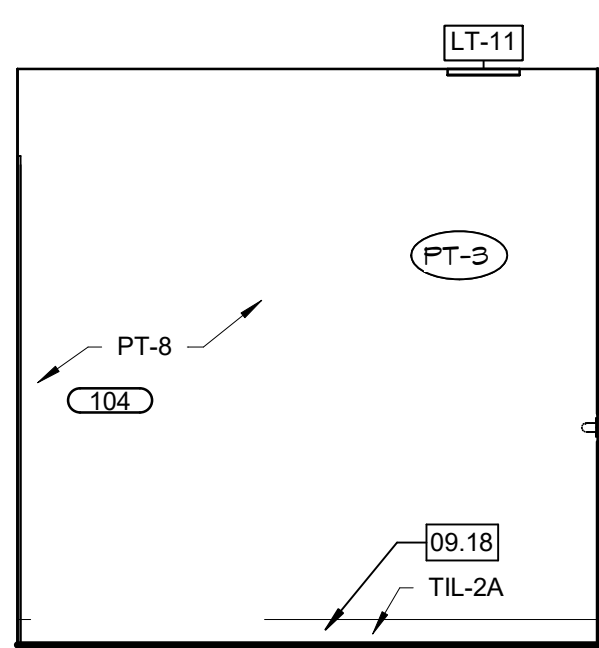
16 LOWER LEVEL RESTROOM ELEV. 1
A6.15 SCALE: 3/8" = 1'-0"



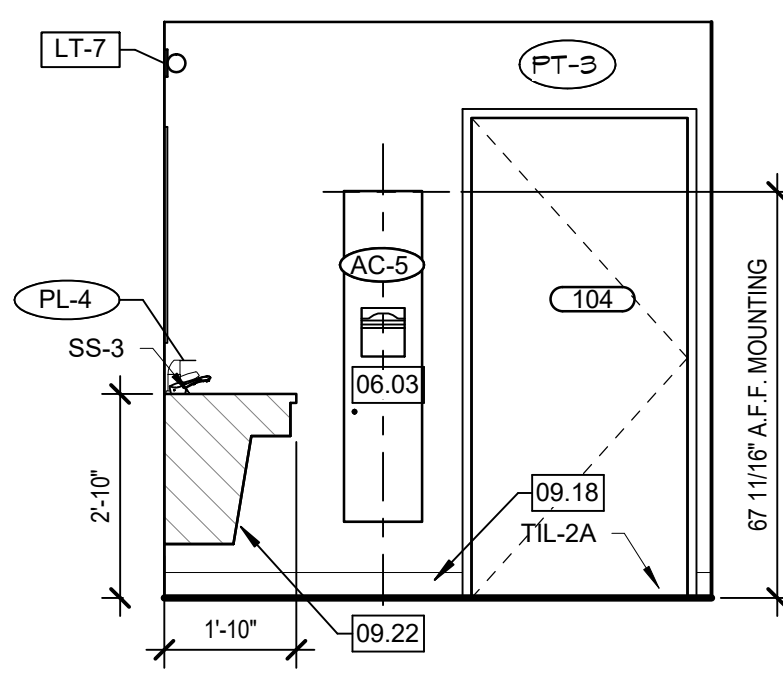
11 LOWER LEVEL RESTROOM PLAN
A6.15 SCALE: 3/8" = 1'-0"



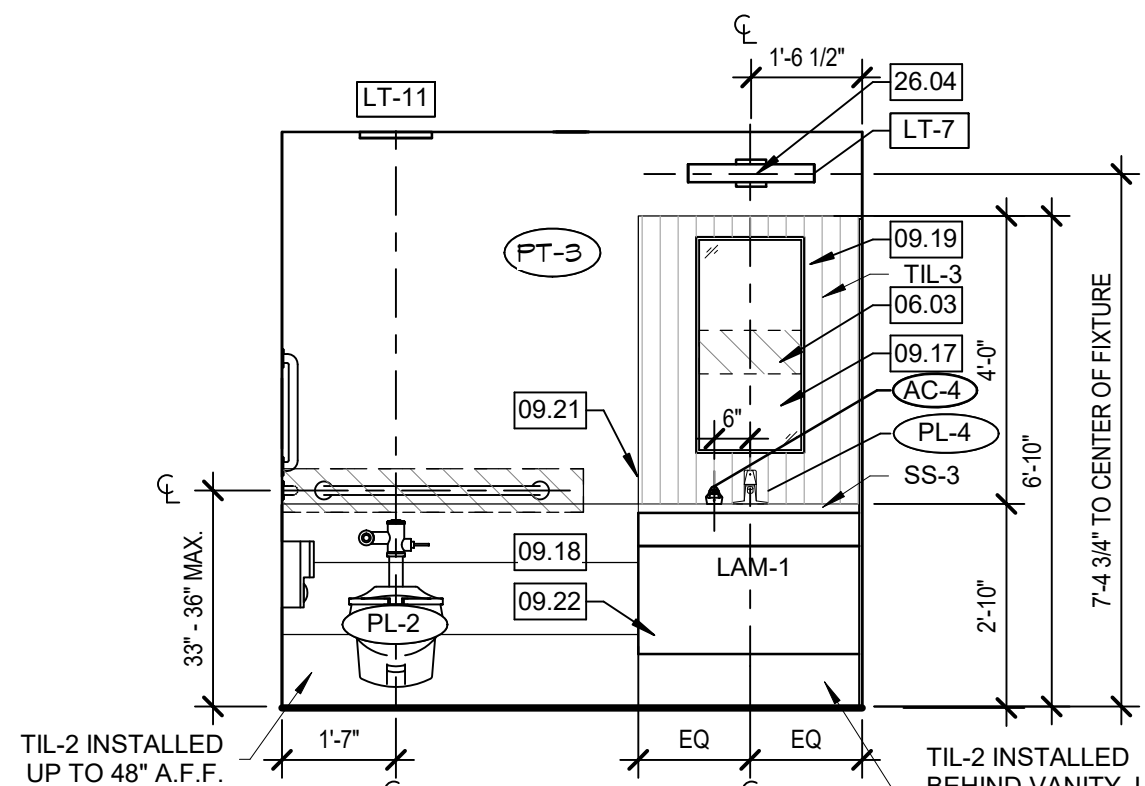
15 STAFF RESTROOM ELEV. 4
A6.15 SCALE: 3/8" = 1'-0"



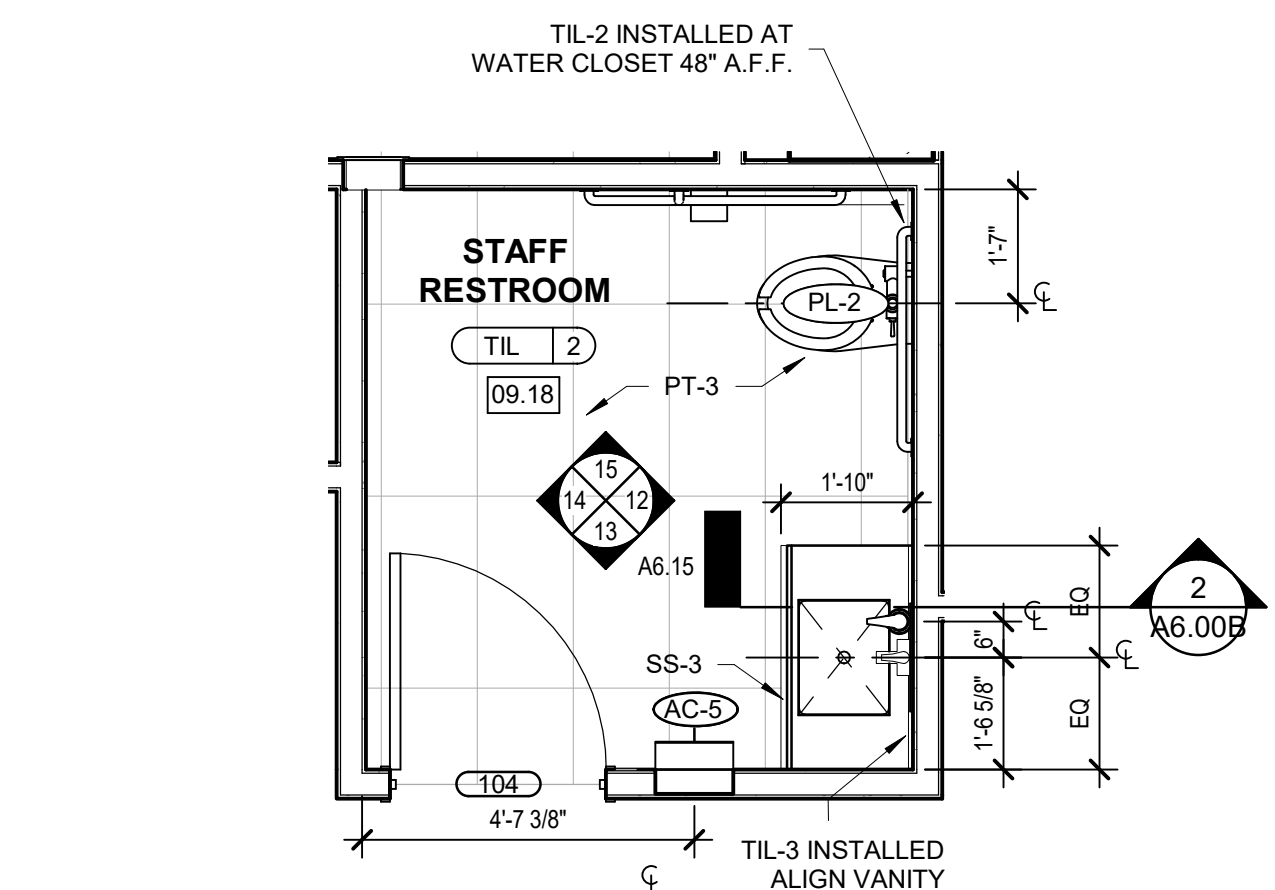
14 STAFF RESTROOM ELEV. 3
A6.15 SCALE: 3/8" = 1'-0"



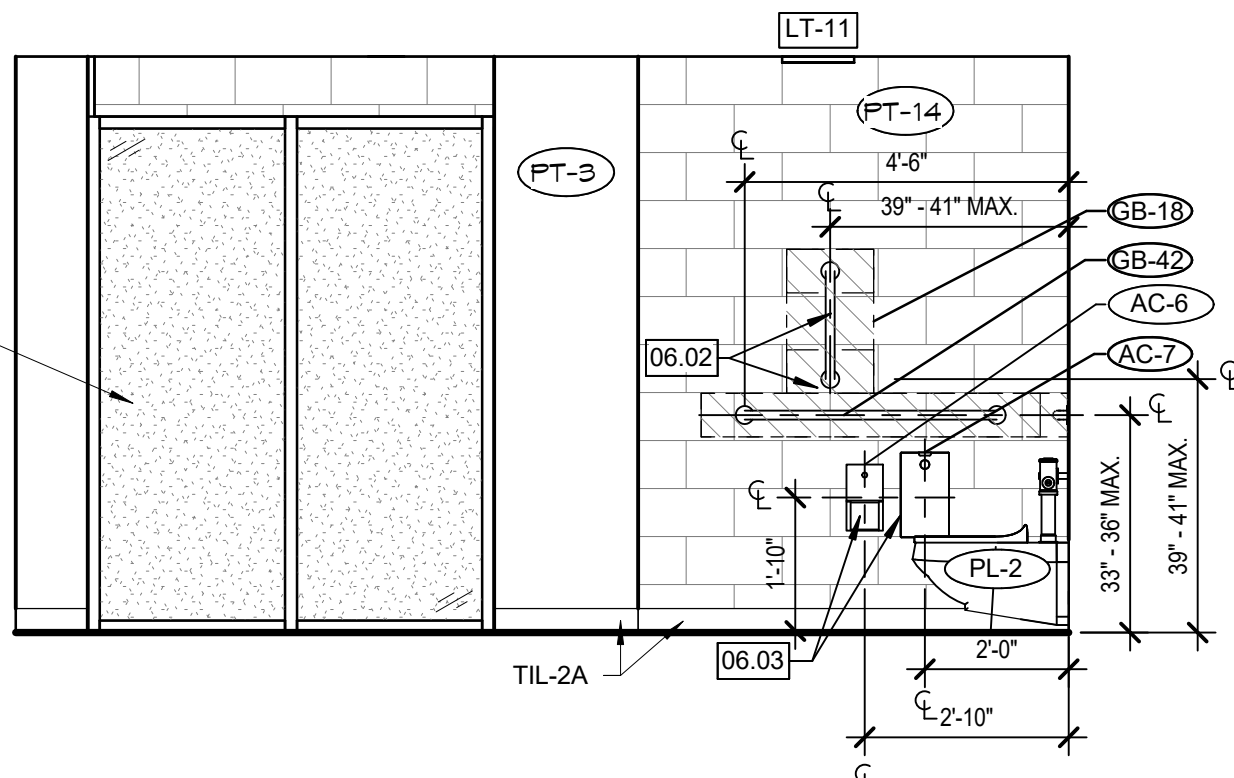
13 STAFF RESTROOM ELEV. 2
A6.15 SCALE: 3/8" = 1'-0"



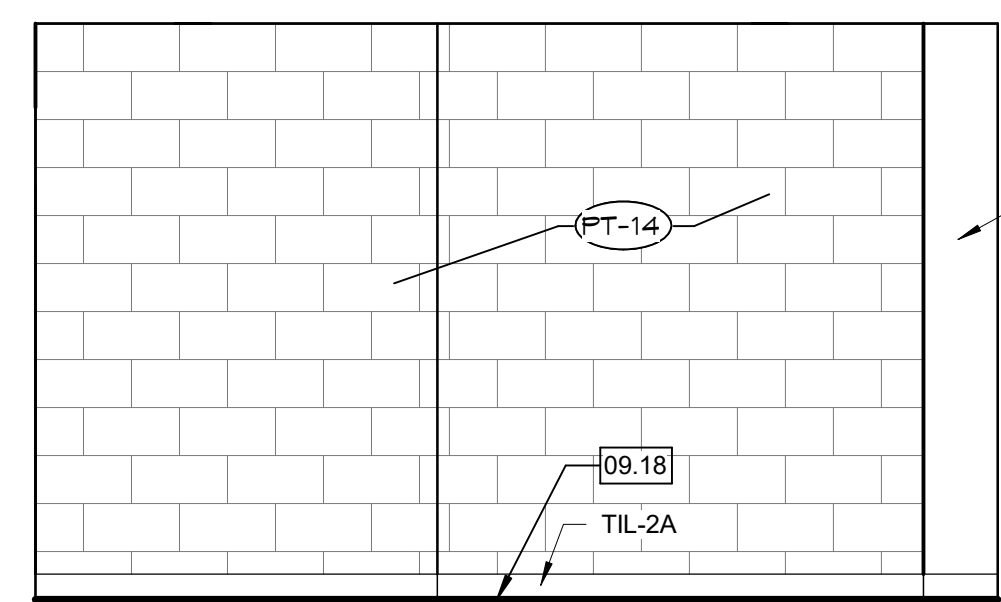
12 STAFF RESTROOM ELEV. 1
A6.15 SCALE: 3/8" = 1'-0"



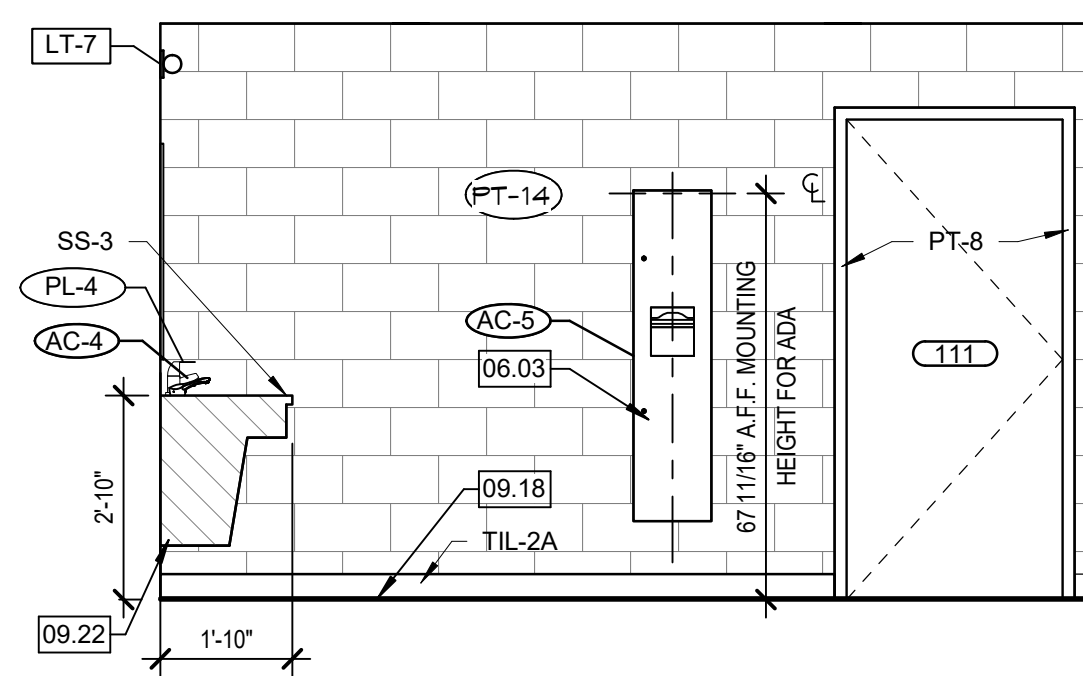
10 ENLARGED STAFF RESTROOM PLAN
A6.15 SCALE: 3/8" = 1'-0"



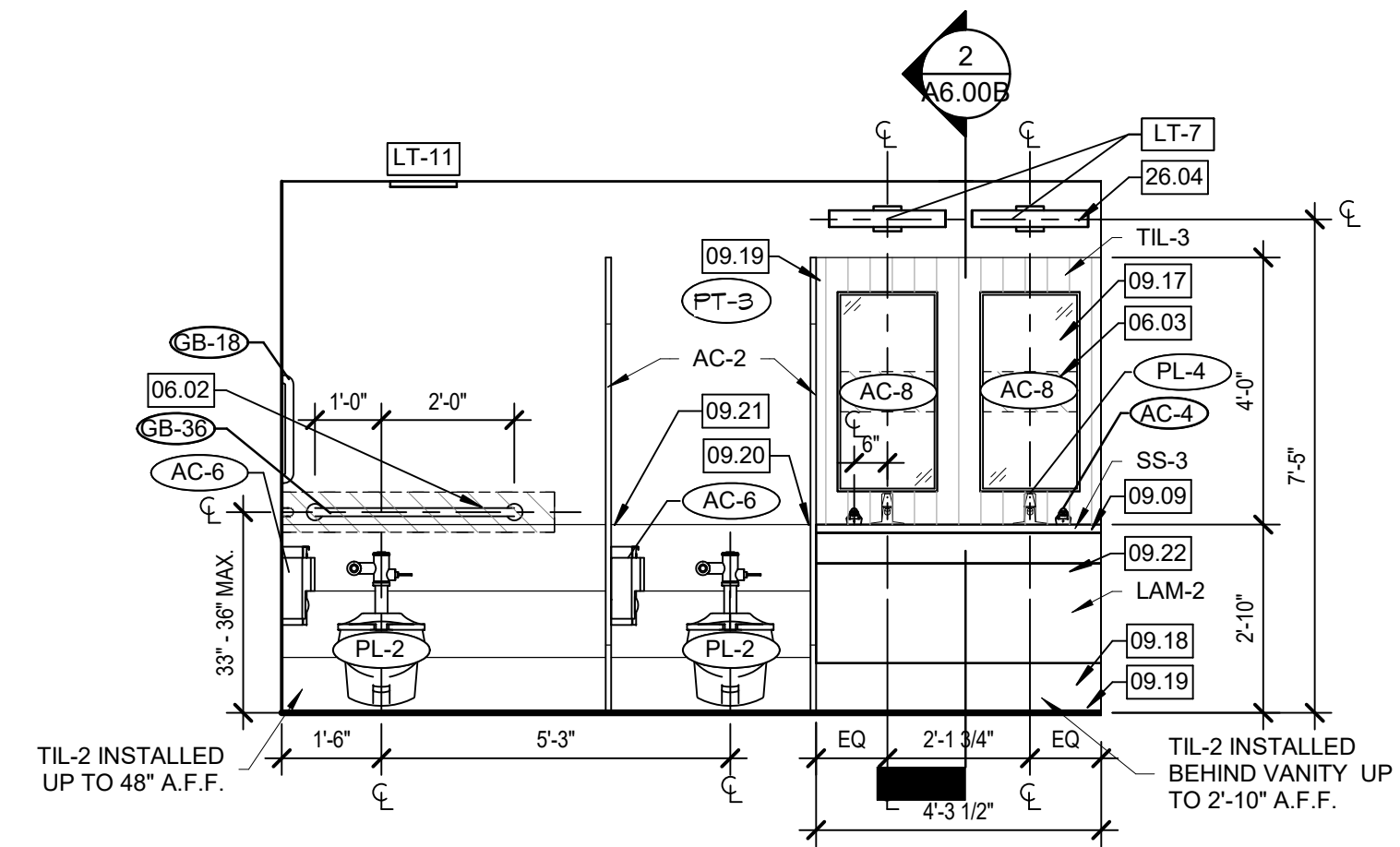
9 WOMEN'S RESTROOM ELEV. 4
A6.15 SCALE: 3/8" = 1'-0"



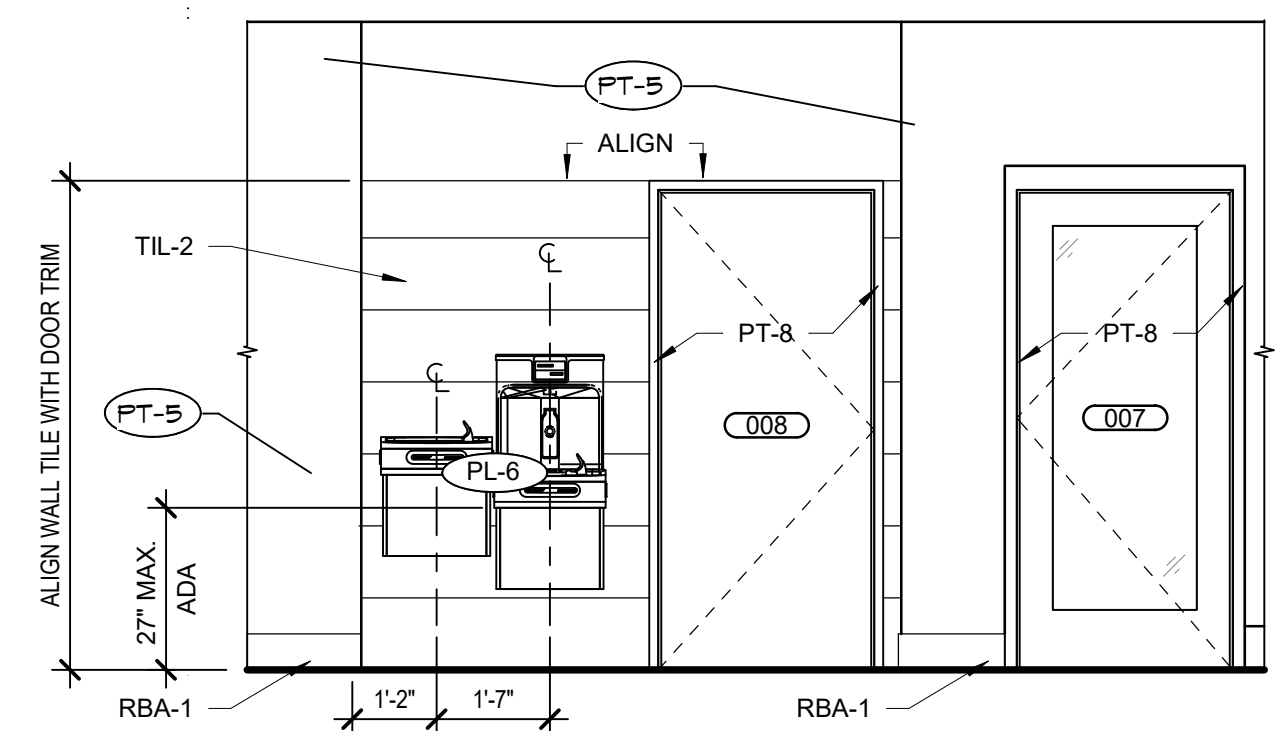
8 WOMEN'S RESTROOM ELEV. 3
A6.15 SCALE: 3/8" = 1'-0"



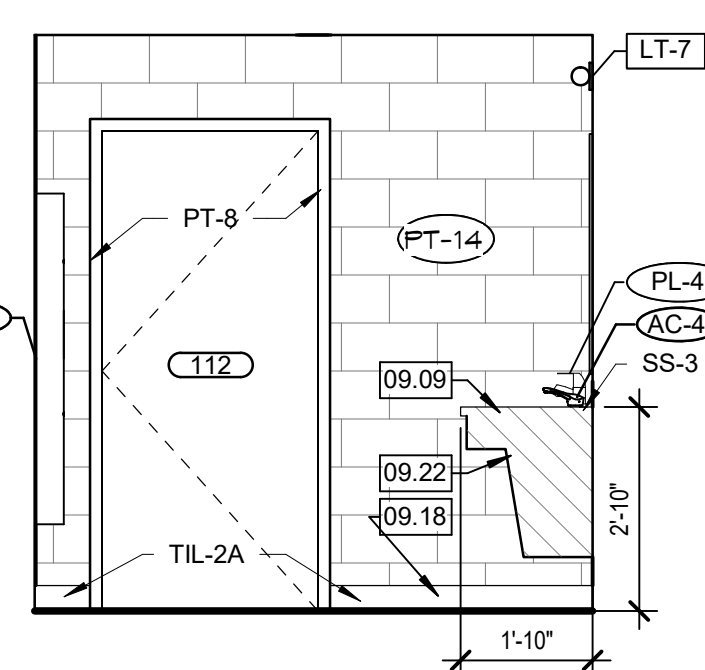
7 WOMEN'S RESTROOM ELEV. 2
A6.15 SCALE: 3/8" = 1'-0"



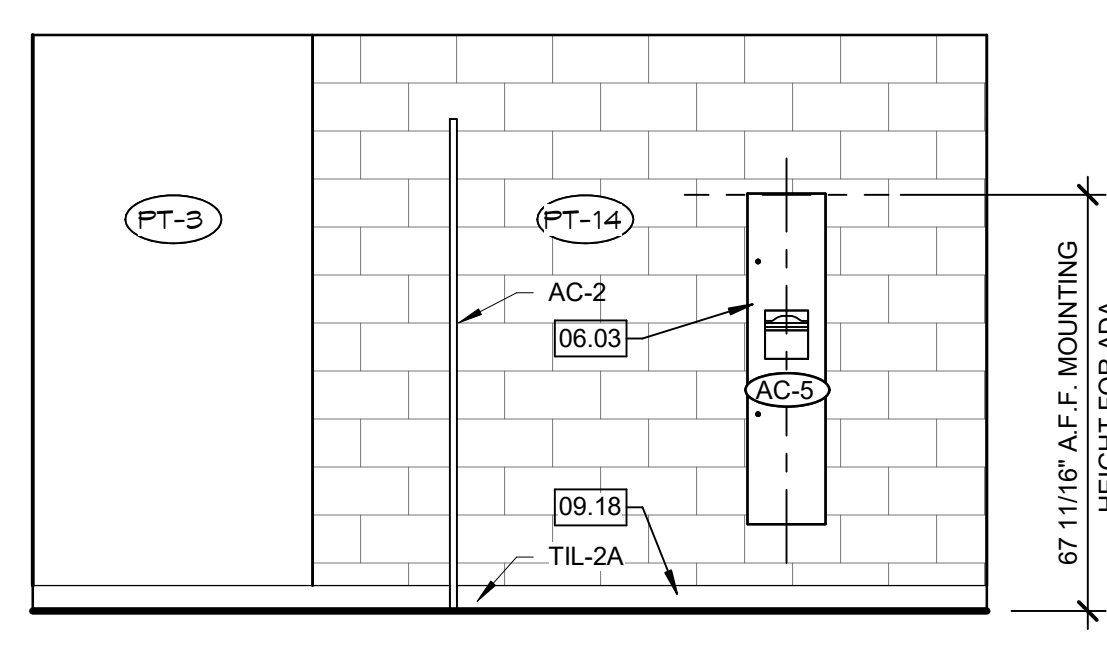
6 WOMEN'S RESTROOM ELEV. 1
A6.15 SCALE: 3/8" = 1'-0"



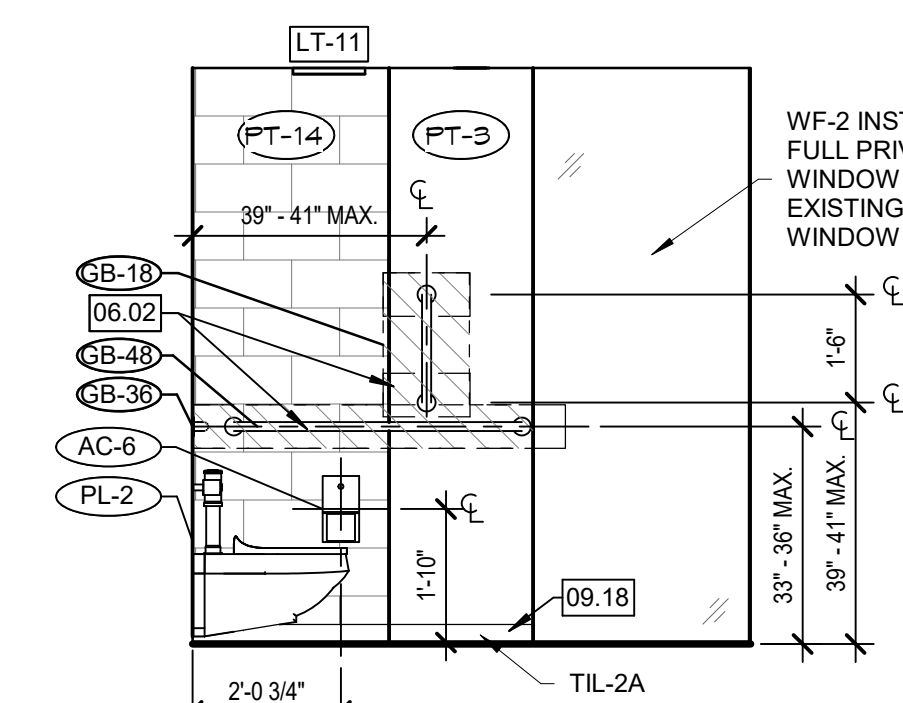
20 BASEMENT DRINKING FOUNTAIN
A6.15 SCALE: 3/8" = 1'-0"



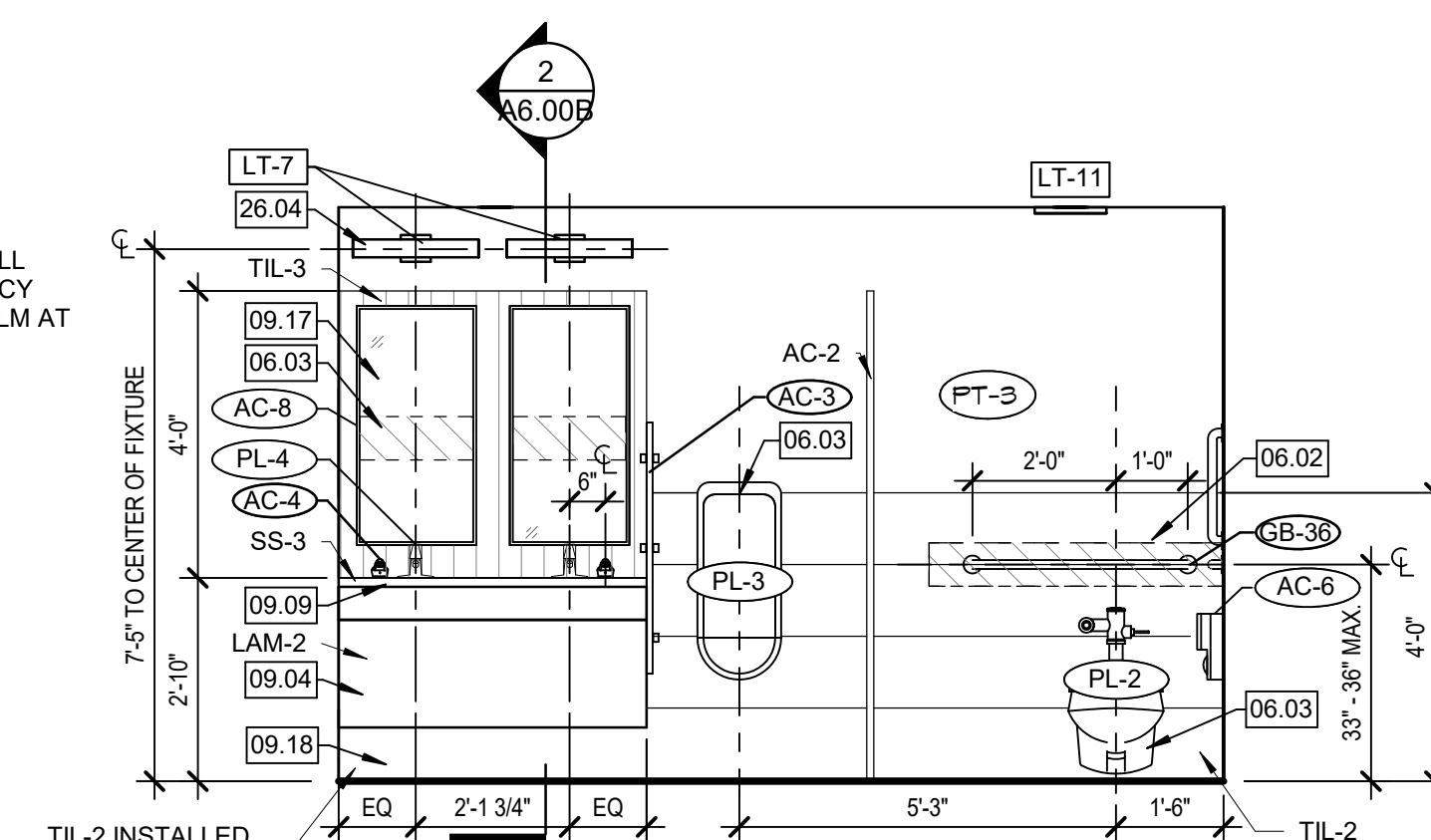
5 MEN'S RESTROOM ELEV. 4
A6.15 SCALE: 3/8" = 1'-0"



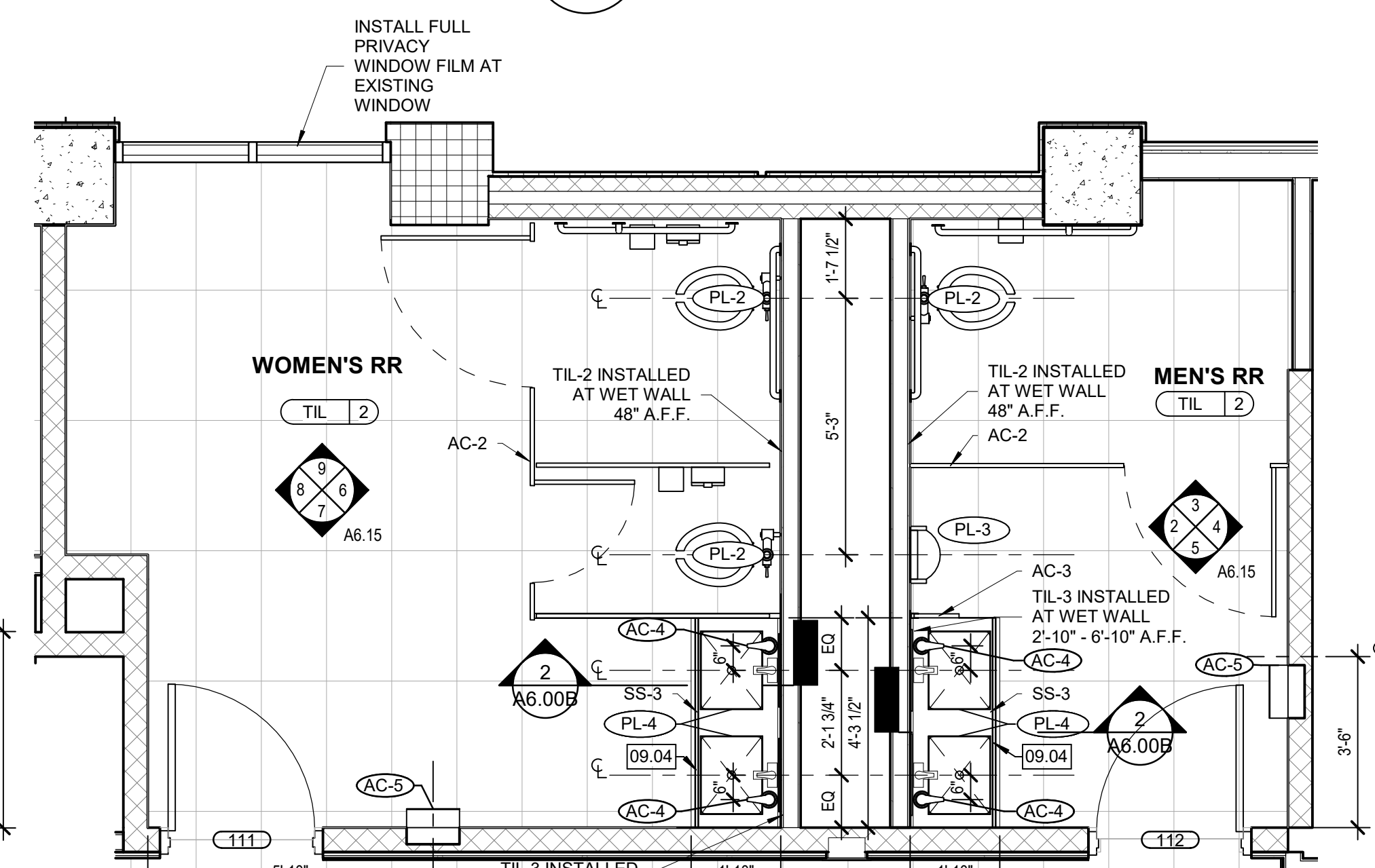
4 MEN'S RESTROOM ELEV. 3
A6.15 SCALE: 3/8" = 1'-0"



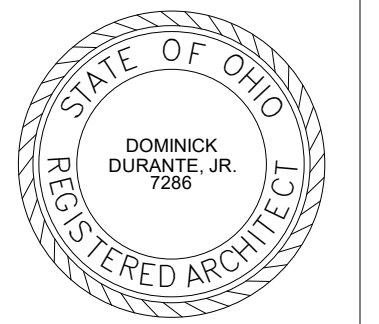
3 MEN'S RESTROOM ELEV. 2
A6.15 SCALE: 3/8" = 1'-0"



2 MEN'S RESTROOM ELEV. 1
A6.15 SCALE: 3/8" = 1'-0"



1 ENLARGED GROUND FLOOR RESTROOM PLAN
A6.15 SCALE: 3/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE #7296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. LDA, for one solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

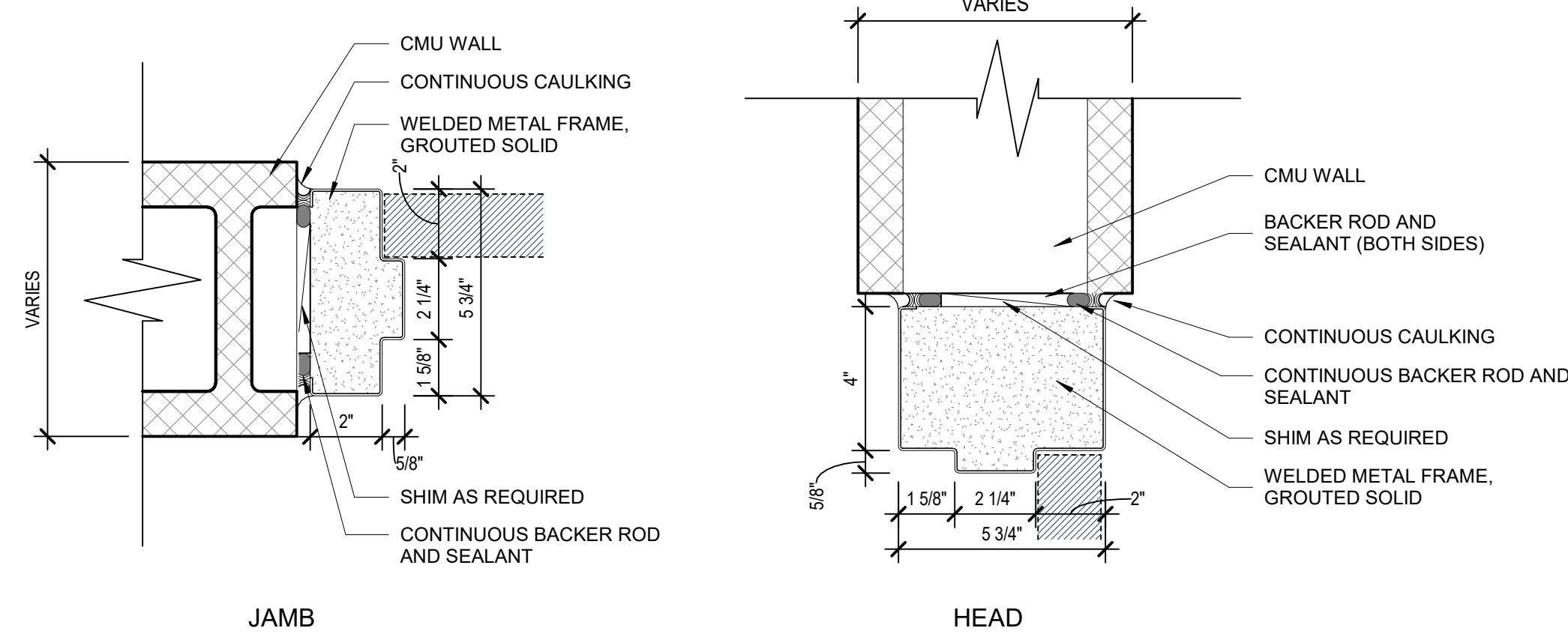
LDA Project No.23.47

FRAME DETAILS - CMU MASONRY OPENINGS

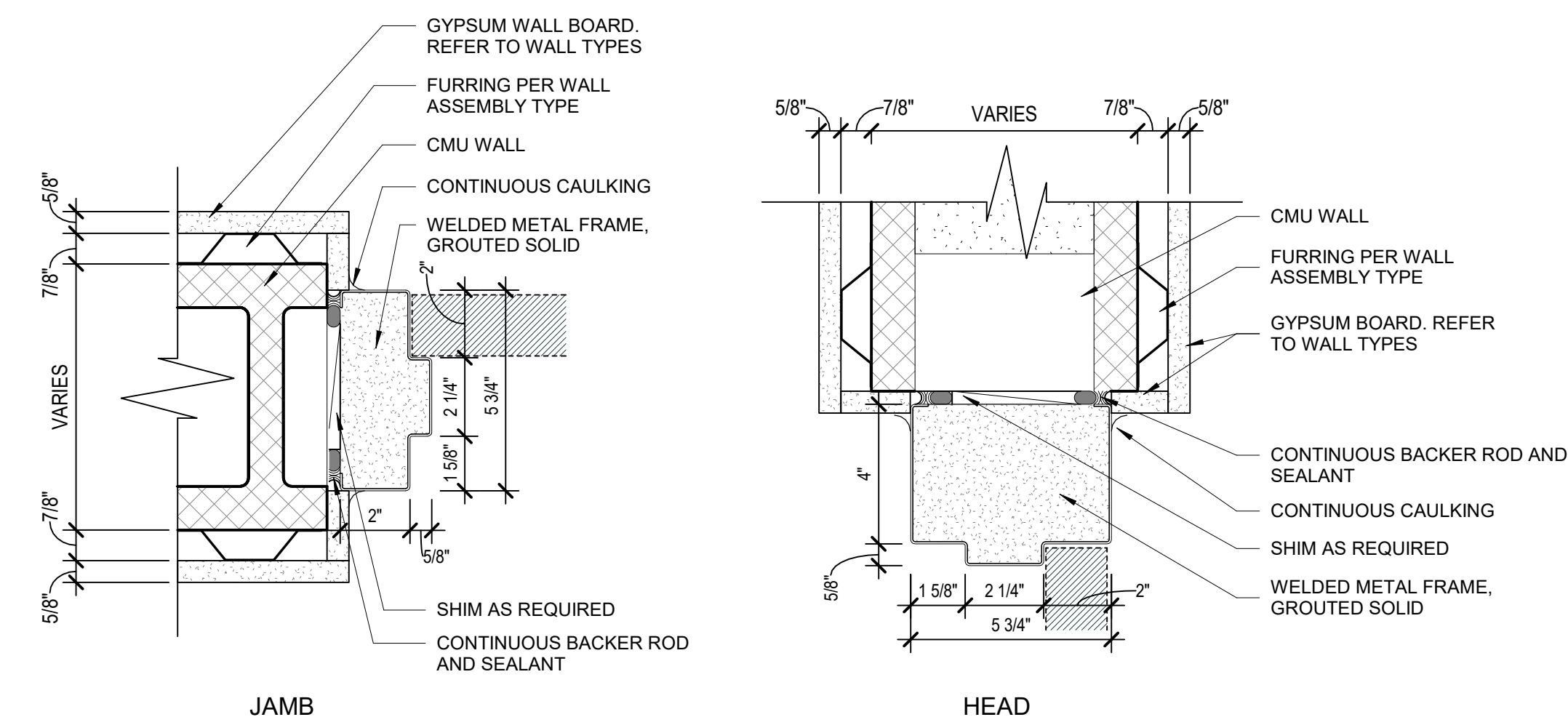
1. ACOUSTICAL SOUND BATT MAY OCCUR. REFER TO WALL TYPES
2. REFER TO G0.02 CONSTRUCTION TYPES & ASSEMBLIES FOR ADDITIONAL INFORMATION.
3. REFER TO G0.03 ACCESSIBILITY DIAGRAMS FOR ADDITIONAL INFORMATION REGARDING THRESHOLD REQUIREMENTS.
4. SEE FLOOR PLANS FOR DOOR SWING DIRECTION.
5. REFER TO DOOR SCHEDULE FOR FRAME THROAT SIZE AND DOOR SLAB THICKNESS

HATCH INDICATES DOOR SLAB PER DOOR SCHEDULE

HATCH INDICATES EXISTING CONSTRUCTION TO REMAIN



FRAME TYPE A1 - CMU OPENING
1-3/4" DOOR SLAB SHOWN - REFER TO SCHEDULE

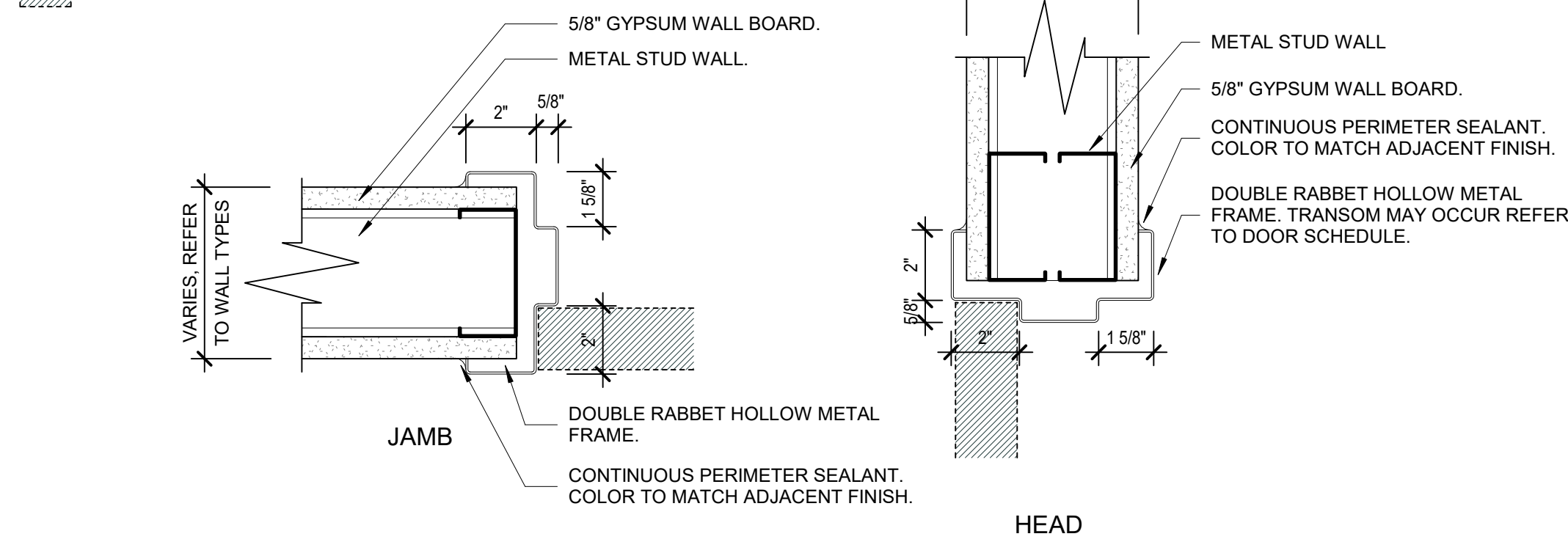


FRAME TYPE A2 - CMU OPENING, GYP. BD. BOTH SIDES
1-3/4" DOOR SLAB SHOWN - REFER TO SCHEDULE

FRAME DETAILS - METAL STUD OPENINGS

1. ACOUSTICAL SOUND BATT MAY OCCUR. REFER TO WALL TYPES
2. REFER TO G0.02 CONSTRUCTION TYPES & ASSEMBLIES FOR ADDITIONAL INFORMATION.
3. REFER TO G0.03 ACCESSIBILITY DIAGRAMS FOR ADDITIONAL INFORMATION REGARDING THRESHOLD REQUIREMENTS.
4. SEE FLOOR PLANS FOR DOOR SWING DIRECTION.
5. REFER TO DOOR SCHEDULE FOR FRAME THROAT SIZE AND DOOR SLAB THICKNESS

HATCH INDICATES DOOR SLAB PER DOOR SCHEDULE

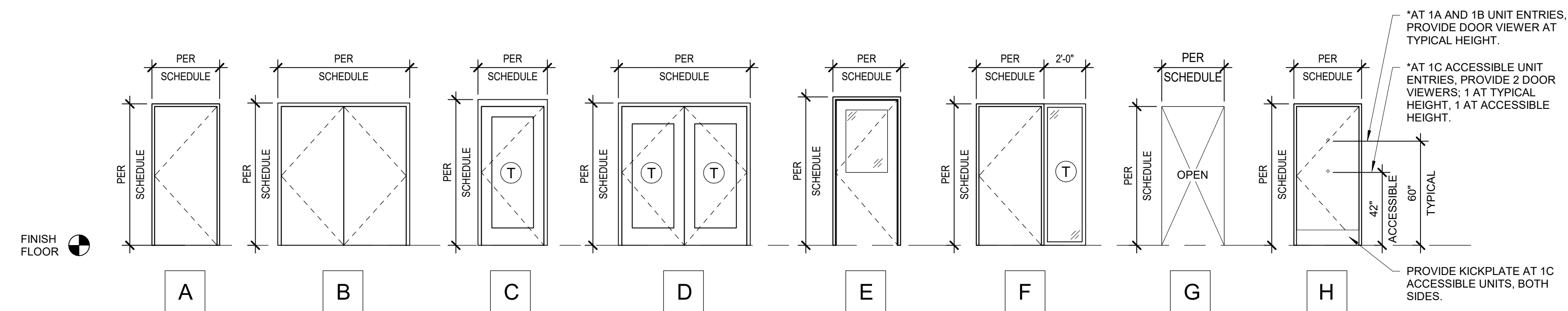


FRAME TYPE B - METAL STUD OPENINGS
1-3/4" DOOR SLAB SHOWN - REFER TO SCHEDULE

DOOR SCHEDULE - COMMON AREAS															
NUMBER	LOCATION ROOM NAME	DOOR			SIZE			FRAME			THRESHOLD		HARDWARE SET	FIRE RATING (MIN.)	REMARKS
		TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL			
LOWER LEVEL															
001A	ELEVATOR LOBBY	A	IHM	PT-8	6' - 8"	3' - 6"	1 3/4"	B	HM	PT-8			001		
001B	ELECTRICAL	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			002		
002	ELECTRICAL	B	ETR	PT-8	7' - 0"	6' - 0"		-	ETR	PT-8			003		
003	TRANSFORMER	B	ETR	PT-8	11' - 4"	6' - 0"		-	ETR	PT-8			003		
004	FIRE PUMP / WATER HEATERS	B	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A1	HM	PT-8			004		
005	CUSTODIAN	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			005		
006	STORAGE	B	IHM	PT-8	6' - 8"	5' - 0"	1 3/4"	A2	HM	PT-8			006		
007	FITNESS / REHAB	E	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			007		
008	CORRIDOR	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-8			007		
009A	MAINTENANCE GARAGE	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			008		
009B	MAINTENANCE GARAGE	B	IHM	PT-8	6' - 8"	6' - 0"	1 3/4"	A1	HM	PT-8			009		
010A	ENTRY	C	ETR	PT-8	7' - 0"	3' - 0"		-	ETR	PT-8			010		
010B	ENTRY	A	IHM	PT-8	7' - 0"	3' - 0"	1 3/4"	A2	HM	PT-8			011		
011	STORAGE	A	IHM	PT-8	8' - 8"	3' - 0"	1 3/4"	A1	HM	PT-8			012		
S-B0	STAIR B	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			013	90	
GROUND FLOOR															
101A	VESTIBULE	D	AL/TG	PF	7' - 0"	6' - 0"		-	AL	PF			014		
101B	VESTIBULE	D	AL/TG	PF	7' - 2"	6' - 0"		-	AL	PF			015		
102A	CORRIDOR	F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-8			016		
102B	OFFICE	A	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-8			017		
103A	OPEN OFFICE	F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-8			018		
103B	OPEN OFFICE	C	AL/TG	PF	7' - 0"	3' - 0"		-	AL	PF			019		
104	STAFF RESTROOM	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-8			020		
105	STORAGE CLOSET	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-8			021		
106	IT	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-8			022		
107	OFFICE	A	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-8			023		
108	OFFICE	A	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-8			023		
109	UTILITY	A	HM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	ETR	PT-8			024		
110A	COMMUNITY ROOM	F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-8			025		
110B	COMMUNITY ROOM	F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-8			026		
111	WOMEN'S RR	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	ETR	PT-8			007		
112	MEN'S RR	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	ETR	PT-8			007		
114	CONFERENCE ROOM / SOCIAL SERVICES	F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-8			027		
115	CUSTODIAN	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			024		
116	FIRE COMMAND	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-8			028	45	
118	VENDING	G	-	-	0' - 0"	0' - 0"		-	-	-			029		
119	FURNITURE CLOSET	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-8			028		
S-A1	STAIR A	A	IHM	PT-8	7' - 0"	3' - 0"	1 3/4"	A2	HM	PT-8			013	90	
S-B1	STAIR B	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	ETR	PT-8			030	90	
2ND -15TH FLOORS															
S-AX	STAIR A	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			013	90	
S-BX	STAIR B	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			013	90	
X05	TERRACE	C	AL/TG	PF	7' - 0"	2' - 10"		-	AL	PF			031		
X11A	ELEVATOR LOBBY	B	IHM	PT-8	6' - 8"	6' - 0"	1 3/4"	A2	HM	PT-8			032	45	
X11B	ELEVATOR LOBBY	B	IHM	PT-8	6' - 8"	6' - 0"	1 3/4"	A2	HM	PT-8			033	45	
X12	LAUNDRY	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			034	45	
X13	UTILITY	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			035	45	
X14	CUSTODIAN	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8			035	45	
PENTHOUSE															
P1	STAIR B	A	IHM	PT-8	7' - 0"	3' - 0"	1 3/4"	A1	HM	PT-8			024	90	
S-BP	STAIR B	A	IHM	PT-8	7' - 0"	3' - 0"	1 3/4"	A1	HM	PT-8			036	90	

DOOR SCHEDULE - UNIT 1A															
NUMBER	LOCATION ROOM NAME	DESCRIPTION			SIZE			FRAME			THRESHOLD		HARDWARE SET	FIRE RATING (MIN.)	REMARKS
		TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL			
01	UNIT ENTRY	H	IHM	PT-10	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-10			TU-01.1	20	
02	BATHROOM	A	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-2			TU-02.1		
03	BEDROOM	A	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-2			TU-02.1		
DOOR SCHEDULE - UNIT 1B															
NUMBER	LOCATION ROOM NAME	DESCRIPTION			SIZE			FRAME			THRESHOLD		HARDWARE SET	FIRE RATING (MIN.)	REMARKS
		TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL			
01	UNIT ENTRY	H	IHM	PT-10	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-10			TU-01.2	20	
02	BEDROOM	A	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-2			TU-02.1		
03	BATHROOM	A	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-2			TU-02.1		
DOOR SCHEDULE - UNIT 1C															
NUMBER	LOCATION ROOM NAME	DESCRIPTION			SIZE			FRAME			THRESHOLD		HARDWARE SET	FIRE RATING (MIN.)	REMARKS
		TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL			
01	UNIT ENTRY	H	IHM	PT-10	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-10			TU-01.1	20	
03	BATHROOM	A	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-2			TU-02.1		
04	BEDROOM	A	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	B	HM	PT-2			TU-02.1		
05	CLOSET	A	SCW	PT-2	6' - 8"	3' - 0"	1 3/4"	B	HM	PT-2			TU-03		

*DOOR 02 OF UNIT 1C HAS BEEN REMOVED.



The Offices at the Agora
5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
LDAArchitecture.com
216.932.1890

REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

DOOR SCHEDULE LEGEND

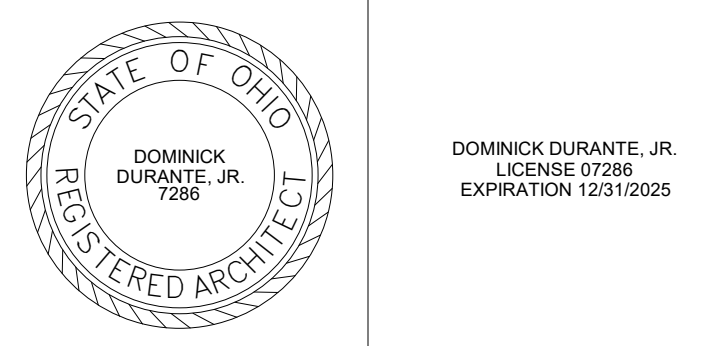
ABBREVIATIONS - MATERIALS:

- AL ALUMINUM
- ETR EXISTING TO REMAIN
- HM HOLLOW METAL
- IHM INSULATED HOLLOW METAL
- MTL METAL
- PT PAINT
- PF PRE-FINISHED
- SCW SOLID CORE WOOD
- TG TEMPERED GLASS

TEMPERED GLASS

DOOR SCHEDULE GENERAL NOTES

1. ALL EXISTING DOORS, FRAMES AND HARDWARE ARE TO BE REPLACED UNLESS NOTED OTHERWISE. REFER TO DOOR SCHEDULE.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DOOR OPENING DIMENSIONS IN FIELD WHERE NEW DOORS AND FRAMES ARE BEING PROVIDED AT EXISTING OPENINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
3. ALL DOORS AND FRAMES ARE TO HAVE A PAINTED FINISH UNLESS NOTED OTHERWISE. REFER TO FINISH SCHEDULE.



Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

DOOR SCHEDULES AND DETAILS
A7.00

UNIT & COMMON AREA FINISH SCHEDULE									
KEY	LOCATION	MANUFACTURER	COLLECTION/STYLE	COLORWAY	FINISH	DIMENSIONS	COMMENTS	CONTACT	
ACS ACOUSTICS									
ACS-1	COMMUNITY ROOM & ELEVATOR LOBBIES - ALL FLOORS	SOELBERG	MUTO - BLOX BAFFLES	LAMBS EAR	N/A	LENGTH: TBD, DEPTH: 4"	CLASS A - ASTM-E84; REFER TO A5.00 SERIES; INSTALL 8" O.C.; INCLUDE COUPLER HARDWARE	MELANIE PROULX, INDIGO SPEC GROUP; MPROULX@INDIGOSPECGROUP.COM	
ACS-1 ALTERNATE	COMMUNITY ROOM & ELEVATOR LOBBIES - ALL FLOORS	TURF						JENNA FARLEY, INTERIOR SUPPLY; JFARLEY@INTERIORSUPPLYINC.COM	
ACT ACOUSTIC CEILING TILE									
ACT-1	THROUGHOUT	USG	ORION 75 FLB #62155	WHITE		24" X 48"	INSTALL WITH GRID OPTION 'E' DXT, WHITE; ANTI-MOLD AND MILDEW RESISTANT	MORGAN (MINGUS) KIKO, MMINGUS@USG.COM; USG	
CAB CABINETS									
CAB-1	UNIT KITCHEN & BATHROOM	MASTER WOODCRAFT	ROMA SQUARE	GRIGIO	N/A	SEE A6.00 SERIES	INCLUDE TOEKICK TO MATCH CABINET FINISH; HARDWARE: BERENSON CONTEMPORARY ADVANTAGE ONE 128MM CC PULL, FINISH: CHROME	LEO DUCKSTEIN, CABINET WORKS GROUP; LEO.DUCKSTEIN@CABINETWORKSGROUP.COM	
CAB-2	COMMUNITY ROOM KITCHENETTE & BOOKCASE	CUSTOM	SHAKER STYLE, FULL-OVERLAY	PAINTED PT-9	SATIN	SEE A6.00 SERIES	INCLUDE TOEKICK TO MATCH CABINET FINISH; HARDWARE: BERENSON CONTEMPORARY ADVANTAGE ONE 128MM CC PULL, FINISH: CHROME	DAVID HERZBERG, BENNET SUPPLY / ROBERT@TOPCRAFTCASEWORK.COM	
CPT CARPET TILE									
CPT-1	CONFERENCE ROOM / SOCIAL SERVICE OFFICE	MILLIKEN	COASTLINE - LANDSCAPE LND153-144	PAMPAS GRASS		50CM X 50CM	INSTALL: MONOLITHIC; STAIN AND SOIL RESISTANT	DEBBIE FILING, MILIKEN; DEBBIE.FILING@MILLIKEN.COM	
FAB FABRIC									
FAB-1	UPHOLSTERED BENCH	MOMENTUM	CARSON CV	ROAST	PROTECTIVE OVERCOAT	54"W; NO REPEAT	100% CLEAN VINYL/PHthalate FREE; POLYESTER BACKING	COURTNEY BELL, MOMENTUM; CBELL@MOMTEX.COM	
FRP-1	FIBER REINFORCED PLASTIC UTILITY SPACES	MARLITE	SMOOTH	WHITE	4' X 8' SHEET		INCLUDE CORNER AND EDGE TRIM IN WHITE	GREG LEARY, MARLITE; GLEARY@MARLITE.COM	
GR GROUT									
GR-1	ALL TILE	TEC		WHITE		1/8" GROUT JOINT	1/8" GROUT JOINTS; ALIGN FLOOR, WALL, AND BASE TILE GROUT JOINTS	ERIN CLARK, ERIN.CLARK@DALTILE.COM	
LAM LAMINATE									
LAM-1A	COMMON AREAS & RESIDENT CORRIDORS 2-15 - WALL	WILSONART	COMPACT LAMINATE	PHANTOM ECRU 8212	VELVET MATTE	48" X 96" SHEET	VERTICAL GRAIN; INSTALL WITH L-CHANNEL AT EDGES, CHROME FINISH; INSTALL WITH Z-CLIPS AT WALL	DAVID HERZBERG, BENNET SUPPLY / ROBERT@TOPCRAFTCASEWORK.COM	
LAM-1B	COMMON AREAS & RESIDENT CORRIDORS 2-15 - CEILING & UNIT ENTRY	WILSONART	PREMIUM LAMINATE	PHANTOM ECRU 8212K-28	GLOSS LINE FINISH	48" X 96" SHEET	AEON SCRATCH RESISTANTS; INSTALL WITH CHROME L-CHANNEL & 3MM WILSONART PVC EDGE BAND	DAVID HERZBERG, BENNET SUPPLY / ROBERT@TOPCRAFTCASEWORK.COM	
LAM-2	PUBLIC RESTROOM - VANITY APRON	WILSONART	PREMIUM LAMINATE	SLATE GREY D91-60	MATTE FINISH	48" X 96" SHEET		DAVID HERZBERG, BENNET SUPPLY / ROBERT@TOPCRAFTCASEWORK.COM	
LVT LUXURY VINYL TILE									
LVT-1	UNITS THROUGHOUT (EXCEPT ANSI TYPE A BATHROOMS)	MILLIKEN	THE MAGIC HOUR - HORIZON	LIGHT		9.84" X 59.06"	22MIL WEAR LAYER, 5MM THICKNESS; GLUE DOWN, INSTALLATION: RANDOM	DEBBIE FILING, MILIKEN; DEBBIE.FILING@MILLIKEN.COM	
MIR MIRROR									
MIR-1	ELEVATOR LOBBIES - 2ND - 15TH FLOOR	-	FLAT PLATE MIRROR WITH 1" WOOD TRIM	TRIM: STAINED TO MATCH LAM-1	N/A				
MIR-2	FITNESS CENTER / REHAB & FLEX AMENITY	-	FLAT PLATE MIRROR WITH 1" ALUMINUM FRAME	N/A	N/A	4' X 8'	WALL-MOUNTED;		
PT PAINT									
PT-1	CEILINGS - THROUGHOUT	SHERWIN WILLIAMS	PROMAR 200	SW7004 SNOWBOUND	FLAT	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-2	DOOR/TRIM - UNITS	SHERWIN WILLIAMS	PROMAR 200	SW7004 SNOWBOUND	SATIN	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-3	WALLS - FIELD - UNITS & COMMON AREA	SHERWIN WILLIAMS	PROMAR 200	SW7004 SNOWBOUND	EGGSHELL	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-4	WALLS - ACCENT - UNIT LIVING ROOM	SHERWIN WILLIAMS	PROMAR 200	SW7016 MINDFUL GRAY	EGGSHELL	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-5	WALLS - FIELD - COMMON AREA	SHERWIN WILLIAMS	PROMAR 200	SW7029 AGREEABLE GRAY	EGGSHELL	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-6 (NOT USED)	-	-	-	-	-	-	-	-	-
PT-7	WALLS - ACCENT - COMMON AREA	SHERWIN WILLIAMS	PROMAR 200	SW7660 EARL GREY	EGGSHELL	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-8	DOOR/TRIM - COMMON AREA	SHERWIN WILLIAMS	PROMAR 200	SW7004 SNOWBOUND	SATIN	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-9	BOOKCASE & MILWORK - COMMUNITY ROOM	SHERWIN WILLIAMS	PROMAR 200	SW7660 EARL GREY	SATIN	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-10	DOOR/TRIM - RESIDENT CORRIDOR (CORRIDOR SIDE)	SHERWIN WILLIAMS	PROMAR 200	SW7660 EARL GREY	SATIN	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-11	WALLS - FIELD - COMMON AREA BLOCK WALLS	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED CATALYZED EPOXY GLOSS B73 SERIES	SW7029 AGREEABLE GRAY	WIPEABLE/GLOSS	N/A	1 COAT PRIMER; SW HEAVY DUTY BLOCK FILLER; 2 COAT FINISH AS SPECIFIED	ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-12	WALLS - ACCENT - CORRIDORS FLOOR 2-15 BLOCK WALLS	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED CATALYZED EPOXY GLOSS B73 SERIES	SW7642 PAVESTONE	WIPEABLE/GLOSS	N/A	1 COAT PRIMER; SW HEAVY DUTY BLOCK FILLER; 2 COAT FINISH AS SPECIFIED	ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-13	METAL HANDRAILS - STAIRWELLS	SHERWIN WILLIAMS	DIRECT-TO-METAL ALKYD ENAMEL	SW7642 PAVESTONE	SATIN	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
PT-14	WALLS - FIELD - PUBLIC RESTROOMS BLOCK WALLS	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED CATALYZED EPOXY GLOSS B73 SERIES	SW7004 SNOWBOUND	WIPEABLE/GLOSS	N/A	1 COAT PRIMER; SW HEAVY DUTY BLOCK FILLER; 2 COAT FINISH AS SPECIFIED	ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM	
RBA RUBBER BASE									
RBA-1	RESIDENT CORRIDOR - 2ND -15TH FLOOR & BASEMENT	JOHNSONITE	REVEAL BASE	COTTON	N/A	6"H	INSTALL WITH FIELD PAINT PT-5	LAURIE BAATZ, JOHNSONITE; LAURIE.BAATZ@TARKETT.COM	
RBA-2	RESIDENT CORRIDOR - 2ND -15TH FLOOR	JOHNSONITE	REVEAL BASE	TBD	N/A	6"H	INSTALL WITH ACCENT PAINT PT-7	LAURIE BAATZ, JOHNSONITE; LAURIE.BAATZ@TARKETT.COM	
RBA-3	UTILITY SPACES	JOHNSONITE	TRADITIONAL COVE BASE	COTTON	N/A	4"H	INSTALL IN UTILITY SPACES & BEHIND LAM-1A	LAURIE BAATZ, JOHNSONITE; LAURIE.BAATZ@TARKETT.COM	
RBA-4	RESIDENT CORRIDOR - 2ND -15TH FLOOR	JOHNSONITE	REVEAL BASE	WHITE	N/A	6"H	INSTALL WITH FIELD PAINT PT-3	LAURIE BAATZ, JOHNSONITE; LAURIE.BAATZ@TARKETT.COM	
RF RESILIENT FLOORING									
RF-1	FITNESS CENTER / REHAB COMMON AREA FLOORING	ECORE	ECOFIT	MOONROCK 812	N/A	24" X 24" TILE		CLAYTON MOORE, Ecore Intl; CCMOORE@ECOREINTL.COM	
RF-2 (ALT. TO SC-1)	COMMON AREA FLOORING	PATCRAFT	ADMIX 1347V	SAND DOLLAR 00510	N/A	36" X 36" TILE	DRY BACK GLUE DOWN INSTALLATION WITH SQUARED EDGE; PRICE OUT AS ALTERNATE TO SC-1 IN COMMON AREA	BETSY HAMLIN; BETSY.HAMLIN@PATCRAFT.COM	
RF-3 (ALT FOR ACC. UNITS)	ACCESSIBLE UNITS - GENERAL FLOORING	CHILEWICH	BOUCLE 400606-033M	NATURAL	N/A	72"W ROLL	INSTALL WITH BIOFELT BACKING	MELANIE PROULX, INDIGO SPEC GROUP; MPROULX@INDIGOSPECGROUP.COM	
SC SEALED CONCRETE									
SC-1	COMMON AREA FLOORING	DECOCRETE	AMOUR DYE	BUFF	MATTE, SLIP RESISTANT, SCRATCH RESISTANT	N/A	GROUND CONCRETE TO REMOVE GLUE AND PREP FOR COLOR. OVER COLORED DYE. ADD ONE COAT ROCKHARD URETHANE TOP COAT FOR GLOSS FINISH. ADD THIN COAT OF ROCK HARD WITH ALUMINUM OXIDE FOR SLIP RESISTANCE.	JOE GINGERICH, JOE@DECO-CRETESUPPLY.COM; DECOCRETE	
SHF SHELF									
SHF-1	COMMUNITY ROOM KITCHENETTE	-	FLOATING SHELF	PAINTED PT-9	SATIN	SEE A6.13			
SS SOLID SURFACE									
SS-1	UNIT KITCHEN	CORIAN	25"D COUNTERTOP	STONIQUE	N/A	SEE UNIT PLANS A6.01-A6.03	INCLUDE 4"H BUTTED BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS; SILICONE SEALANT TO MATCH COUNTERTOP; RADIUS EDGE	KAREN CAHILL, KCAHILL@PARKSITE.COM	
SS-2	UNIT BATHROOM	CORIAN	INTEGRAL SINK, OVAL	GLACIER WHITE	N/A	SEE UNIT PLANS A6.01-A6.03	INCLUDE 4"H BUTTED BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS; SILICONE SEALANT TO MATCH COUNTERTOP; RADIUS EDGE	KAREN CAHILL, KCAHILL@PARKSITE.COM	
SS-3	COMMON AREA - GROUND FLOOR & RESTROOMS	CORIAN	25"D COUNTERTOP	GLACIER WHITE	N/A	3CM	INCLUDE 4"H BUTTED BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS; SILICONE SEALANT TO MATCH COUNTERTOP; RADIUS EDGE	ERIN CLARK, ERIN.CLARK@DALTILE.COM	
SS-4	ELEVATOR LOBBIES 2ND-15TH FLOORS	CORIAN	25"D COUNTERTOP	DEEP CLOUD	N/A	3CM	MITER EDGE TO CREATE 6"D COUNTERTOP; INCLUDE 4"H BUTTED BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS; SILICONE SEALANT TO MATCH COUNTERTOP; RADIUS EDGE	ERIN CLARK, ERIN.CLARK@DALTILE.COM	
STN STONE									
STN-1	COMMUNITY ROOM - FIREPLACE WALL	REALSTONE SYSTEMS	LEDGESTONE PANEL WSP-CC-L	CITY CREME	HONED	6"x24"	SEE A6.13 FOR INTERIOR ELEVATION; INCLUDE CITY CREME LEDGESTONE EDGE TIRM	JESSICA GESSNER, JGESSNER@THOMASBRICK.COM	
TIL TILE									
TIL-1	UNIT BATHROOM - FLOOR TILE	DALTILE	PRIME	WHITE KC01	MATTE	2' X 2" MOSAIC (12" X 24" SHEET)	DOT MOUNTED	ERIN CLARK, ERIN.CLARK@DALTILE.COM	
TIL-1A	UNIT BATHROOM - COVE BASE	DALTILE	PRIME COVE BASE P43C9	WHITE KC01	MATTE	3" X 12"		ERIN CLARK, ERIN.CLARK@DALTILE.COM	
TIL-2	COMMON AREA GROUND FLOOR - FLOOR TILE	DALTILE	STEPWISE - CALCARY	LEGACY CG40	MATTE	12" X 24"	INSTALLATION: STACKED	ERIN CLARK, ERIN.CLARK@DALTILE.COM	
TIL-2A	COMMON AREA GROUND FLOOR - WALL BASE	DALTILE	CALGARY COVE BASE P63C9	LEGACY CG40	MATTE	6" X 24"	ALIGN WITH GROUT JOINTS WITH FLOOR TILE	ERIN CLARK, ERIN.CLARK@DALTILE.COM	
TIL-3	ALL PUBLIC RESTROOMS - WALL TILE	DALTILE	COLOR WHEEL - LINEAR	ARCTIC WHITE 0190	SEMI-GLOSS	2' X 8"	ALIGN WITH WIDTH OF COUNTERTOP; TRIM EDGES WITH SCHLUTER: RENO TRANSITION STRIP, CHROME FINISH; INSTALLATION: VERTICAL STACKED	ERIN CLARK, ERIN.CLARK@DALTILE.COM	
TIL-4	UNIT KITCHENS - BACKSPLASH	DALTILE	COLOR WHEEL - LINEAR	ARCTIC WHITE 0190	SEMI-GLOSS	2' X 8"	INSTALLATION: HORIZONTAL STACKED; TRIM EXPOSED EDGES WITH SCHLUTER RENO TRANSITION STRIP, CHROME FINISH	ERIN CLARK, ERIN.CLARK@DALTILE.COM	
TMB TAMBOUR									
TMB-1	ELEVATOR LOBBIES - ALL FLOORS	CUSTOM CUT FROM 1" X 2"	WOOD SLAT ACCENT WALL WITH 1" WOOD CAP	WHITE OAK - STAINED TO MATCH LAM-1A	STAINED	1-1/2" WIDE X 3/4" THICKNESS NOMINAL	LEAVE 1/4" LEAVE 1/4" SPACE BETWEEN FLOOR AND BOTTOM OF SLAT	ROBERT CUCKLER, ROBERT@TOPCRAFTCASEWORK.COM; TOP CRAFT	
WB WINDOW BLINDS									
WB-1	UNITS - WINDOWS	SWF CONTRACT	CROWN VINYL BLINDS	SATIN WHITE	N/A	2"	INSTALL AT ALL UNIT WINDOWS	NATASHA CATLIN, KMA ASSOCIATES; NCATLIN@KMA.BZ	
WB-2	COMMON AREA - WINDOWS	SWF CONTRACT	SHADE CLOTH - COMPASS 3% OPEN Y300	STONE/WHITE C2032	N/A	126"W	INSTALL AT ALL COMMON AREA WINDOWS; 78% PVC / 22% POLYESTER	NATASHA CATLIN, KMA ASSOCIATES; NCATLIN@KMA.BZ	
WBA WOOD BASE									
WBA-1	COMMON AREA - GROUND FLOOR	METRIE	PRIMED MDF BASEBOARD - 1496366	PRIMED	PAINTED PT-8	1/2" X 5-1/2" X 16'			
WBA-2	UNITS	METRIE	PRIMED MDF BASEBOARD - 1521912	PRIMED	PAINTED PT-2	1/2" X 4-1/4" X 16'	INSTALL WITH QUARTER ROUND		
WBA-3	COMMON AREA - AT ACCENT WALL	METRIE	PRIMED MDF BASEBOARD - 1496366	PRIMED	PAINTED PT-9	1/2" X 5-1/2" X 16'			
WBA-4	ELEVATOR LOBBIES - ALL FLOORS	TBD	TBD	STAINED	MATCH TMB-1	1/2" X 5-1/2" X 16'			
WC WALLCOVERING									
WC-1	ELEVATOR LOBBIES 2ND-15TH FLOOR	KOROSEAL	DIGITAL COLLECTION - HERON SCENIQUE KDE-HRS-02	DAWN	SILK SUBSTRATE DS0109 - VINYL	TBD - SEE A6.00 SERIES	CLASS A, ASTM E-84	CHRISTINE MATHIES, KOROSEAL; CMATHIES@KOROSEAL.COM	
WC-2	COMMUNITY ROOM - BOOKCASE	KOROSEAL	DIGITAL COLLECTION - IN FULL VIEW KDE-NFV-02	DAWN	SILK SUBSTRATE DS0109 - VINYL	TBD - SEE A6.00 SERIES	CLASS A, ASTM E-84	CHRISTINE MATHIES, KOROSEAL; CMATHIES@KOROSEAL.COM	
WC-3	LEASING OFFICE & CONFERENCE ROOM - ACCENT WALL	KOROSEAL	INSIGHT 6322-41	PURLESQUE	VINYL TYPE II	52" - 54" ROLL WIDTH	CLASS A - ASTM-E84; RANDOM MATCH, REVERSE HANG; NO REPEAT; WOVEN BACKING	CHRISTINE MATHIES, KOROSEAL; CMATHIES@KOROSEAL.COM	
WF WINDOW FILM									
WF-1 (NOT USED)	-	-	-	-	-	-	-	-	-
WF-2	WOMEN'S RESTROOM - EXISTING WINDOW	KOROSEAL	TBD	TBD	TBD	TBD	TBD	CHRISTINE MATHIES, KOROSEAL; CMATHIES@KOROSEAL.COM	



The Offices at the Agora
5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
LDAarchitecture.com
216.932.1890

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80% - OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80% - OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

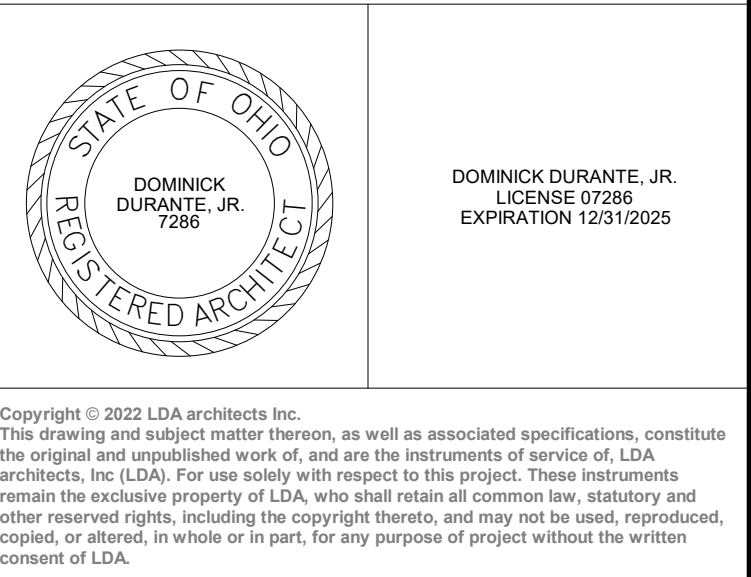
REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80% - OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80% - OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80% - OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80% - OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80% - OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT



Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

INTERIOR SCHEDULES

A7.01A

UNIT & COMMON AREA LIGHTING SCHEDULE							
KEY NO.	DESCRIPTION	MANUFACTURER	MODEL NO.	FINISH	COLOR TEMP.	CRI	COMMENTS
COMMON AREA							
LT-1	6" RECESSED DOWNLIGHT	ADVANTAGE	AIC6V0FLEDES-U-30-30K-W6060-ZDM	WHITE	3000K	90	ENERGY-STAR LISTED, DIMMABLE
LT-2	37" DIAMETER CHANDELIER	ALORA	ALONSO CH320837UBAR	URBAN BRONZE/ALABASTER	3000K	90	ENERGY-STAR LISTED, DIMMABLE
LT-3	23"H WALL SCNCE - ADA CERTIFIED	ALORA	WV348222	URBAN BRONZE/ FROSTED RIBBED GLASS	3000K	90	ENERGY-STAR LISTED, DIMMABLE
LT-4	TAPE LIGHT - UNDER CABINET	KLUS	TBD	N/A	3000K	90	ENERGY-STAR LISTED, DIMMABLE
LT-5	17" FLUSH MOUNT	KUZCO	BRUNSWICK FM43518-WH	WHITE	3000K	90	ENERGY-STAR LISTED, DIMMABLE
LT-6	ALONSO 8" WALL SCNCE	ALORA	DAHLIA WV346006UBAR	URBAN BRONZE/ALABASTER	3000K	90	ENERGY-STAR LISTED, DIMMABLE; ADA CERTIFIED
LT-7	24" VANITY WALL SCNCE	ALORA	ALONSO WV320323UB	URBAN BRONZE/OPAL GLASS	3000K	90	DIMMABLE, CENTER ON LAVATORY & MIRROR
LT-8	24" X 48" RECESSED PANEL	LEDALITE	SHINE 3324D1STL9030-SUPERPLANE 2.5 SP2.S5-S8-MED-90-3000K	WHITE	3000K	90	ENERGY-STAR LISTED, DIMMABLE
LT-9	LINEAR SUSPENDED	ALW	NWL WRAPAROUND	SATIN WHITE	3000K	90	ENERGY-STAR LISTED, DIMMABLE; 8' LENGTH
LT-10	12" X 48" UTILITY LIGHT	DAYBRITE	QTXE110150DC	WHITE	N/A	N/A	ENERGY-STAR LISTED
LT-11	EXHAUST FAN	BROAN	QTXE110150DC	WHITE	N/A	N/A	ENERGY-STAR LISTED
LT-12	2" MINI RECESSED DOWNLIGHT	CSL	ACROBAT A2 - ROUND/STANDARD TRIM	WHITIE	3000K	90	ENERGY-STAR LISTED, DIMMABLE
LT-13	24" LINEAR RECESSED LIGHT - UNIT ENTRY	PMC LIGHTING	NELIO ES14	WHITE	3000K	90	INSTALL IN T-GRID; DIMMABLE
LT-14	11" SURFACE MOUNT - EXTERIOR RATED			WHITE	3000K	90	ENERGY-STAR LISTED, DIMMABLE

UNIT & COMMON AREA APPLIANCE SCHEDULE							
KEY	DESCRIPTION	MANUFACTURER	MODEL #	DIMENSIONS	FINISH		COMMENTS
COMMON AREA							
AP-1	24" BEVERAGE COOLER	SUMMIT	AL57G	H: 32", W: 23.63", D: 22.63"	STAINLESS STEEL		ADA COMPLIANT
AP-2	24" DISHWASHER	FRIGIDAIRE	FFB02420US	H: 32 2/8", W: 24", D: 24"	STAINLESS STEEL		ADA COMPLIANT; ENERGY-STAR
UNITS							
AP-A	30" TOP-FREEZER REFRIGERATOR - 20 CU. FT.	FRIGIDAIRE	FPHT2097VF	H: 66 3/8", W: 30", D: 34 3/4"	STAINLESS STEEL		ADA COMPLIANT; ENERGY-STAR
AP-B	NOT USED						
AP-C	30" ELECTRIC RANGE	FRIGIDAIRE	FCRE3062AS	H: 46 3/4", W: 30", D: 28 1/2"	STAINLESS STEEL		
AP-C1	30" ADA ELECTRIC RANGE WITH FRONT CONTROLS	FRIGIDAIRE	FCFE3062AS	H: 35 3/8", W: 30", D: 28 1/2"	STAINLESS STEEL		ADA COMPLIANT; INSTALL AT UNIT 1C ONLY
AP-D	30" VENTLESS RANGE HOOD	FRIGIDAIRE	FCVW3052AS	H: 4 15/16", W: 30", D: 19 3/4"	STAINLESS STEEL		
AP-D1	30" ADA VENTLESS RANGE HOOD	GE APPLIANCES	JVX5305SJS	H: 5 1/2", W: 30", D: 20"D	STAINLESS STEEL		ADA COMPLIANT; INSTALL AT UNIT 1C ONLY. INCLUDE SWITCH AT WORKSTATION APRON

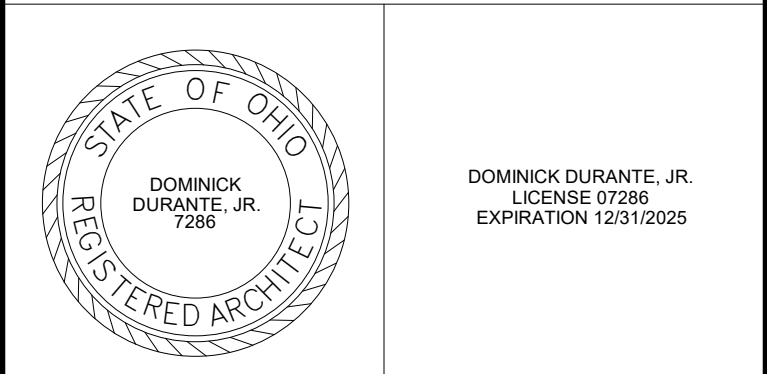
ROOM FINISH SCHEDULE - COMMON AREA									
ROOM NO.	ROOM NAME	FLOOR	WALL BASE	DOOR/TRIM	WALLS	ACCENT WALL	CASEWORK	CEILING	COMMENTS
0-BASEMENT									
000	CORRIDOR	SC-1	RBA-1	PT-8	PT-5 / PT-11	N/A	N/A	ACT-1	
001	ELEVATOR LOBBY	SC-1	RBA-1	PT-8	PT-5 / PT-11	N/A	N/A	ACT-1	
002	ELECTRICAL	SC-1	RBA-3	PT-8	PT-11	N/A	N/A	ACT-1	
003	TRANSFORMER	SC-1	RBA-3	PT-8	PT-11	N/A	N/A	N/A	
004	FIRE PUMP / WATER HEATERS	SC-1	RBA-3	PT-8	PT-11	N/A	N/A	N/A	
005	CUSTODIAN	SC-1	RBA-3	PT-8	PT-5 / PT-11	N/A	N/A	ACT-1	
006	STORAGE	SC-1	RBA-3	PT-8	PT-5 / PT-11	N/A	N/A	ACT-1	
007	FITNESS / REHAB	RF-1	RBA-1	PT-8	PT-11	PT-7	N/A	ACT-1	
008	UNISEX RESTROOM	TIL-2	TIL-2A	PT-8	PT-3 / PT-14	TIL-2 / TIL-3	SS-3 / LAM-2	ACT-1	REFER TO A6.16 ENLARGED RESTROOM PLANS & INTERIOR ELEVATIONS
009	MAINTENANCE GARAGE	SC-1	RBA-3	PT-8	PT-5 / PT-11	N/A	N/A	N/A	
010	ENTRY	SC-1	RBA-1	PT-8	PT-11	N/A	N/A	ACT-1	
011	STORAGE	SC-1	RBA-3	PT-8	PT-11	N/A	N/A	ACT-1	
1-FIRST FLOOR									
100	CORRIDOR	TIL-2	TIL-2A	PT-8	PT-5	TMB-1	LAM-1A / LAM-1B	ACT-1	REFER TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ELEVATIONS
101	VESTIBULE	TIL-2	TIL-2A	STOREFRONT	PT-5	N/A	LAM-1A	ACT-1	SEE A6.15
102A	OFFICE	SC-1	WBA-1	PT-8	PT-5 / PT-11	N/A	N/A	ACT-1	
102B	OFFICE	SC-1	WBA-1	PT-8	PT-5 / PT-11	WC-3	N/A	ACT-1	
103	OPEN OFFICE	SC-1	WBA-1	PT-8	PT-5	N/A	SS-3/CAB-1	ACT-1	
104	STAFF RESTROOM	TIL-2	TIL-2A	PT-8	PT-14	TIL-2 / TIL-3	SS-3 / LAM-2	ACT-1	REFER TO A6.16 ENLARGED RESTROOM PLANS & INTERIOR ELEVATIONS
105	STORAGE CLOSET	SC-1	RBA-3	PT-8	PT-5	N/A	N/A	ACT-1	
106	IT CLOSET	SC-1	RBA-3	PT-8	PT-5	N/A	N/A	ACT-1	
107	OFFICE	SC-1	WBA-1	PT-8	PT-5 / PT-11	WC-3	N/A	ACT-1	
108	OFFICE	SC-1	WBA-1	PT-8	PT-5 / PT-11	WC-3	N/A	ACT-1	
109	UTILITY	SC-1	RBA-3	PT-8	PT-11	N/A	N/A	N/A	
110	COMMUNITY ROOM	TIL-2	TIL-2A	PT-8	PT-5 / PT-11	WC-2 / WC-3 / STN-1	SS-3 / CAB-2 / PT-9	ACT-1 / ACS-1; SEE A5.02	AC-10 ELECTRIC FIREPLACE INSERT; REFER TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ELEVATIONS
111	WOMEN'S RESTROOM	TIL-2	TIL-2A	PT-8	PT-14	TIL-2 / TIL-3 / WF-2	SS-3 / LAM-2	ACT-1	REFER TO A6.16 ENLARGED RESTROOM PLANS & INTERIOR ELEVATIONS
112	MEN'S RESTROOM	TIL-2	TIL-2A	PT-8	PT-14	TIL-2 / TIL-3	SS-3 / LAM-2	ACT-1	REFER TO A6.16 ENLARGED RESTROOM PLANS & INTERIOR ELEVATIONS
113	MAILROOM	TIL-2	TIL-2A	STOREFRONT	PT-5 / PT-11	N/A	LAM-1A / LAM-1B	ACT-1	AC-11 PACKAGE PARCELS; REFER TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ELEVATIONS
114	CONFERENCE / SOCIAL SERVICES	CPT-1	WBA-1	PT-8	PT-5	WC-3	N/A	ACT-1	REFER TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ELEVATIONS
115	CUSTODIAN	SC-1	RBA-3	PT-8	PT-11	N/A	N/A	N/A	
116	FIRE COMMAND	SC-1	RBA-3	PT-8	PT-5	N/A	N/A	N/A	
117	ELEVATOR LOBBY	TIL-2	TIL-2A	N/A	PT-5	TMB-1	LAM-1A / LAM-1B	ACS-1; SEE A5.01	REFER TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ELEVATIONS
118	VENDING	TIL-2	TIL-2A	N/A	PT-5 / PT-11	N/A	N/A	ACT-1	REFER TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ELEVATIONS
119	FURNITURE CLOSET	SC-1	RBA-3	PT-8	PT-5 / PT-11	N/A	N/A	ACT-1	
2-2ND-15TH FLOOR									
200-1500	CORRIDOR	SC-1	RBA-1 / RBA-2 / RBA-4	PT-8 / PT-10 UNIT ENTRY	PT-5	PT-7 / PT-3 / LAM-1B	LAM-1A / LAM-1B	ACT-1	REFER TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ELEVATIONS
205-1505	SEATING	SC-1	RBA-1	STOREFRONT	E.T.R	LAM-1	FAB-1	ACT-1	REFER TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ELEVATIONS
206-1506	TERRACE	E.T.R	N/A	N/A	N/A	N/A	N/A	N/A	
211-1511	ELEVATOR LOBBY	SC-1	RBA-1	PT-8	PT-5	WC-2	SS-4 / FAB-1 / LAM-1A	ACS-1; SEE A5.03	REFER TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ELEVATIONS
212-1512	LAUNDRY	SC-1	RBA-1	PT-8	PT-11	PT-12	N/A	ACT-1	ADA LAUNDRY LOCATED ON ODD FLOORS ONLY. REFER TO A6.00 SERIES
213-1513	UTILITY	SC-1	RBA-3	PT-8	PT-11	N/A	N/A	ACT-1	
214-1514	CUSTODIAN	SC-1	RBA-3	PT-8	PT-11	N/A	N/A	ACT-1	
3-PENTHOUSE									
P1	PENTHOUSE	E.T.R.	RBA-3	PT-8	PT-11	N/A	N/A	N/A	
S-STAIRS									
S-A	STAIR A	SC-1	RBA-3	PT-8	PT-11	PT-12	N/A	N/A	HANDRAILS PT-13
S-B	STAIR B	SC-1	RBA-3	PT-8	PT-11	PT-12	N/A	N/A	HANDRAILS PT-13

UNIT & COMMON AREA ACCESSORY SCHEDULE							
KEY	DESCRIPTION	MANUFACTURER	COLLECTION	MODEL #	FINISH		COMMENTS
COMMON AREA							
AC-1	RECESSED MAILBOX	FLORENCE	4C RECESSED MOUNTED MAILBOX	4C12D-20	WHITE		
AC-2	MOUNTED OVERHEAD-BRACED RESTROOM PRIVACY PARTITIONS	BRADLEY	PHENOLIC PRIVACY PARTITIONS	SERIES 400 SENTINEL	SLATE GRAY		ADA COMPLIANT
AC-3	WALL-HUNG URINAL SCREEN WITH STIRRUP BRACKETS	BRADLEY	PHENOLIC PRIVACY PARTITIONS	N/A	SLATE GRAY		
AC-4	DECK-MOUNTED SENSOR SOAP DISPENSER	MOEN	M-POWER ELECTRONIC SOAP DISPENSER	8558	CHROME		ADA COMPLIANT
AC-5	RECESSED WASTE RECEPTACLE/HAND TOWEL DISPENSER	BOBRICK	TRIMLINE SERIES	B-380349	STAINLESS STEEL		INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS
AC-6	SURFACE MOUNTED TOILET TISSUE DISPENSER & UTILITY SHELF	BOBRICK	CUBICLE COLLECTION	B-540	STAINLESS STEEL		INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS
AC-7	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	BOBRICK	TRIMLINE SERIES	B-35139	STAINLESS STEEL		INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS; WOMEN'S & UNISEX RESTROOM
AC-8	WALL MIRROR 20" X 40"	MDC	SIMONE CAPSULE MIRROR	MHE8720	POLISHED STAINLESS STEEL		INSTALL CENTER OF EACH LAVATORY & 40" A.F.F. MAX. TO BOTTOM OF REFLECTIVE SURFACE
AC-9	SURFACE MOUNTED COUNTERTOP BRACKETS	RAKKS	SURFACE MOUNTED BRACKET	EH-1818	UNFINISHED		INSTALLED AT COUNTERTOPS OVER 24"D AT AN EXISTING WALL
AC-10	72" ELECTRIC RECESSED FIREPLACE	SIMPLIFIRE	ALLUSION PLATINUM ELECTRIC FIREPLACE	72 SF-ALLP72-BK	BLACK		15 AMP, 120V/60 Hz, 5000 BTU
AC-11	PACKAGE PARCEL	SMIOTA	STANDARD INTERIO RLOCKER	TBD	TBD		TBD
GB-18	GRAB BAR 18"	BOBRICK	FINO	9806X18	STAINLESS STEEL		INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS
GB-36	GRAB BAR 36"	BOBRICK	FINO	9806X36	STAINLESS STEEL		INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS
GB-48	GRAB BAR 42"	BOBRICK	FINO	9806X42	STAINLESS STEEL		INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS
UNITS							
AC-A	24" TOWEL BAR	CFG	SUMMIT	YB6324CH	CHROME		
AC-B	TOWEL RING	CFG	SUMMIT	YB6386CH	CHROME		
AC-C	TOILET PAPER HOLDER	CFG	SUMMIT	YB6309CH	CHROME		
AC-D	ROBE HOOK	CFG	SUMMIT	YB6303CH	CHROME		
AC-E1	30" X 45" MIRROR	KOHLER	ESSENTIAL	K-31365-CPL	CHROME		CENTER ON LAVATORY AND SCNCE; UNIT 1A
AC-E2	24" X 36" MIRROR	KOHLER	ESSENTIAL	K-31364-CPL	CHROME		CENTER ON LAVATORY AND SCNCE; UNIT 1B
AC-F	ADJUSTABLE SHOWER CURTAIN ROD	MOEN	LOW-PROFILE CURVED SHOWER ROD	CSR2145	CHROME		1" DIAMETER ROD; ADJUSTABLE FROM 5' TO 6'
AC-G	ADJUSTABLE CLOSET CURTAIN ROD	MOEN	TENSION ROD	TR1002CH	CHROME		88" DIAMETER; ADJUSTABLE 44" TO 72"
AC-H	GRAB BAR 18"	MOEN	ALIGN 18" DESIGNER GRAB BAR	YG0418CH	CHROME		SUPPORTS UP TO 500LBS; INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS
AC-J	GRAB BAR 36"	MOEN	ALIGN 36" DESIGNER GRAB BAR	YG0436CH	CHROME		SUPPORTS UP TO 500LBS; INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS
AC-K	GRAB BAR 42"	MOEN	ALIGN 42" DESIGNER GRAB BAR	YG0442CH	CHROME		SUPPORTS UP TO 500LBS; INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS
AC-L	ADJUSTABLE 66"-120" DOUBLE CURTAIN ROD	BETTER HOME FASHIONS	METAL DOUBLE CURTAIN ROD WITH CYLINDER FINIALS	N/A	SILVER		INSTALL AT EXISTING WINDOWS, INCLUDE (3) BRACKETS
AC-M	SURFACE MOUNTED MEDICINE CABINET	KOHLER	VEDERA	K-99000-NA	ANODIZED ALUMINUM		ADA UNIT ONLY; INSTALL WITH KOHLER MIRROR KIT WHEN SURFACE MOUNTED
AC-N	PHENOLIC ADA SHOWER SEAT WITH LEGS	BOBRICK	REVERSIBLE SEAT WITH SWING DOWN LEGS	B-51815	WHITE		ADA COMPLIANT; SUPPORTS UP TO 360 LBS.; 17"-19" MAX. SEAT HEIGHT; OR OTHER APPROVED BY ARCHITECT
KEY	LOCATION	DESCRIPTION	MANUFACTURER	MODEL #	FINISH		COMMENTS

ROOM FINISH SCHEDULE - TYPICAL UNITS								
ROOM NAME	FLOOR	WALL BASE	DOOR/TRIM	WALLS	ACCENT WALL	CASEWORK	CEILING	COMMENTS
UNIT 1A	LVT-1 / TIL-1	WBA-2 / TIL-1A	PT-2	PT-3	PT-4 (LIVING ROOM - SEE A6.01); TIL-4 KITCHEN BACKSPASH	CAB-1 & SS-1 (KITCHEN), CAB-1 & SS-2 (BATHROOM)	PT-1	TIL-1/TIL-1A INSTALLED IN BATHROOM ONLY; NEW AND EXISTING SOFFITS PAINTED PT-1
UNIT 1B	LVT-1 / TIL-1	WBA-2 / TIL-1A	PT-2	PT-3	PT-4 (LIVING ROOM - SEE A6.01); TIL-4 KITCHEN BACKSPASH	CAB-1 & SS-1 (KITCHEN), CAB-1 & SS-2 (BATHROOM)	PT-1	TIL-1/TIL-1A INSTALLED IN BATHROOM ONLY; NEW AND EXISTING SOFFITS PAINTED PT-1
UNIT 1C	LVT-1 / TIL-1	WBA-2 / TIL-1A	PT-2	PT-3	PT-4 (LIVING ROOM - SEE A6.01); TIL-4 KITCHEN BACKSPASH	CAB-1 & SS-1 (KITCHEN), CAB-1 & SS-2 (BATHROOM)	PT-1	TIL-1/TIL-1A INSTALLED IN BATHROOM ONLY; NEW AND EXISTING SOFFITS PAINTED PT-1



REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT



Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

INTERIOR SCHEDULES
A7.01B

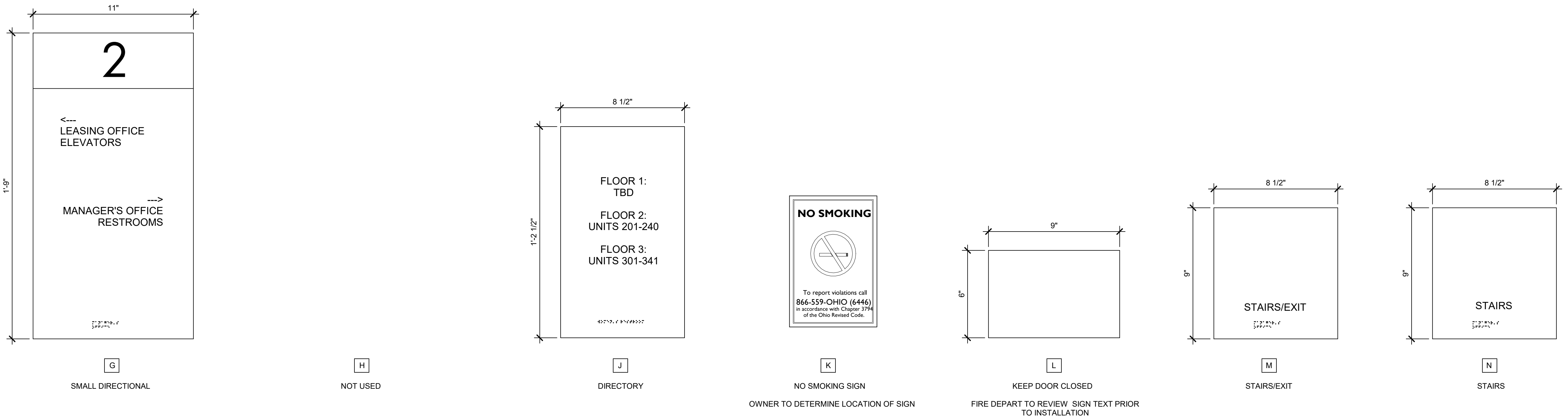
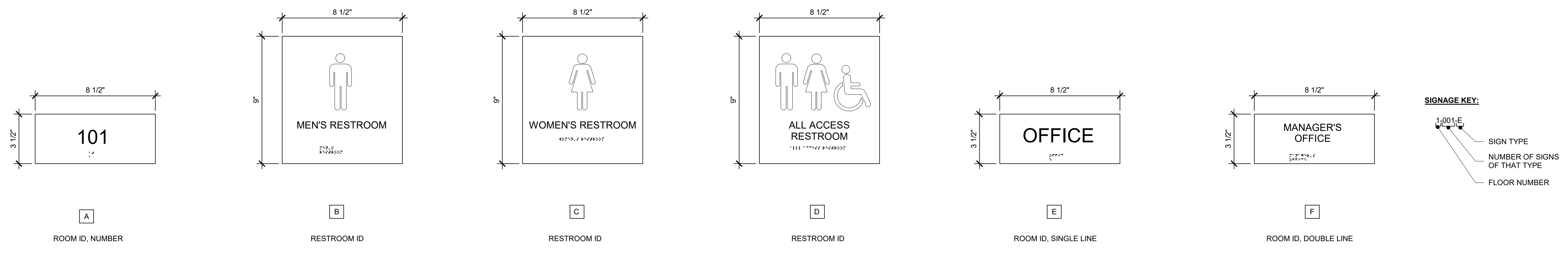
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

GENERAL NOTES - INTERIOR SIGNAGE

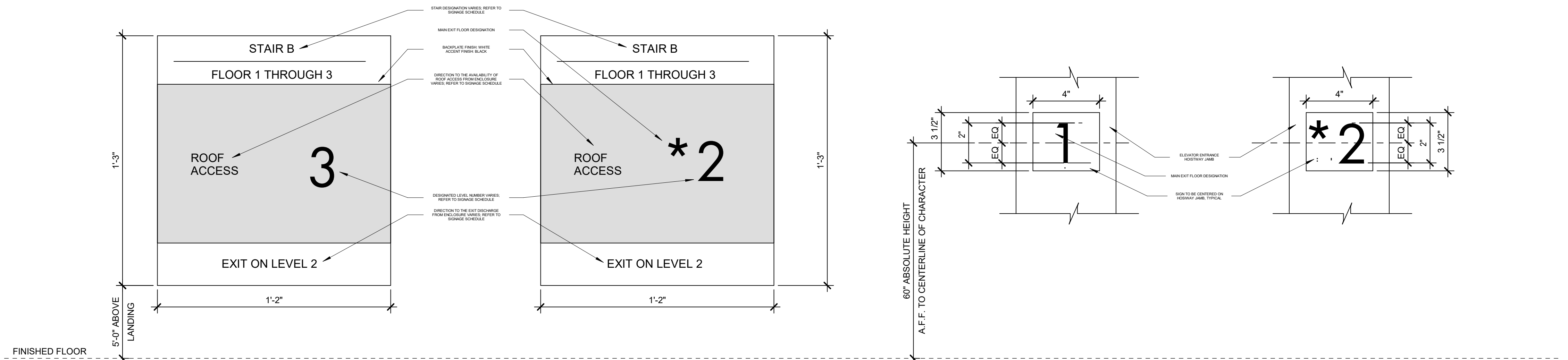
- REFER TO G1.01 FOR SIGNAGE MOUNTING HEIGHTS.
- THE SIGN SHALL BE INSTALLED ON WALL ADJACENT TO LATCH SIDE OF DOOR, OR IF NO WALL SPACE IS AVAILABLE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL.
- ALL TEXT SHOULD BE RAISED 1/32"
- CONFIRM QUANTITY AND LOCATION OF FIRE EVACUATION MAPS WITH FIRE MARSHAL.
- ALL SIGNAGE SHALL COMPLY WITH THE PROVISIONS SET FORTH IN THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). TOPS OF ALL SIGNS SHALL BE MOUNTED AT A HEIGHT BETWEEN 48 INCHES AND 60 INCHES ABOVE FINISH FLOOR UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR AUTHORITY HAVING JURISDICTION.
- FOR FURTHER INFORMATION CONTACT BLINK SIGNS.
- FINAL LABELING AND APARTMENT NUMBER DESIGNATIONS TO BE COORDINATED WITH PROPERTY OWNER FOR THEIR APPROVAL PRIOR TO ORDERING SIGNAGE.

SIGNAGE SPECIFICATION:

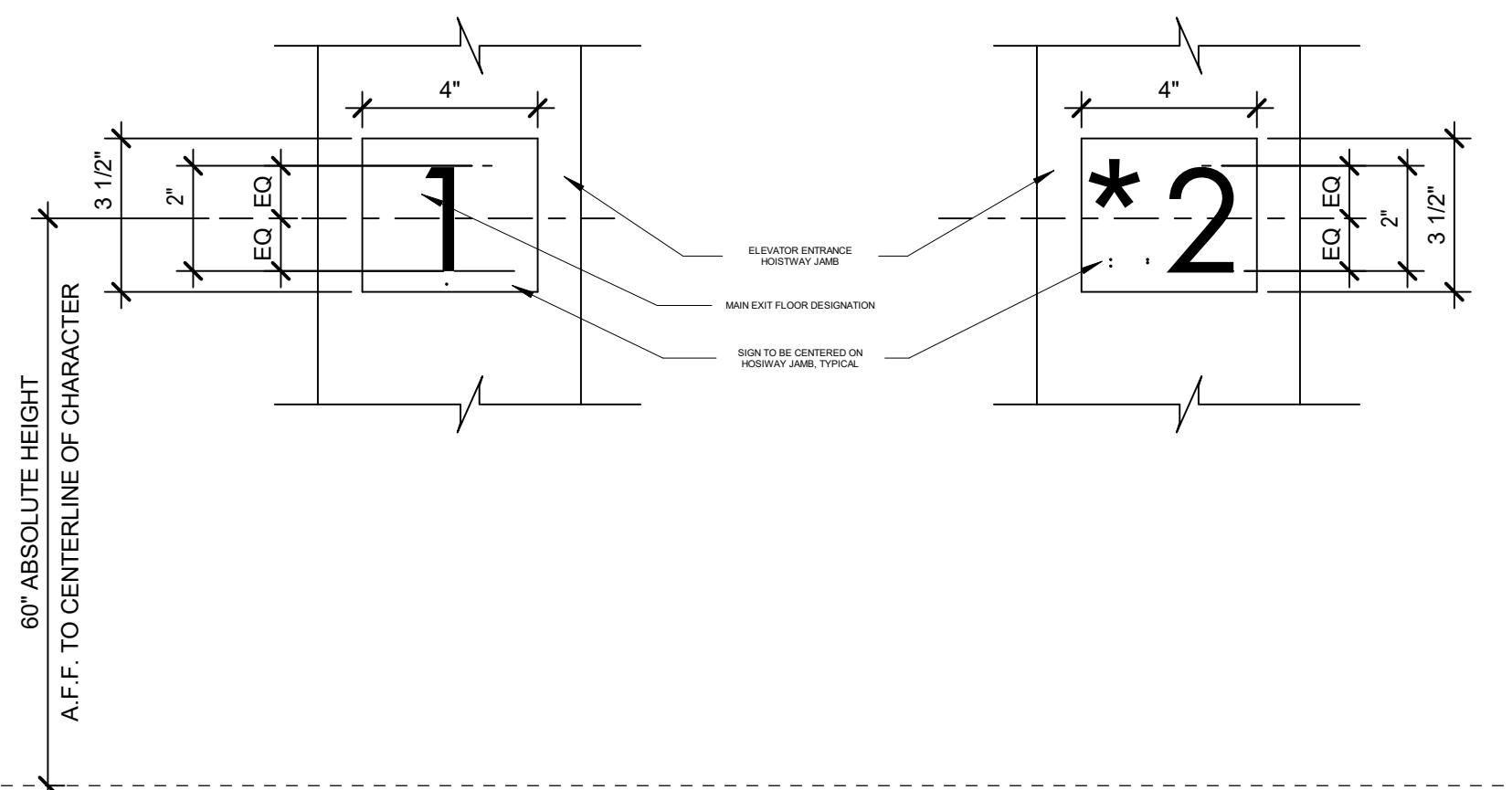
MANUFACTURER: TAKEFORM
SALES REP NAME: ROBYNN SPONG
EMAIL: ROBYNN.SPONG@KI.COM
PHONE NUMBER: 216.401.7044
COLLECTION: FUSION 61
FINISH: STANDARD WOOD LAMINATE OUTERBANKS & SOLID TRANQUILITY C3302
TEXT: WHITE



P
IN CASE OF FIRE USE STAIRS

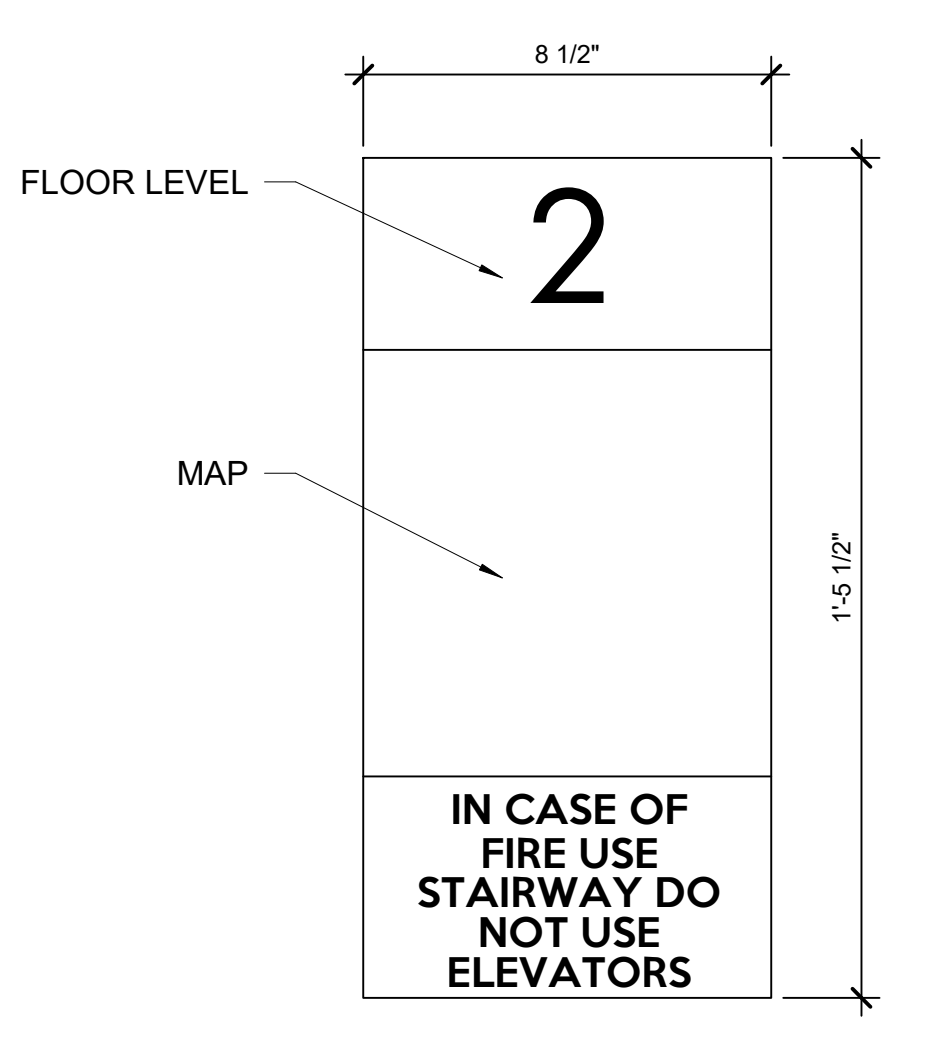


Q INTERIOR STAIRWELL LEVEL ID
R INTERIOR STAIRWELL LEVEL ID EXIT LEVEL

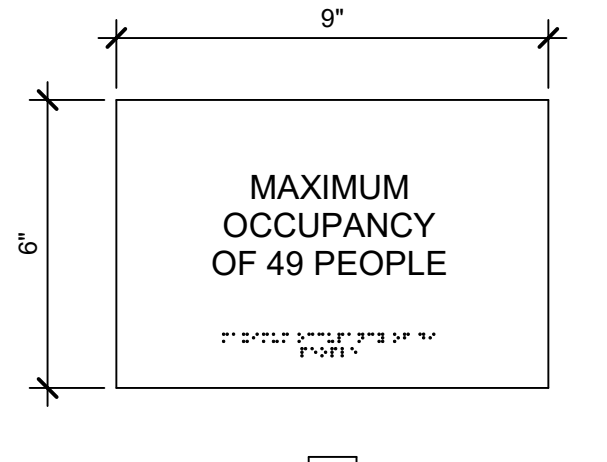


S TYPICAL ELEVATOR NUMBERS
T EXIT LEVEL FOR ELEVATOR

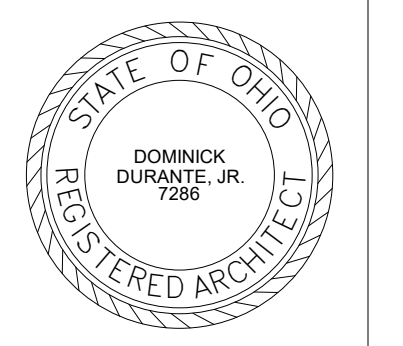
U
NOT USED



V
NOT USED
W EVACUATION PLAN
PLACE WHERE APPLICABLE



X
MAX OCCUPANCY SIGN



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects Inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

SIGNAGE DETAILS

A8.00

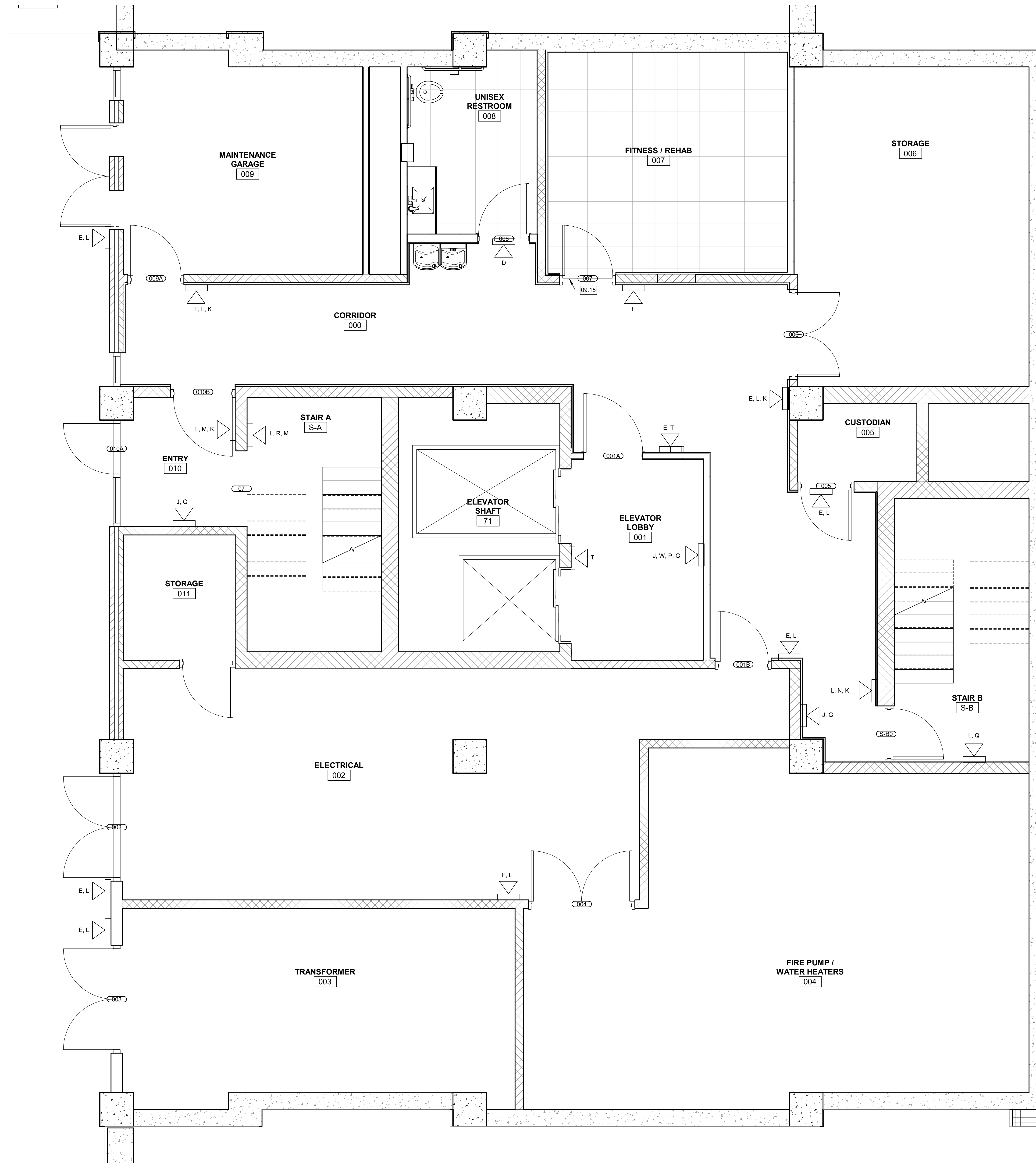
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S- OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

GENERAL NOTES - INTERIOR SIGNAGE

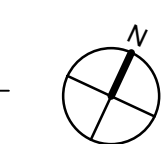
- REFER TO G1.01 FOR SIGNAGE MOUNTING HEIGHTS.
- THE SIGN SHALL BE INSTALLED ON WALL ADJACENT TO LATCH SIDE OF DOOR, OR IF NO WALL SPACE IS AVAILABLE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL.
- ALL TEXT SHOULD BE RAISED 1/32"
- CONFIRM QUANTITY AND LOCATION OF FIRE EVACUATION MAPS WITH FIRE MARSHAL.
- ALL SIGNAGE SHALL COMPLY WITH THE PROVISIONS SET FORTH IN THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). TOPS OF ALL SIGNS SHALL BE MOUNTED AT A HEIGHT BETWEEN 48 INCHES AND 60 INCHES ABOVE FINISH FLOOR UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR AUTHORITY HAVING JURISDICTION.
- FOR FURTHER INFORMATION CONTACT BLINK SIGNS.
- FINAL LABELING AND APARTMENT NUMBER DESIGNATIONS TO BE COORDINATED WITH PROPERTY OWNER FOR THEIR APPROVAL PRIOR TO ORDERING SIGNAGE.

SIGNAGE SPECIFICATION:

MANUFACTURER: TAKEFORM
SALES REP NAME: ROBYNN SPONG
EMAIL: ROBYNN.SPONG@KJ.COM
PHONE NUMBER: 216.401.7044
COLLECTION: FUSION 61
FINISH: STANDARD WOOD LAMINATE OUTERBANKS & SOLID TRANQUILITY C0302
TEXT: WHITE



1 OVERALL BASEMENT LEVEL SIGNAGE PLAN
A8.01 SCALE: 3/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

BASEMENT SIGNAGE PLAN

A8.01

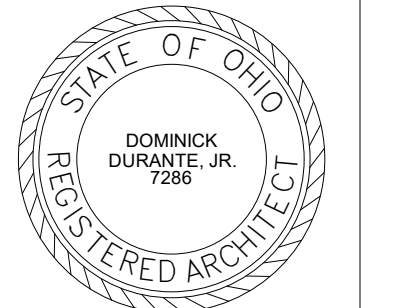
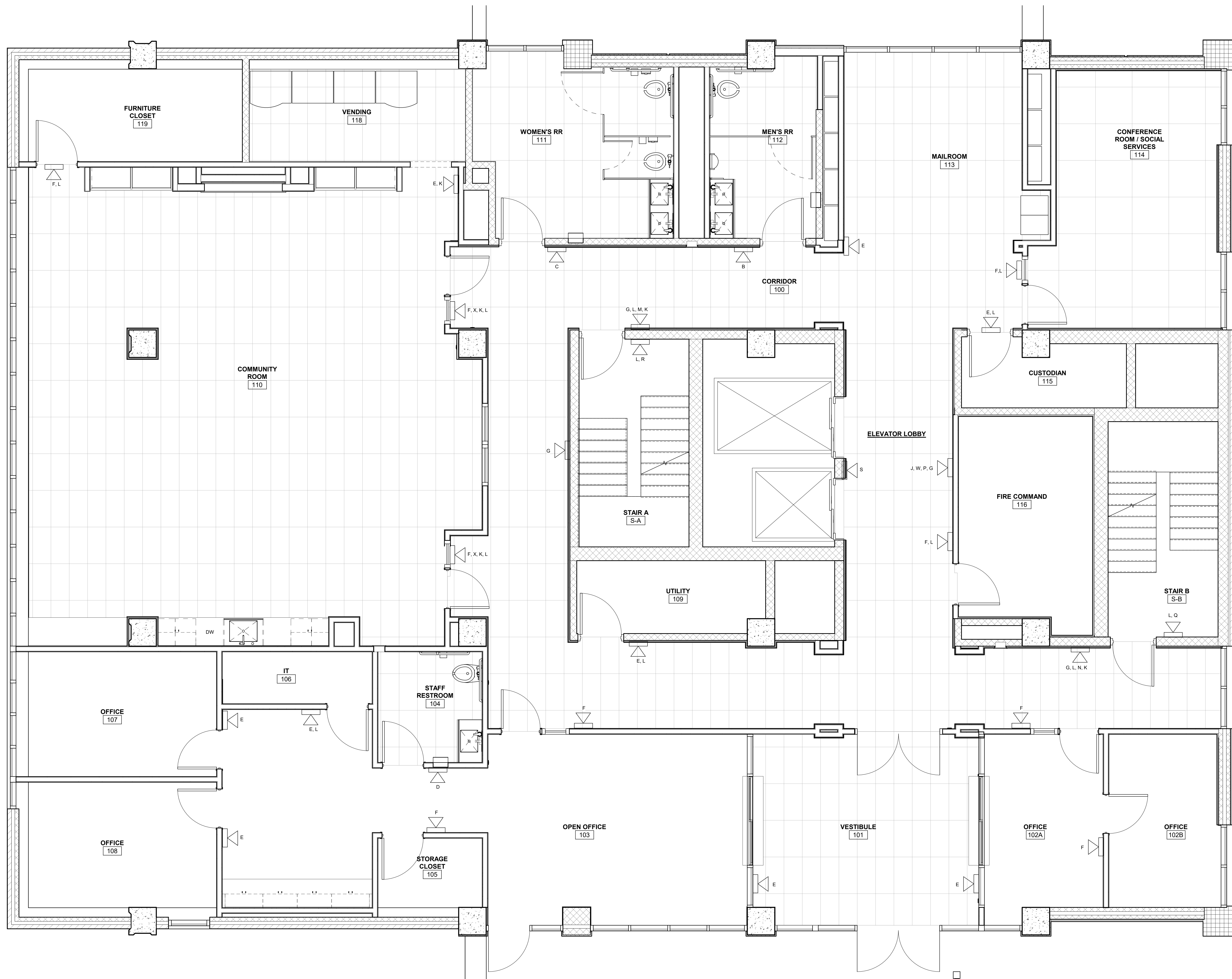
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80%- OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

GENERAL NOTES - INTERIOR SIGNAGE

- REFER TO G1.01 FOR SIGNAGE MOUNTING HEIGHTS.
- THE SIGN SHALL BE INSTALLED ON WALL ADJACENT TO LATCH SIDE OF DOOR, OR IF NO WALL SPACE IS AVAILABLE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL.
- ALL TEXT SHOULD BE RAISED 1/32"
- CONFIRM QUANTITY AND LOCATION OF FIRE EVACUATION MAPS WITH FIRE MARSHAL.
- ALL SIGNAGE SHALL COMPLY WITH THE PROVISIONS SET FORTH IN THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). TOPS OF ALL SIGNS SHALL BE MOUNTED AT A HEIGHT BETWEEN 48 INCHES AND 60 INCHES ABOVE FINISH FLOOR UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR AUTHORITY HAVING JURISDICTION.
- FOR FURTHER INFORMATION CONTACT BLINK SIGNS.
- FINAL LABELING AND APARTMENT NUMBER DESIGNATIONS TO BE COORDINATED WITH PROPERTY OWNER FOR THEIR APPROVAL PRIOR TO ORDERING SIGNAGE.

SIGNAGE SPECIFICATION:

MANUFACTURER: TAKEFORM
SALES REP NAME: ROBYNN SPONG
EMAIL: ROBYNN.SPONG@KJ.COM
PHONE NUMBER: 216.401.7044
COLLECTION: FUSION 61
FINISH: STANDARD WOOD LAMINATE OUTERBANKS & SOLID TRANQUILITY C0302
TEXT: WHITE



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

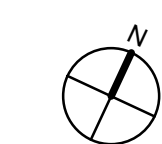
Copyright © 2022 LDA architects Inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

FIRST FLOOR SIGNAGE PLAN

A8.02



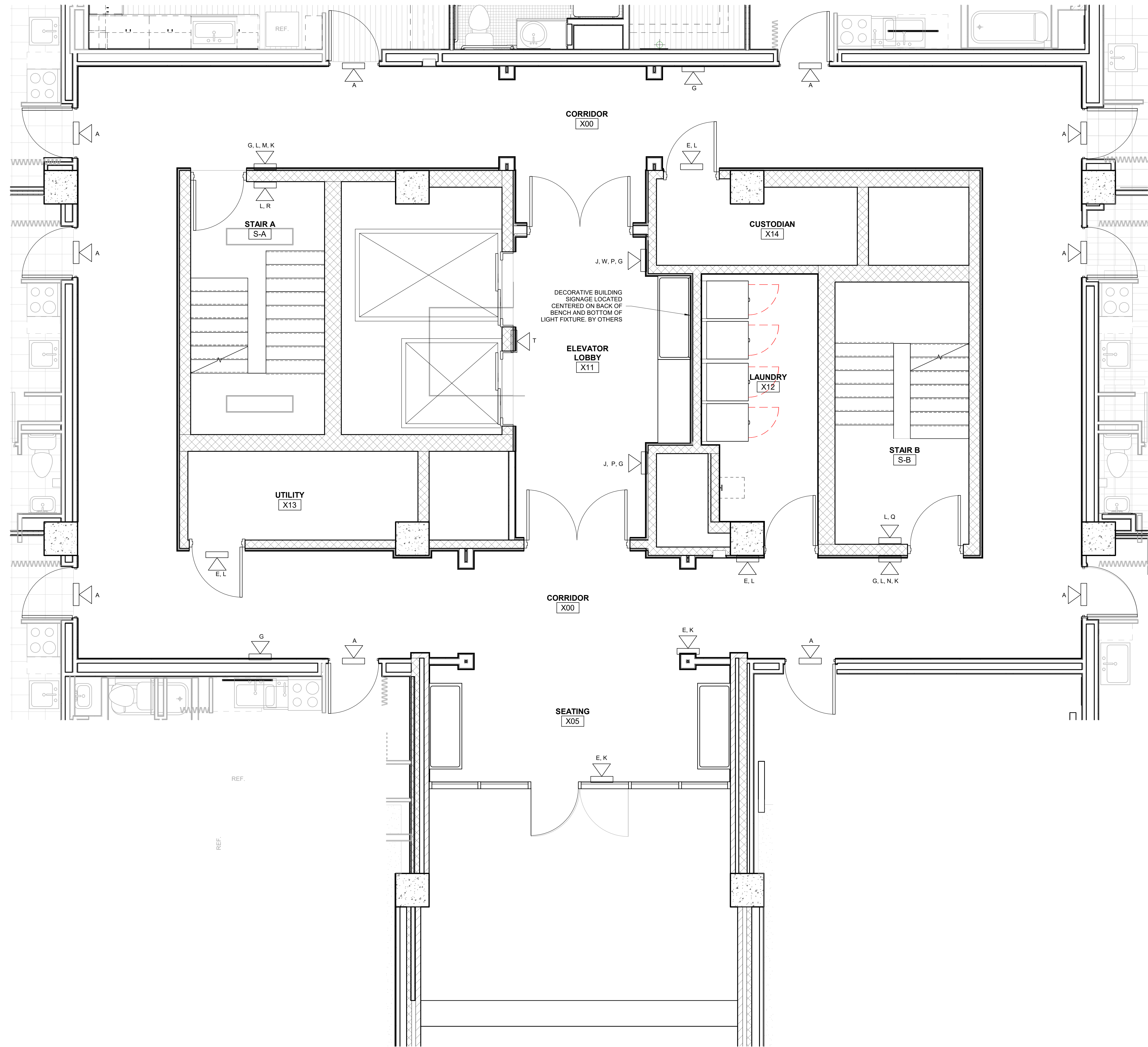
REV	DATE	DESCRIPTION
2023.12.18		DRAFT DESIGN DEVELOPMENT
2024.01.05		DESIGN DEVELOPMENT
2024.01.15		DRAFT 80% - OHFA APP.
2024.02.01		80% CD'S - OHFA APPLICATION
2024.03.21		BIDDING AND PERMIT

GENERAL NOTES - INTERIOR SIGNAGE

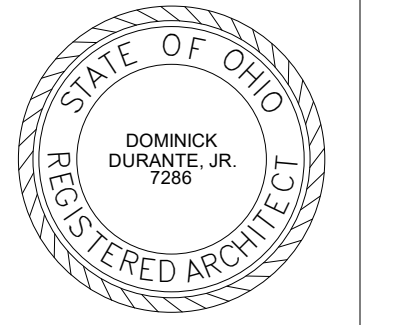
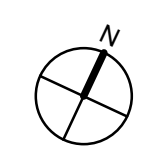
- REFER TO G1.01 FOR SIGNAGE MOUNTING HEIGHTS.
- THE SIGN SHALL BE INSTALLED ON WALL ADJACENT TO LATCH SIDE OF DOOR, OR IF NO WALL SPACE IS AVAILABLE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL.
- ALL TEXT SHOULD BE RAISED 1/32"
- CONFIRM QUANTITY AND LOCATION OF FIRE EVACUATION MAPS WITH FIRE MARSHAL.
- ALL SIGNAGE SHALL COMPLY WITH THE PROVISIONS SET FORTH IN THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). TOPS OF ALL SIGNS SHALL BE MOUNTED AT A HEIGHT BETWEEN 48 INCHES AND 60 INCHES ABOVE FINISH FLOOR UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR AUTHORITY HAVING JURISDICTION.
- FOR FURTHER INFORMATION CONTACT BLINK SIGNS.
- FINAL LABELING AND APARTMENT NUMBER DESIGNATIONS TO BE COORDINATED WITH PROPERTY OWNER FOR THEIR APPROVAL PRIOR TO ORDERING SIGNAGE.

SIGNAGE SPECIFICATION:

MANUFACTURER: TAKEFORM
SALES REP NAME: ROBYNN SPONG
EMAIL: ROBYNN.SPONG@KJ.COM
PHONE NUMBER: 216.401.7044
COLLECTION: FUSION 61
FINISH: STANDARD WOOD LAMINATE OUTERBANKS & SOLID TRANQUILITY C3302
TEXT: WHITE



1 OVERALL 2ND - 15TH LEVEL PLAN - PROPOSED
A8.03 SCALE: 3/8" = 1'-0"



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2025

Copyright © 2022 LDA architects inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

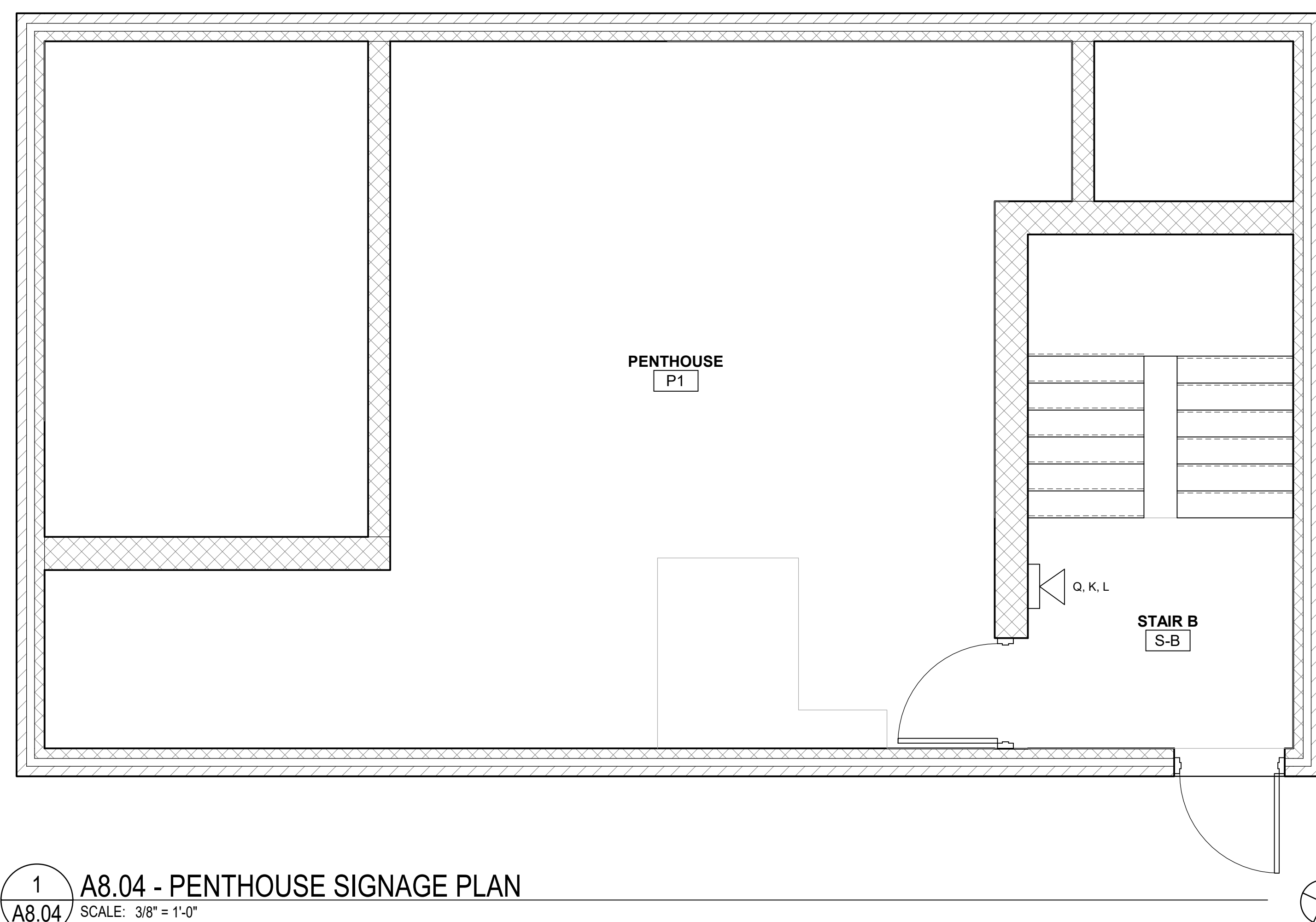
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

2ND - 15TH FLOOR SIGNAGE PLAN

A8.03

SIGNAGE SCHEDULE			
ROOM NAME	SIGN TYPE 1	FLOOR LEVEL	NOTES
2ND - 15TH			
CORRIDOR	G	2ND - 15TH	
CUSTODIAN	E	2ND - 15TH	E: "CUSTODIAN"
ELEVATOR LOBBY	J, S, W, P, G, T	2ND - 15TH	
LAUNDRY	E	2ND - 15TH	E: "LAUNDRY"
SEATING	E	2ND - 15TH	E: "SEATING"
TERRACE	E, K	2ND - 15TH	E: "TERRACE"
UTILITY	E, L	2ND - 15TH	E: "UTILITY"
ALL			
STAIR A	G, L, R, M, K	ALL	SIGN R ON INSIDE OF STAIR NEXT TO LATCH SIDE OF DOOR
STAIR B	G, L, Q, N, K	ALL	SIGN R ON INSIDE OF STAIR NEXT TO LATCH SIDE OF DOOR
UNIT TYPE A	A	ALL	# AND BRAILLE; ROOM NUMBERS TO BE CONFIRMED BY ARCHITECT
UNIT TYPE B	A	ALL	# AND BRAILLE; ROOM NUMBERS TO BE CONFIRMED BY ARCHITECT
UNIT TYPE C	A	ALL	# AND BRAILLE; ROOM NUMBERS TO BE CONFIRMED BY ARCHITECT
BASEMENT			
CORRIDOR	G	BASEMENT	
CUSTODIAN	E, L	BASEMENT	E: "CUSTODIAN"
ELECTRICAL	E, L	BASEMENT	E: "CUSTODIAN"
ELEVATOR LOBBY	J, S, W, P, G, S	BASEMENT	
ENTRY	J, G	BASEMENT	
FIRE PUMP / WATER HEATERS	F, L	BASEMENT	F: "FIRE PUMP / WATER HEATER"
FITNESS / REHAB	F	BASEMENT	F: "FITNESS / REHAB"
MAINTENANCE GARAGE	F, L	BASEMENT	F: "MAINTENANCE GARAGE"
SERVICE GARAGE	F, L	BASEMENT	F: "SERVICE GARAGE"
STORAGE	E, L, K	BASEMENT	F: "STORAGE"
TRANSFORMER	E, L	BASEMENT	F: "TRANSFORMER"
UNISEX RESTROOM	D	BASEMENT	D: "ALL ACCESS RESTROOM"
FIRST FLOOR			
COMMUNITY ROOM	F, X, K, L	FIRST FLOOR	F: "COMMUNITY ROOM"
CONFERENCE / SOCIAL SERVICES	F, L	FIRST FLOOR	F: "CONFERENCE ROOM / SOCIAL SERVICES"
CORRIDOR	G	FIRST FLOOR	
ELEVATOR LOBBY	J, S, W, P, G	FIRST FLOOR	
FIRE COMMAND	F, L	FIRST FLOOR	F: "FIRE COMMAND"
FURNITURE STORAGE	F, L	FIRST FLOOR	F: "STORAGE"
IT	E	FIRST FLOOR	E: "IT"
MAILROOM	E	FIRST FLOOR	E: "MAILROOM"
MEN'S RESTROOM	B	FIRST FLOOR	F: "MEN'S RESTROOM"
OFFICE	E	FIRST FLOOR	F: "OFFICE"
OPEN OFFICE	F	FIRST FLOOR	F: "LEASING OFFICE"
STAFF RESTROOM	D	FIRST FLOOR	D: "ALL ACCESS RESTROOM"
STORAGE CLOSET	F	FIRST FLOOR	F: "STORAGE CLOSET"
UTILITY	E, L	FIRST FLOOR	E: "UTILITY"
VENDING	E	FIRST FLOOR	E: "VENDING"
VESTIBULE	E, J	FIRST FLOOR	SIGNAGE FOR LEASING OFFICE SERVICE WINDOW
WOMEN'S RESTROOM	C	FIRST FLOOR	"WOMEN'S RESTROOM"
PENTHOUSE			
PENTHOUSE		PENTHOUSE	



1 A8.04 - PENTHOUSE SIGNAGE PLAN
SCALE: 3/8" = 1'-0"



The Offices at the Agora
5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
LDAarchitecture.com
216.932.1890

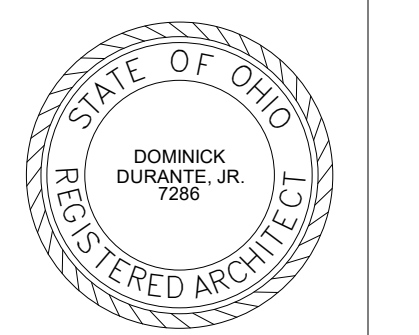
REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S - OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

GENERAL NOTES - INTERIOR SIGNAGE

- REFER TO G1.01 FOR SIGNAGE MOUNTING HEIGHTS.
- THE SIGN SHALL BE INSTALLED ON WALL ADJACENT TO LATCH SIDE OF DOOR, OR IF NO WALL SPACE IS AVAILABLE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL.
- ALL TEXT SHOULD BE RAISED 1/32"
- CONFIRM QUANTITY AND LOCATION OF FIRE EVACUATION MAPS WITH FIRE MARSHALL.
- ALL SIGNAGE SHALL COMPLY WITH THE PROVISIONS SET FORTH IN THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). TOPS OF ALL SIGNS SHALL BE MOUNTED AT A HEIGHT BETWEEN 48 INCHES AND 60 INCHES ABOVE FINISH FLOOR UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR AUTHORITY HAVING JURISDICTION.
- FOR FURTHER INFORMATION CONTACT BLINK SIGNS.
- FINAL LABELING AND APARTMENT NUMBER DESIGNATIONS TO BE COORDINATED WITH PROPERTY OWNER FOR THEIR APPROVAL PRIOR TO ORDERING SIGNAGE.

SIGNAGE SPECIFICATION:

MANUFACTURER: TAKEFORM
SALES REP NAME: ROBYNN SPONG
EMAIL: ROBYNN.SPONG@KJ.COM
PHONE NUMBER: 216.401.7044
COLLECTION: FUSION 61
FINISH: STANDARD WOOD LAMINATE OUTERBANKS & SOLID TRANQUILITY C0302
TEXT: WHITE



DOMINICK DURANTE, JR.
LICENSE 07296
EXPIRATION 12/31/2022

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

PENTHOUSE SIGNAGNE & SIGNAGE DETAILS

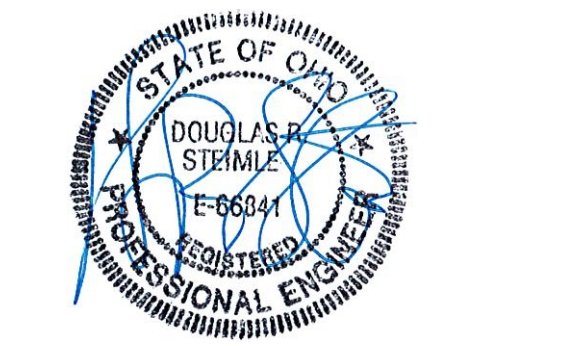
A8.04

REV	DATE	DESCRIPTION
	2024.03.21	Bidding and Permit

STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

schaefer

COPYRIGHT © 2024
THIS DOCUMENT IS THE PROPERTY OF SCHAEFER. NEITHER THE DOCUMENT NOR THE INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR USED FOR ANY OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS PREPARED, WITHOUT THE WRITTEN CONSENT OF SCHAEFER.
Schaefer Project Number: 24-0201



3-21-2024

SCHEDULE OF SPECIAL INSPECTION SERVICES - 1705.2.1 STRUCTURAL STEEL						
Item	Sub Item / Scope	Extent			Agency Qualifications	Comments
		Observe	Perform	N/A		
In-Plant Special Inspections	Fabrication and implementation procedures: In addition to special inspections provided on site, provide special inspections indicated below on the premises of fabricator's shop. Verify that the fabricator maintains detailed fabrication and quality control procedures.	X	X		As Noted Below	Special inspections on the premises of the fabricator's shop are not required provided the fabricator is an Approved Fabricator in accordance with section 1704.2. Fabricator is required to submit documentation/verification that they are an Approved Fabricator.
1. Fabricator and erector documents	Verify reports and certificates as listed in ABCS 360, chapter N, paragraph 3.2 for compliance with construction documents.		X		Schaefer Submittal Review	
2. Material verification of structural steel	Verify material in shop and field inspection.		X		Testing Agency	
3. Embedments	Verify diameter, grade, type, length, embedment. See Table 1705.3 for anchors.		X		Testing Agency	
4. Verify compliance with construction documents	Verify member locations, bracing, stiffeners, and application of joint details at each connection comply with construction documents.		X		Testing Agency	
5.4-1. Visual Welding Inspection - Inspection Tasks Before Welding:	1. Welder qualifications records and continuity records. 2. Welding procedure specifications (WPS) available. 3. Manufacturer certifications for welding consumables available. 4. Material Identification (type/grade). 5. Welder certification system (The fabricator or erector, as applicable, shall maintain a system by which a welder who has welded a joint or member can be identified. Stamps, if used, shall be the low-stress type). 6. Fit up of Groove Welds (Including Joint Geometry): Inspection shall include joint preparation, Dimensions (alignment, root opening, root face, and bevel), Cleanliness (condition of steel surfaces), Tacking back weld quality and location, Backing type and fit (if applicable). 7. Fit up of CJP Groove Welds of HSS T-, K-, Y-, and K-joints (Including Joint Geometry): Inspection shall include joint preparation, Dimensions (alignment, root opening, root face, and bevel), Cleanliness (condition of steel surfaces), Tacking back weld quality and location, Backing type and fit (if applicable). 8. Configuration and finish of access holes. 9. Fit-up of Fillet Welds: Inspection shall include: Dimensions (alignment, root opening, root face, and bevel), Cleanliness (condition of steel surfaces), Tacking 10. Check welding equipment.		X		Testing Agency AWS - Certified Welding Inspector	
5.4-2. Visual Welding Inspection - Inspection Tasks During Welding:	1. Control and Handling of Welding Consumables: Packaging and Exposure control. 2. No welding over cracked tack welds. 3. Environmental Conditions: Wind speed within limits, and precipitation and temperature. 4. WPS Followed: Observe Settings on welding equipment, Travel speed, Selected welding materials, Shielding gas type/flow rate, Preheat applied, Interpass temperature maintained (min and max), and Proper position (F.V.F.Ch). 5. Welding Techniques: Interpass and final cleaning. Each pass within profile limitations. Each pass meets quality requirements. 6. Placement and installation of steel headed stud anchors.		X		Testing Agency AWS - Certified Welding Inspector	
5.4-3. Visual Welding Inspection - Inspection Tasks After Welding:	1. Welds Cleaned. 2. Size, Length, and Location of Welds. 3. Welds meet visual acceptance criteria: Crack prohibition, Weld/bead-metal fusion, Crater cross section, Weld profiles, Weld size, Undercut, Porosity. 4. Arc strikes. 5. Arcs. 6. Weld access holes in rolled heavy shapes and built-up heavy shapes. 7. Backing removed and weld tabs removed (if required). 8. Repair Activities. Document acceptance or rejection of welded joint or member. No prohibited welds have been added without the approval of the EIT.		X		Testing Agency AWS - Certified Welding Inspector	
5.5 Non-destructive Testing of Welds	5.5. CJP Groove Welds: Ultrasonic testing shall be performed on 100 percent of CJP groove welds subject to transverse applied tension loading in butt, T- and corner joints, in materials 5/16 in thick or greater. Ultrasonic testing in materials less than 5/16 in thick is not required. Reduction of Rate of Ultrasonic Testing is permitted if the conditions of ABCS 360-16 Appendix N.5.6 are met. 5.6. Weld Joints Subjected to Fatigue: Welded joints requiring weld soundness to be established by Radiographic or Ultrasonic inspections. Reduction rate is established.		X		Testing Agency AWS - Certified Welding Inspector	Perform NDT for both in field and shop welds.
5.6-1. Inspection of Bolting - Inspection Tasks Prior to Bolting	1. Manufacturer's certifications available for fastener materials. 2. Fasteners marked in accordance with ASTM requirements. 3. Proper fasteners selected for the joint detail (grade, type, and bolt length if threads are excluded from shear stress). 4. Proper bolting procedure selected for joint detail. 5. Connecting elements: Verify elements are fabricated properly, including the appropriate facing surface condition and hole preparation, if specified, meets the applicable requirements. 6. Pre-installation verification testing conducted for fastener assemblies and methods used. 7. Proper storage provided for bolts, nuts, washers, and other fastener components.		X		Testing Agency	
5.6-2. Inspection of Bolting - Inspection Tasks During Bolting	1. Fastener assemblies, of suitable condition, placed in all holes and washers (if required) are properly positioned. 2. Joint brought to the snug tight condition prior to the pretensioning operation. 3. Fastener component not turned by the wrench presented from rotating. 4. Bolts are pretensioned in accordance with the RCSC specification, progressing systematically from most rigid point toward free edges.		X		Testing Agency	
5.6-3. Inspection of Bolting - Inspection Tasks After Bolting	1. Document accepted and rejected connections:		X		Testing Agency	

SCHEDULE OF SPECIAL INSPECTION SERVICES - 1705.6 SOILS						
Item	Sub Item / Scope	Extent			Agency Qualifications	Comments
		Cont.	Periodic	N/A		
1. Bearing Materials	Verify materials below shallow foundations are adequate to achieve the design bearing capacity.		X		Testing Agency Under supervision of Licensed Geotechnical Engineer	
2. Excavations	Verify excavations are extended to proper depth and have reached proper material.		X		Testing Agency Under supervision of Licensed Geotechnical Engineer	
3. Fill Classification	Perform classification and testing of compacted fill material.		X		Testing Agency Under supervision of Licensed Geotechnical Engineer	
4. Placement and Fill Compaction	During fill placement, verify use of proper materials and procedure in accordance with the provisions of the approved geotechnical report. Verify densities and lift thicknesses during placement and compaction of compacted fill.		X		Testing Agency Under supervision of Licensed Geotechnical Engineer	
5. Subgrade	Prior to placement of compacted fill, inspect subgrade and verify that the site has been prepared properly.		X		Testing Agency Under supervision of Licensed Geotechnical Engineer	

SCHEDULE OF SPECIAL INSPECTION SERVICES - 1705.3 CONCRETE CONSTRUCTION						
Item	Sub Item / Scope	Extent			Agency Qualifications	Comments
		Cont.	Periodic	N/A		
In-Plant Special Inspections (Precast Concrete)	Fabrication and implementation procedures: In addition to special inspections provided on site, provide special inspections indicated below on the premises of fabricator's shop. Verify that the fabricator maintains detailed fabrication and quality control procedures.			X	As Noted Below	Special inspections on the premises of the fabricator's shop are not required provided the fabricator is an Approved Fabricator in accordance with section 1704.2.5.1. Fabricator is required to submit documentation/verification that they are an Approved Fabricator.
1. Reinforcing steel	a. Mild Reinforcing Steel: Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil or other deleterious materials. Inspect bar laps and mechanical splices. Verify that bars are adequately tied and supported on chairs or bolsters. Verify welded wire fabric is supported per construction documents. Reference ACI 318: 20, 25.2, 25.3, 26.6-1-26.6-3, and IBC 1908.4. b. Prestress Steel: Inspect size, spacing, cover, and position of prestressing tendons.		X		Testing Agency	
2. Welding of Reinforcing Steel	a. Verify weldability of reinforcing bars other than ASTM A706. Reference ACI 318: 26.8.4 and AWS D1.4. b. Inspect single pass fillet welds, maximum size. c. Inspect all other welds.		X		Testing Agency AWS - Certified Welding Inspector	
3. Cast in Place Anchor Rods	Inspect size, position and embedment of cast in place bolts and anchor rods. Inspect concrete placement and consolidation around anchors. Reference ACI 318: 17.8.2.		X		Testing Agency	
4. Post Installed Anchors (Anchors Installed in Hardened Concrete)	a. Adhesive anchors installed in horizontally or upwardly inclined orientations to resist sustained tension loads. Inspect type and size of anchor, concrete type and compressive strength, hole cleaning procedures, anchor embedment, anchor spacing and edge distances, and tightening torque (where applicable). Reference ACI 318: 17.8.2.4. b. Mechanical anchors and adhesive anchors not defined in 4.a. Inspect type and size of anchor, concrete type and compressive strength, hole cleaning procedures, anchor embedment, anchor spacing and edge distances, and tightening torque (where applicable). Reference ACI 318: 17.8.2.		X		Testing Agency	Reference evaluation report (identified in project general notes) for additional inspection scope required by manufacturer.
5. Mix Design	Prior to concrete placement, fabricate specimens for strength tests, perform slump and air content tests, and determine the temperature of the concrete.		X		Testing Agency	
6. Sampling and Testing of Concrete	At the time fresh concrete is sampled to fabricate specimens for strength tests, perform slump and air content tests as required by construction documents, and determine the temperature of concrete. Reference ASTM C 172, ASTM C31, ACI 318, 26.4.3, 26.4.4.		X		Testing Agency	
7. Concrete and Shotcrete Placement	Inspect concrete and shotcrete placement for proper application techniques. Reference ACI 318: 26.5 and IBC 1908.6, 1908.7, and 1908.8. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.		X		Testing Agency	
8. Curing and Protection	Inspect for maintenance of specified curing temperature and techniques. Inspect cold weather and hot weather protection procedures as applicable. Reference ACI 318: 26.5.3-26.5.5.		X		Testing Agency	
9. Prestressed (Post-Tensioned) Concrete	a. Application of Prestressing Forces: Inspect placement, tensioning, grouting and protection of post-tensioning tendons. Verify that tendons are correctly positioned, supported, tied and wrapped. Record tendon elongations. Reference ACI 318: 26.10.2. b. Grouting of Bonded Prestressing Tendons in the Seismic-Force Resisting System: Reference ACI 318: 26.10.1.			X	Testing Agency	
10. Precast Concrete Erection	Inspect erection of precast concrete including member configuration, connections, welding and grouting. Reference ACI 318: Ch. 26.9.			X	Testing Agency	
11. Precast Concrete Diaphragms	For precast concrete diaphragm connections or reinforcement at joints classified as moderate or high deformability elements (MDE or HDE) in structures assigned to Seismic Design Category C, D, E or F, inspect such connections and reinforcement in the field for: (a) installation of the embedded parts. (b) Completion of the continuity of reinforcement across joints. (c) Completion of connections in the field.			X	Testing Agency	
12. Precast Concrete Diaphragms	Inspect erection tolerances of precast concrete diaphragm connections for compliance with ACI 950.5.			X	Testing Agency	
13. Verification of In-Situ Concrete Strength	Verify concrete strength prior to the removal of shores and forms from beams and structural slabs and prior to the stressing of tendons in post-tensioned concrete. Reference ACI 318: 26.10.2 & 26.11.1.2.			X	Testing Agency	
14. Formwork Geometry	Inspect formwork for shape, location and dimensions of the concrete member being formed. Reference ACI 318: 26.11.			X	Testing Agency	

SYMBOL LEGEND	
SYMBOL	REFERENCE
	COLUMN LINE DESIGNATION
	FACE OF BUILDING
	BASE PL MARK
	KEYNOTE MARK
	ELEVATION INDICATION
	DECK MARK

ABBREVIATIONS	
NAME	DESCRIPTION
AFF	ABOVE FINISHED FLOOR ELEVATION
ARCH	ARCHITECT
B	BOTTOM
BLDG	BUILDING
BOT	BOTTOM
BRG	BEARING
CFS	COLD-FORMED STEEL
CJ	CONTRACTION JOINT
CJP	COMPLETE JOINT PENETRATION
CL	CENTER LINE
CLR	CLEAR
CLSM	CONTROLLED LOW STRENGTH MATERIAL
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
DEG or °	DEGREE
DA or #	DIAMETER
EA	EACH
EF	EACH FACE
EL	ELEVATION
EMB	EMBEDMENT
EOB	EDGE OF DECK
EOS	EDGE OF SLAB
EQ	EQUAL
EXIST	EXISTING
EXP	EXPANSION
FOF	FOUNDATION
FS	FAR SIDE
FTG	FOOTING
GA	GAGE
GALV	GALVANIZED
GT	GRIDDER TRUSS
HORIZ	HORIZONTAL
JST BRG	JOIST BEARING
Ld	TENSION DEVELOPMENT LENGTH OF REINFORCING BAR IN CONCRETE
Ld-CMU	TENSION DEVELOPMENT LENGTH OF REINFORCING BAR IN GROUTED CMU
Ldc	COMPRESSION DEVELOPMENT LENGTH OF REINFORCING BAR IN CONCRETE
Ldc-CMU	COMPRESSION DEVELOPMENT LENGTH OF REINFORCING BAR IN GROUTED CMU
Ldh	HOOKED BAR TENSION DEVELOPMENT LENGTH OF REINFORCING BAR IN CONCRETE
Ldv	LONG DIMENSION VERTICAL
LH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
Ls	LAP SPlice LENGTH OF REINFORCING BAR IN CONCRETE
Ls-CMU	LAP SPlice LENGTH OF REINFORCING BAR IN GROUTED CMU
Ls-C	COMPRESSION LAP SPlice LENGTH OF REINFORCING BAR IN CONCRETE
LVL	LAMINATED VENEER LUMBER
MCI	MASONRY CONTROL JOINT
MFR	MANUFACTURER
NS	NEAR SIDE
OC	ON CENTER
OPNG	OPENING
OPP	OPPOSITE
PIT	POST-TENSION
PAP	POWER-ACTUATED FASTENER
PE	PRE-ENGINEERED
FEMB	PRE-ENGINEERED METAL BUILDING
PJP	PARTIAL JOINT PENETRATION
PL	PLATE
PSL	PARALLEL STRAND LUMBER
PT	PRESSURE TREATED
RD	ROOF DRAIN
REINF	REINFORCING
RTU	ROOF TOP UNIT
SDS	SELF DRILLING SCREWS
SM	SIMILAR
SL	STEP LEDGE
SOMD	SLAB ON METAL DECK
SPA	SPACE OR SPACES
SRD	SECONDARY ROOF DRAIN
STIFF	STIFFENER
STL	STEEL
STW	STEP TOP OF WALL
T	TOP OF
UNO	UNLESS NOTED OTHERWISE
VB	VERTICAL BRACING
VERT	VERTICAL
VF	VERIFY IN FIELD
w	WITH
WP	WORK POINT

Copyright © 2022 LDA architects Inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. LDA. For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

SPECIAL INSPECTIONS

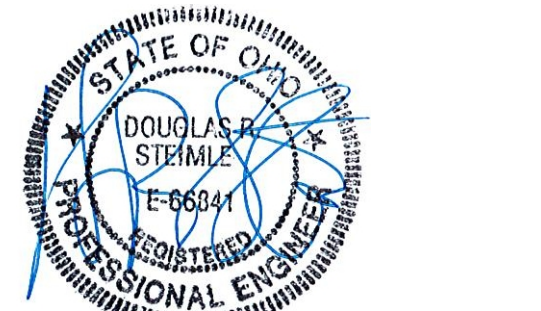
S002

REV	DATE	DESCRIPTION
	2024.03.21	Bidding and Permit

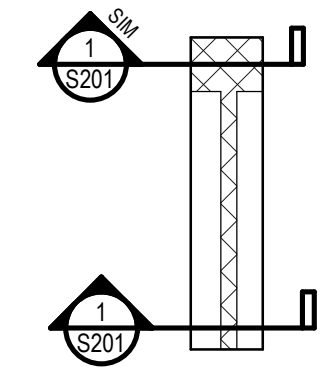
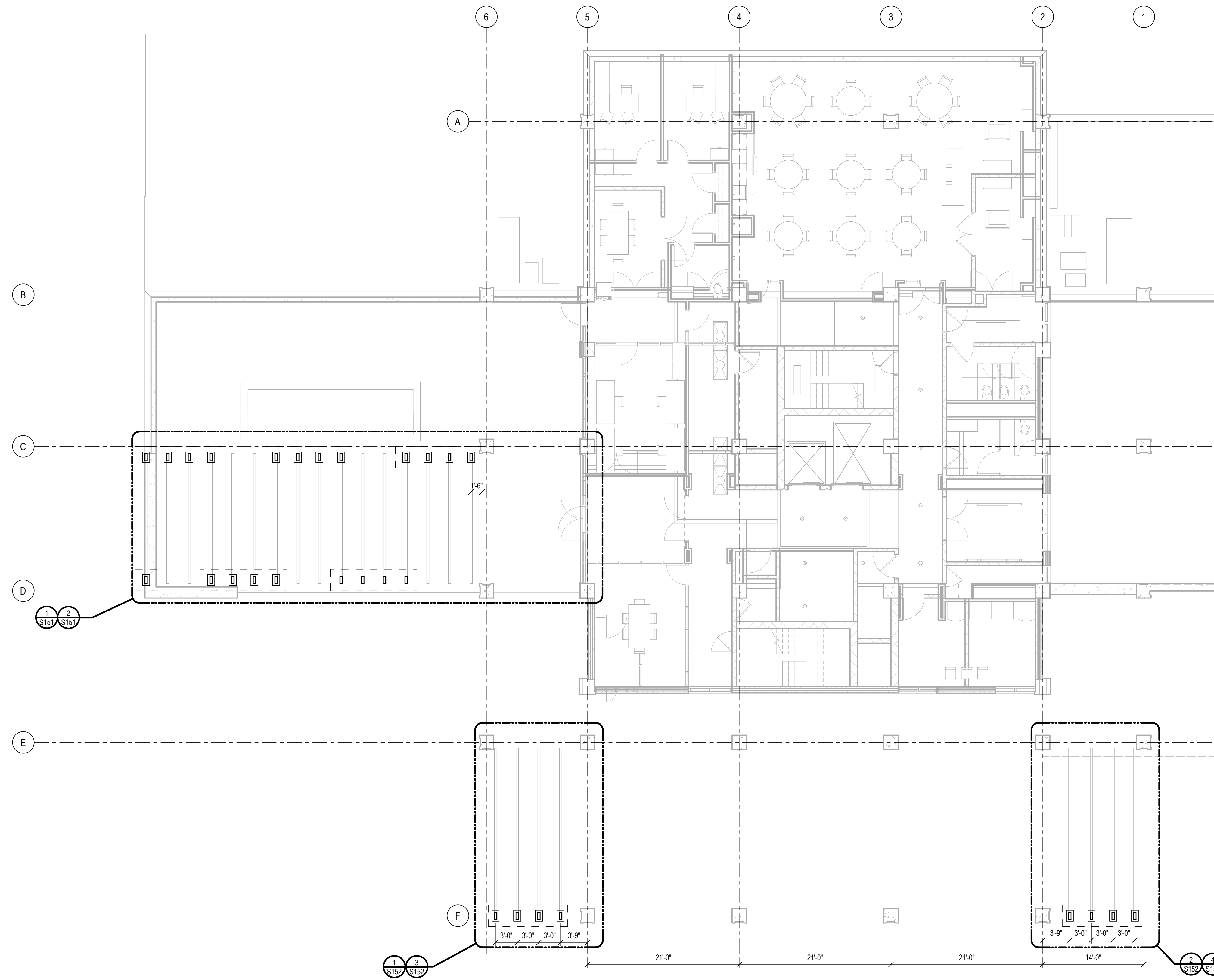
STRUCTURAL ENGINEERS
800.542.3302
schaefers-inc.com

schaefers

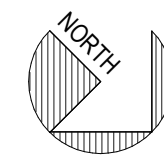
COPYRIGHT © 2024
THIS DOCUMENT IS THE PROPERTY AND EXCLUSIVE
PROPERTY OF SCHAEFER. NEITHER THE DOCUMENT
NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR
USED FOR ANY OTHER THAN THE SPECIFIC PURPOSE
FOR WHICH IT WAS PREPARED, WITHOUT THE WRITTEN
CONSENT OF SCHAEFER.
Schaefer Project Number: 24-0201



3-21-2024



OVERALL FOUNDATION PLAN
1/8" = 1'-0"



Copyright © 2024 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

FOUNDATION PLAN

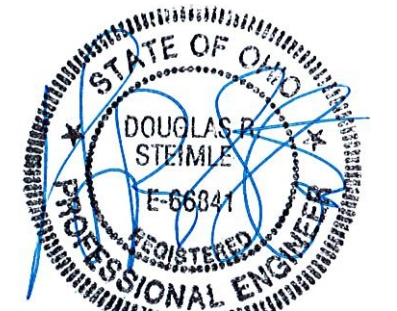
S101

REV	DATE	DESCRIPTION
	2024.03.21	Bidding and Permit

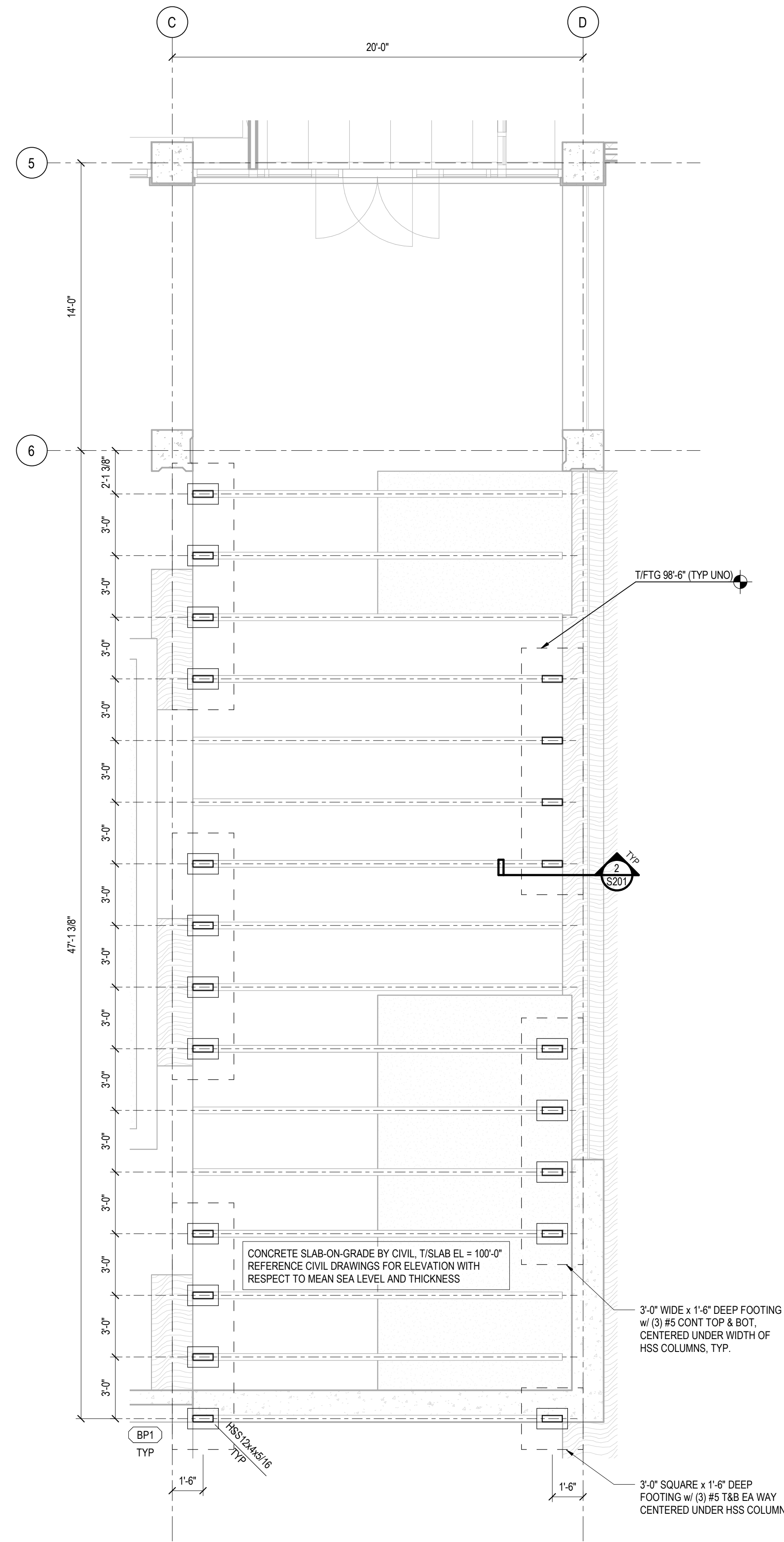
STRUCTURAL ENGINEERS
800.542.3302
schaefner-inc.com

schaefner

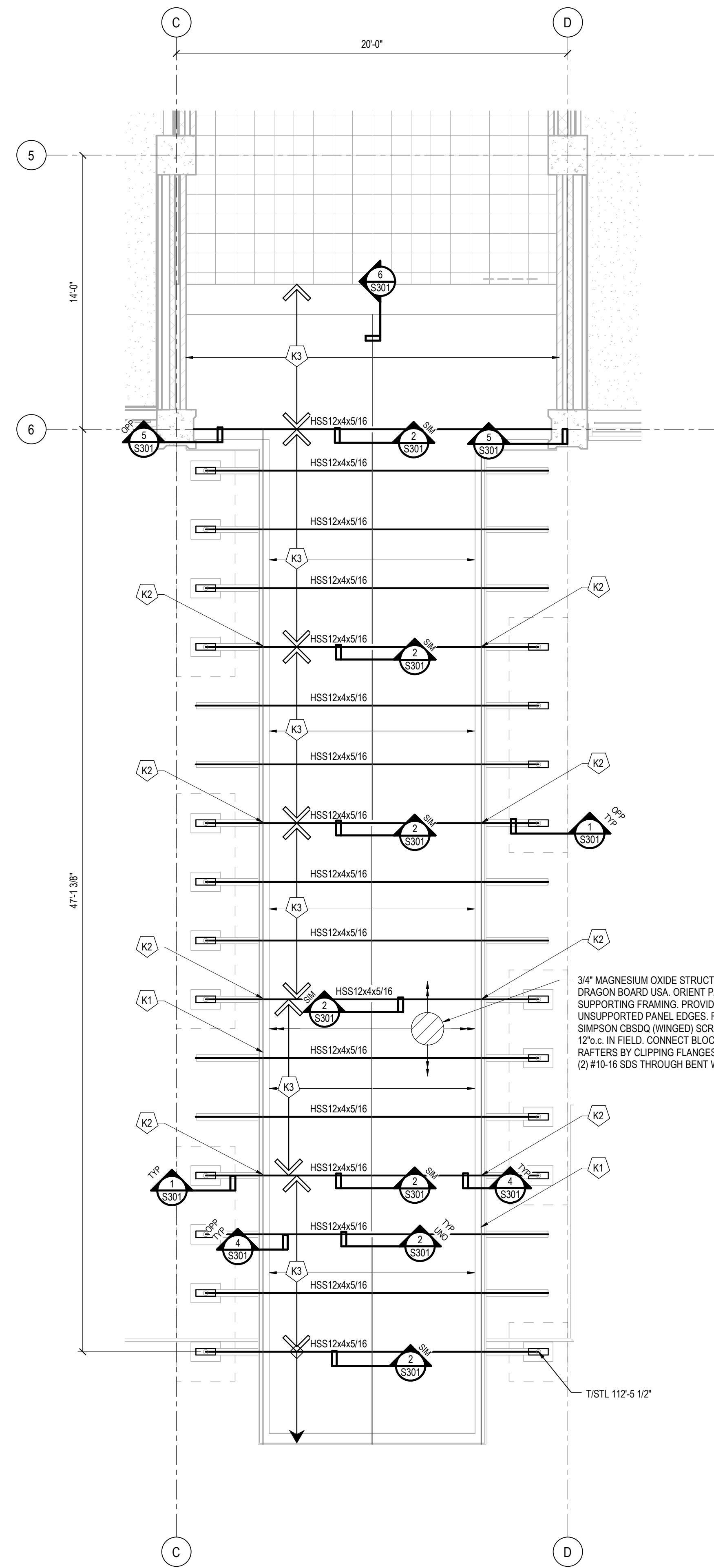
COPYRIGHT © 2024
THIS DOCUMENT IS THE PROPERTY AND EXCLUSIVE
PROPERTY OF SCHAEFNER. NEITHER THE DOCUMENT
NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR
USED FOR ANY OTHER THAN THE SPECIFIC PURPOSE
FOR WHICH IT WAS PREPARED, WITHOUT THE WRITTEN
CONSENT OF SCHAEFNER.
Schaefner Project Number: 24-0201



3-21-2024



ENLARGED CANOPY FLOOR PLAN **1**
1/4" = 1'-0" S151 NORTH



ENLARGED CANOPY FRAMING PLAN **2**
NTS S151 NORTH

FRAMING KEYNOTES
1. (2)605200-43 TOE-TO-TOE @ EDGE OF ROOF FRAMING CONTINUOUS THROUGHOUT LENGTH OF CANOPY.
2. INDICATES ACCEPTABLE LOCATION OF DOUBLE RAFTER SPLICE.
3. 605200-43 @ 16" o.c.

3/4" MAGNESIUM OXIDE STRUCTURAL PANEL SHEATHING BY DRAGON BOARD USA. ORIENT PANELS PERPENDICULAR TO SUPPORTING FRAMING. PROVIDE 605200-43 BLOCKING UNDER UNSUPPORTED PANEL EDGES. FASTEN TO FRAMING BELOW w/ #8 SIMPSON CBSOQ (WINGED) SCREWS @ 8" o.c. @ PANEL EDGES & @ 12" o.c. IN FIELD. CONNECT BLOCKING TO ADJACENT SUPPORTING RAFTERS BY CLIPPING FLANGES, BENDING WEB, AND INSTALLING (2) #10-16 SDS THROUGH BENT WEB & INTO RAFTER WEB.

Copyright © 2024 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No. 23.47

ENLARGED CANOPY PLANS

S151

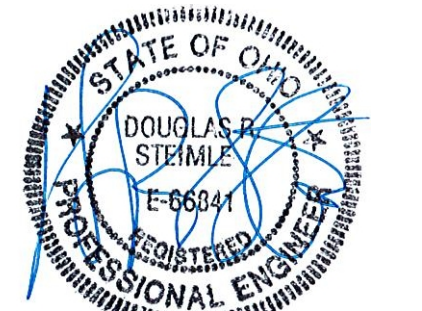
REV	DATE	DESCRIPTION
	2024.03.21	Bidding and Permit

STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

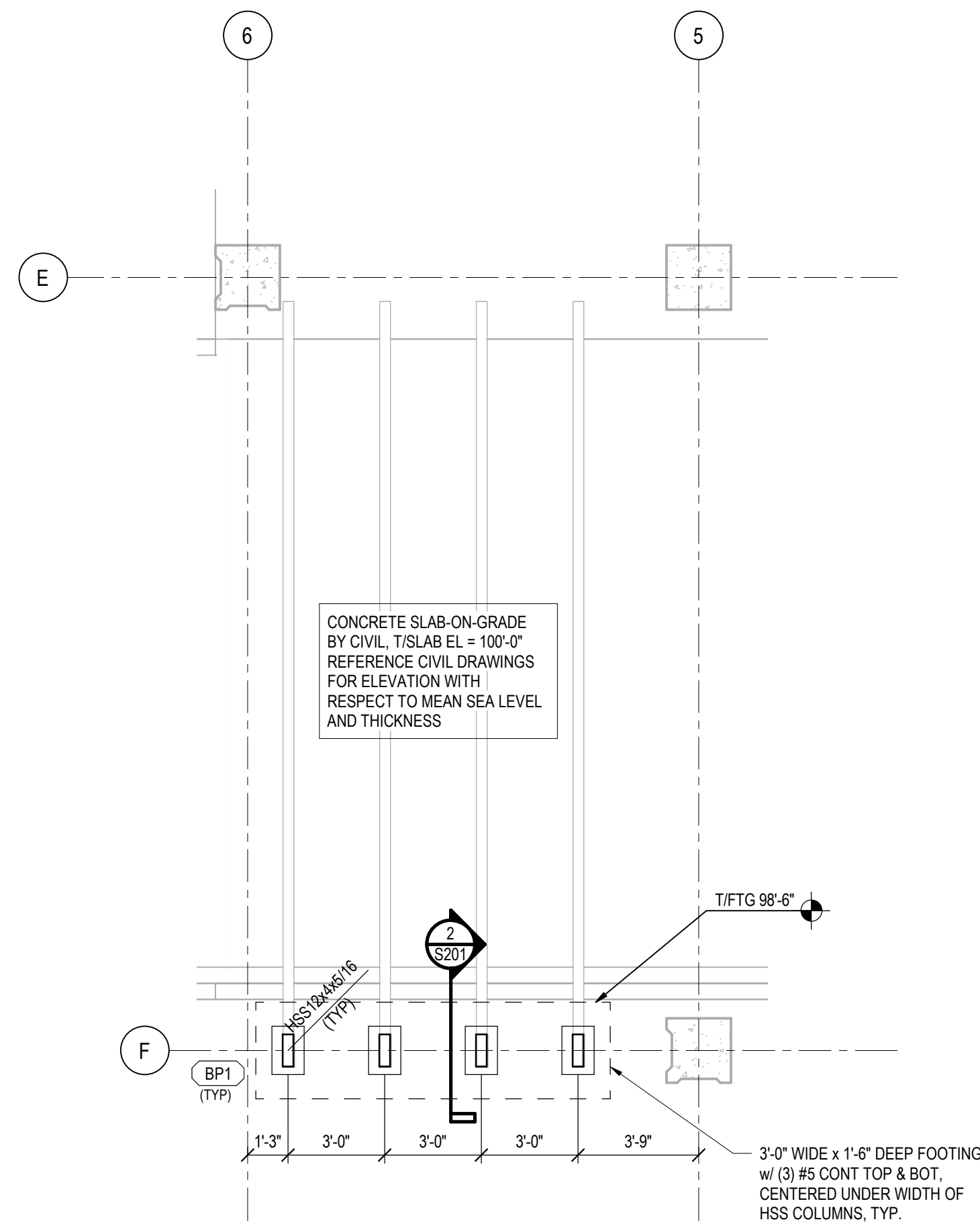
schaefer

COPYRIGHT © 2024
THIS DOCUMENT IS THE PROPERTY AND EXCLUSIVE
PROPERTY OF SCHAEFER. NEITHER THE DOCUMENT
NOR THE INFORMATION CONTAINED HEREIN BE LOANED,
REPRODUCED, COPIED, OR USED FOR ANY OTHER THAN THE SPECIFIC PURPOSE
FOR WHICH IT WAS PREPARED, WITHOUT THE WRITTEN
CONSENT OF SCHAEFER.

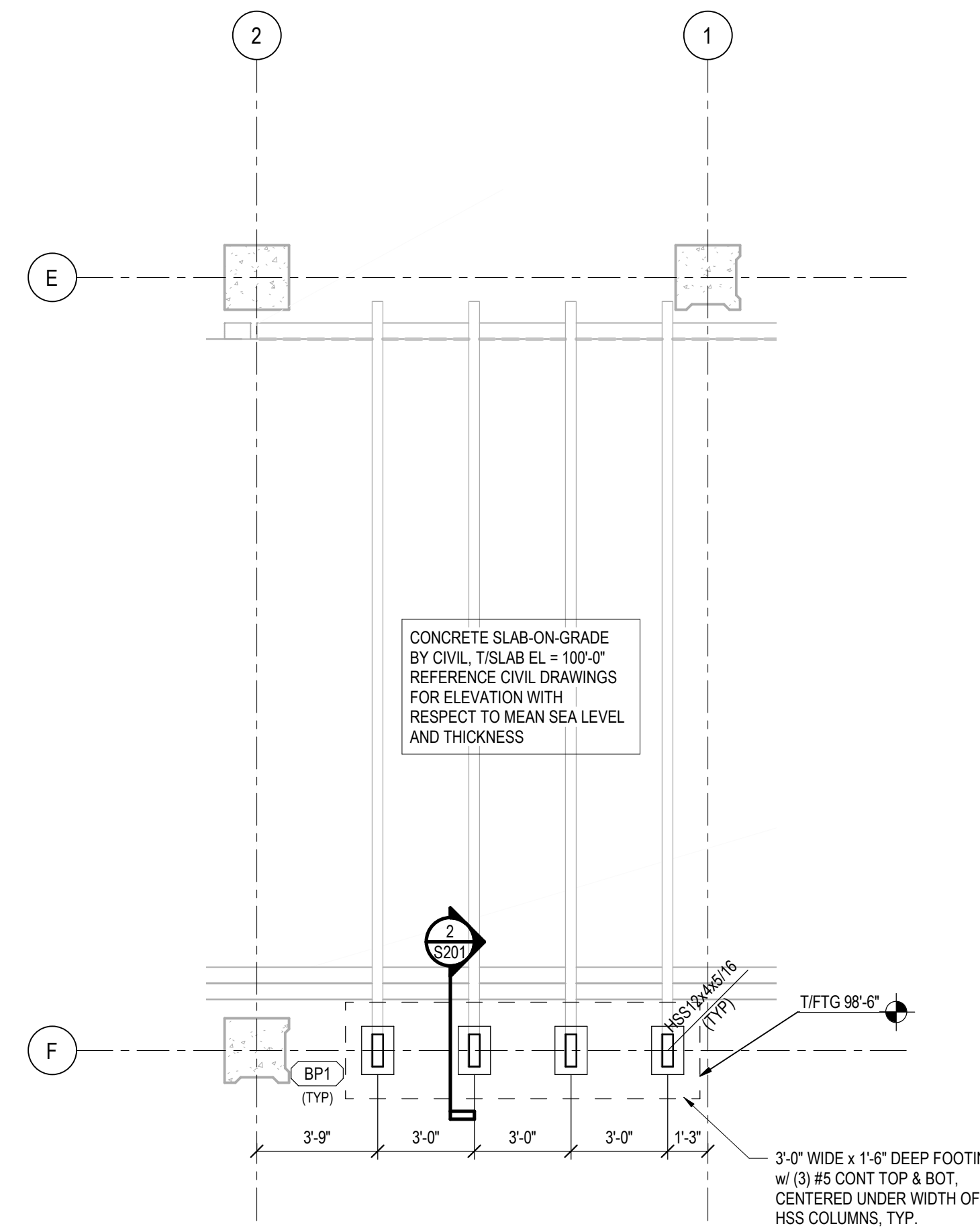
Schaefer Project Number: 24-0201



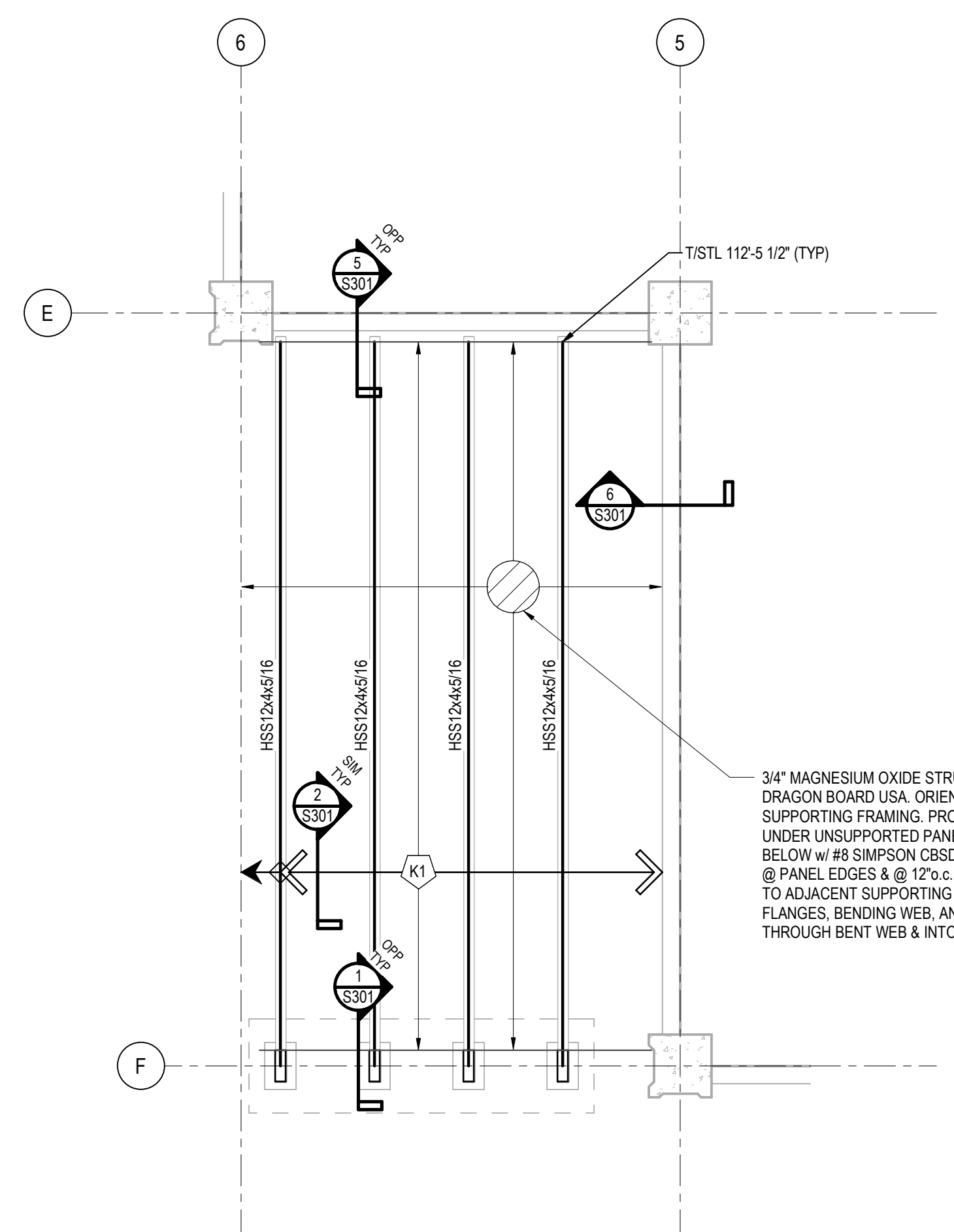
3-21-2024



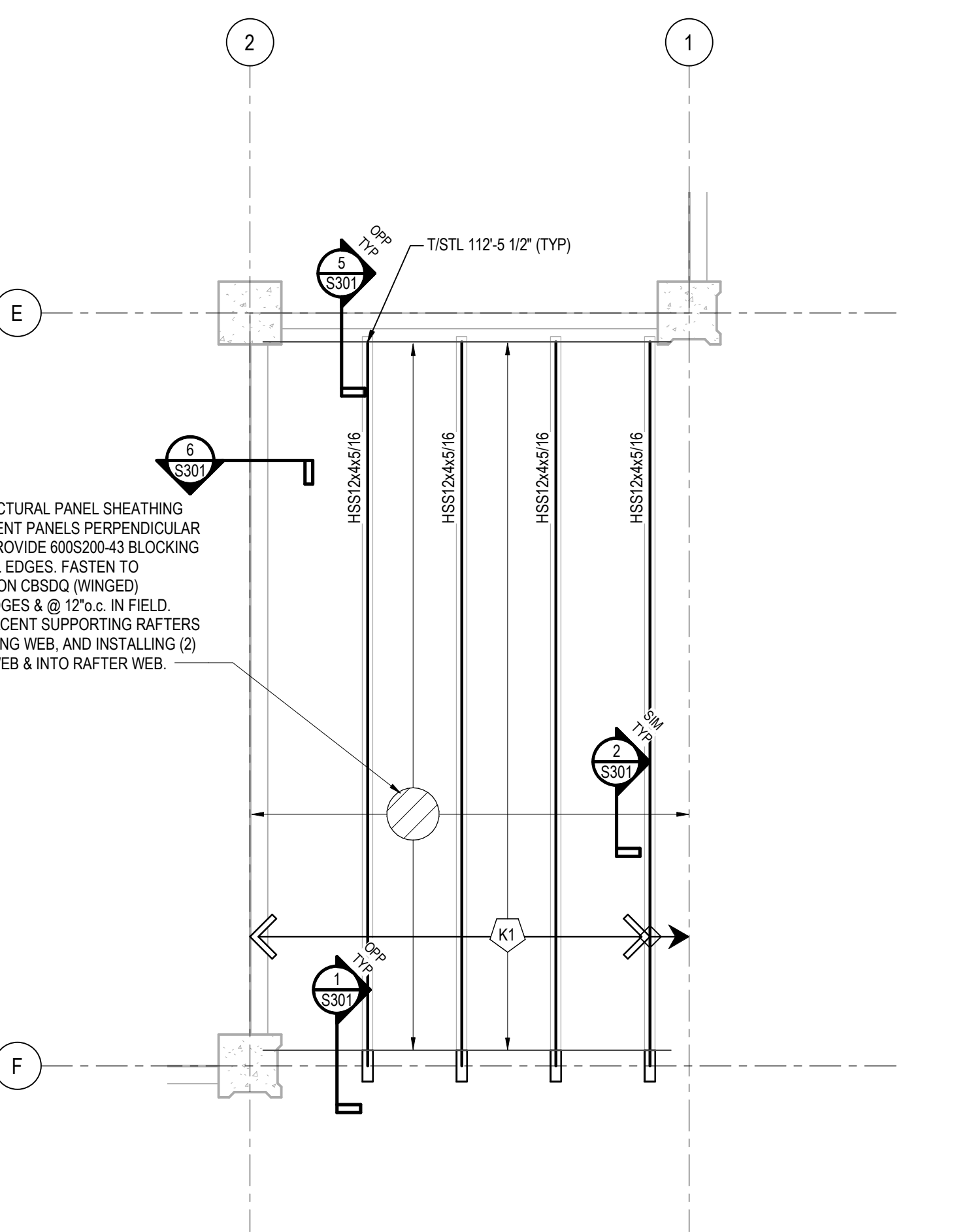
ENLARGED CANOPY FOUNDATION PLAN 1
1/4" = 1'-0" S152



ENLARGED CANOPY FOUNDATION PLAN 2
1/4" = 1'-0" S152



ENLARGED CANOPY ROOF PLAN 3
1/4" = 1'-0" S152



ENLARGED CANOPY ROOF PLAN 4
1/4" = 1'-0" S152

FRAMING KEYNOTES
1. 60S200-43 @ 18" c.

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute
the original and unpublished work of, and are the instruments of service of, LDA
architects, Inc. LDA, for use solely with respect to this project. These instruments
remain the exclusive property of LDA, who shall retain all common law, statutory and
other reserved rights, including the copyright therein, and may not be used, reproduced,
copied, or altered, in whole or in part, for any purpose of project without the written
consent of LDA.

Marquette Manor - Interior and
Exterior Improvements
Cincinnati Metropolitan Housing
Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

ENLARGED CANOPY PLANS

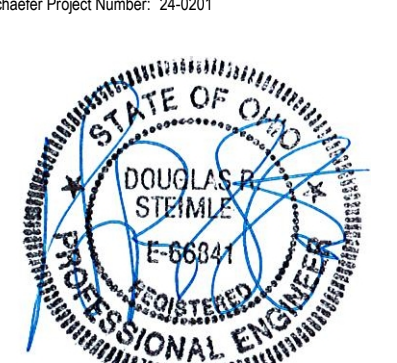
S152

REV	DATE	DESCRIPTION
	2024.03.21	Bidding and Permit

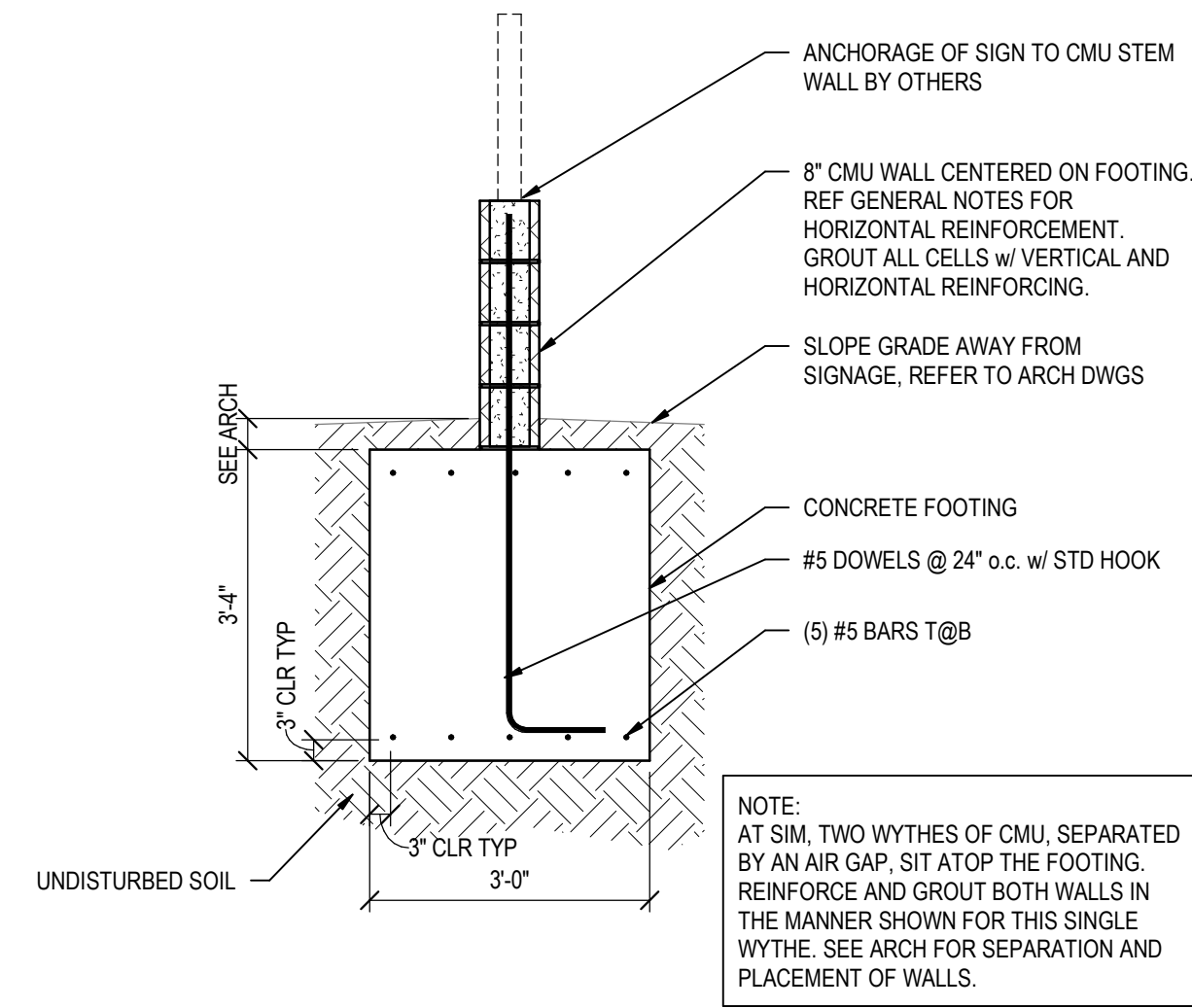
STRUCTURAL ENGINEERS
800.542.3302
schaefers-inc.com

schaefers

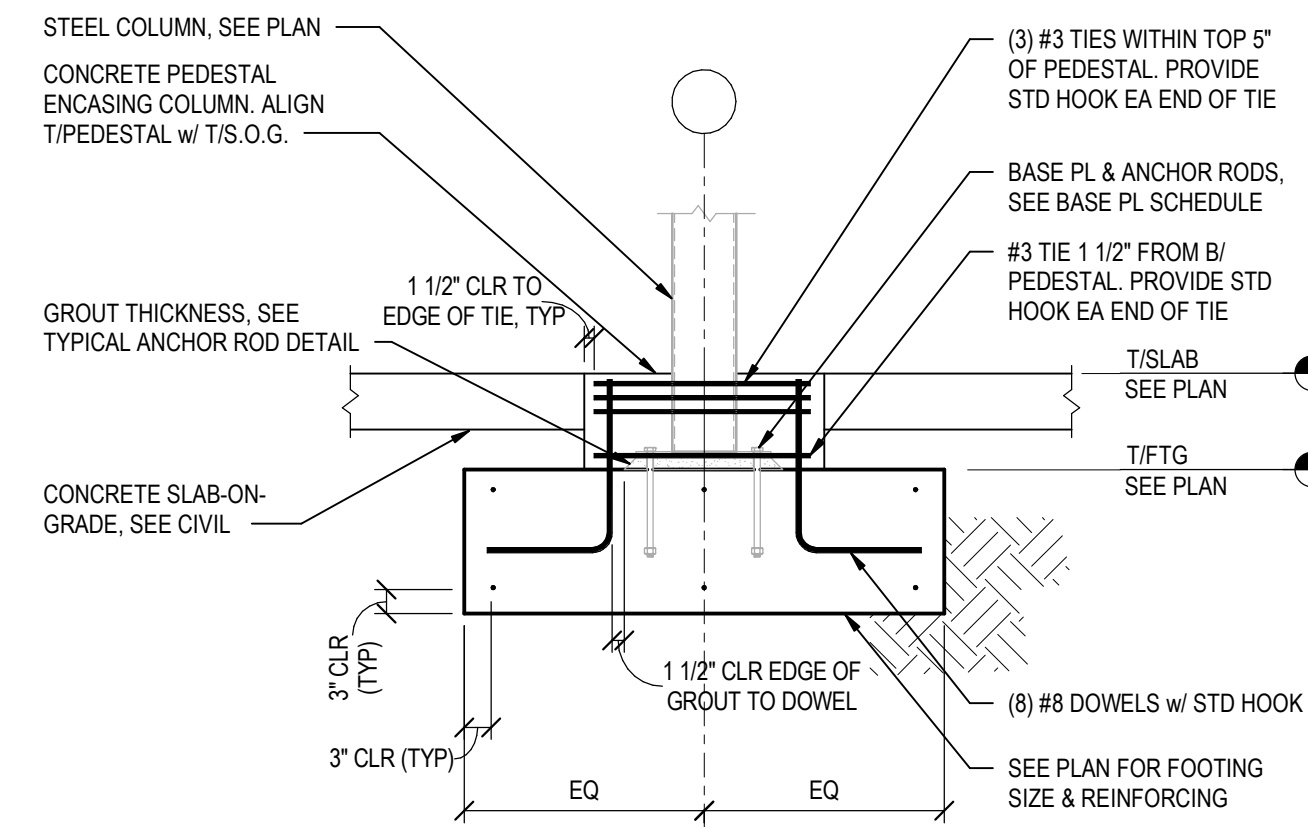
COPYRIGHT © 2024
THIS DOCUMENT IS THE PROPERTY AND EXCLUSIVE PROPERTY OF SCHAEFERS. NEITHER THE DOCUMENT NOR THE INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR USED FOR ANY OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS PREPARED, WITHOUT THE WRITTEN CONSENT OF SCHAEFERS.
Schaefer Project Number: 24-0201



3-21-2024

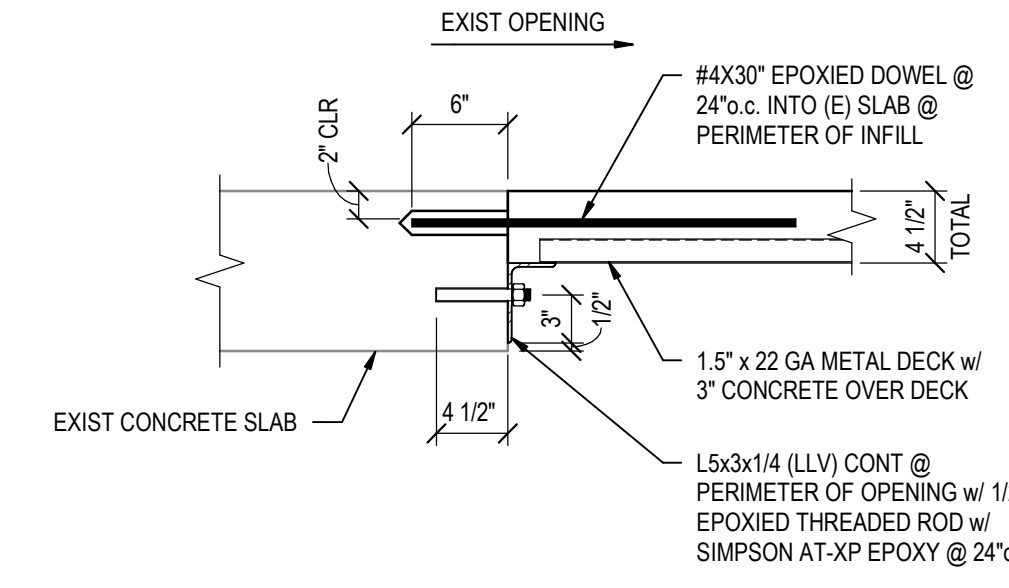


SIGNAGE RETAINING WALL 1
1/2" = 1'-0" S201



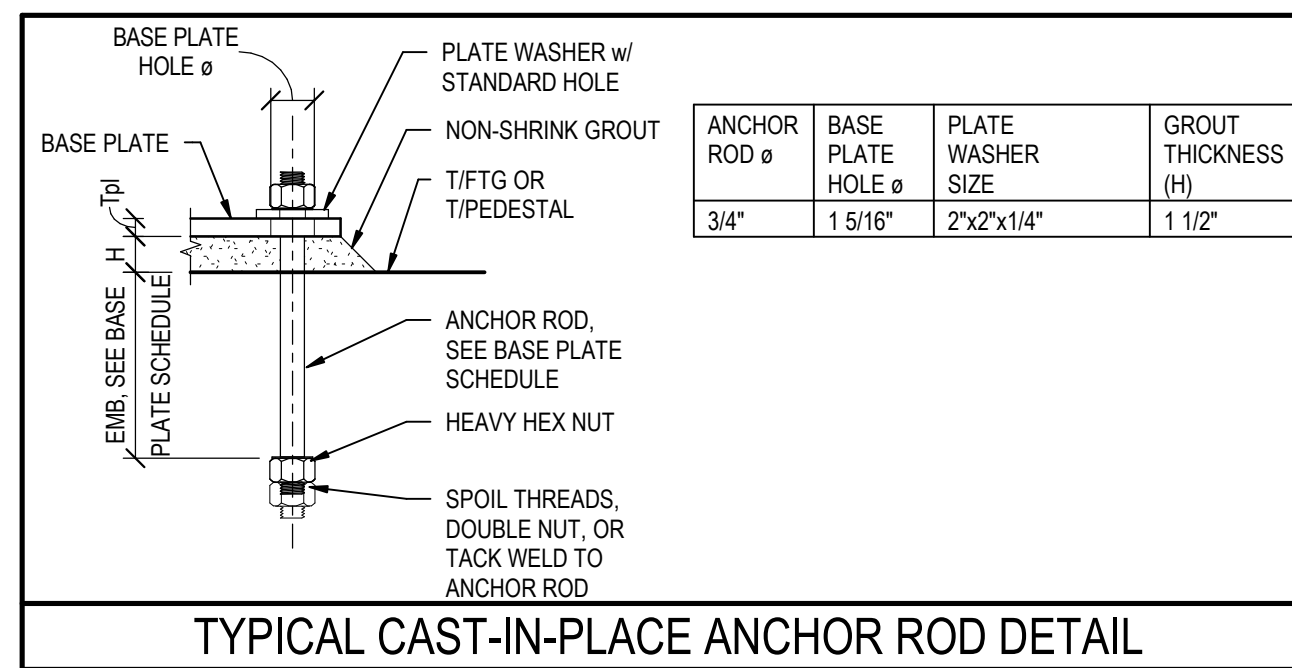
- NOTES:
- BASE PLATE AND COLUMN MUST BE PLUMBED PRIOR TO PLACING SLAB ON GRADE AND ERECTING STEEL FRAMING.
 - AT CONTRACTOR'S OPTION, BITUMINOUS COATING BELOW SLAB MAY BE SUBSTITUTED WITH EITHER FINISH DESCRIBED BELOW FOR COLUMN & BASE PLATE:
 - HOT DIPPED GALVANIZED WITH MIN DRY FILM THICKNESS OF 4 MILS.
 - CLEANED PER SSPC-SP11, PRIMED WITH ZINC RICH PRIMER (DRY FILM THICKNESS 2.5 TO 3.5 MILS), & FINISH PAINTED WITH 2 COATS ALIPHATIC POLYURETHANE PORTER PORTER/THANE 9000 SERIES (OR EQUIV).
 - COLUMN MUST BE FREE FROM STANDING WATER PRIOR TO CAULKING.

TYPICAL COLUMN FOUNDATION 2
1/2" = 1'-0" S201

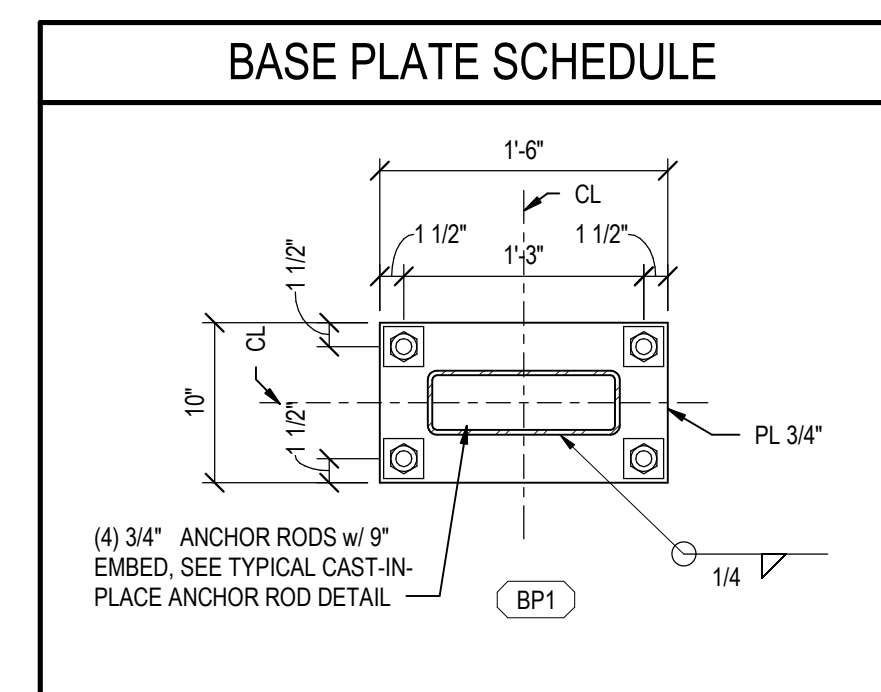


- NOTES:
- SEE ARCH FOR LOCATION OF SLAB INFILL.
 - CONCRETE INFILL HAS BEEN DESIGNED FOR A MAXIMUM SPAN OF 3'-3". A 10' EXISTING CONCRETE SLAB HAS BEEN ASSUMED BASED ON THE ORIGINAL CONSTRUCTION DRAWINGS.
 - LOCATE EXISTING REINFORCING PRIOR TO INSTALLING NEW ANCHORS AND REINFORCING. AVOID DAMAGING ALL (E) REINFORCING DURING DRILLING AND INSTALLATION.

SLAB INFILL DETAIL 3
1" = 1'-0" S201



TYPICAL CAST-IN-PLACE ANCHOR ROD DETAIL



CONCRETE CLASS	DESCRIPTION	CONCRETE MIXTURE REQUIREMENTS							REMARKS	
		EXPOSURE CLASS				MINIMUM f _c AT 28 DAYS (PSI)	MAXIMUM w/c RATIO	AIR CONTENT		MINIMUM CEMENTITIOUS MATERIAL (LB/CY)
		F	S	W	C					
A	FOOTINGS AND GRADE BEAMS	F0	S0	W0	C0	3000	--	--	--	
B	PEDESTALS	F2	S0	W0	C1	4500	0.45	6% ±1.5%	--	

CONCRETE MIXTURE NOTES:
A. PROVIDE MIX DESIGNS IN ACCORDANCE WITH ACI 301-16 FOR SPECIFIED EXPOSURE CLASS AND AGGREGATE.
B. NOMINAL MAX AGGREGATE SIZE = 3/4" UNLESS OTHERWISE NOTED
C. ALL CONCRETE SHALL BE NORMAL WEIGHT UNLESS OTHERWISE NOTED

CONCRETE MIXTURE REMARKS:
1. MIGRATING CORROSION INHIBITOR: 1.5 PINTS PER CUBIC YARD

SCHEDULE OF TENSION DEVELOPMENT AND LAP SPICE LENGTHS											
FOOTINGS (f _c = 3000PSI)						PEDESTALS (f _c = 4500PSI)					
BAR SIZE	L _d		L _s		L _{dh}	BAR SIZE	L _d		L _s		L _{dh}
	OTHER BARS	TOP BARS	OTHER BARS	TOP BARS			OTHER BARS	TOP BARS	OTHER BARS	TOP BARS	
#3	17	22	22	28	8	#3	12	12	16	16	7
#4	22	29	29	38	12	#4	12	14	16	19	11
#5	28	36	36	47	16	#5	14	18	18	23	15
#6	33	43	43	56	21	#6	17	21	21	28	20
#7	48	63	63	81	27	#7	24	31	31	40	24
#8	55	72	72	93	32	#8	27	35	35	46	30
#9	62	81	81	105	39	#9	34	44	44	57	36
#10	70	91	91	118	46	#10	42	54	54	70	42
#11	78	101	101	131	54	#11	50	65	65	84	50
#14	93	121	121	157	71	#14	68	88	88	115	65

LAP AND DEVELOPMENT TABLE CRITERIA:
A. GRADE 60 UNCOATED REINFORCING STEEL
i. FOR EPOXY COATED: MULTIPLY L_d, L_s BY 1.5; L_{dh} BY 1.2
B. NORMAL WEIGHT CONCRETE
i. FOR LIGHTWEIGHT CONCRETE: MULTIPLY L_d, L_s, L_{dh} BY 1.33
C. CLEAR COVER GREATER THAN db
D. MIN 2" db CLEAR SPACING BETWEEN BARS

LAP AND DEVELOPMENT TABLE CRITERIA:
A. GRADE 60 UNCOATED REINFORCING STEEL
i. FOR EPOXY COATED: MULTIPLY L_d, L_s BY 1.5; L_{dh} BY 1.2
B. NORMAL WEIGHT CONCRETE
i. FOR LIGHTWEIGHT CONCRETE: MULTIPLY L_d, L_s, L_{dh} BY 1.33
C. 2" MIN CLEAR COVER
D. 4" MIN CLEAR SPACING BETWEEN BARS

FOR BARS THAT DO NOT MEET THE CLEAR COVER OR CLEAR SPACING INDICATED:
#6 AND SMALLER: L_d = 66 BAR DIAMETERS; L_s = 86 BAR DIAMETERS
#7 AND LARGER: L_d = 83 BAR DIAMETERS; L_s = 107 BAR DIAMETERS
FOR TOP BARS MULTIPLY BY 1.3
MINIMUM L_d AND L_s = 12"

FOR BARS THAT DO NOT MEET THE CLEAR COVER OR CLEAR SPACING INDICATED:
#6 AND SMALLER: L_d = 54 BAR DIAMETERS; L_s = 70 BAR DIAMETERS
#7 AND LARGER: L_d = 68 BAR DIAMETERS; L_s = 88 BAR DIAMETERS
FOR TOP BARS MULTIPLY BY 1.3
MINIMUM L_d AND L_s = 12"

LAP AND DEVELOPMENT TABLE NOTES & DEFINITIONS:
A. TOP BARS = HORIZ BARS WITH MORE THAN 12" OF CONCRETE CAST BELOW THE BARS
B. db = BAR DIAMETER
C. s = CENTER-TO-CENTER BAR SPACING
D. A_{th} = TOTAL AREA OF TIES OR STIRRUPS CONFINING HOOKED BARS
E. A_{hs} = TOTAL AREA OF HOOKED BARS BEING DEVELOPED
F. WHERE BARS OF DIFFERENT SIZES ARE SPLICED, L_s FOR THE LARGER BAR SHALL BE USED
G. ALL TENSION SPLICES SHALL BE CLASS B, UNLESS NOTED OTHERWISE
H. L_{dh} VALUES FOR #11 BARS AND SMALLER MAY BE REDUCED AS FOLLOWS (PER ACI 318-19)
i. MULTIPLY BY 0.625 FOR (1) OR (2)
(1) A_{th} ≥ 0.40A_{hs}
(2) s ≥ 6db
ii. MULTIPLY BY 0.80 FOR (3) OR (4)
(3) HOOK TERMINATES IN COLUMN CORE & SIDE COVER NORMAL TO PLANE OF HOOK ≥ 2.5"
(4) SIDE COVER NORMAL TO PLANE OF HOOK ≥ 6db
iii. L_{dh} SHALL NOT BE LESS THAN THE LARGER OF 8db OR 6" WITH REDUCTIONS APPLIED

Copyright © 2022 LDA architects Inc.
This drawing and subject matter therein, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. LDA. For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

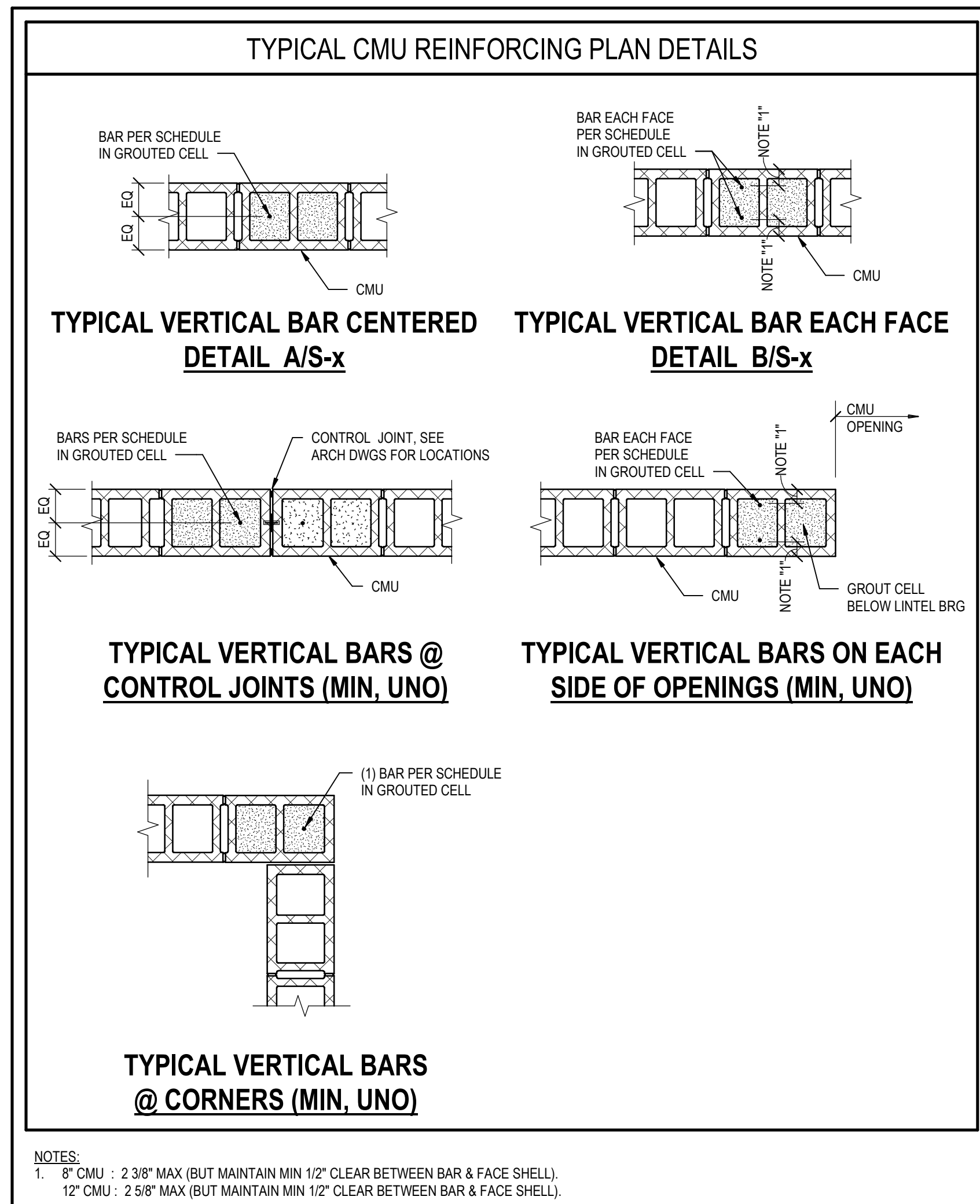
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No. 23.47

TYPICAL FOUNDATION
DETAILS & SECTIONS

S201

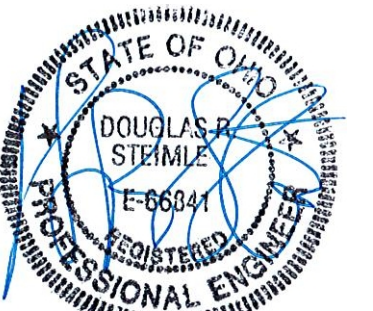
REV	DATE	DESCRIPTION
	2024.03.21	Bidding and Permit



STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

schaefer

COPYRIGHT © 2024
THIS DOCUMENT IS THE PROPERTY AND EXCLUSIVE
PROPERTY OF SCHAEFER. NEITHER THE DOCUMENT
NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR
USED FOR ANY OTHER THAN THE SPECIFIC PURPOSE
FOR WHICH IT WAS PREPARED, WITHOUT THE WRITTEN
CONSENT OF SCHAEFER.
Schaefer Project Number: 24-0201



3-21-2024

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute
the original and unpublished work of, and are the instruments of service of, LDA
architects, Inc. LDA. For use solely with respect to this project. These instruments
remain the exclusive property of LDA, who shall retain all common law, statutory and
other reserved rights, including the copyright therein, and may not be used, reproduced,
copied, or altered, in whole or in part, for any purpose of project without the written
consent of LDA.

**Marquette Manor - Interior and
Exterior Improvements**
Cincinnati Metropolitan Housing
Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

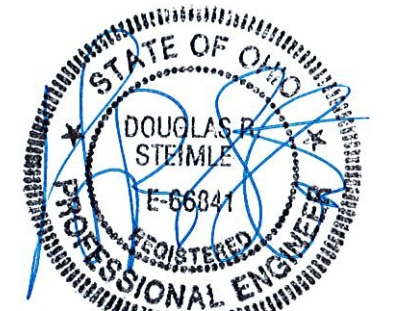
**FOUNDATION DETAILS &
SECTIONS
S211**

REV	DATE	DESCRIPTION
	2024.03.21	Bidding and Permit

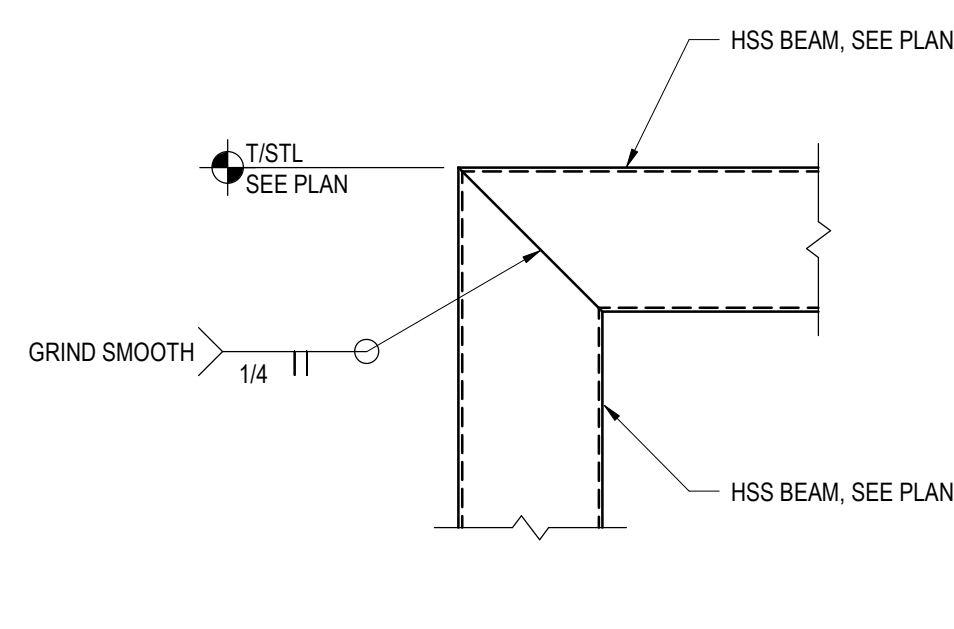
STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

schaefer

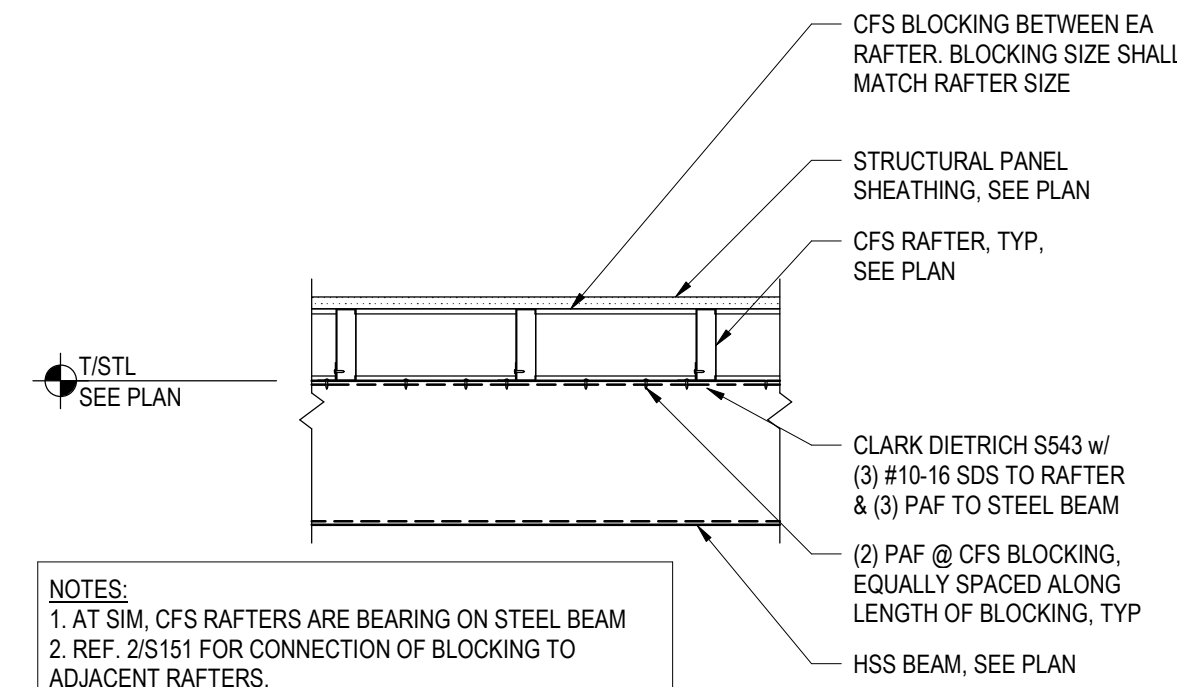
COPYRIGHT © 2024
THIS DOCUMENT IS THE PROPERTY AND EXCLUSIVE PROPERTY OF SCHAEFER. NEITHER THE DOCUMENT NOR THE INFORMATION IT CONTAINS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF SCHAEFER.
Schaefer Project Number: 24-0201



3-21-2024

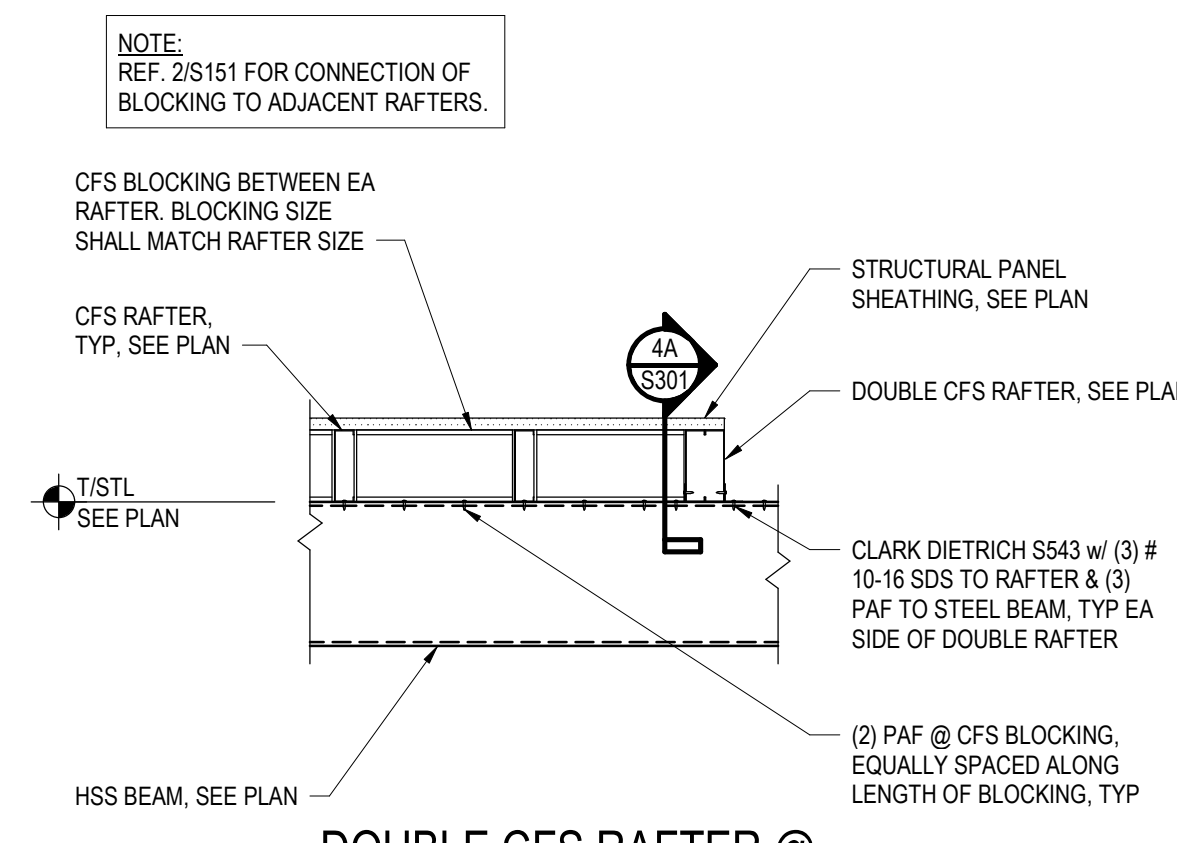


SECTION 1
3/4" = 1'-0" S301

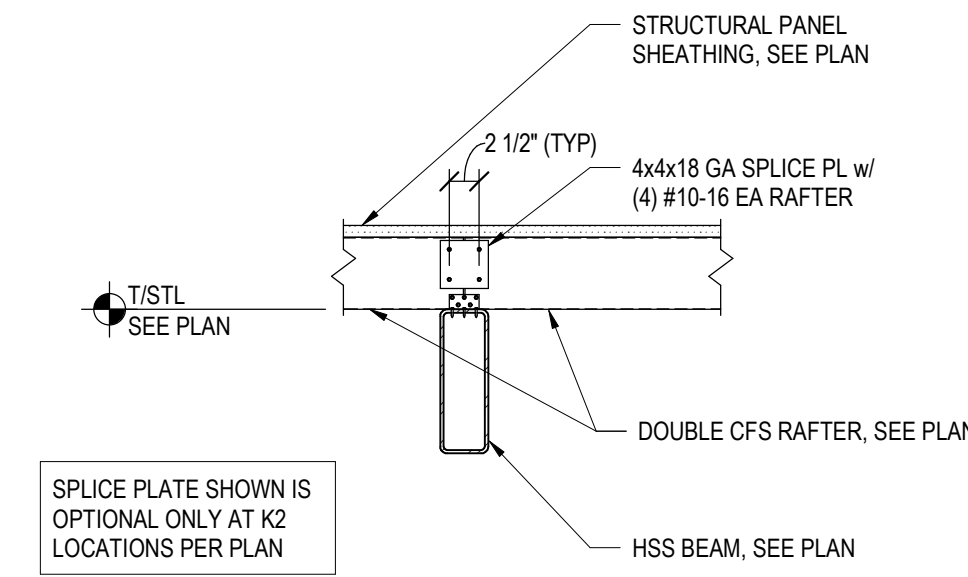


NOTES:
1. AT SIM, CFS RAFTERS ARE BEARING ON STEEL BEAM
2. REF. 2/S151 FOR CONNECTION OF BLOCKING TO ADJACENT RAFTERS.

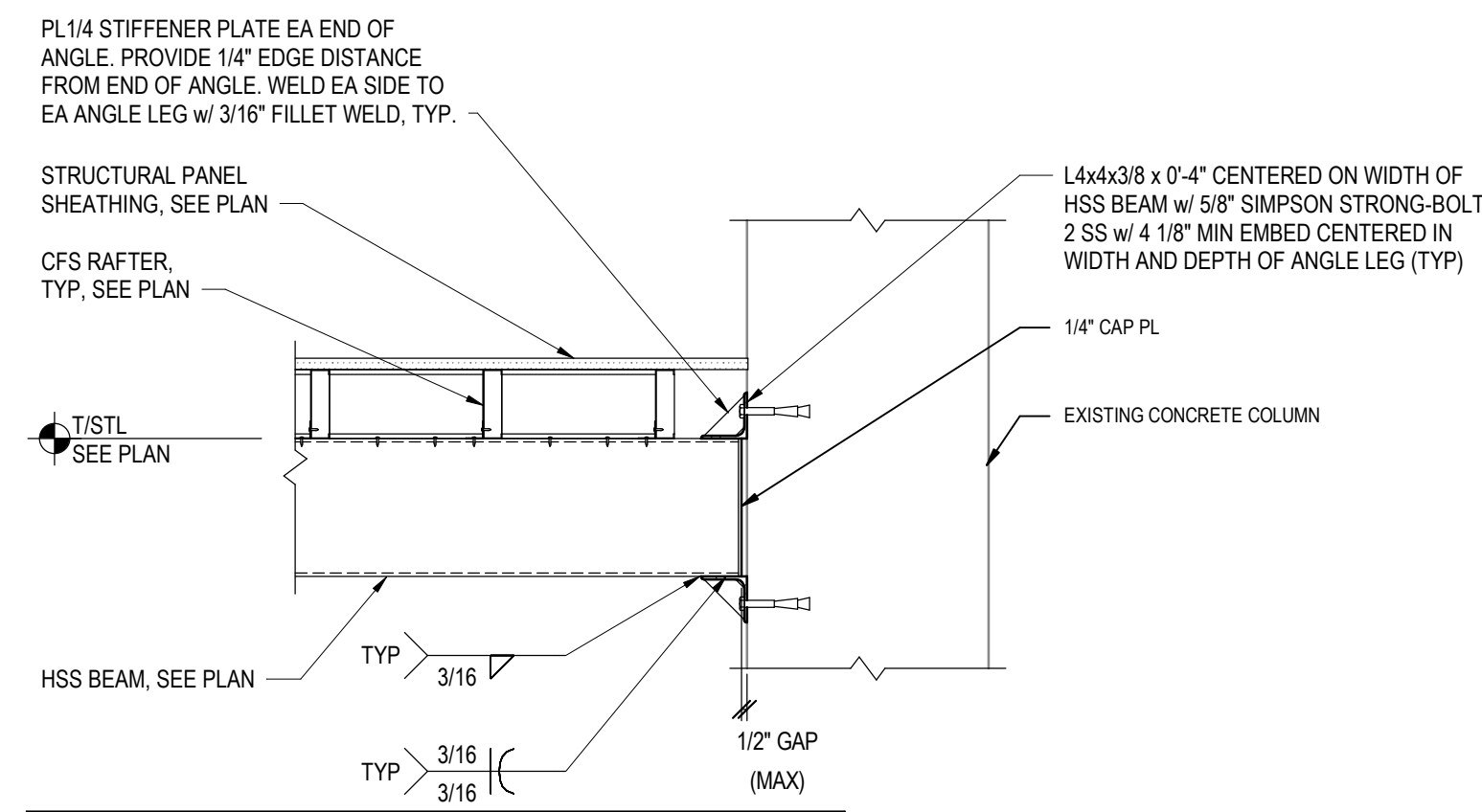
CFS SUPPORTING STEEL BEAM CONDITION 2
3/4" = 1'-0" S301



DOUBLE CFS RAFTER @ STEEL BEAM CONDITION 4
3/4" = 1'-0" S301

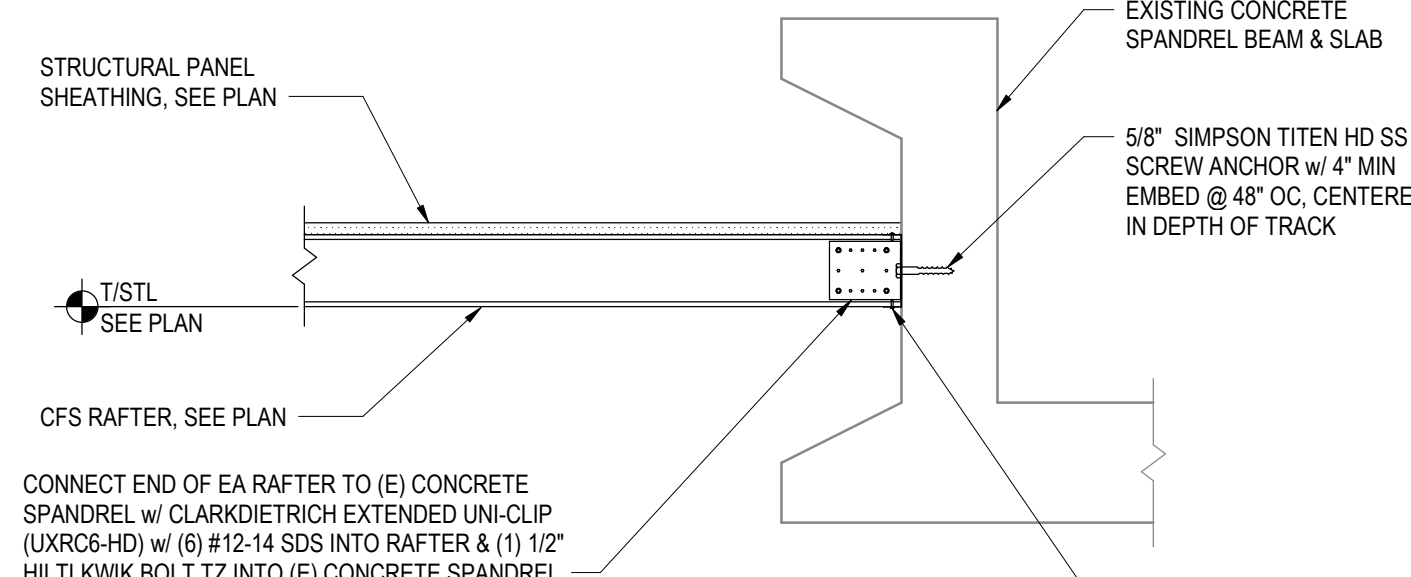


DOUBLE CFS RAFTER @ STEEL BEAM CONDITION 4A
3/4" = 1'-0" S301



NOTES:
1. CONTRACTOR TO LOCATE EXISTING REINFORCEMENT PRIOR TO DRILLING. AVOID ALL EXISTING REINFORCEMENT DURING INSTALLATION.
2. CONCRETE COLUMN REINF NOT SHOWN
3. SEE 2/S151 FOR CONNECTION OF BLOCKING TO ADJACENT RAFTERS.
4. SEE 2/S301 FOR CFS INFORMATION NOT SHOWN HERE.

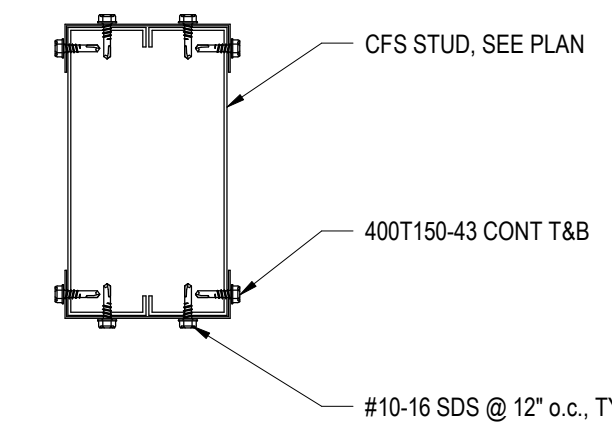
SECTION 5
3/4" = 1'-0" S301



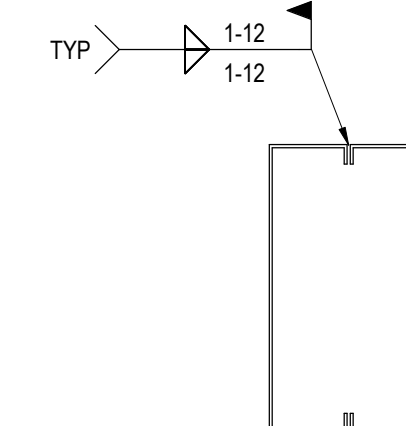
CONNECT END OF EA RAFTER TO (E) CONCRETE SPANREL w/ CLARKDIETRICH EXTENDED UNI-CLIP (UXRC6-HD) w/ (6) #12-14 SDS INTO RAFTER & (1) 1/2" HILTI KWIK BOLT TZ INTO (E) CONCRETE SPANREL

CONTRACTOR TO LOCATE EXISTING REINFORCEMENT PRIOR TO DRILLING. AVOID ALL EXISTING REINFORCEMENT DURING INSTALLATION.

SECTION 6
3/4" = 1'-0" S301



SCREW OPTION
NTS



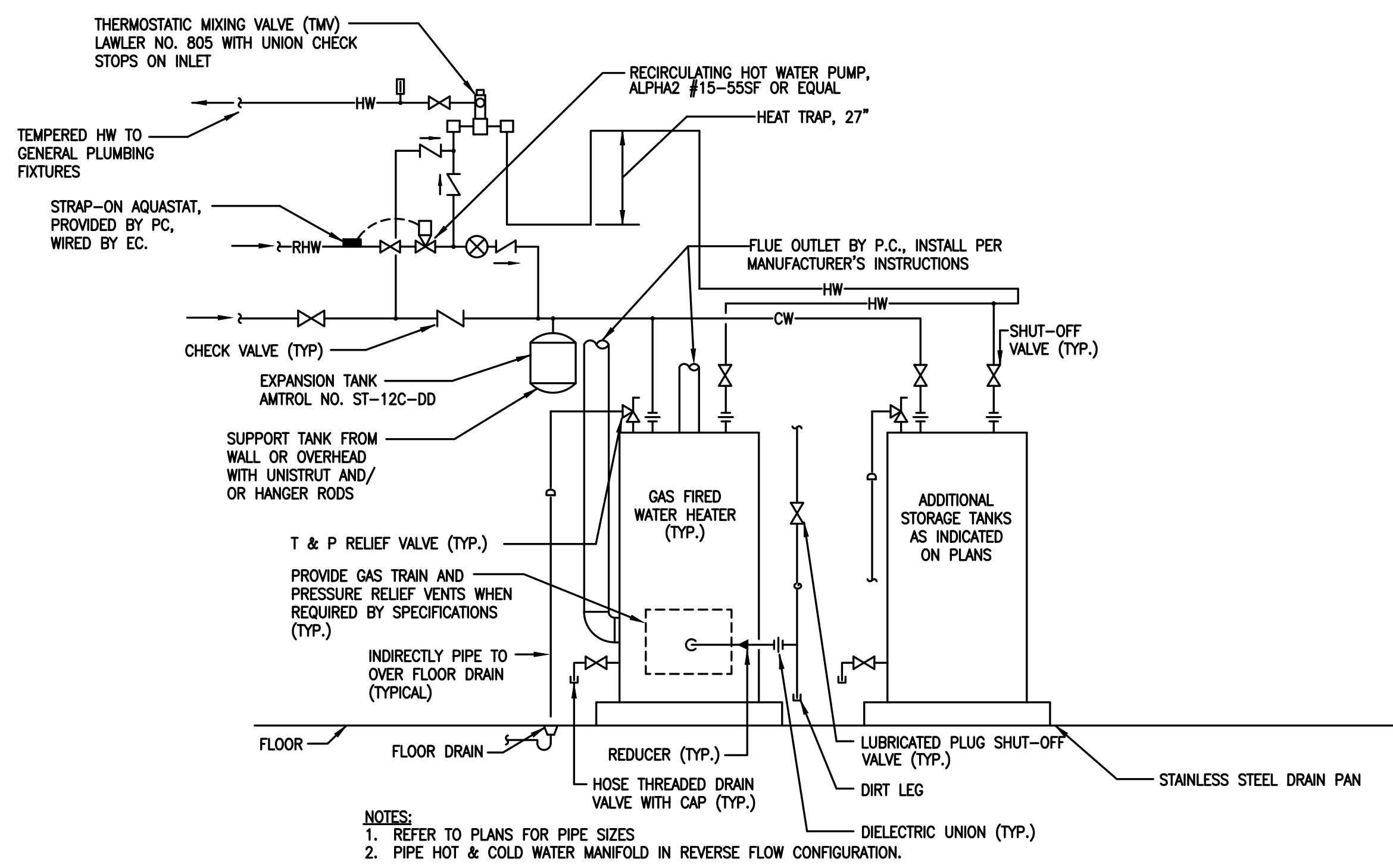
WELD OPTION
NTS

Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. LDA, Inc. For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

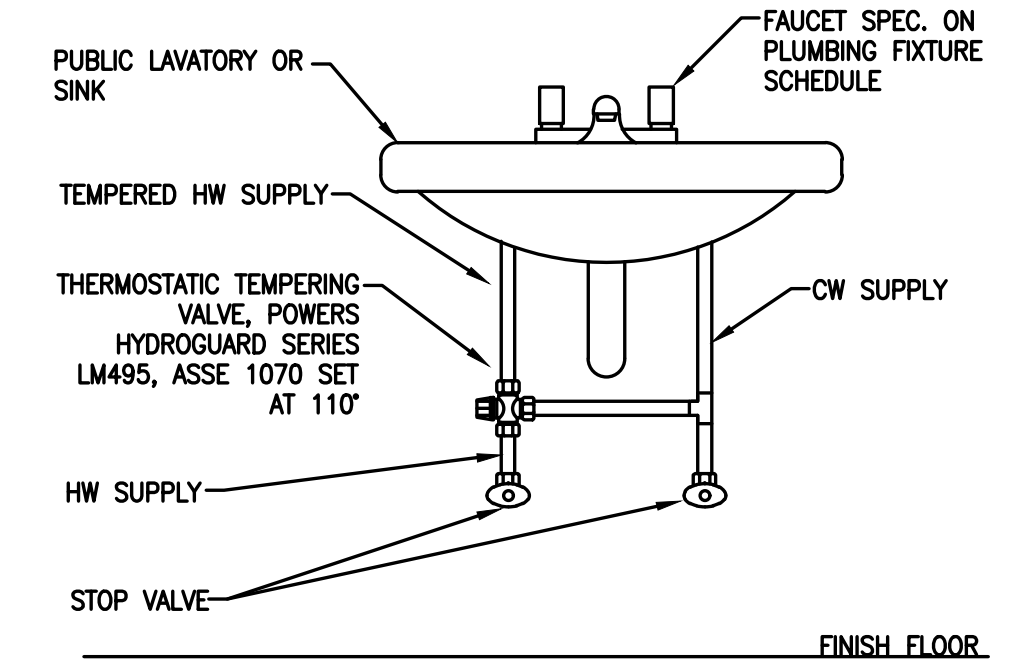
LDA Project No.23.47

TYPICAL FRAMING DETAILS & SECTIONS
S301

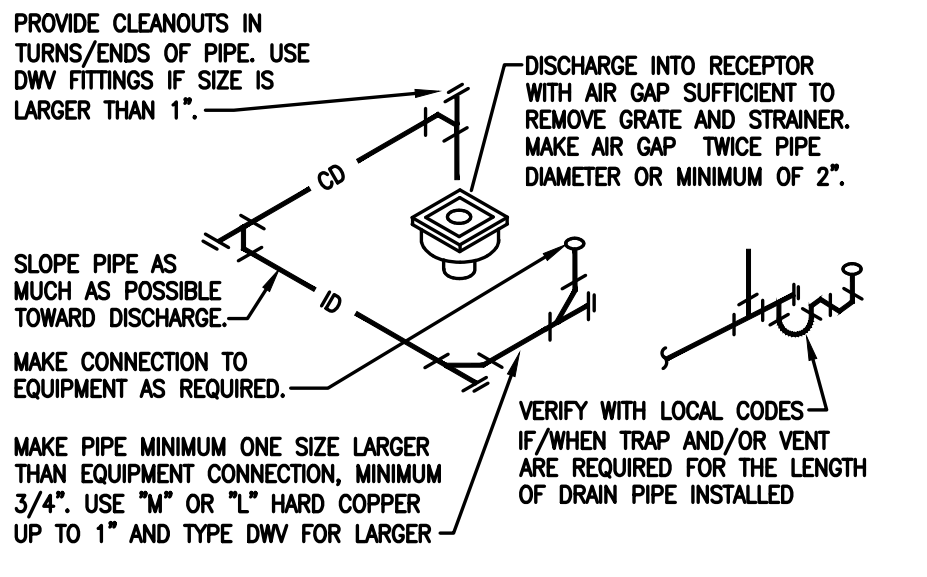


GAS FIRED WATER HEATER PIPING DIAGRAM
 MULTIPLE HEATERS - ONE WATER TEMPERATURE
 NO SCALE

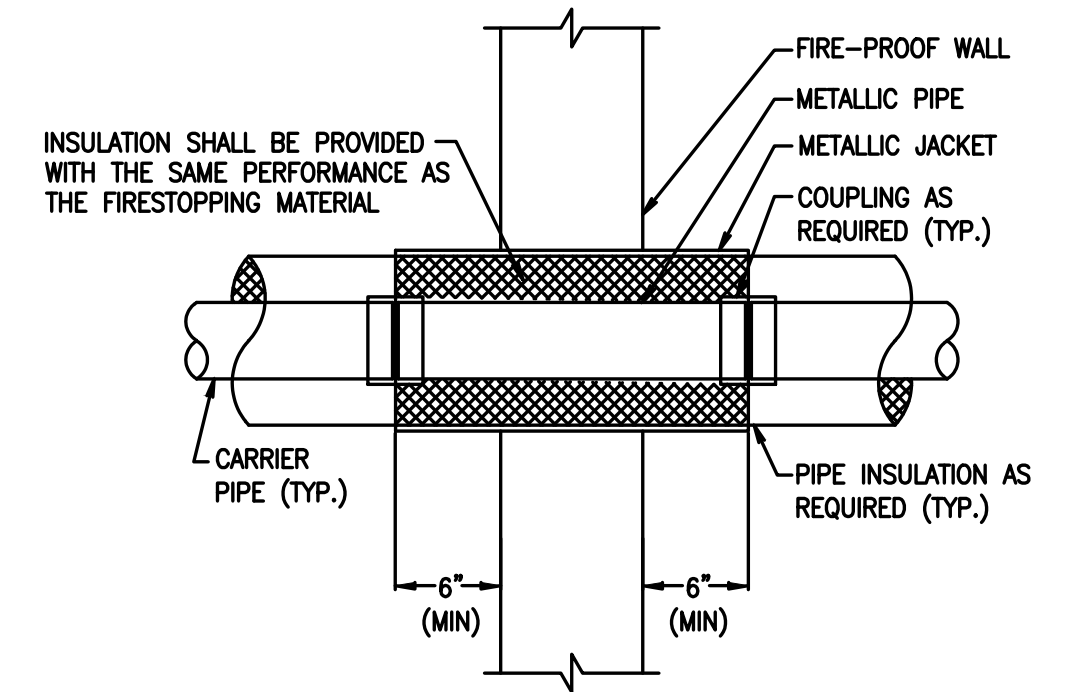
- NOTES:
 1. REFER TO PLANS FOR PIPE SIZES
 2. PIPE HOT & COLD WATER MANIFOLD IN REVERSE FLOW CONFIGURATION.



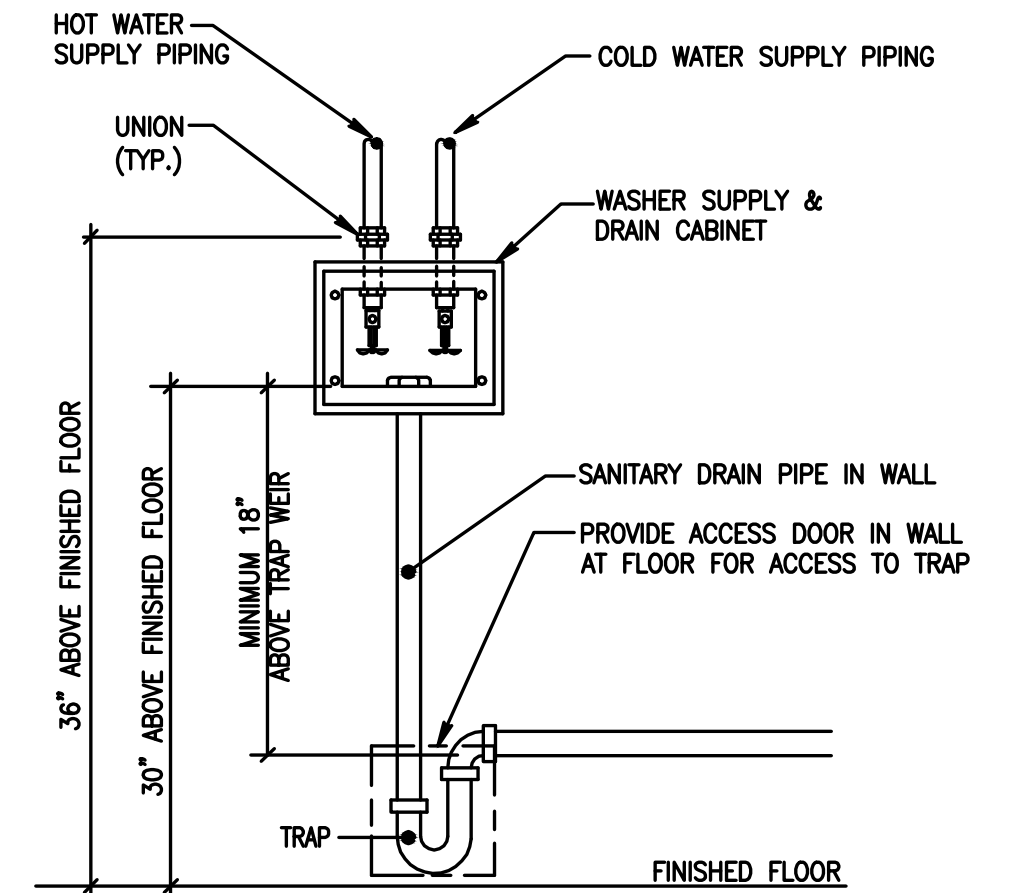
TEMPERING VALVE DETAIL
 NO SCALE



INDIRECT/CONDENSATE DRAIN
 NO SCALE



TYPICAL PENETRATION THROUGH RATED WALL
 NO SCALE



WASHER BOX CONNECTION
 NO SCALE

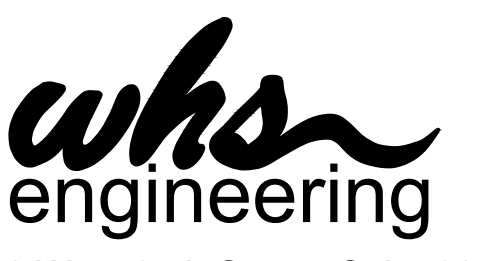
PLUMBING FIXTURE CONNECTION SCHEDULE									
TAG	FIXTURE	MANUFACTURER	MODEL NUMBER	HW	CW	SAN	VENT	DESCRIPTION	ELECTRICAL INFO
WC-1	ADA WATER CLOSET	AMERICAN STANDARD	"CHAMPION PRO RIGHT HEIGHT" #211A.104	--	1/2"	4"	2"	RIGHT HEIGHT TOILET, ELONGATED FRONT, VITREOUS CHINA, TWO PIECE TOILET, LOW CONSUMPTION 1.28 GPF, ADA COMPLIANT, WATERSENSE CERTIFIED. SEAT: AMERICAN STANDARD MODEL #5325.010, ELONGATED CHAMPION SLOW CLOSE SOLID PLASTIC SEAT AND COVER.	--
WC-2	ADA WATER CLOSET	AMERICAN STANDARD	"MADERA" #2855.128	--	1/2"	4"	2"	FLOOR-MOUNTED TOILET, ELONGATED FRONT, VITREOUS CHINA, LOW CONSUMPTION 1.28 GPF, ADA COMPLIANT, WATERSENSE CERTIFIED. FLUSH VALVE: SLOAN "OPTIMA" MODEL #8111, INFRARED BATTERY-POWERED FLUSHOMETER, 1.28 GPF, VANDAL-RESISTANT CAP, WATERSENSE CERTIFIED. SEAT: AMERICAN STANDARD MODEL #5901.100.020 HEAVY-DUTY COMMERCIAL, ELONGATED CHAMPION SLOW, OPEN-FRONT PLASTIC SEAT.	--
UR-1	URINAL	AMERICAN STANDARD	"WASHBROOK" #6501.511	--	3/4"	2"	1-1/2"	WALL HUNG URINAL, VITREOUS CHINA, SIPHON JET WITH FLUSHING RIM, TOP SPUD, WALL HANGER, ANGLE STOP, STRAINER, ADA. FLUSH VALVE: AMERICAN STANDARD MODEL #6045.101, MANUAL PISTON-TYPE URINAL FLUSH VALVE, 1.0 GPF, VANDAL-RESISTANT CAP.	--
LAV-1	ADA LAVATORY	AMERICAN STANDARD	"AQUALYN" #0476.028	1/2"	1/2"	1-1/2"	1-1/2"	DROP-IN LAVATORY WITH FRONT OVERFLOW, VITREOUS CHINA, FAUCET HOLES ON 4" CENTERS. FAUCET: MOEN "M-BITON" MODEL #8430, CHROME, 4" CENTERSET, 1/2" CONNECTIONS AND LEVER HANDLE, 1.2 GPM, ADA COMPLIANT, WATERSENSE CERTIFIED. MIXING VALVE: ZURN "AQUA-GUARD" MODEL #ZW3870XL7. FURNISH CHROME STOPS, SUPPLIES AND 1-1/4" WHEELCHAIR LAVATORY DRAIN WITH STAINLESS STEEL GRID AND P-TRAP. PROTECT 17 GAUGE CHROME TRAP AND SUPPLIES WITH A TRAP WRAP KIT 500R AS MANUFACTURED BY BROCAR PRODUCTS INC. LAVATORY MOUNTING HEIGHT SHALL BE AS REQUIRED BY THE A.D.A.	--
LAV-2	ADA LAVATORY	AMERICAN STANDARD	"OVALYN" #0482.000	1/2"	1/2"	1-1/2"	1-1/2"	UNDERMOUNT LAVATORY WITH REAR OVERFLOW, VITREOUS CHINA, MOUNTING KIT. FAUCET: MOEN "M-BITON" MODEL #8430F05, CHROME, 4" CENTERSET, 1/2" CONNECTIONS AND LEVER HANDLE, 0.5 GPM, ADA COMPLIANT, WATERSENSE CERTIFIED. MIXING VALVE: ZURN "AQUA-GUARD" MODEL #ZW3870XL7. FURNISH CHROME STOPS, SUPPLIES AND 1-1/4" WHEELCHAIR LAVATORY DRAIN WITH STAINLESS STEEL GRID AND P-TRAP. PROTECT 17 GAUGE CHROME TRAP AND SUPPLIES WITH A TRAP WRAP KIT 500R AS MANUFACTURED BY BROCAR PRODUCTS INC. LAVATORY MOUNTING HEIGHT SHALL BE AS REQUIRED BY THE A.D.A.	--
SH-1	ADA SHOWER	--	--	1/2"	1/2"	1-1/2"	1-1/2"	ACCESSIBLE SHOWER PAN TO BE SELECTED BY ARCHITECT. PROVIDE SHOWER DRAIN AND SHOWER VALVE. PROVIDE ADA GRAB BAR AND ACCESSORIES. ENCLOSURE WILL BE TILED BY ARCHITECT. IDEAL MOEN MODEL #3346EP15 SINGLE HANDLE PRESSURE BALANCING SHOWER VALVE WITH HAND-HELD SHOWER SYSTEM, 1.5 GPM, ADA COMPLIANT, WATERSENSE CERTIFIED.	--
BT-1	BATHUB	--	--	1/2"	1/2"	1-1/2"	1-1/2"	TUB TO BE SELECTED BY ARCHITECT. PROVIDE SHOWER DRAIN AND SHOWER VALVE. ENCLOSURE WILL BE TILED BY ARCHITECT. IDEAL MOEN MODEL #28603 SINGLE HANDLE PRESSURE BALANCING TUB/SHOWER VALVE, 1.75 GPM, ADA COMPLIANT, WATERSENSE CERTIFIED.	--
KS-1	KITCHEN SINK	ELKAY	"LUSTERTONE" #LRAD31226SPD	1/2"	1/2"	1-1/2"	1-1/2"	ADA DROP-IN SINK WITH PERFECT DRAIN, #18 GAUGE STAINLESS STEEL, MOUNTING CLIPS, DRAIN, 3 HOLE, 4" CENTERS. FAUCET: MOEN "CHATEAU" MODEL #67425, SINGLE HANDLE, 1/2" CONNECTIONS, 9" SPOUT, 1.5 GPM, ADA COMPLIANT.	--
KS-2	KITCHEN SINK	ELKAY	"LUSTERTONE" #LRAD31226SPD	1/2"	1/2"	1-1/2"	1-1/2"	ADA DROP-IN SINK WITH PERFECT DRAIN, #18 GAUGE STAINLESS STEEL, MOUNTING CLIPS, DRAIN, 3 HOLE, 4" CENTERS. FAUCET: MOEN "CHATEAU" MODEL #67425, SINGLE HANDLE, 1/2" CONNECTIONS, 9" SPOUT, 1.5 GPM, ADA COMPLIANT.	--
SS-1	SERVICE SINK	E.L. MUSTEE	19F	1/2"	1/2"	1-1/2"	1-1/2"	20"x24"x14-3/8" FLOOR MOUNTED UTILITY TUB, THERMOPLASTIC. FAUCET: E.L. MUSTEE MODEL #83.600, LEVER HANDLES, 1/2" CONNECTIONS, 7" SWING SPOUT WITH HOSE END.	--
DW-1	DISHWASHER	BY ARCHITECT	BY ARCHITECT	HOSE	--	HOSE	--	DISHWASHER SHALL BE PROTECTED FROM BACKFLOW.	--
WB-1	WASHING MACHINE BOX	OATEY	38541	1/2"	1/2"	2"	1-1/2"	OATEY 38541 OR EQUAL FOR INSTALLATIONS IN NON-RATED WALLS. PROVIDE OATEY 38471 OR EQUAL FIRE RATED WASHING MACHINE BOX FOR INSTALLATIONS IN RATED WALLS.	--
DF-1	DRINKING FOUNTAIN	ELKAY	EZSTL8LC	--	1/2"	1-1/2"	1-1/2"	BARRIER FREE BI-LEVEL DRINKING FOUNTAIN. PROVIDE CANE GUARD.	--
WH-1	GAS WATER HEATER	A.O. SMITH	BTH-500	3/4"	3/4"	--	--	120 GALLON CAPACITY, 500 MBH INPUT, 576 GPH RECOVERY RATE @ 100° F RISE. PROVIDE COMPLETE WITH TRAP RELIEF VALVE, VACUUM RELIEF VALVE, DRAIN VALVE, AND SAFETY DRAIN PAN. PROVIDE WITH 100 GALLON STORAGE TANK. PROVIDE COMPLETE WITH HOT WATER RECIRCULATION PUMP, GRUNDFOF #JP15-295U, 1/25 HP, 115V, AND AQUASTAT. INSTALL PER MANUFACTURER'S INSTRUCTIONS.	120V-1Ø
FD-1	FLOOR DRAIN	SIoux CHIEF	863-425NR	--	--	3"	--	MEDIUM DUTY, NICKEL-BRONZE, HEEL-PROOF NICKEL RING AND STRAINER. PVC HOUSING AND FLASHING. INSTALL WITH RECTORSEAL "SURESEAL" TRAP SEALER.	--
CO-1	FLOOR CLEANOUT	ZURN	C02450	--	--	3"	--	GENERAL PURPOSE CLEANOUT.	--
CO-2	EXTERIOR CLEANOUT	ZURN	Z1402-HD	--	--	3"	--	HEAVY-DUTY TUF-TOP NON-ADJUSTABLE FLOOR CLEANOUT WITH DURA-COATED CAST IRON BODY, WITH GAS AND WATER TIGHT ABS TAPERED THREAD PLUG, ROUND SCORRIATED SECURED COVER & FRAME.	--
CO-3	WALL CLEANOUT	ZURN	Z1441	--	--	3"	--	WALL CLEANOUT WITH SMOOTH ACCESS COVER. PROVIDE WITH NO-HUB COUPLING FOR FINAL CONNECTION.	--
CO-4	HORIZONTAL CLEANOUT	ZURN	C02490	--	--	3"	--	COUNTERSUNK CLEANOUT PLUG, PVC TAPER THREAD, COUNTERSUNK CLEANOUT PLUG.	--

- REMARKS:
 1) THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL ALL HARDWARE AND APPURTENANCES FOR A COMPLETE INSTALLATION OF PLUMBING FIXTURES/EQUIPMENT PER APPLICABLE CODES AND MANUFACTURER.
 2) ALL PLUMBING FIXTURES ARE TO BE WATERSENSE CERTIFIED WHERE APPLICABLE.



The Offices at the Agora
 5000 Euclid Avenue, Suite 104
 Cleveland, OH 44113
 LDAarchitecture.com
 216.932.1890

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT



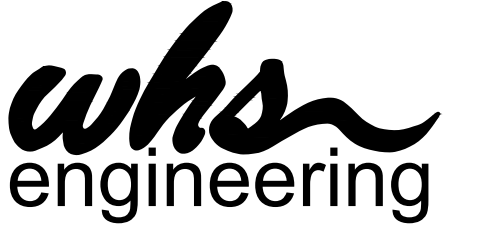
2012 West 25th Street, Suite 200
 Cleveland, OH 44113
 Phone: 216 227 8505



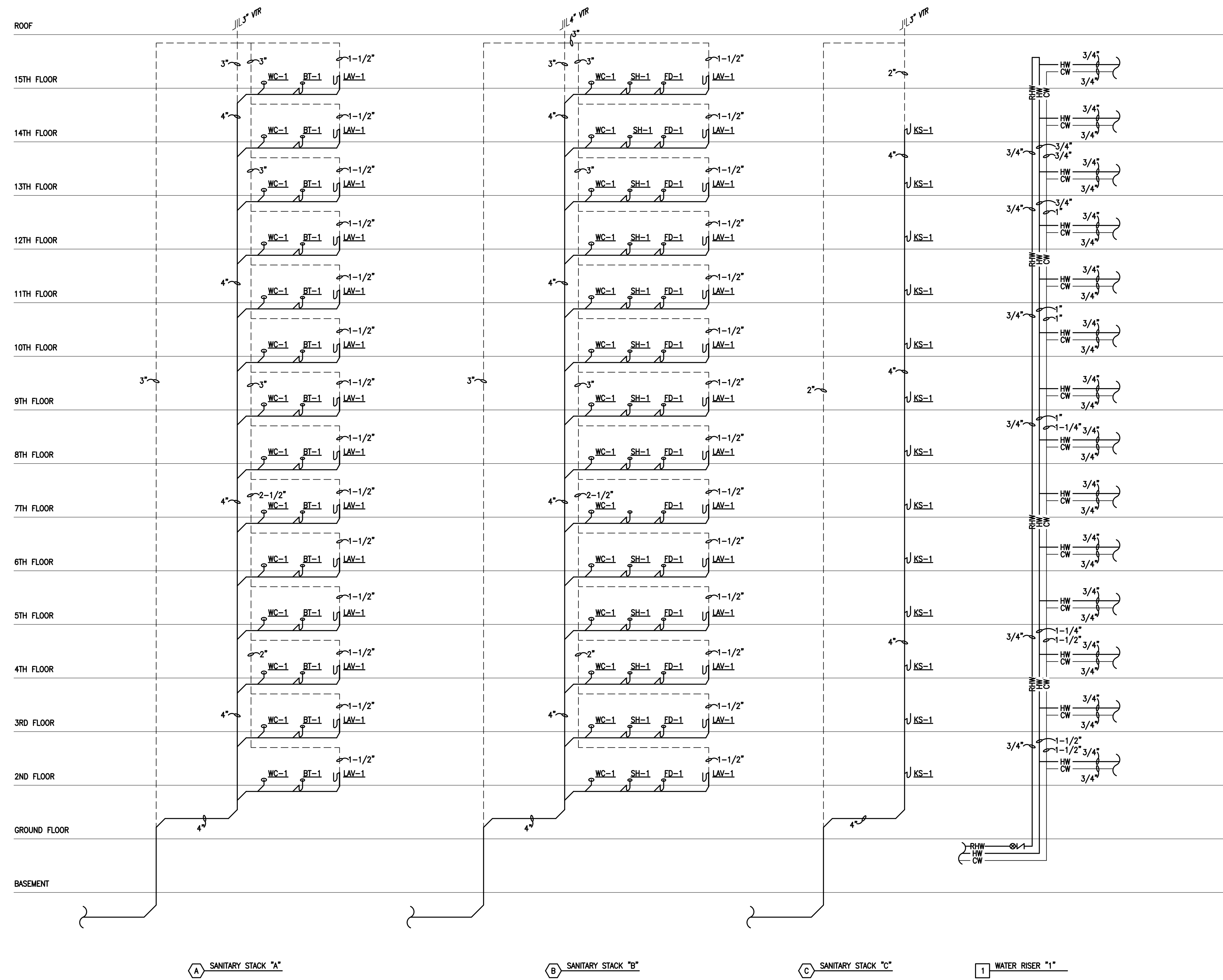
Copyright © 2022 LDA architects Inc.
 This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT

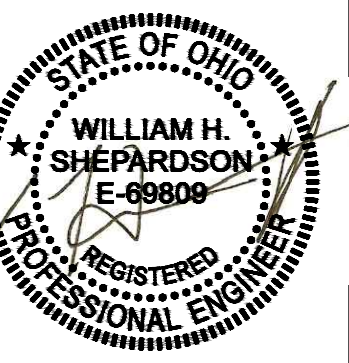


1212 West 25th Street, Suite 200
Cleveland, OH 44113
Phone: 216 227 8505



TYPICAL SANITARY STACKS AND WATER RISERS

SCALE: NONE



Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

PLUMBING STACK AND RISER DIAGRAMS

P0.03

GENERAL PLUMBING NOTE:
 ALL HOT WATER, COLD WATER, SANITARY, AND VENT PIPING SHALL BE REMOVED AND REPLACED WITH NEW.

CODED NOTES:

- ① EXISTING PLUMBING FIXTURE TO BE REMOVED AND REPLACED WITH NEW.
- ② EXISTING FIRE PUMP TO REMAIN.
- ③ EXISTING WATER HEATER TO BE REMOVED AND REPLACED WITH NEW. ALL EXISTING PIPING TO BE REMOVED AND REPLACED WITH NEW.
- ④ EXISTING STORAGE TANK TO BE REMOVED AND REPLACED WITH NEW.



1 BASEMENT PLUMBING PLAN
 P1.01 SCALE: 3/16" = 1'-0"
 NORTH

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT



Copyright © 2022 LDA architects Inc.
 This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

BASEMENT PLUMBING PLAN

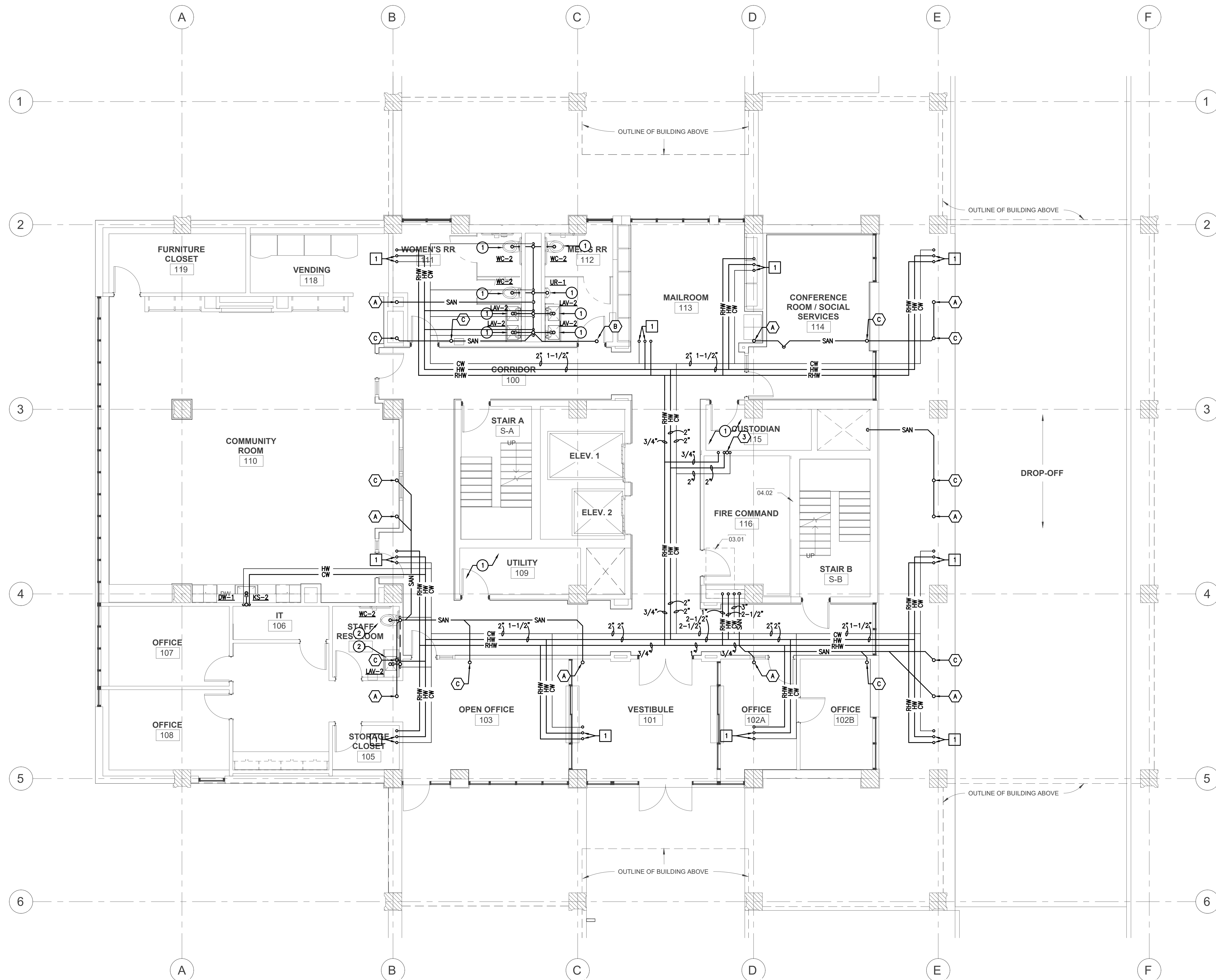
P1.01

GENERAL PLUMBING NOTE:
ALL HOT WATER, COLD WATER, SANITARY, AND VENT PIPING SHALL BE REMOVED AND REPLACED WITH NEW.

GENERAL PLUMBING NOTE:
ALL PIPING LOCATED OUTSIDE OF THE THERMAL ENVELOPE SHALL BE HEAT TRACED OR INSULATED.

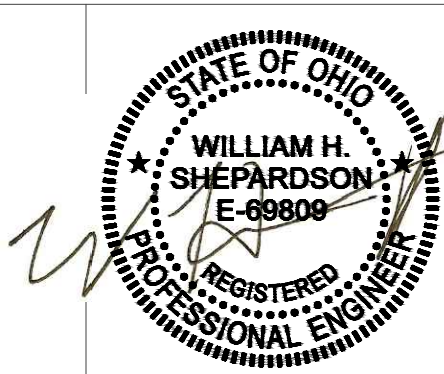
CODED NOTES:

- ① EXISTING PLUMBING FIXTURE TO BE REMOVED AND REPLACED WITH NEW.
- ② INSTALL NEW PLUMBING FIXTURE PER MANUFACTURER'S INSTRUCTIONS. PROVIDE WITH ALL NECESSARY ACCOUTREMENTS FOR A COMPLETE INSTALLATION. EXTEND NEW HOT WATER, COLD WATER, SANITARY AND VENT PIPING TO NEAREST RESPECTIVE MAIN, STACK OR RISER.



① GROUND FLOOR PLUMBING PLAN
P1.02 SCALE: 3/16" = 1'-0"
NORTH

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT



Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

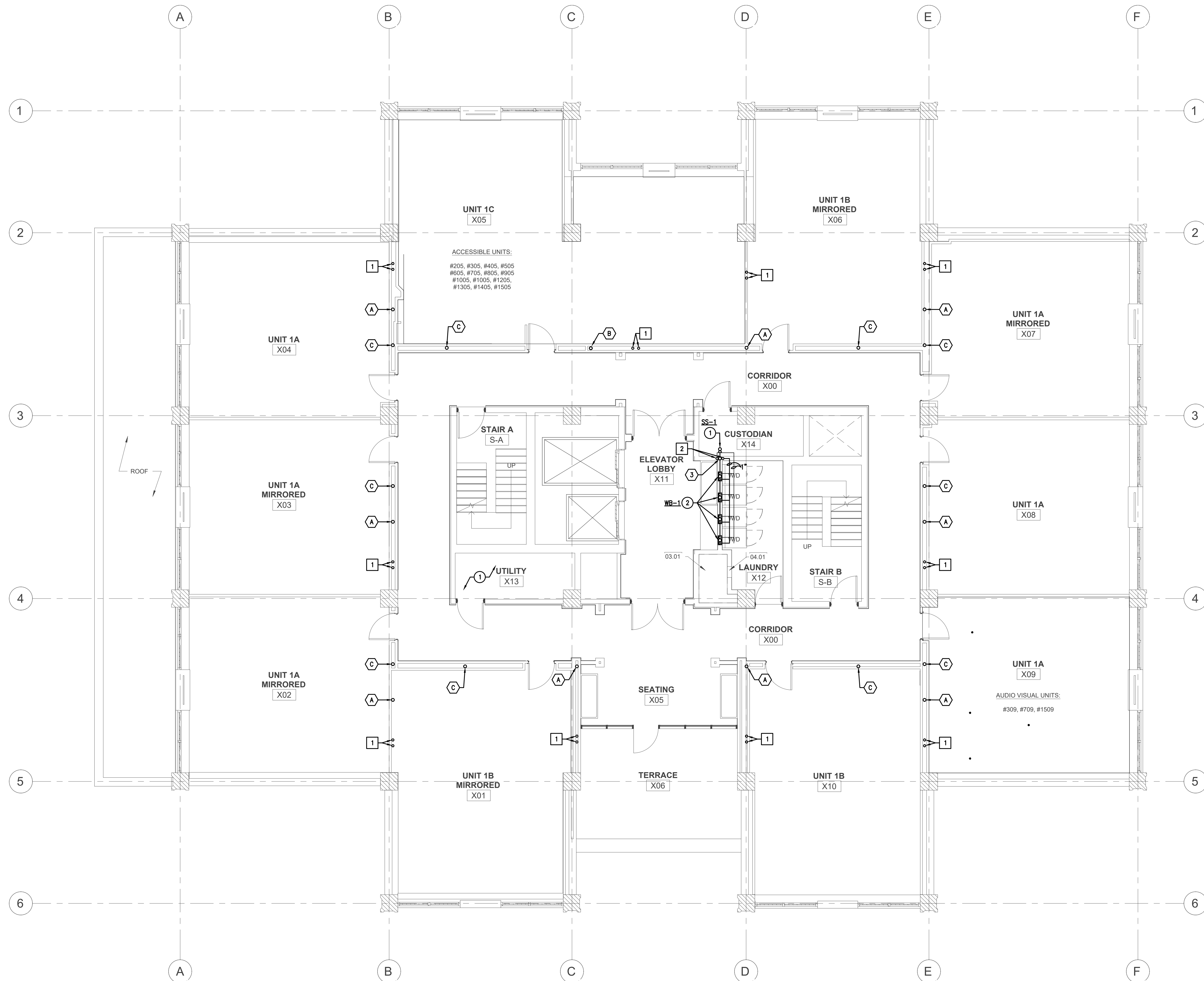
LDA Project No.23.47

GROUND FLOOR PLUMBING PLAN
P1.02

GENERAL PLUMBING NOTE:
 ALL HOT WATER, COLD WATER, SANITARY, AND VENT PIPING SHALL BE REMOVED AND REPLACED WITH NEW.

CODED NOTES:

- ① EXISTING PLUMBING FIXTURE TO BE REMOVED AND REPLACED WITH NEW.
- ② EXISTING LAUNDRY HOOKUPS TO BE REMOVED AND REPLACED WITH NEW.



2ND-15TH FLOOR PLUMBING PLAN
 P1.03 SCALE: 3/16" = 1'-0" NORTH

REV	DATE	DESCRIPTION
	2023.12.18	ISSUED FOR 50% PACKAGE
	2024.02.02	ISSUED FOR OHFA
	2024.03.22	ISSUED FOR PERMIT

whs engineering
 2012 West 25th Street, Suite 200
 Cleveland, OH 44113
 Phone: 216 227 8505

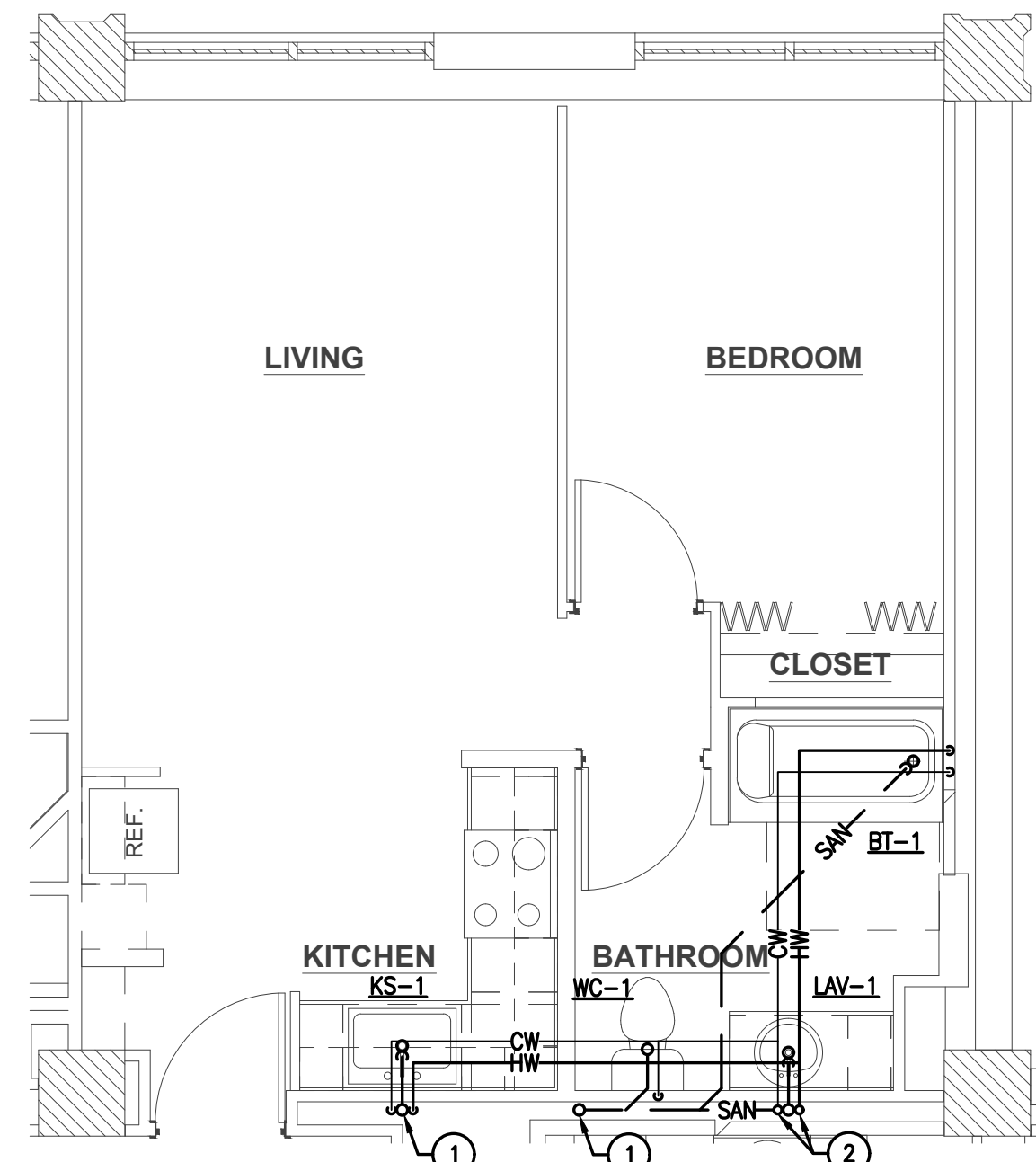


Copyright © 2022 LDA architects Inc. This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

GENERAL PLUMBING NOTE:
 ALL HOT WATER, COLD WATER, SANITARY, AND VENT PIPING SHALL BE REMOVED AND REPLACED WITH NEW.

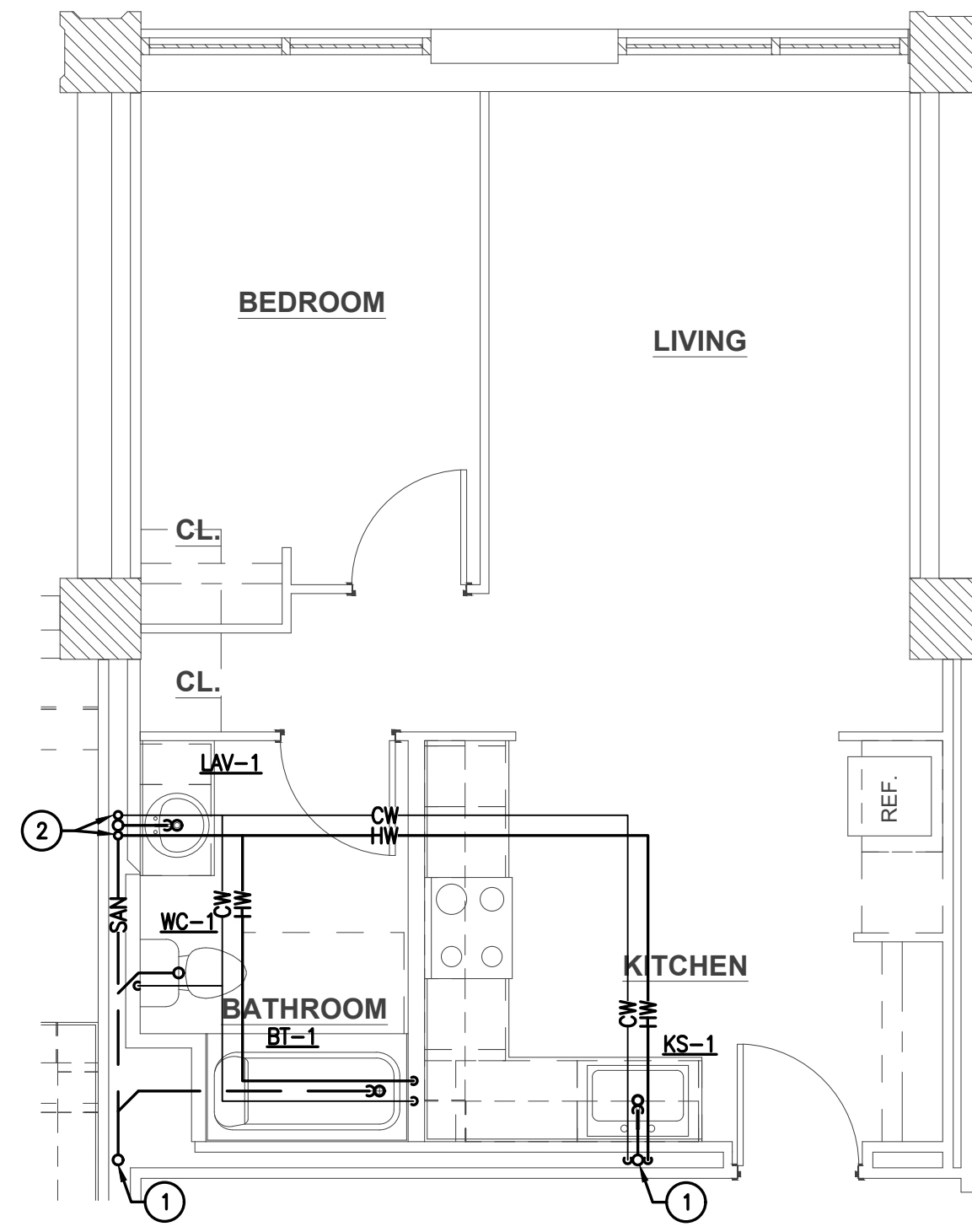
REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT



1 UNIT TYPE 1A PLUMBING PLAN
 P2.01 SCALE: NONE

CODED NOTES:

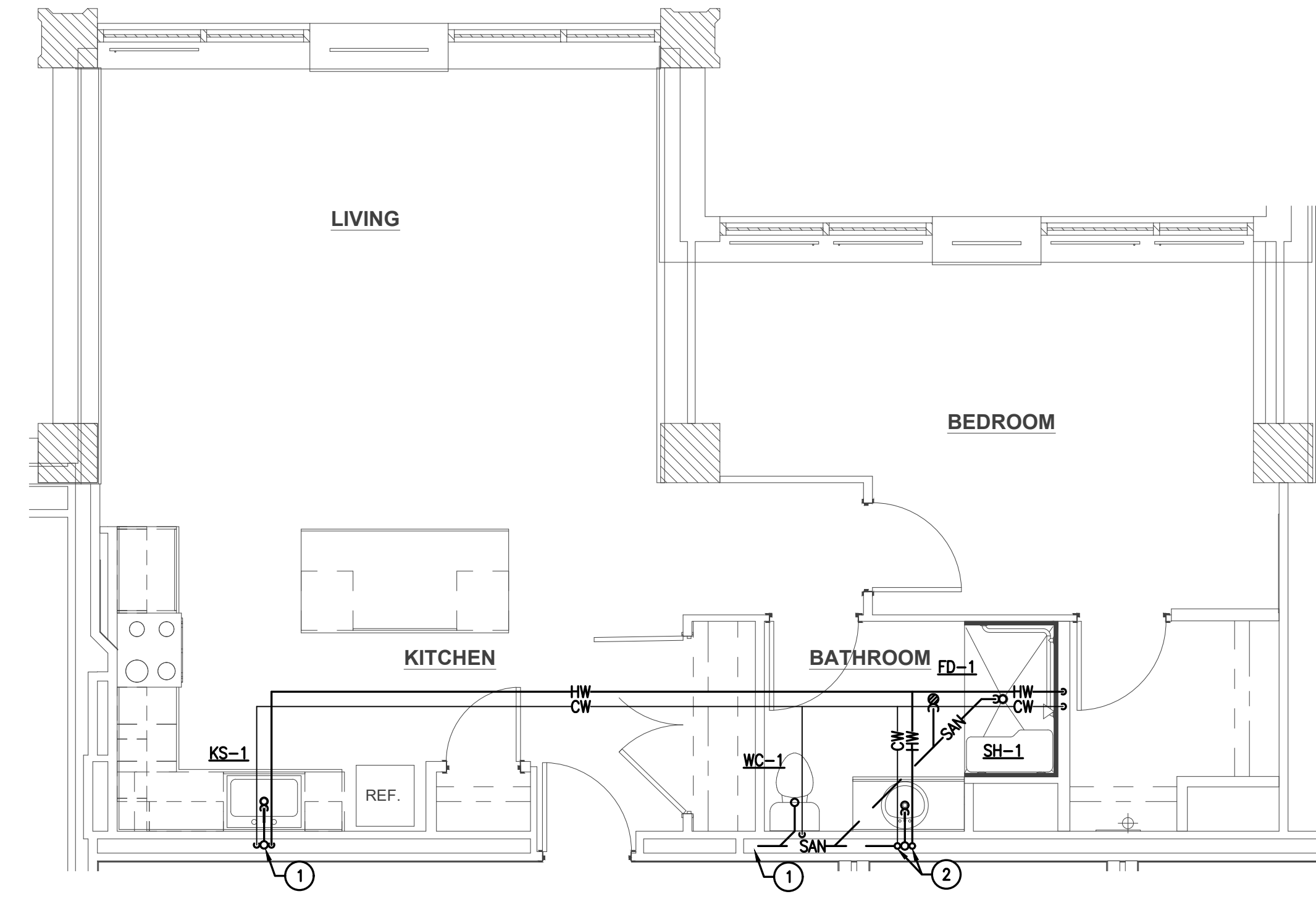
- 1 PROVIDE NEW SANITARY STACK. SEE OVERALL PLANS FOR CONTINUATION.
- 2 PROVIDE NEW HOT WATER AND COLD WATER RISERS. SEE OVERALL PLANS FOR CONTINUATION. EXTEND 3/4" HOT WATER AND COLD WATER BRANCHES INTO APARTMENT.



2 UNIT TYPE 1B PLUMBING PLAN
 P2.01 SCALE: NONE

CODED NOTES:

- 1 PROVIDE NEW SANITARY STACK. SEE OVERALL PLANS FOR CONTINUATION.
- 2 PROVIDE NEW HOT WATER AND COLD WATER RISERS. SEE OVERALL PLANS FOR CONTINUATION. EXTEND 3/4" HOT WATER AND COLD WATER BRANCHES INTO APARTMENT.



3 UNIT TYPE 1C PLUMBING PLAN
 P2.01 SCALE: NONE

CODED NOTES:

- 1 PROVIDE NEW SANITARY STACK. SEE OVERALL PLANS FOR CONTINUATION.
- 2 PROVIDE NEW HOT WATER AND COLD WATER RISERS. SEE OVERALL PLANS FOR CONTINUATION. EXTEND 3/4" HOT WATER AND COLD WATER BRANCHES INTO APARTMENT.



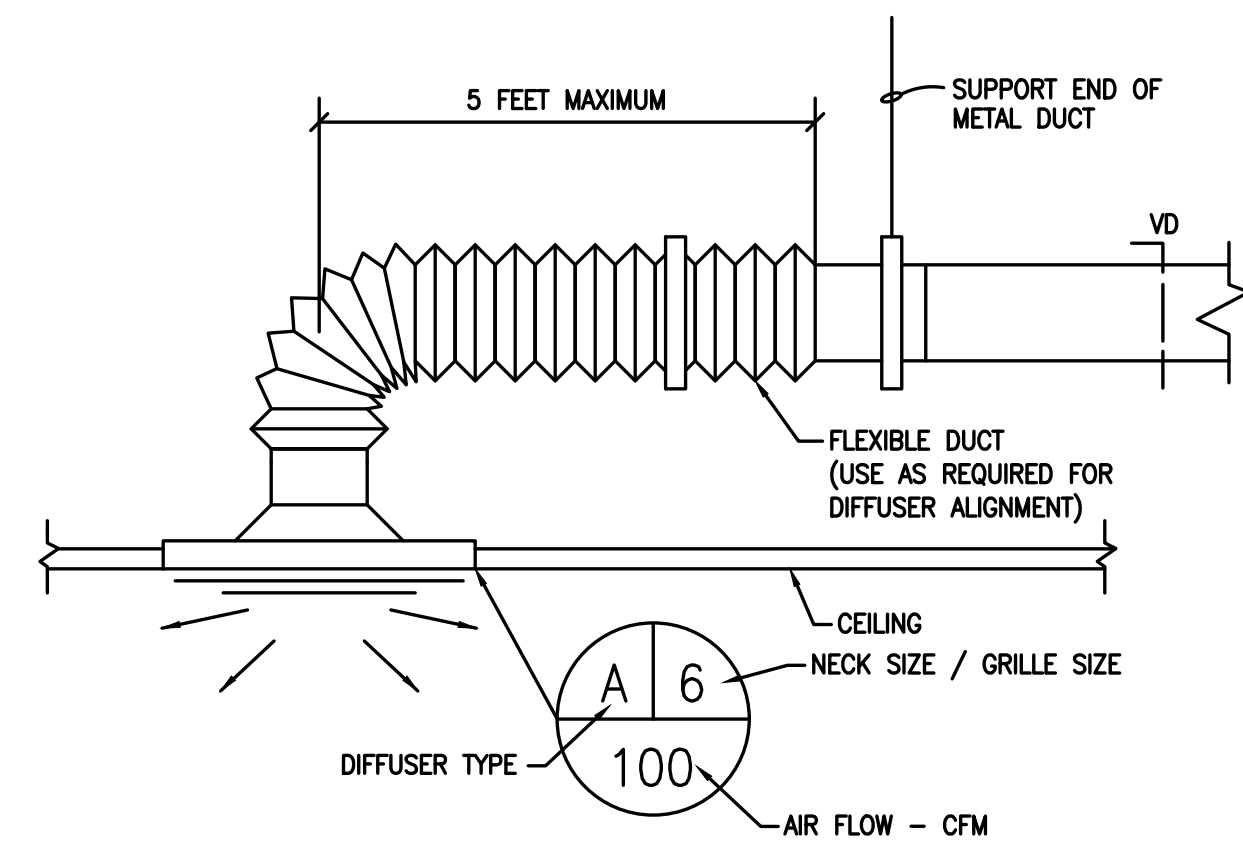
Copyright © 2022 LDA architects Inc.
 This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

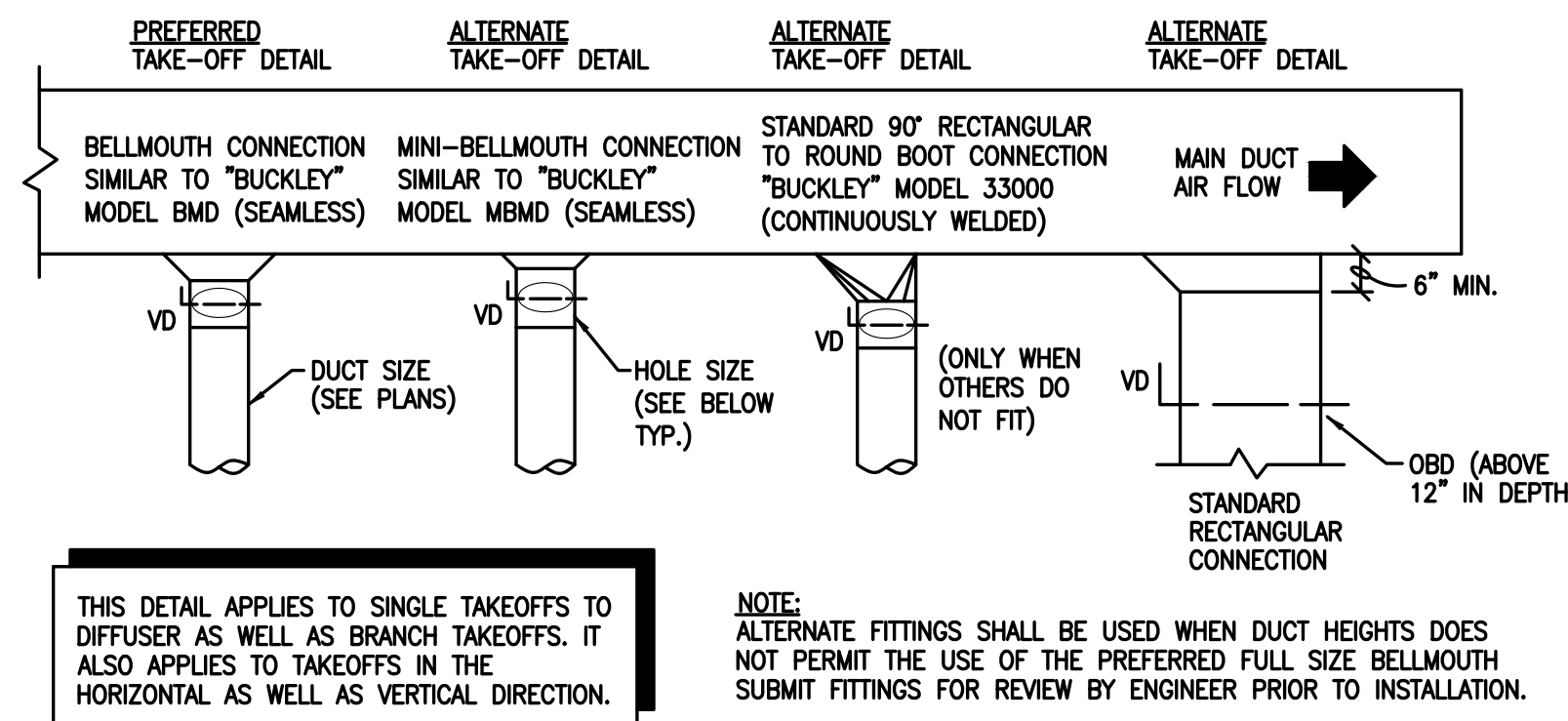
LDA Project No.23.47

TYPICAL UNIT PLUMBING PLAN

P2.01



CEILING DIFFUSER BRANCH DUCTS W/ FLEX CONNECTION
NO SCALE

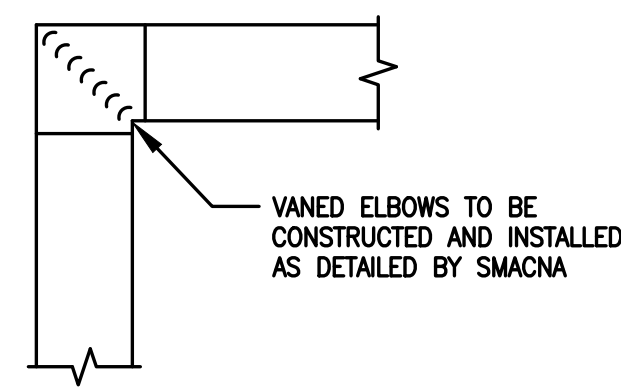


THIS DETAIL APPLIES TO SINGLE TAKEOFFS TO DIFFUSER AS WELL AS BRANCH TAKEOFFS. IT ALSO APPLIES TO TAKEOFFS IN THE HORIZONTAL AS WELL AS VERTICAL DIRECTION.

NOTE: ALTERNATE FITTINGS SHALL BE USED WHEN DUCT HEIGHTS DOES NOT PERMIT THE USE OF THE PREFERRED FULL SIZE BELLMOUTH. SUBMIT FITTINGS FOR REVIEW BY ENGINEER PRIOR TO INSTALLATION.

DUCT TAKEOFFS

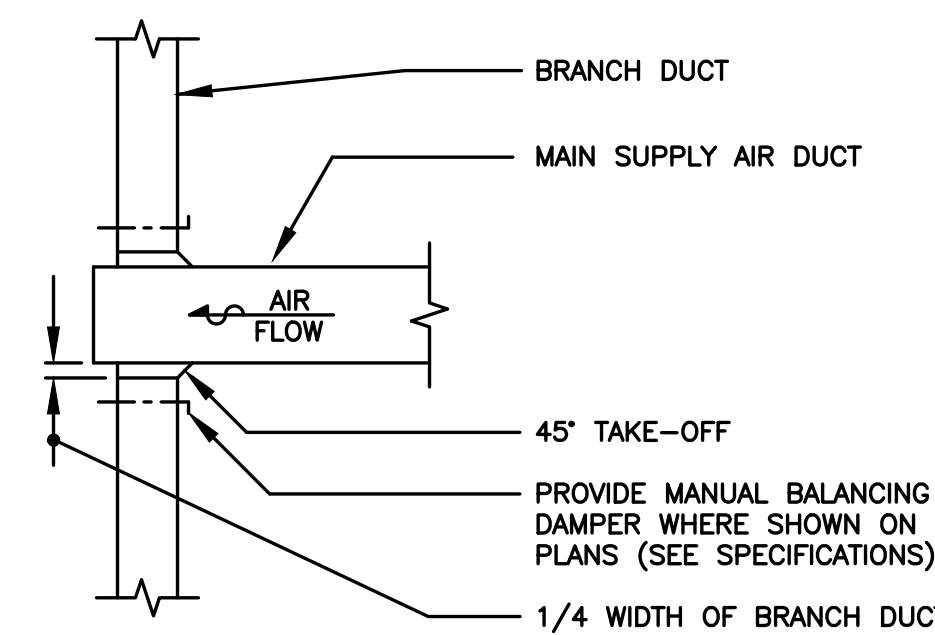
NO SCALE



(1-1/2" WIDTH RADIUS-TYPE ELBOWS ARE OPTIONAL; SEE MECHANICAL SPECIFICATIONS)

LOW PRESSURE DUCT ELBOW DETAIL

NO SCALE



LOW PRESSURE END OF SUPPLY AIR DUCT DETAIL

NO SCALE

EXHAUST FAN SCHEDULE									
NO.	SERVICE	CFM	S.P.	SOUND (SONES)	POWER	ELECT.	MANUF. & MODEL NO.	REMARKS	
EF-1	UNITS 1A & 1B TRANSFER FANS	110	.1	<0.3	9.9 W	120V - 1Ø	PANASONIC FV-0511VK2	1-5	
EF-2	APARTMENT KITCHEN EXHAUST	12600	1	-	7.5 HP	480V - 3Ø	COOK 300 CPS	1,2,6,7,8,9	
EF-3	APARTMENT TOILET EXHAUST	7700	1	-	7.5 HP	480V - 3Ø	COOK 210 CPS	1,2,6,7,8,9	
EF-4	LAUNDRY EXHAUST	4775	0.5	-	3.0 HP	480V - 3Ø	COOK 180 CPS	1,2,6,7,8,9	
EF-5	COMMUNITY ROOM/IT EXHAUST	700	0.375	11.8	1/3 HP	480V - 3Ø	COOK 120C ORB1	1,2,6,7,8,9	
EF-6	UTILITY ROOM EXHAUST	2250	0.5	10.6	1/2 HP	480V-3Ø	COOK 165CSB	1,2,6,7,8,9	
EF-7	PENTHOUSE EXHAUST	1550	0.25	9.6	1/3 HP	480V - 3Ø	COOK 135C4B	1,2,6,7,8,9	

- REMARKS:
- BACKDRAFT DAMPER
 - DISCONNECT SWITCH
 - CONTROLLED VIA WALL SWITCH
 - ENERGY STAR RATED
 - PROVIDE WITH RADIATION DAMPER, PANASONIC MODEL #PC-RD05CS
 - VARIABLE FREQUENCY DRIVE
 - ROOF CURB
 - VIBRATION ISOLATORS
 - CONTINUOUS OPERATION

STAIRWELL PRESSURIZATION FAN SCHEDULE									
NO.	SERVICE	CFM	S.P.	SOUND (SONES)	POWER	ELECT.	MANUF. & MODEL NO.	REMARKS	
SF-1	STAIR B	4000	.4	25.0	1.5 HP	240V - 1Ø	COOK 24EPS416D17	1-4	
SF-2	STAIR A	4000	.4	27.0	1.5 HP	240V - 1Ø	COOK 30AQ11D	1,2,3,5	

- REMARKS:
- BACKDRAFT DAMPER
 - DISCONNECT SWITCH
 - CONTINUOUS OPERATION
 - THRU-WALL FAN
 - ROOF CURB

THRU-WALL AC UNIT SCHEDULE							
MARK	CFM	SUPPLY FAN H.P.	VOLTAGE	MCA/MOCP	COOLING CAPACITY	E.E.R.	MANUFACTURER & MODEL NO.
AC-1	265	1/8	208V-1Ø	5.4/15	12.0	10.6	FRIEDRICH UCT12A30A

- REMARKS:
- WALL SLEEVE
 - CYCLE PROTECTOR
 - R-410A REFRIGERANT
 - RETURN AIR FILTERS
 - ENERGY STAR COMPLIANT
 - 7-DAY PROGRAMMABLE THERMOSTAT
 - 5-YEAR COMPRESSOR WARRANTY
 - CORD AND PLUG

ELECTRIC BASEBOARD HEATER SCHEDULE									
MARK	SERVICE	LENGTH (FT.)	MBH	KW	VOLTAGE	AMPS	MANUFACTURER & MODEL NO.	WEIGHT (LBS)	REMARKS
BBH-1	APARTMENTS	8	8.53	2.5	208V-1Ø	12.0	QMARK 25000BNW	18.5	1-4
BBH-2	APARTMENTS	8	6.82	2.0	208V-1Ø	9.7	QMARK 2508W	18.0	1-4
BBH-3	APARTMENTS	5	4.27	1.25	208V-1Ø	6.0	QMARK 2505NWN	11.5	1-4
BBH-4	APARTMENTS	2.5	1.71	0.5	120V-1Ø	4.2	QMARK 25128NWN	6.3	1-4
BBH-5	COMMON AREAS	8	6.82	2.0	208V-1Ø	9.7	QMARK 2508W	18.0	1-4
BBH-6	COMMON AREAS	3.0	2.56	0.75	208V-1Ø	3.6	QMARK 2503NWN	7.5	1-4

- REMARKS:
- DISCONNECT SWITCH
 - BUILT-IN THERMOSTAT
 - BASEBOARD MOUNTING
 - FILLER SECTIONS & JOINER STRIPS

GRILLE & DIFFUSER SCHEDULE									
MARK	MANUFACTURER & MODEL NO.	DAMPER NUMBER	FRAME/BORDER	CFM	MODULE SIZE	PATTERN	FINISH	TYPE	REMARKS
A	TITUS 300RS	OBD	SURFACE	AS NOTED	AS NOTED	DOUBLE DEFLECTION	WHITE	SUPPLY	-
B	TITUS 50F	-	SURFACE	AS NOTED	AS NOTED	EGGCRATE	WHITE	RETURN/EXHAUST	-
C	TITUS 0MN	OBD	LAY-IN	AS NOTED	24"x24"	4-WAY	WHITE	SUPPLY	-

- NOTES:
- EQUVALENT DIFFUSER SHALL HAVE MAXIMUM NC RATING OF 30 FOR CFM LISTED ON PLAN.
 - SUBMITTALS MUST IDENTIFY DIFFUSER LOCATION BY ROOM NUMBER, TYPE AND CEILING CONSTRUCTION.
 - ALL FRAME TYPES SHALL BE COMPATIBLE WITH ADJACENT CONSTRUCTION. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS.
 - PAINT INTERIOR OF DUCTWORK BEHIND GRILLES AND DIFFUSERS FLAT BACK IF VISIBLE THROUGH DEVICE.
 - PROVIDE SQUARE TO ROUND NECK TRANSITIONS WHERE ROUND DUCT SERVE SQUARE NECK DIFFUSERS OR GRILLES.

ELECTRIC UNIT HEATER SCHEDULE									
MARK	SERVICE	CFM	MBH	KW	VOLTAGE	AMPS	MANUFACTURER & MODEL NO.	WEIGHT (LBS)	REMARKS
EUH-1	2ND-15TH FLOOR SEATING	1000	68.24	20.0	480V-3Ø	26.0	QMARK CU978	300	1-5

- REMARKS:
- DISCONNECT SWITCH
 - BUILT-IN THERMOSTAT
 - CABINET UNIT HEATER
 - FRESH AIR DUCT INLET
 - SECURITY FRONT COVER

DUCTLESS AIR HANDLER & HEAT PUMP SCHEDULE																		
MARK		SERVING	OUTDOOR UNIT							INDOOR UNIT								
OUTDOOR	INDOOR		MANUF.	MODEL NUMBER	VOLTAGE	MCA/MOCP	COOLING CAPACITY (MBH)	HEATING CAPACITY 47°F (MBH)	HEATING CAPACITY 5°F (MBH)	SEER2/HSPF2	MANUF.	MODEL NUMBER	TYPE	CFM (H/M/L)	VOLTAGE	AMPS	COOLING CAPACITY (MBH)	HEATING CAPACITY (MBH)
HP-A	AC-A	FITNESS	LG	LUU090HV	208/230V-1Ø	11.9/15	9.0	11.0	10.1	20.20/10.55	LG	LCN098HV4	4-WAY CASSETTE	300/265/230	208/230V-1Ø	0.25	9.0	10.4
HP-B	AC-B	MAIL ROOM	LG	LUU090HV	208/230V-1Ø	11.9/15	9.0	11.0	10.1	20.20/10.55	LG	LCN098HV4	4-WAY CASSETTE	300/265/230	208/230V-1Ø	0.25	9.0	10.4
HP-C	AC-C1	CONFERENCE	LG	LMU183HV	208/230V-1Ø	15.8/20	18.0	22.0	17.7	22.5/9.6	LG	LMCN078HV	4-WAY CASSETTE	265/212/177	208/230V-1Ø	0.25	7.0	8.1
	AC-C2	CONFERENCE									LG	LMCN078HV	4-WAY CASSETTE	265/212/177	208/230V-1Ø	0.25	7.0	8.1

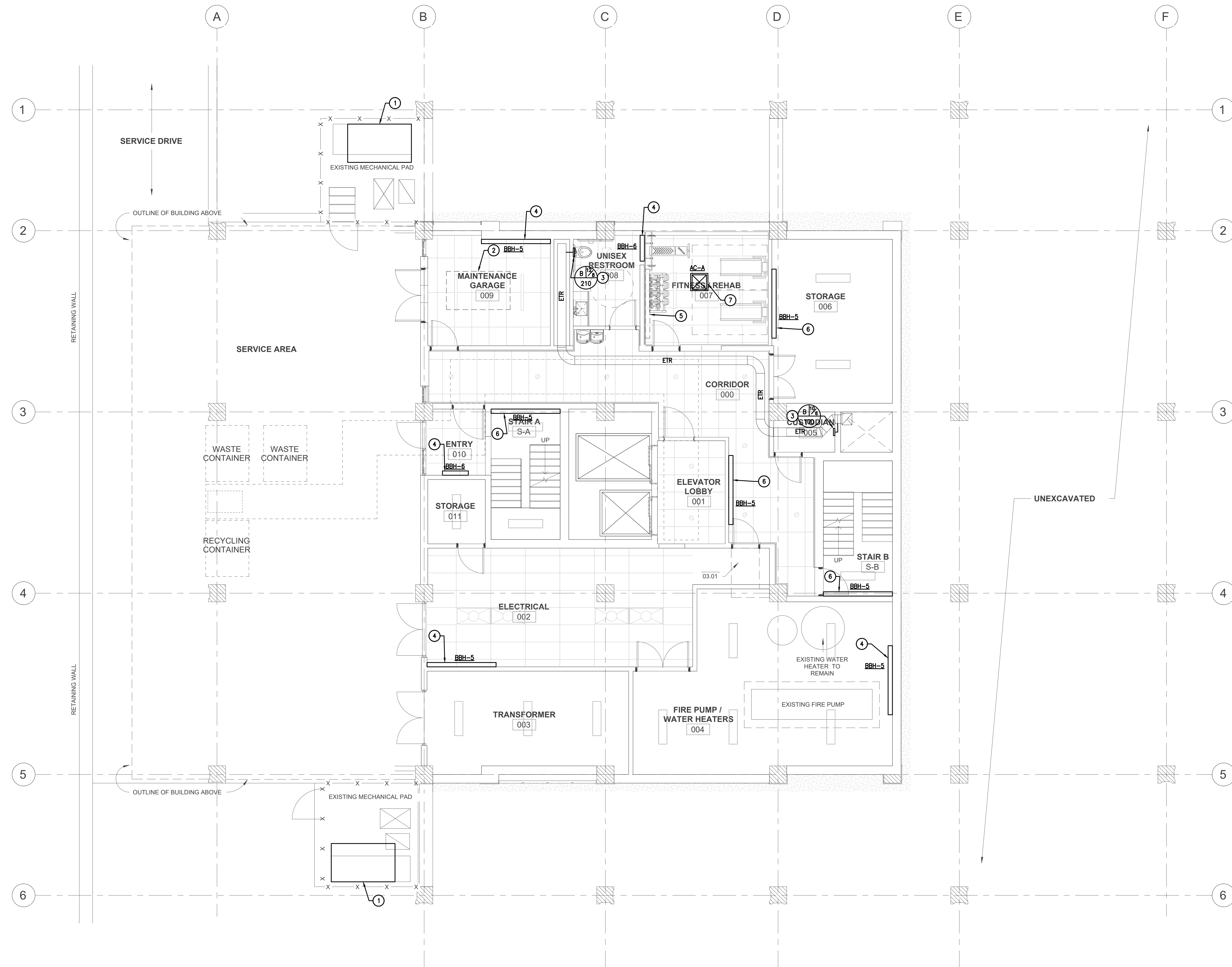
- NOTES:
- PROVIDE ALL ACCESSORIES FOR A COMPLETE INSTALLATION (OUTDOOR HEAT PUMP PLATFORM, FORTRESS LINESSET COVER, LOW AMBIENT HEAT KIT, DRAIN PAN HEATER, CONDENSATE PUMP, LINESETS, WIRED THERMOSTAT, ETC.) AND INSTALL PER MANUFACTURER'S DIAGRAMS.
 - EQUIPMENT SHALL HAVE HIGH HEAT CAPACITY AT LOW AMBIENT TEMPERATURE.

REV	DATE	DESCRIPTION
	2023.12.18	ISSUED FOR 50% PACKAGE
	2024.02.02	ISSUED FOR OHFA
	2024.03.22	ISSUED FOR PERMIT

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT

CODED NOTES:

- ① EXISTING GRADE-MOUNTED RTU TO REMAIN. SERVICE AND MAINTAIN AS REQUIRED.
- ② EXISTING GENERATOR TO BE REMOVED COMPLETE.
- ③ EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- ④ EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.
- ⑤ EXISTING BASEBOARD HEATER TO BE REMOVED COMPLETE.
- ⑥ INSTALL NEW ELECTRIC BASEBOARD HEATER PER MANUFACTURER'S INSTRUCTIONS.
- ⑦ INSTALL MINISPLIT CASSETTE UNIT PER MANUFACTURER'S INSTRUCTIONS. ROUTE CONDENSATE TO EXTERIOR AND DAYLIGHT TO LANDSCAPING.



BASEMENT MECHANICAL PLAN
M1.01 SCALE: 3/16" = 1'-0" NORTH



Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

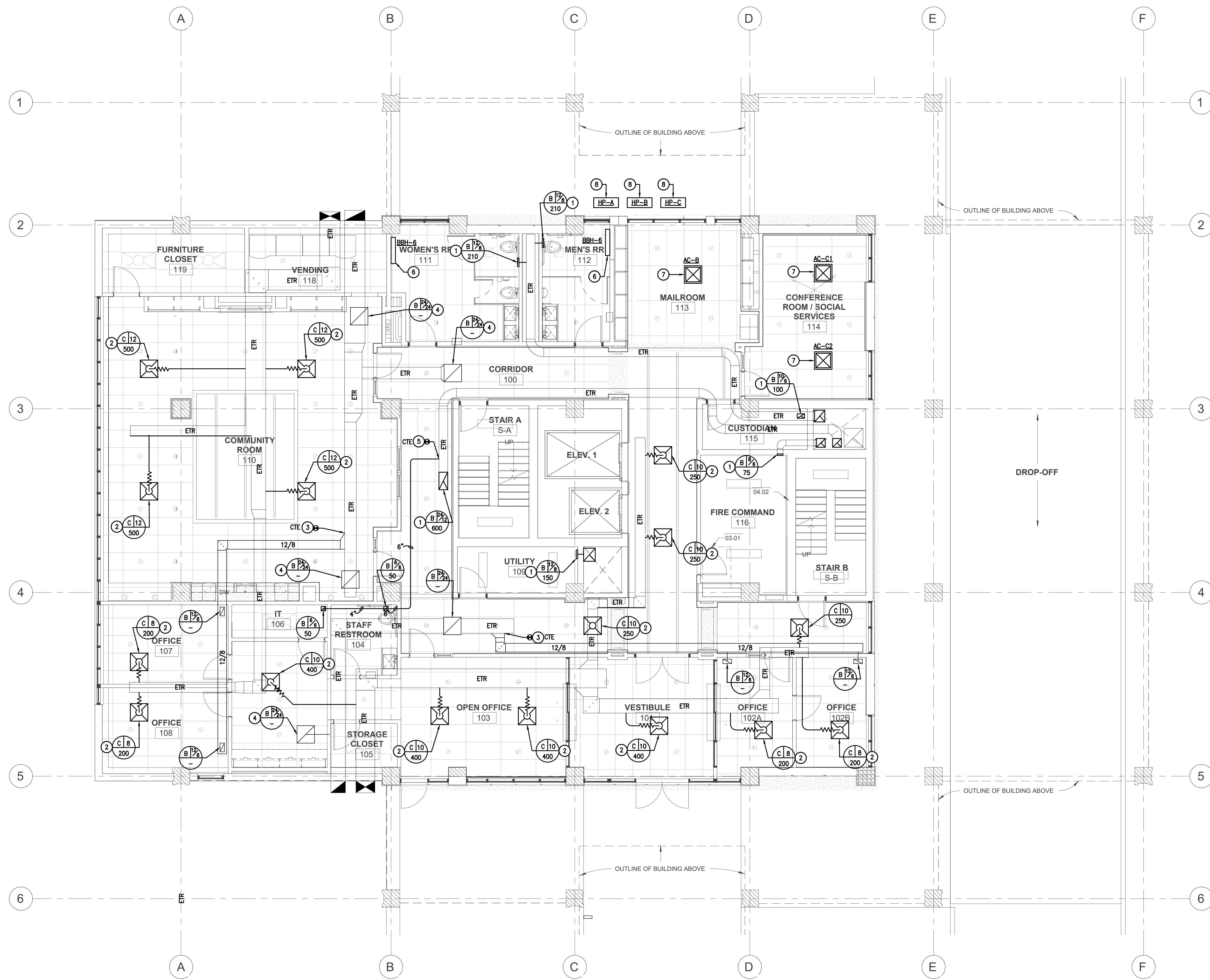
LDA Project No.23.47

BASEMENT MECHANICAL PLAN
M1.01

NOTE:
 ALL EXISTING SUPPLY AND RETURN GRILLES ARE TO BE REMOVED COMPLETE BACK TO THEIR RESPECTIVE MAINS AND REPLACED WITH NEW GRILLES AND BRANCH DUCTS.

CODED NOTES:

- ① EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- ② EXTEND NEW BRANCH DUCT TO EXISTING SUPPLY AIR MAIN. COORDINATE EXACT LOCATION IN FIELD.
- ③ CONNECT NEW RETURN AIR DUCT TO EXISTING MAIN IN AREA. COORDINATE EXACT LOCATION IN FIELD.
- ④ EXTEND NEW BRANCH DUCT TO EXISTING RETURN AIR MAIN IN AREA. COORDINATE EXACT LOCATION IN FIELD.
- ⑤ CONNECT NEW EXHAUST DUCT TO EXISTING MAIN IN AREA. COORDINATE EXACT LOCATION IN FIELD.
- ⑥ EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.
- ⑦ INSTALL MINSPLIT CASSETTE UNIT PER MANUFACTURER'S INSTRUCTIONS. ROUTE CONDENSATE TO EXTERIOR AND DAYLIGHT TO LANDSCAPING.
- ⑧ INSTALL MINSPLIT OUTDOOR UNIT ON HEAT PUMP RISER OR WALL MOUNT BRACKET PER MANUFACTURER'S INSTRUCTIONS.



① GROUND FLOOR MECHANICAL PLAN
 M1.02 SCALE: 3/16" = 1'-0"
 NORTH

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT

whs engineering
 2012 West 25th Street, Suite 200
 Cleveland, OH 44113
 Phone: 216 227 8505



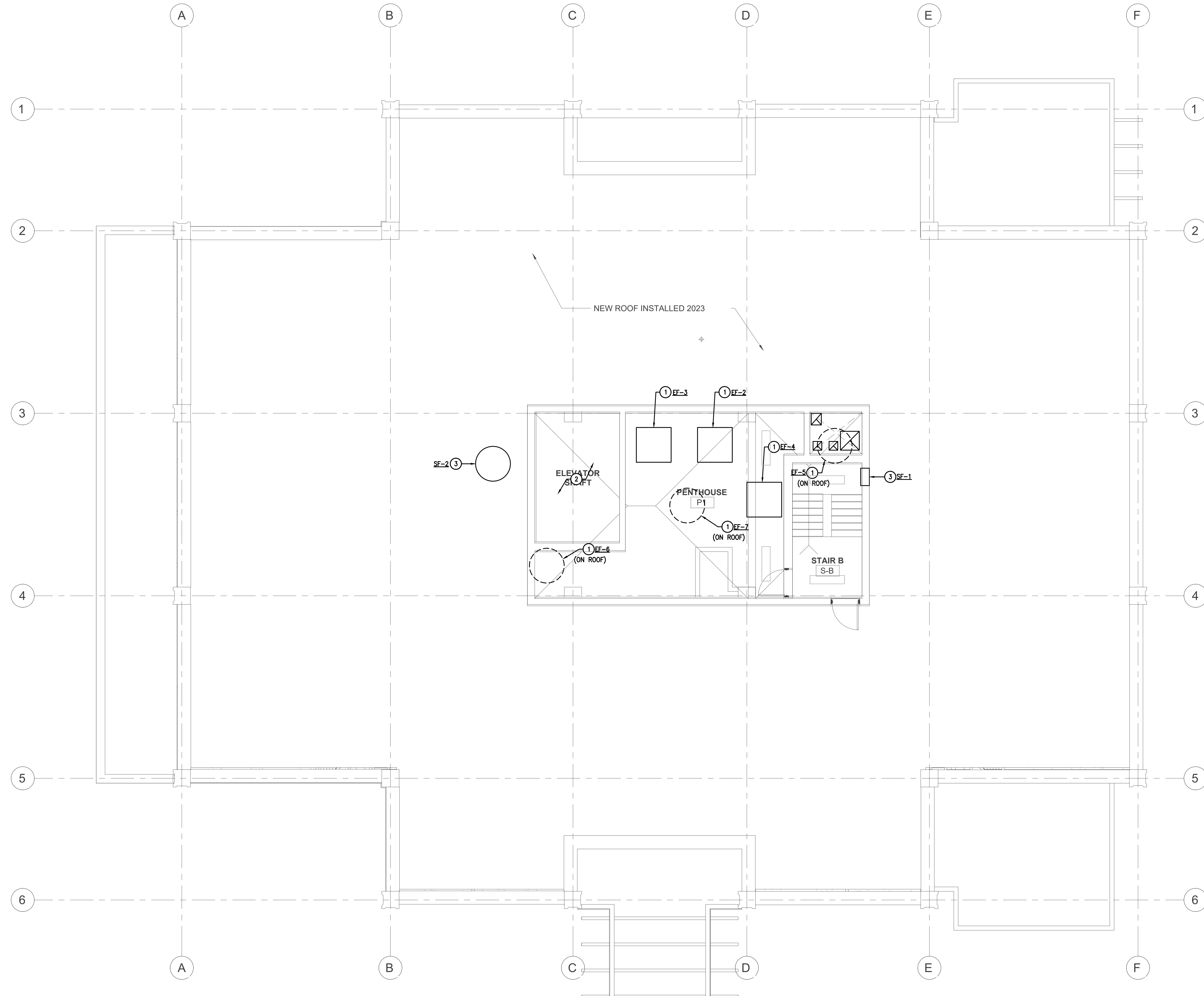
Copyright © 2022 LDA architects, Inc. This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

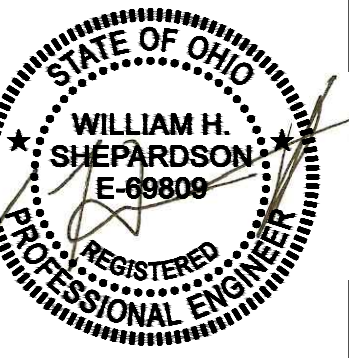
REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT

CODED NOTES:

- ① EXISTING EXHAUST FAN TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING DUCTWORK IN AREA.
- ② EXISTING MINISPLIT FOR ELEVATOR MACHINE ROOM COOLING TO REMAIN. SERVICE AND MAINTAIN AS REQUIRED.
- ③ EXISTING STAIRWELL PRESSURIZATION FAN TO BE REMOVED AND REPLACED WITH NEW.



① 2ND-15TH FLOOR MECHANICAL PLAN
M1.03 SCALE: 3/16" = 1'-0" NORTH



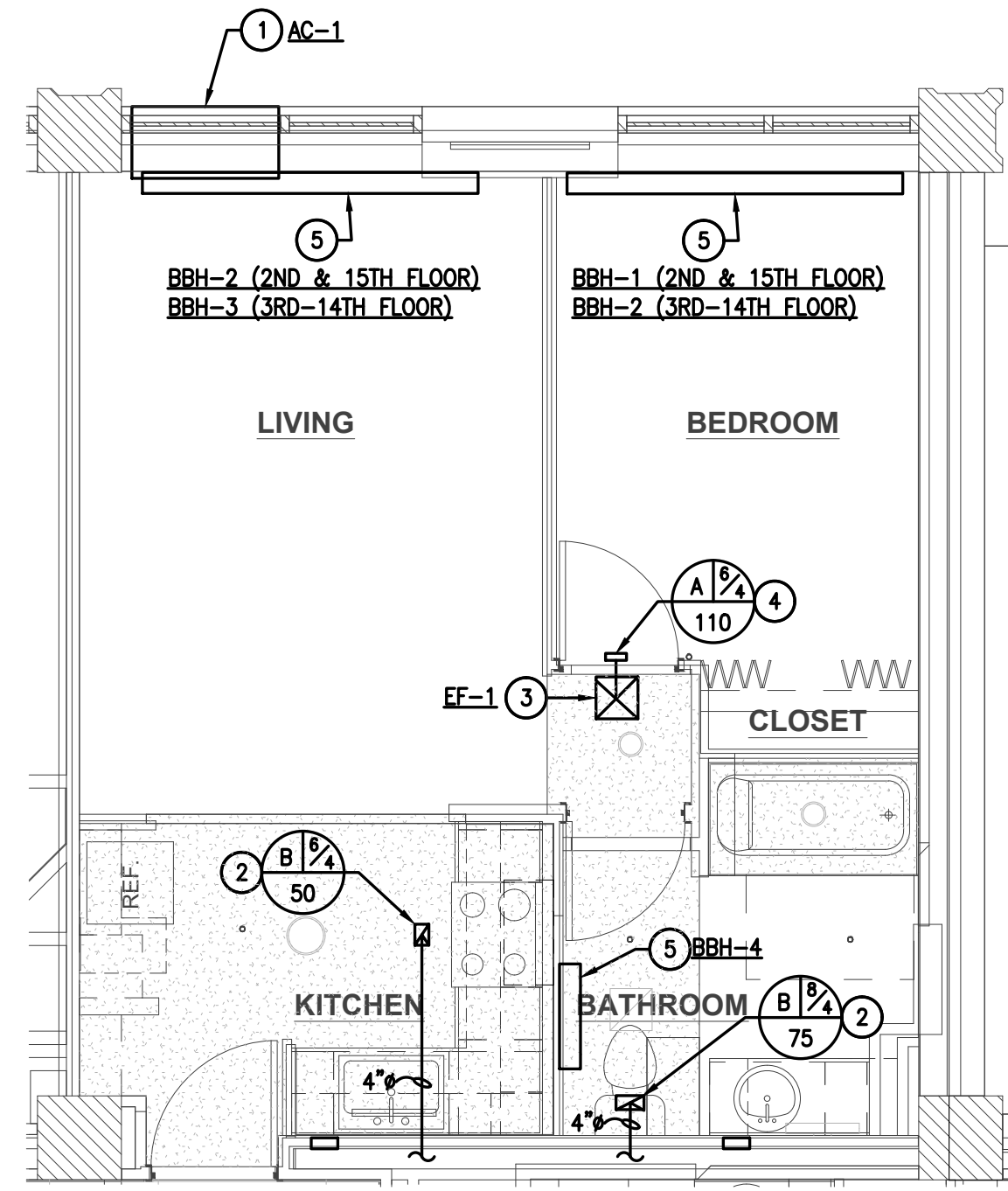
Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

PENTHOUSE MECHANICAL PLAN
M1.04

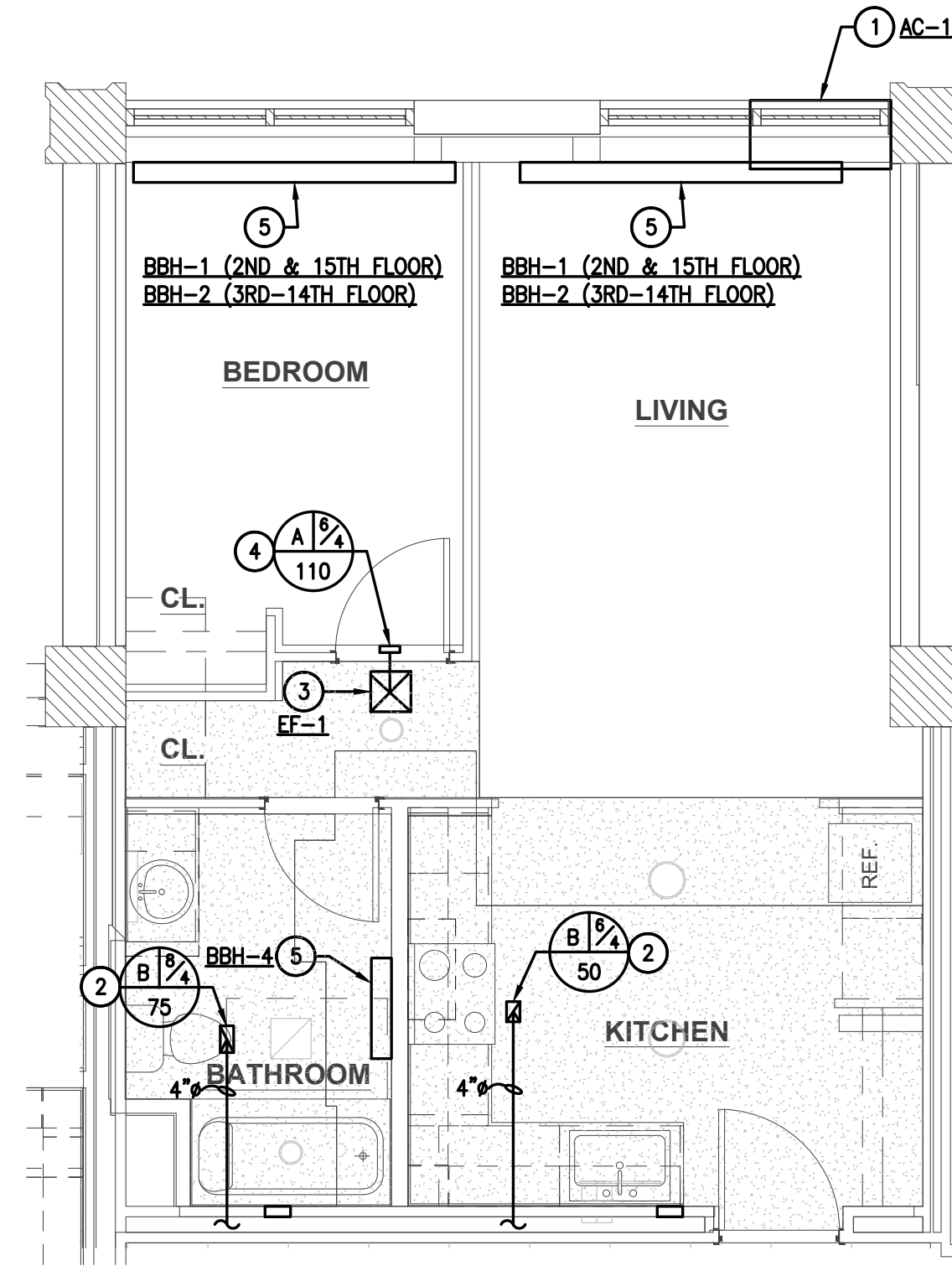
REV	DATE	DESCRIPTION
	2023.12.18	ISSUED FOR 50% PACKAGE
	2024.02.02	ISSUED FOR OHFA
	2024.03.22	ISSUED FOR PERMIT



1 UNIT TYPE 1A MECHANICAL PLAN
M2.01 SCALE: 1/4" = 1'-0"

CODED NOTES:

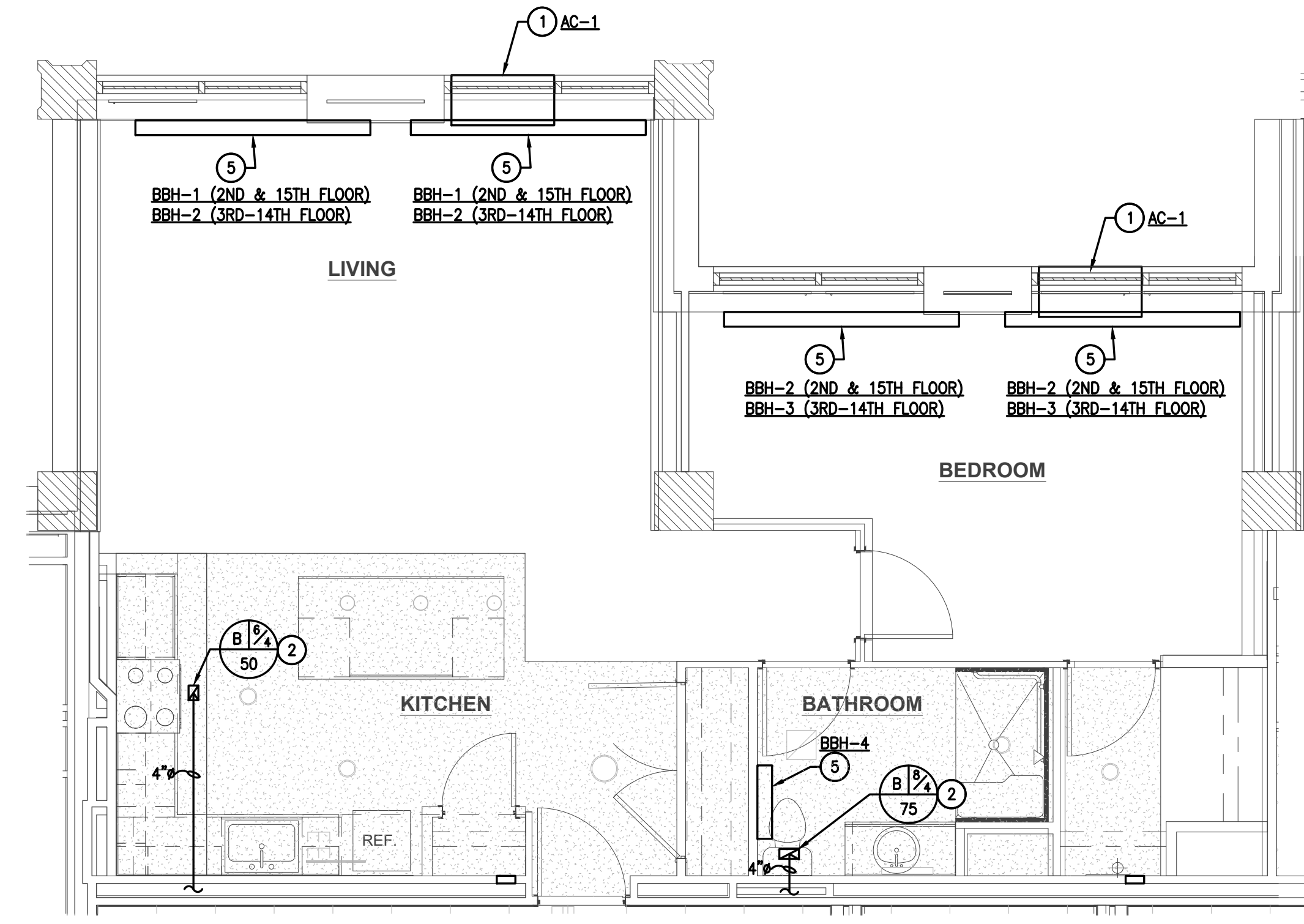
- 1 EXISTING PTAC TO BE REMOVED AND REPLACED WITH NEW. PROVIDE WITH NEW WALL SLEEVE.
- 2 EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 3 EXISTING TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING DUCTWORK IN AREA.
- 4 EXISTING SUPPLY GRILLE FROM TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW.
- 5 EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.



2 UNIT TYPE 1B MECHANICAL PLAN
M2.01 SCALE: 1/4" = 1'-0"

CODED NOTES:

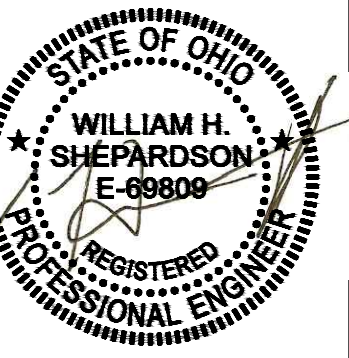
- 1 EXISTING PTAC TO BE REMOVED AND REPLACED WITH NEW. PROVIDE WITH NEW WALL SLEEVE.
- 2 EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 3 EXISTING TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING DUCTWORK IN AREA.
- 4 EXISTING SUPPLY GRILLE FROM TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW.
- 5 EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.



3 UNIT TYPE 1C MECHANICAL PLAN
M2.01 SCALE: 1/4" = 1'-0"

CODED NOTES:

- 1 EXISTING PTAC TO BE REMOVED AND REPLACED WITH NEW. PROVIDE WITH NEW WALL SLEEVE.
- 2 EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 3 EXISTING TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING DUCTWORK IN AREA.
- 4 EXISTING SUPPLY GRILLE FROM TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW.
- 5 EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.



Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

TYPICAL UNIT MECHANICAL PLAN

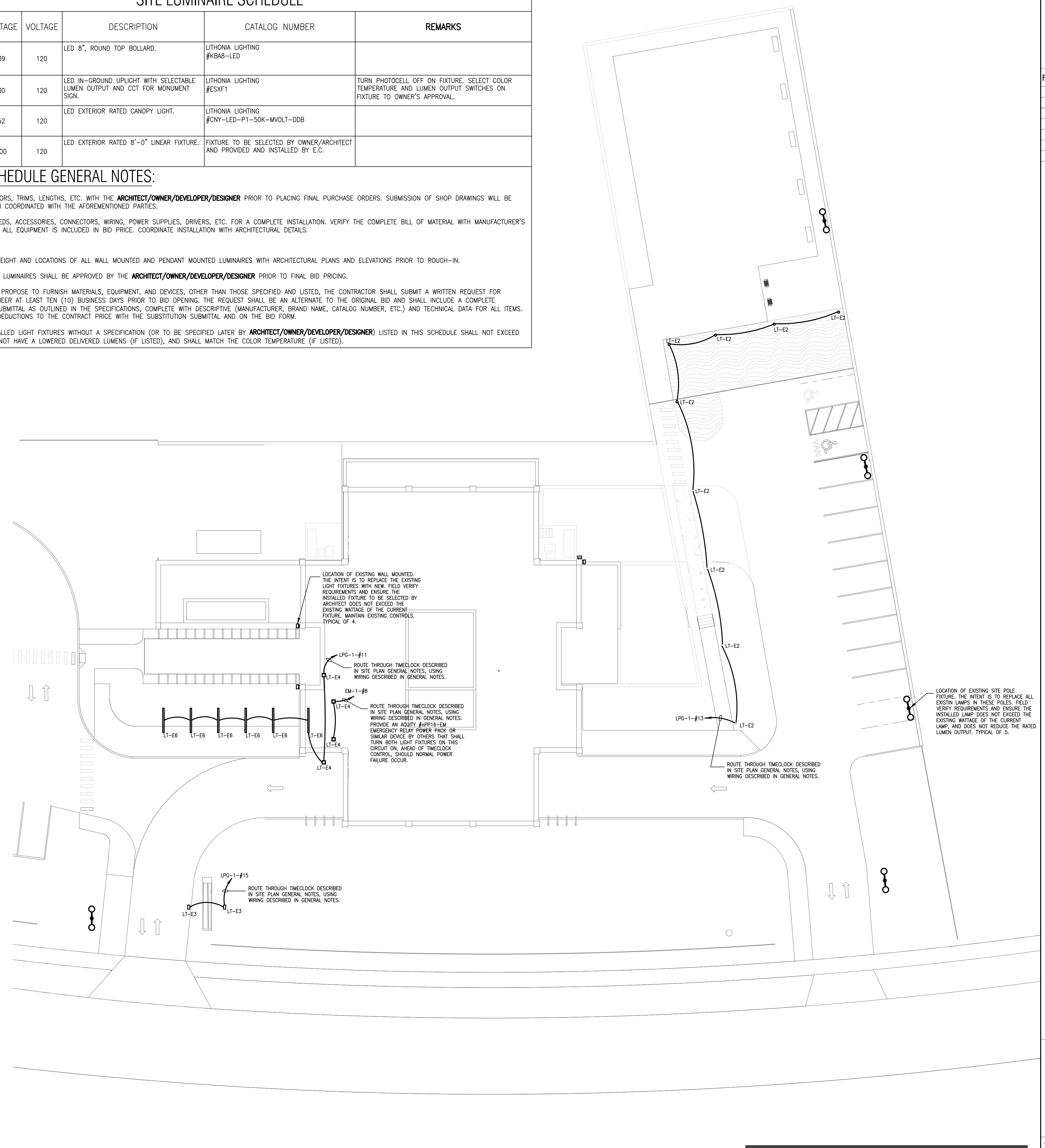
M2.01

REV	DATE	DESCRIPTION
	2023.12.18	ISSUED FOR 50% PACKAGE
	2024.02.02	ISSUED FOR OHFA
	2024.03.22	ISSUED FOR PERMIT

SITE LUMINAIRE SCHEDULE						
TYPE	LAMP	WATTAGE	VOLTAGE	DESCRIPTION	CATALOG NUMBER	REMARKS
LT-E2	LED 3000K 1120L	39	120	LED 8", ROUND TOP BOLLARD.	LITHONIA LIGHTING #KBAB-LED	
LT-E3	LED 30K-50K 1500L	30	120	LED IN-GROUND UPLIGHT WITH SELECTABLE LUMEN OUTPUT AND CCT FOR MONUMENT SIGN.	LITHONIA LIGHTING #ESXF1	TURN PHOTOCELL OFF ON FIXTURE. SELECT COLOR TEMPERATURE AND LUMEN OUTPUT SWITCHES ON FIXTURE TO OWNER'S APPROVAL.
LT-E4	LED 5000K 4500L	52	120	LED EXTERIOR RATED CANOPY LIGHT.	LITHONIA LIGHTING #CNY-LED-P1-50K-MVOLT-DOB	
LT-E6	LED 5000K	100	120	LED EXTERIOR RATED 8'-0" LINEAR FIXTURE.	FIXTURE TO BE SELECTED BY OWNER/ARCHITECT AND PROVIDED AND INSTALLED BY E.C.	

LUMINAIRE SCHEDULE GENERAL NOTES:

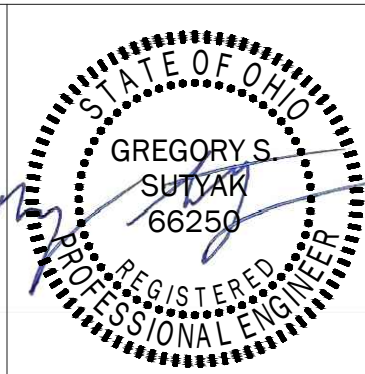
- VERIFY ALL LUMINAIRE COLORS, TRIMS, LENGTHS, ETC. WITH THE ARCHITECT/OWNER/DEVELOPER/DESIGNER PRIOR TO PLACING FINAL PURCHASE ORDERS. SUBMISSION OF SHOP DRAWINGS WILL BE INTERPRETED AS HAVING BEEN COORDINATED WITH THE AFOREMENTIONED PARTIES.
- PROVIDE ALL LENGTHS, FEEDS, ACCESSORIES, CONNECTORS, WIRING, POWER SUPPLIES, DRIVERS, ETC. FOR A COMPLETE INSTALLATION. VERIFY THE COMPLETE BILL OF MATERIAL WITH MANUFACTURER'S REPRESENTATIVE AND ENSURE ALL EQUIPMENT IS INCLUDED IN BID PRICE. COORDINATE INSTALLATION WITH ARCHITECTURAL DETAILS.
- NOT USED.
- VERIFY EXACT MOUNTING HEIGHT AND LOCATIONS OF ALL WALL MOUNTED AND PENDANT MOUNTED LUMINAIRES WITH ARCHITECTURAL PLANS AND ELEVATIONS PRIOR TO ROUGH-IN.
- ANY PROPOSED ALTERNATE LUMINAIRES SHALL BE APPROVED BY THE ARCHITECT/OWNER/DEVELOPER/DESIGNER PRIOR TO FINAL BID PRICING.
- SHOULD THE CONTRACTOR PROPOSE TO FURNISH MATERIALS, EQUIPMENT, AND DEVICES, OTHER THAN THOSE SPECIFIED AND LISTED, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR SUBSTITUTIONS, TO THE ENGINEER AT LEAST TEN (10) BUSINESS DAYS PRIOR TO BID OPENING. THE REQUEST SHALL BE AN ALTERNATE TO THE ORIGINAL BID AND SHALL INCLUDE A COMPLETE SPECIFICATIONS CUT SHEET SUBMITTAL AS OUTLINED IN THE SPECIFICATIONS, COMPLETE WITH DESCRIPTIVE (MANUFACTURER, BRAND NAME, CATALOG NUMBER, ETC.) AND TECHNICAL DATA FOR ALL ITEMS. INDICATE ANY ADDITIONS OR DEDUCTIONS TO THE CONTRACT PRICE WITH THE SUBSTITUTION SUBMITTAL AND ON THE BID FORM.
- ANY FINAL SELECTED/INSTALLED LIGHT FIXTURES WITHOUT A SPECIFICATION (OR TO BE SPECIFIED LATER BY ARCHITECT/OWNER/DEVELOPER/DESIGNER) LISTED IN THIS SCHEDULE SHALL NOT EXCEED THE WATTAGE LISTED, SHALL NOT HAVE A LOWERED DELIVERED LUMENS (IF LISTED), AND SHALL MATCH THE COLOR TEMPERATURE (IF LISTED).



1 ELECTRICAL SITE PLAN
ES.01 SCALE: 1/16" = 1'-0"

GENERAL ELECTRICAL SITE PLAN NOTES

- VERIFY EXISTING SITE CONDITIONS, SERVICE REQUIREMENTS, AND EXACT LOCATIONS OF SERVICE FACILITIES BEFORE SUBMITTING BID.
- ALL BUILDING, SIGN, AND SITE LIGHTING BRANCH CIRCUITING SHALL BE #8, 1#10(G), IN 1" CONDUIT.
- MINIMUM SITE CONDUIT SIZE SHALL BE 1" U.N.O. PROVIDE PULL-WIRE IN ALL CONDUIT ONLY RUNS. USE RGS WHERE EXPOSED AND SUBJECT TO PHYSICAL ABUSE. PROVIDE SCH-40 PVC BELOW GRADE OR UNDER GROUND. TRANSITION TO RGS PRIOR TO TURNING UP OR ENTERING BUILDING, STRUCTURES OR EQUIPMENT.
- PROVIDE A QUAD CIRCUIT, ASTRONOMIC 7-DAY TIMELOCK (TYPICALLY INTERMATIC #ET90415C) FOR CONTROL OF NEW EXTERIOR LIGHT FIXTURES. ROUTE ALL NEW BRANCH CIRCUITS THROUGH THIS TIMELOCK. INSTALL ADJACENT TO PANEL LPG-1 OR IN OTHER LOCATION APPROVED BY OWNER.



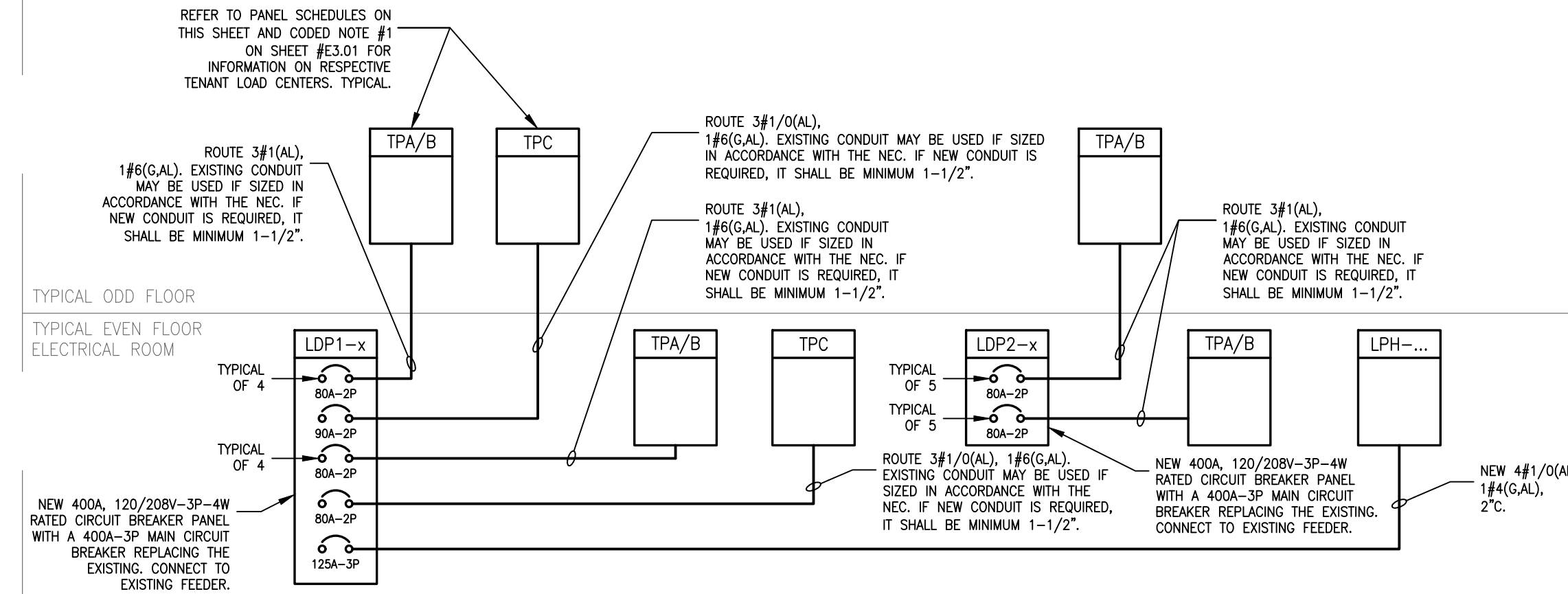
Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

REV	DATE	DESCRIPTION
2023.12.18	ISSUED FOR 50% PACKAGE	
2024.02.02	ISSUED FOR OHFA	
2024.03.22	ISSUED FOR PERMIT	

TYPICAL LDPXXX ELECTRIC SERVICE CALCULATION					
DESCRIPTION	AREA	QUANTITY	LOAD	TOTAL WC	N.E.C. ARTICLE
1 BEDROOM UNITS					
UNIT 1A	650	6	3	11700	220 84(c)(1)
UNIT 1B	650	2	3	3900	220 84(c)(1)
UNIT 1C	900	2	3	5400	220 84(c)(1)
TOTAL CONNECTED LIGHTING/RECEPTACLE LOAD:				21,000 W	
SMALL APPLIANCE BRANCH CIRCUITS				1600	30000 220 84(c)(2)
REFRIGERATOR	-	10	600	6000	220 84(c)(3)
ELECTRIC RANGE/OVEN	-	10	8000	80000	220 84(c)(3)
RANGE HOOD/MICROWAVE	-	10	1880	18800	220 84(c)(3)
1A/1B HVAC	-	8	3570	28560	220 84(c)(5)
1C HVAC	-	2	6270	12540	220 84(c)(5)
TOTAL CONNECTED EQUIPMENT LOAD:				173,900 W	
TOTAL CONNECTED LOAD:				194,900 W	
DEMAND FACTOR:				45%	TABLE 220.84
TOTAL DWELLING UNIT DEMAND LOAD:				88,507 W	
ADDITIONAL PANEL DEMAND LOAD: TYP. LPH2/4/6:				36.98 KW	
TOTAL SERVICE DEMAND LOAD:				120,782 W	
AMPS AT 120/208V-3Ø-4W				335.3 A	



1 TYPICAL DUAL FLOOR PARTIAL POWER RISER DIAGRAM
E3.00 SCALE: 1/4" = 1'-0" TYPICAL OF 7

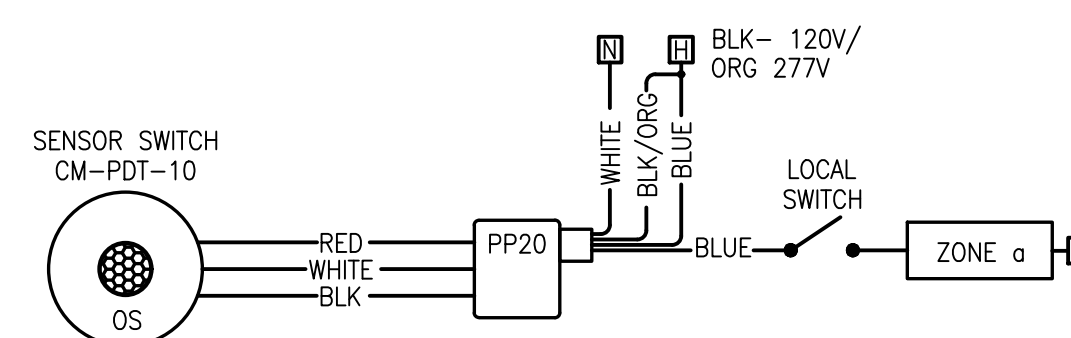
COMMON AREA LUMINAIRE SCHEDULE						
TYPE	LAMP	WATTAGE	VOLTAGE	DESCRIPTION	CATALOG NUMBER	EQUIVALENT MANUFACTURER/REMARKS
LT-1	LED 3000K 750L	9.4	120	6" RECESSED DOWNLIGHT.	ADVANTAGE #AICVDFLEDES-U-30-30K-W6060-ZDM	ENERGY-STAR LISTED, DIMMABLE.
LT-2	LED 3000K 2400L	30	120	37" DIAMETER CHANDELIER.	ALORA #ALONSO CH320837UBAR	ENERGY-STAR LISTED, DIMMABLE.
LT-3	LED 3000K 4000L	40	120	WALL SCONCE-ADA CERTIFIED WITH BLACK FINISH.	CDS LIGHTING #T00B WS1	ENERGY-STAR LISTED, DIMMABLE.
LT-4	LED 3000K	2.2W/FT	120	TAPE LIGHT - UNDER CABINET.	KLUS #K-VBT30-0720-24	ENERGY-STAR LISTED, DIMMABLE.
LT-5	LED 3000K 1725L	38	120	15" SURFACE MOUNT WITH MATTIE BLACK FINISH.	ALORA WOOD #ADELAIDE FM554015MB	ENERGY-STAR LISTED, DIMMABLE.
LT-6	LED 3000K 400L	6	120	ALONSO 8" WALL SCONCE WITH WHITE FINISH.	ALORA #DAHLIA WV346006UBAR	ENERGY-STAR LISTED, DIMMABLE; ADA CERTIFIED.
LT-7	LED 3000K 1150L	6.6	120	24" VANITY WALL SCONCE WITH MATTIE BLACK FINISH.	KUZCO #SSA VL18021MB	ENERGY-STAR LISTED, DIMMABLE.
LT-8	LED 3000K 6500L	26.1	120	24"x48" RECESSED PANEL WITH WHITE FINISH.	LEDALITE #SHINE 3324xXL93065A1DE	ENERGY-STAR LISTED, DIMMABLE.
LT-9	LED 3000K 950L	10.7	120	2"x8" LINEAR RECESSED LIGHT WITH SATIN WHITE FINISH.	ALW #LIGHTPLANE 2R-STRAIGHT RUN, TGRID	ENERGY-STAR LISTED, DIMMABLE.
LT-10	LED 3000K 4000L	34	120	12"x48" UTILITY LIGHT WITH WHITE FINISH.	DAYBRITE #NWL WRAPAROUND	ENERGY-STAR LISTED.
LT-10S	LED 3000K 4000L	34	120	12"x48" UTILITY LIGHT WITH WHITE FINISH AND INTEGRAL OCCUPANCY SENSOR.	DAYBRITE #NWL WRAPAROUND	ENERGY-STAR LISTED.
LT-12	LED 3000K 1410L	15	120	2" MINI RECESSED DOWNLIGHT WITH WHITE FINISH.	CSL #ACROBAT A2ROUND/STANDARD TRIM	ENERGY-STAR LISTED, DIMMABLE.
LT-13	LED 3000K 1000L	6.6	120	24" LINEAR RECESSED LIGHT UNIT ENTRY WITH WHITE FINISH.	PMC LIGHTING #NELO ES14	INSTALL IN T-GRID; DIMMABLE.
LT-14	LED 3000K	23	120	11" SURFACE MOUNT - EXTERIOR RATED WITH WHITE FINISH.	Alcon 16007/23W-30K-WH Wet Location-Rated Surface-Mounted Round	ENERGY-STAR LISTED, DIMMABLE.

LUMINAIRE SCHEDULE GENERAL NOTES:

- VERIFY ALL LUMINAIRE COLORS, TRIMS, LENGTHS, ETC. WITH THE ARCHITECT/OWNER/DEVELOPER/DESIGNER PRIOR TO PLACING FINAL PURCHASE ORDERS. SUBMISSION OF SHOP DRAWINGS WILL BE INTERPRETED AS HAVING BEEN COORDINATED WITH THE AFOREMENTIONED PARTIES.
- PROVIDE ALL LENGTHS, FEEDS, ACCESSORIES, CONNECTORS, WIRING, POWER SUPPLIES, DRIVERS, ETC. FOR A COMPLETE INSTALLATION. VERIFY THE COMPLETE BILL OF MATERIAL WITH MANUFACTURER'S REPRESENTATIVE AND ENSURE ALL EQUIPMENT IS INCLUDED IN BID PRICE. COORDINATE INSTALLATION WITH ARCHITECTURAL DETAILS.
- VERIFY FINAL LUMINAIRE LOCATIONS WITH OTHER CEILING MOUNTED EQUIPMENT SUCH AS DIFFUSERS, FIRE ALARM DEVICES, SPEAKERS, ETC., WITH ARCHITECTURAL REFLECTED CEILING PLANS.
- VERIFY EXACT MOUNTING HEIGHT AND LOCATIONS OF ALL WALL MOUNTED AND PENDANT MOUNTED LUMINAIRES WITH ARCHITECTURAL PLANS AND ELEVATIONS PRIOR TO ROUGH-IN.
- ANY PROPOSED ALTERNATE LUMINAIRES SHALL BE APPROVED BY THE ARCHITECT/OWNER/DEVELOPER/DESIGNER PRIOR TO FINAL BID PRICING.
- SHOULD THE CONTRACTOR PROPOSE TO FURNISH MATERIALS, EQUIPMENT, AND DEVICES, OTHER THAN THOSE SPECIFIED AND LISTED, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR SUBSTITUTIONS, TO THE ENGINEER AT LEAST TEN (10) BUSINESS DAYS PRIOR TO BID OPENING. THE REQUEST SHALL BE AN ALTERNATE TO THE ORIGINAL BID AND SHALL INCLUDE A COMPLETE SPECIFICATIONS CUT SHEET SUBMITTAL AS OUTLINED IN THE SPECIFICATIONS, COMPLETE WITH DESCRIPTIVE (MANUFACTURER, BRAND NAME, CATALOG NUMBER, ETC.) AND TECHNICAL DATA FOR ALL ITEMS. INDICATE ANY ADDITIONS OR DEDUCTIONS TO THE CONTRACT PRICE WITH THE SUBSTITUTION SUBMITTAL AND ON THE BID FORM.
- ANY FINAL SELECTED/INSTALLED LIGHT FIXTURES WITHOUT A SPECIFICATION (OR TO BE SPECIFIED LATER BY ARCHITECT/OWNER/DEVELOPER/DESIGNER) LISTED IN THIS SCHEDULE SHALL NOT EXCEED THE WATTAGE LISTED, SHALL NOT HAVE A LOWERED DELIVERED LUMENS (IF LISTED), AND SHALL MATCH THE COLOR TEMPERATURE (IF LISTED).

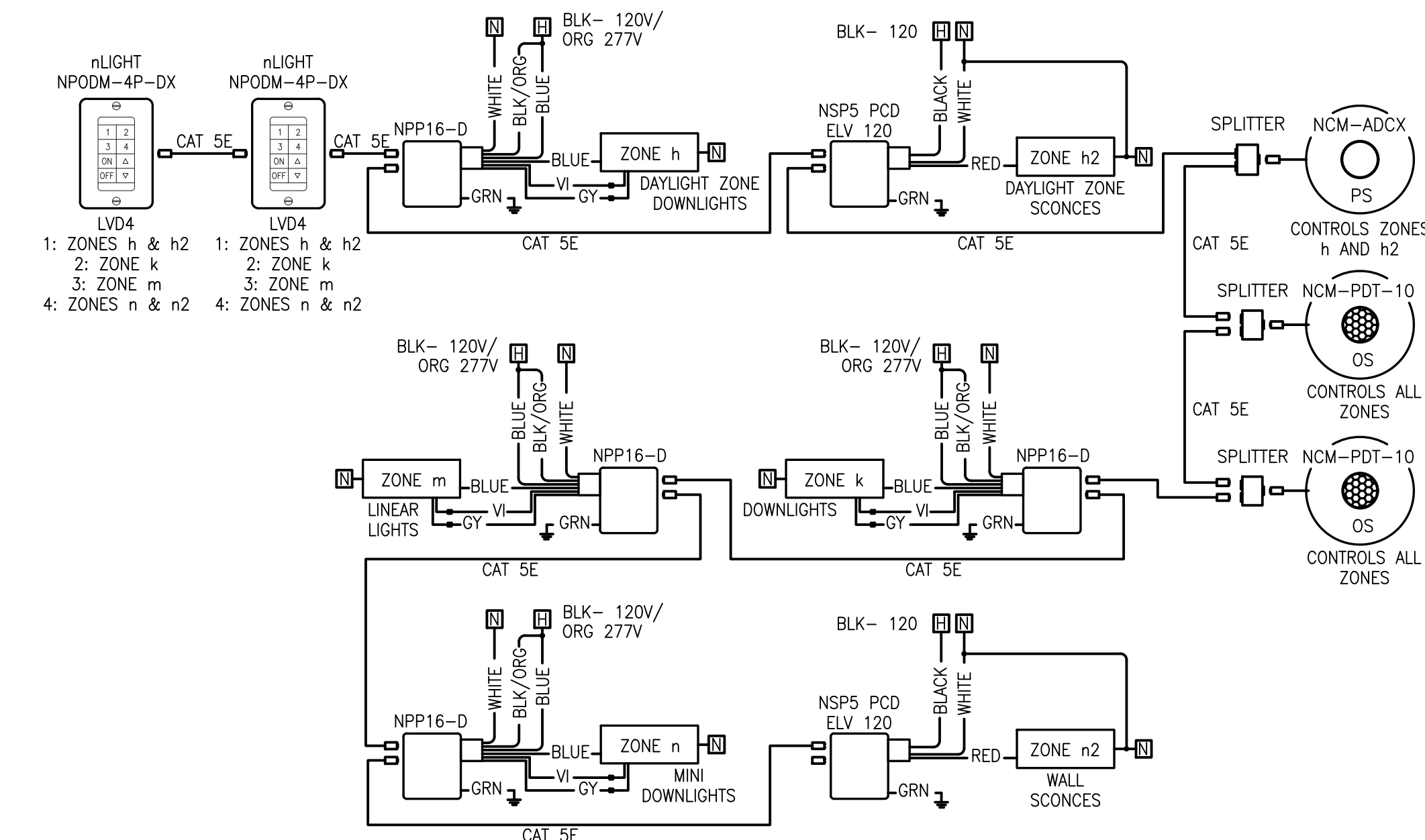
VACANCY & OCCUPANCY SENSOR SWITCH WIRING DIAGRAM

- SCALE: NOT TO SCALE
- NOTES:
- VACANCY SENSOR SHALL BE "SENSOR SWITCH" WSX-PDT-SA OR APPROVED EQUAL.
 - OCCUPANCY SENSOR SHALL BE "SENSOR SWITCH" WSX-PDT OR APPROVED EQUAL.
 - REFER TO SPECIFIC LOCATIONS AND SET FOR VACANCY "VS" OR OCCUPANCY "OS" AS INDICATED. SET TIME DELAY TO 20 MINUTES.



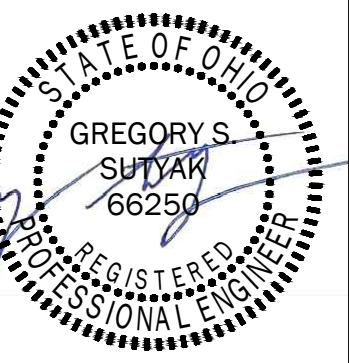
OCCUPANCY SENSOR WIRING DIAGRAM (LARGE ROOM)

- SCALE: NOT TO SCALE
- NOTES:
- ALL LOW VOLTAGE WIRING AND TERMINATIONS TO BE BY ELECTRICAL CONTRACTOR.
 - MAXIMUM NUMBER OF SENSORS PER POWER PACK IS DEPENDANT ON MANUFACTURER. COORDINATE QUANTITY OF POWER PACKS WITH MANUFACTURER.
 - OCCUPANCY SENSOR SHALL BE DUAL TECHNOLOGY "SENSOR SWITCH" CM-PDT-10 OR APPROVED EQUAL. ALL EXPOSED CONTROL WIRING SHALL BE IN CONDUIT.



COMMUNITY ROOM LIGHTING CONTROL DIAGRAM

- SCALE: NOT TO SCALE
- DIAGRAM NOTES
- SYSTEM SHOWN IS BASIS OF DESIGN BY ACUITY BRANDS. PROVIDE POWER PACKS AS REQUIRED TO ACCOMMODATE ZONES AND LOAD TYPES SHOWN ON PLAN AND IN LUMINAIRE SCHEDULE. ALTERNATE SYSTEM(S) MAY BE SUBMITTED FOR REVIEW AND APPROVAL BY ARCHITECT AND ENGINEER PRIOR TO BID. ALTERNATE SYSTEM(S) SHALL BE PRICED AS ALTERNATE TO BASIS OF DESIGN SYSTEM AND LISTED AS SUCH IN SUBMITTED BID.



Copyright © 2022 LDA architects Inc. This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

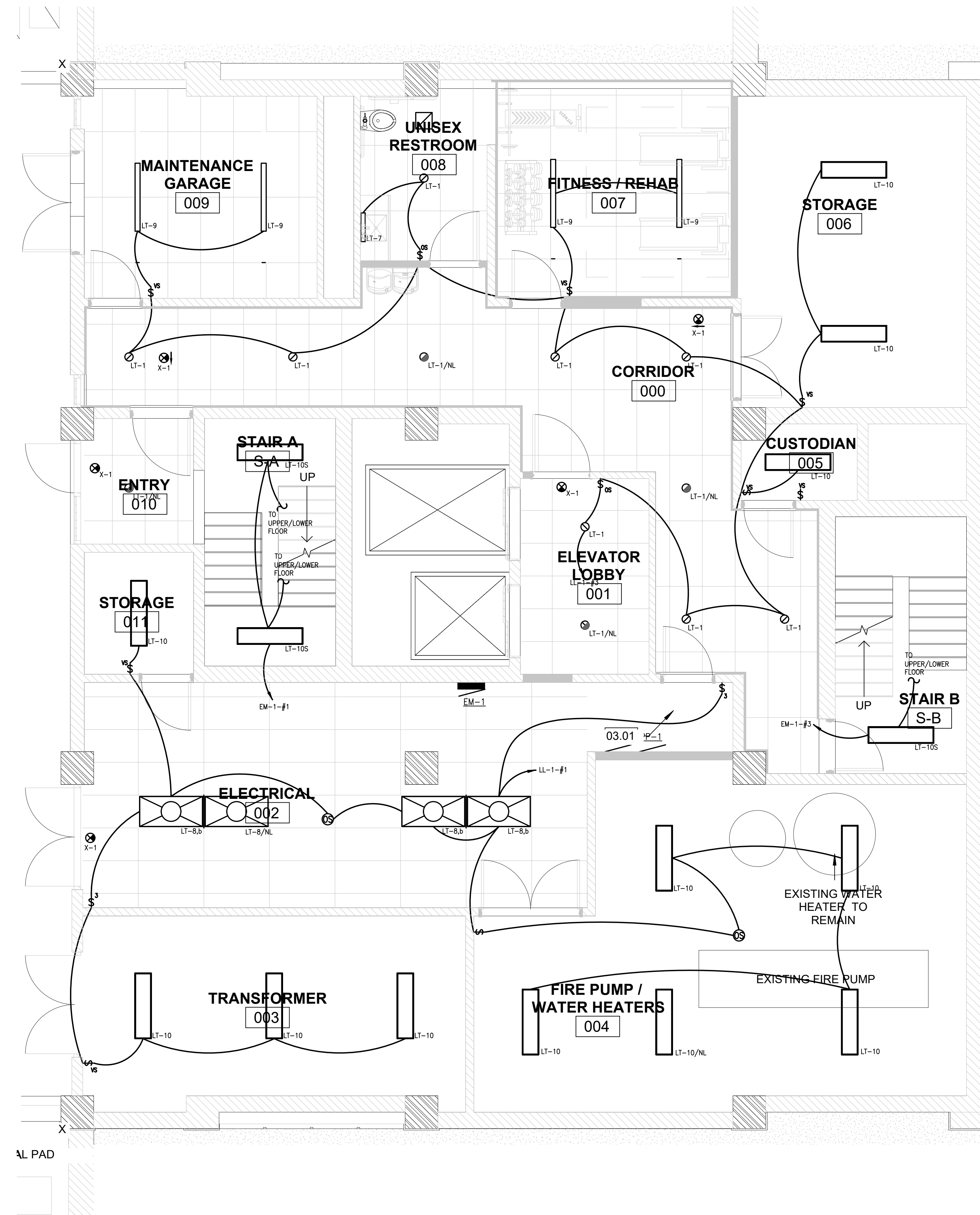
LDA Project No.23.47

FIELD VERIFY ALL CONDITIONS

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING, THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.

GENERAL LIGHTING PLAN NOTES

- ALL EXIT SIGNS AND EMERGENCY LUMINAIRES (ON GENERATOR, ALSO MARKED 'NL') SHALL BE CONNECTED TO A DEDICATED LIGHTING CIRCUIT IN PANEL EM1 AHEAD OF ANY CONTROLS SUCH AS SWITCHES (DEVICE), OCCUPANCY SENSORS AND/OR RELAY CONTROLS. THE LOWER LEVEL LIGHTS SHALL BE CONNECTED TO CIRCUIT #9.
- EXACT LOCATION OF ALL LUMINAIRES, AND EXACT MOUNTING HEIGHT OF ALL PENDANT MOUNTED LUMINAIRES SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ANY ROUGH-INS.
- REFER TO WIRING SCHEDULE ON SHEET #E0.02 FOR 15A/20A POWER AND LIGHTING BRANCH CIRCUITS FOR ALL CONDUCTOR SIZES TO ACCOUNT FOR VOLTAGE DROP.
- ALL WIRING SHALL BE IDENTIFIED BY PANELBOARD AND CIRCUIT NUMBER(S) IN ALL CABINETS, JUNCTION BOXES, WIRING TROUGHES, ENCLOSURES, SPLICE OR TERMINATION POINTS, ETC.
- A NEW TYPED PANELBOARD DIRECTORY CARD SHALL BE PROVIDED FOR ALL PANELS INSTALLED OR MODIFIED UNDER THIS CONTRACT. NEW DIRECTORY CARDS SHALL BE LOCATED ON THE INSIDE DOOR OF ASSOCIATED PANELS.

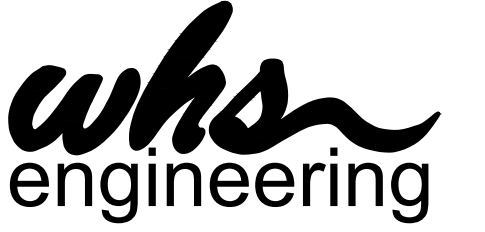


1 LOWER LEVEL LIGHTING PLAN
 E1.00 SCALE: 1/4" = 1'-0"

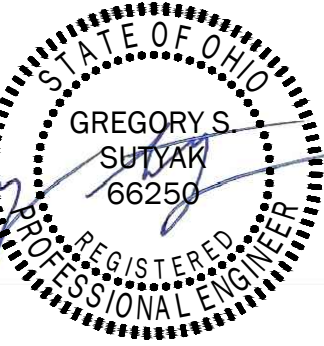


The Offices at the Agora
 5000 Euclid Avenue, Suite 104
 Cleveland, OH 44103
 LDAarchitecture.com
 216.932.1890

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT



201 West 25th Street, Suite 200
 Cleveland, OH 44113
 Phone: 216 227 8505



Copyright © 2022 LDA architects Inc. This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

LOWER LEVEL LIGHTING PLAN
E1.00

FIELD VERIFY ALL CONDITIONS

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTOR'S COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING, THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.

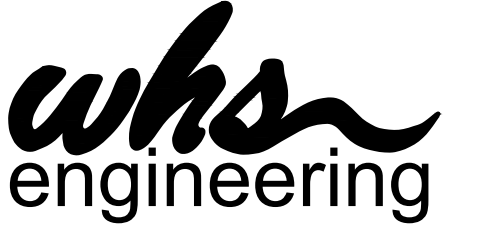
GENERAL LIGHTING PLAN NOTES

- ALL EXIT SIGNS AND EMERGENCY LUMINAIRES (ON GENERATOR, ALSO MARKED 'NL') SHALL BE CONNECTED TO A DEDICATED LIGHTING CIRCUIT IN PANEL EM1 AHEAD OF ANY CONTROLS SUCH AS SWITCHES (DEVICE), OCCUPANCY SENSORS AND/OR RELAY CONTROLS. THE FIRST FLOOR LIGHTS SHALL BE CONNECTED TO CIRCUIT #11.
- PENDANT LOCATION OF ALL LUMINAIRES, AND EXACT MOUNTING HEIGHT OF ALL PENDANT MOUNTED LUMINAIRES SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ANY ROUGH-INS.
- REFER TO WIRING SCHEDULE ON SHEET #E0.02 FOR 15A/20A POWER AND LIGHTING BRANCH CIRCUITS FOR ALL CONDUCTOR SIZES TO ACCOUNT FOR VOLTAGE DROP.
- ALL WIRING SHALL BE IDENTIFIED BY PANELBOARD AND CIRCUIT NUMBER(S) IN ALL CABINETS, JUNCTION BOXES, WIRING TROUGH, ENCLOSURES, SPLICE OR TERMINATION POINTS, ETC.
- A NEW TYPED PANELBOARD DIRECTORY CARD SHALL BE PROVIDED FOR ALL PANELS INSTALLED OR MODIFIED UNDER THIS CONTRACT. NEW DIRECTORY CARDS SHALL BE LOCATED ON THE INSIDE DOOR OF ASSOCIATED PANELS.

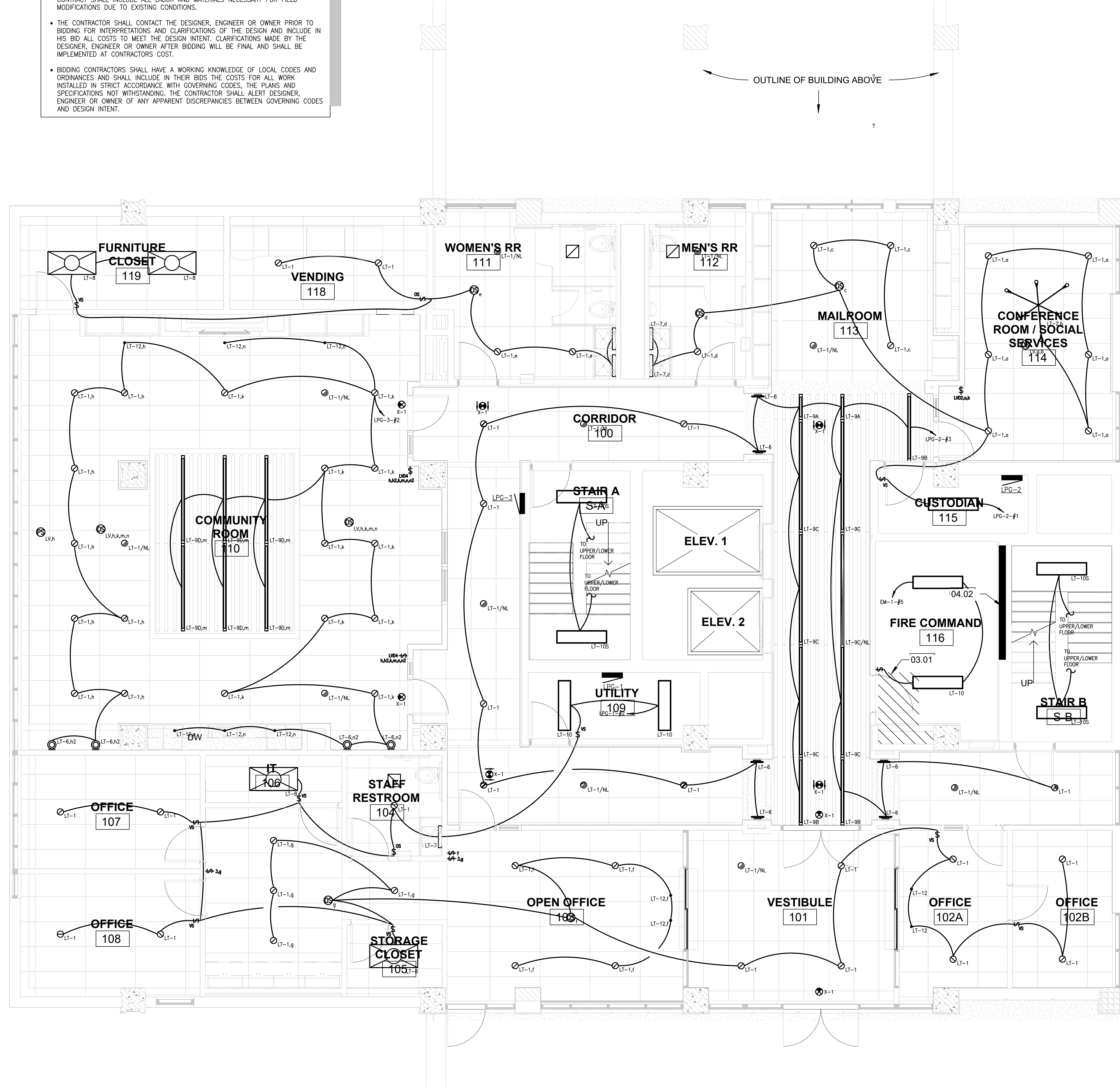


The Offices at the Agora
5000 Euclid Avenue, Suite 104
Cleveland, OH 44103
LDAarchitecture.com
216.932.1890

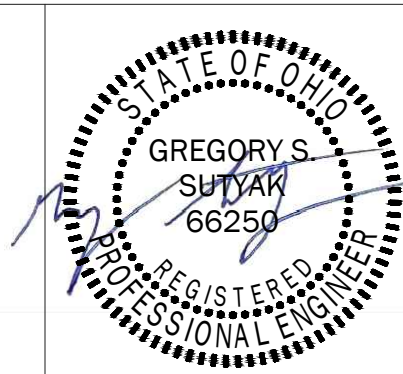
REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT



2012 West 25th Street, Suite 200
Cleveland, OH 44113
Phone: 216 227 8505



1 FIRST FLOOR LIGHTING PLAN
E1.01 SCALE: 1/4" = 1'-0"



Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

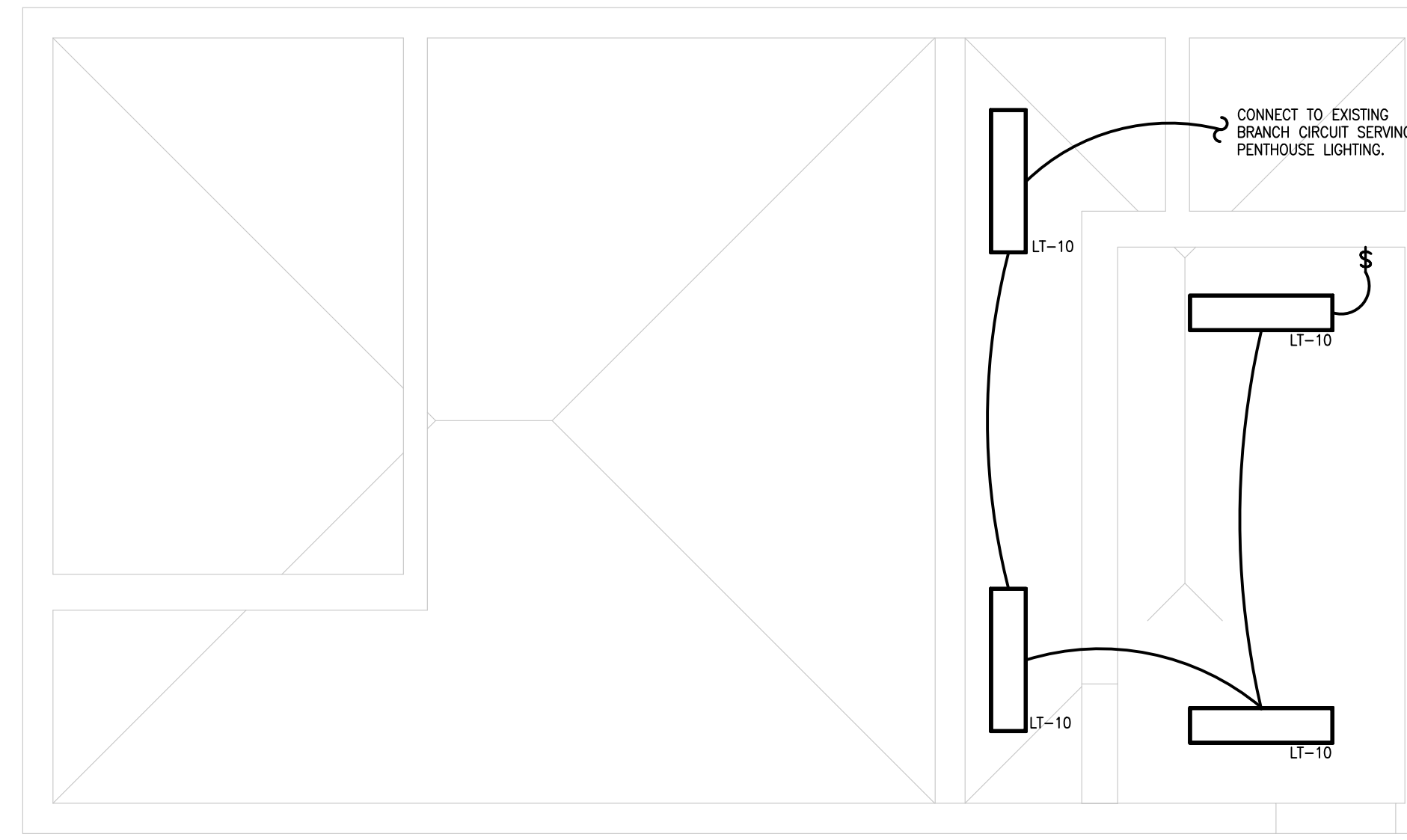
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

FIRST FLOOR LIGHTING PLAN
E1.01

FIELD VERIFY ALL CONDITIONS

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTOR'S COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES. THE PLANS AND SPECIFICATIONS NOT WITHSTANDING, THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.



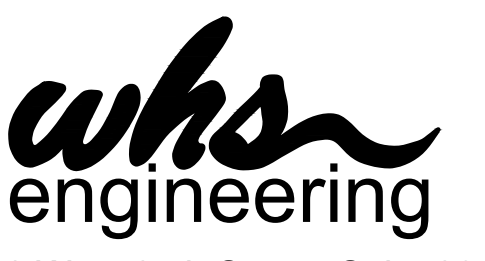
GENERAL LIGHTING PLAN NOTES

- ALL EXIT SIGNS AND **EMERGENCY LUMINAIRES (ON GENERATOR, ALSO MARKED 'NL')** SHALL BE CONNECTED TO A **DEDICATED LIGHTING CIRCUIT** IN PANEL EM1 AHEAD OF ANY CONTROLS SUCH AS: SWITCHES (DEVICE), OCCUPANCY SENSORS AND/OR RELAY CONTROLS. THE LIGHTS SHALL BE CONNECTED AS FOLLOWS:
 - 2F-8F WEST CORRIDOR: EM-1-#13
 - 2F-8F CENTRAL LOBBY: EM-1-#15
 - 2F-8F EAST CORRIDOR: EM-1-#17
 - 9F-15F WEST CORRIDOR: EM-1-#19
 - 9F-15F CENTRAL LOBBY: EM-1-#21
 - 9F-15F EAST CORRIDOR: EM-1-#23
- EXACT LOCATION OF ALL LUMINAIRES, AND EXACT MOUNTING HEIGHT OF ALL PENDANT MOUNTED LUMINAIRES SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ANY ROUGH-INS.
- REFER TO WIRING SCHEDULE ON SHEET #E0.02 FOR 15A/20A POWER AND LIGHTING BRANCH CIRCUITS FOR ALL CONDUCTOR SIZES TO ACCOUNT FOR VOLTAGE DROP.
- ALL WIRING SHALL BE IDENTIFIED BY PANELBOARD AND CIRCUIT NUMBER(S) IN ALL CABINETS, JUNCTION BOXES, WIRING TROUGHS, ENCLOSURES, SPLICE OR TERMINATION POINTS, ETC.
- A NEW TYPED PANELBOARD DIRECTORY CARD SHALL BE PROVIDED FOR ALL PANELS INSTALLED OR MODIFIED UNDER THIS CONTRACT. NEW DIRECTORY CARDS SHALL BE LOCATED ON THE INSIDE DOOR OF ASSOCIATED PANELS.



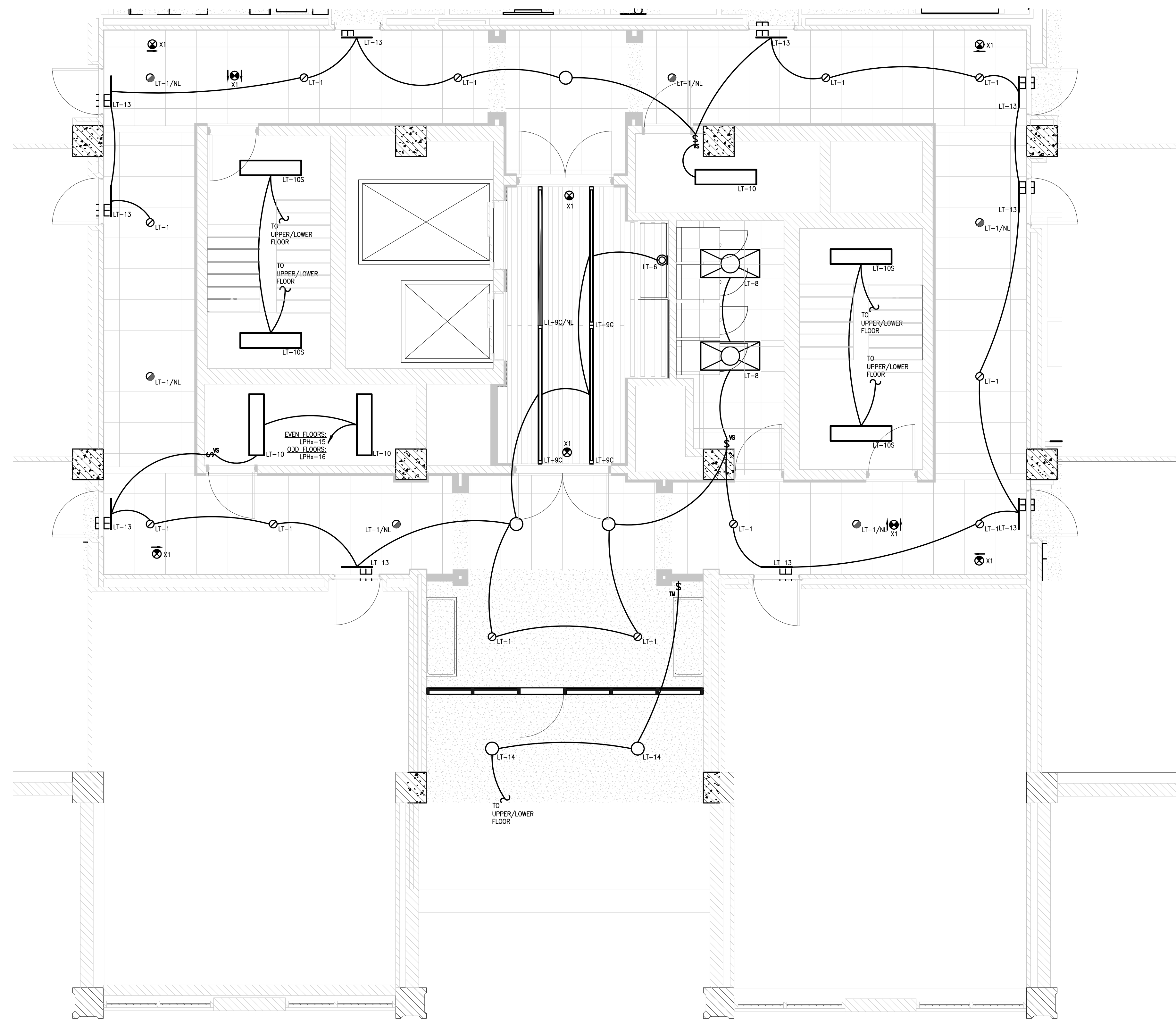
The Offices at the Agora
5000 Euclid Avenue, Suite 104
Cleveland, OH 44113
LDAarchitecture.com
216.932.1890

REV	DATE	DESCRIPTION
	2023.12.18	ISSUED FOR 50% PACKAGE
	2024.02.02	ISSUED FOR OHFA
	2024.03.22	ISSUED FOR PERMIT

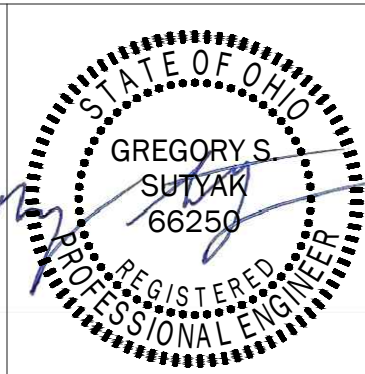


2012 West 25th Street, Suite 200
Cleveland, OH 44113
Phone: 216 227 8505

2 ELEVATOR PENTHOUSE LIGHTING PLAN
E1.02 SCALE: 1/4" = 1'-0"



1 TYPICAL 2ND THROUGH 15TH FLOOR LIGHTING PLAN
E1.02 SCALE: 1/4" = 1'-0"



Copyright © 2022 LDA architects Inc. This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

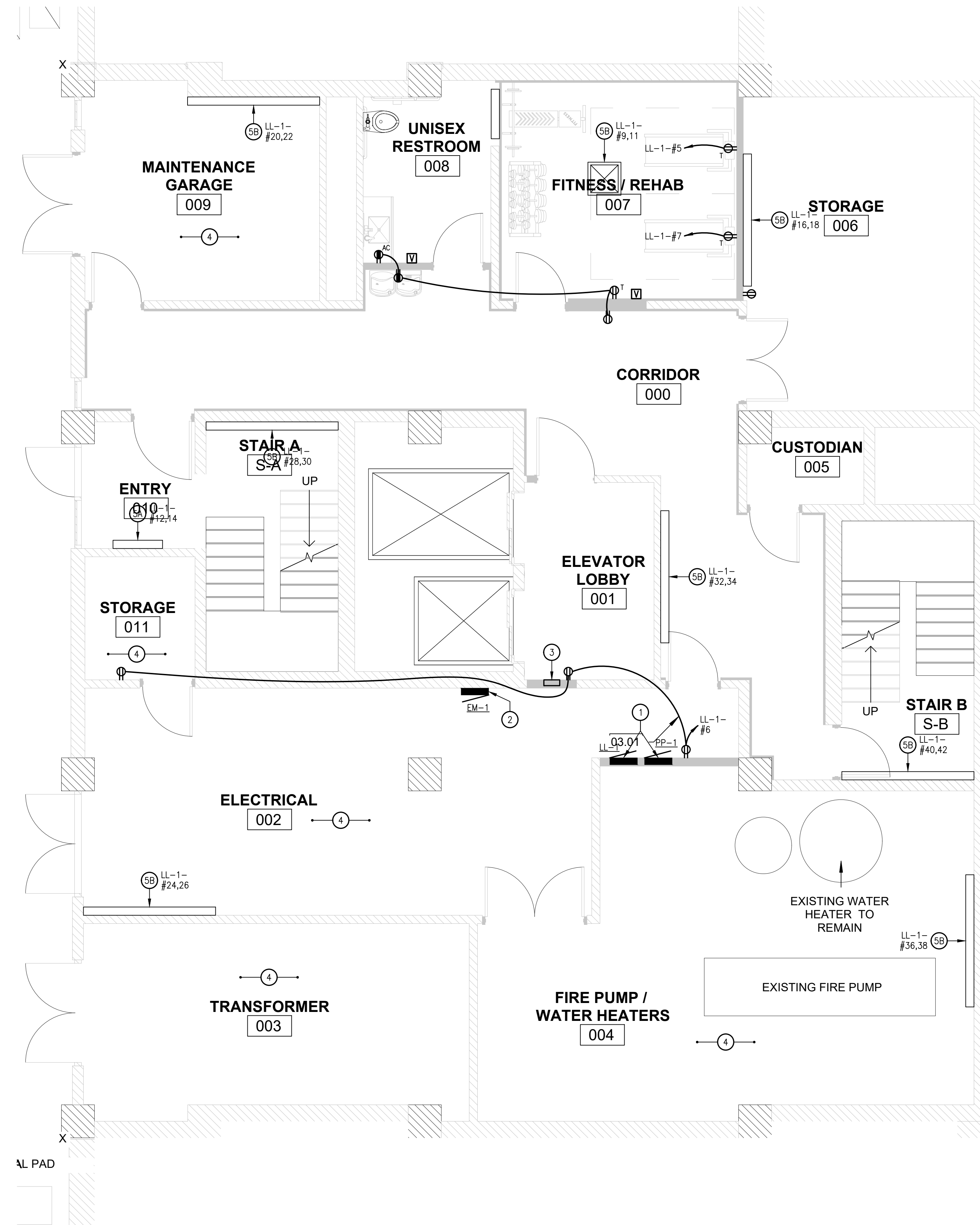
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

2ND - 15TH FLOOR AND PENTHOUSE LIGHTING PLANS
E1.02

FIELD VERIFY ALL CONDITIONS

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS' COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING, THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.

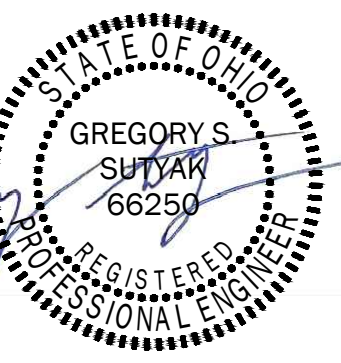


CODED NOTES

- NEW LOCATION OF CIRCUIT BREAKER PANELS REPLACING EXISTING PANELS OF THE SAME NAME IN A DEMOLISHED WALL ADJACENT TO THE CURRENT LOCATION. REWORK/EXTEND EXISTING FEEDER TO NEW LOCATION OF NEW PANEL. FOR PANEL PP-1, THERE ARE NO REVISED LOADS OR SCOPE OF WORK OTHERWISE. MATCH NEW CIRCUIT BREAKERS AND ALL RATINGS OF PANEL TO MATCH EXISTING.
- LOCATION OF A CIRCUIT BREAKER PANEL TO BE REPLACED WITH NEW, MATCHING EXISTING RATINGS UNLESS NOTED OTHERWISE ON PANEL SCHEDULES. RECONNECT EXISTING FEEDERS.
- LOCATION OF AREA OF RESCUE COMMUNICATION CALL BOX. REFER TO DIAGRAM ON DRAWING #E0.02.
- ALL EXISTING ELECTRICAL DISTRIBUTION EQUIPMENT IN THIS ROOM/AREA, UNLESS SHOWN OTHERWISE, IS EXISTING TO REMAIN. THIS INCLUDES BUT IS NOT LIMITED TO THE FIRE PUMP SERVICE, GENERATOR SERVICE, AND MAIN DISTRIBUTION SERVICE DISCONNECTS.
- BASEBOARD HEATING (0.650KW-208V-1Ø)**: PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE.
- BASEBOARD HEATING (2.018KW-208V-1Ø)**: PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE.
- INTERIOR CASSETTE MINI SPLIT UNIT (0.052KW-208V-1Ø)**: PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE.

1 LOWER LEVEL POWER & COMM. PLAN
E2.00 SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT



Copyright © 2022 LDA architects inc. This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

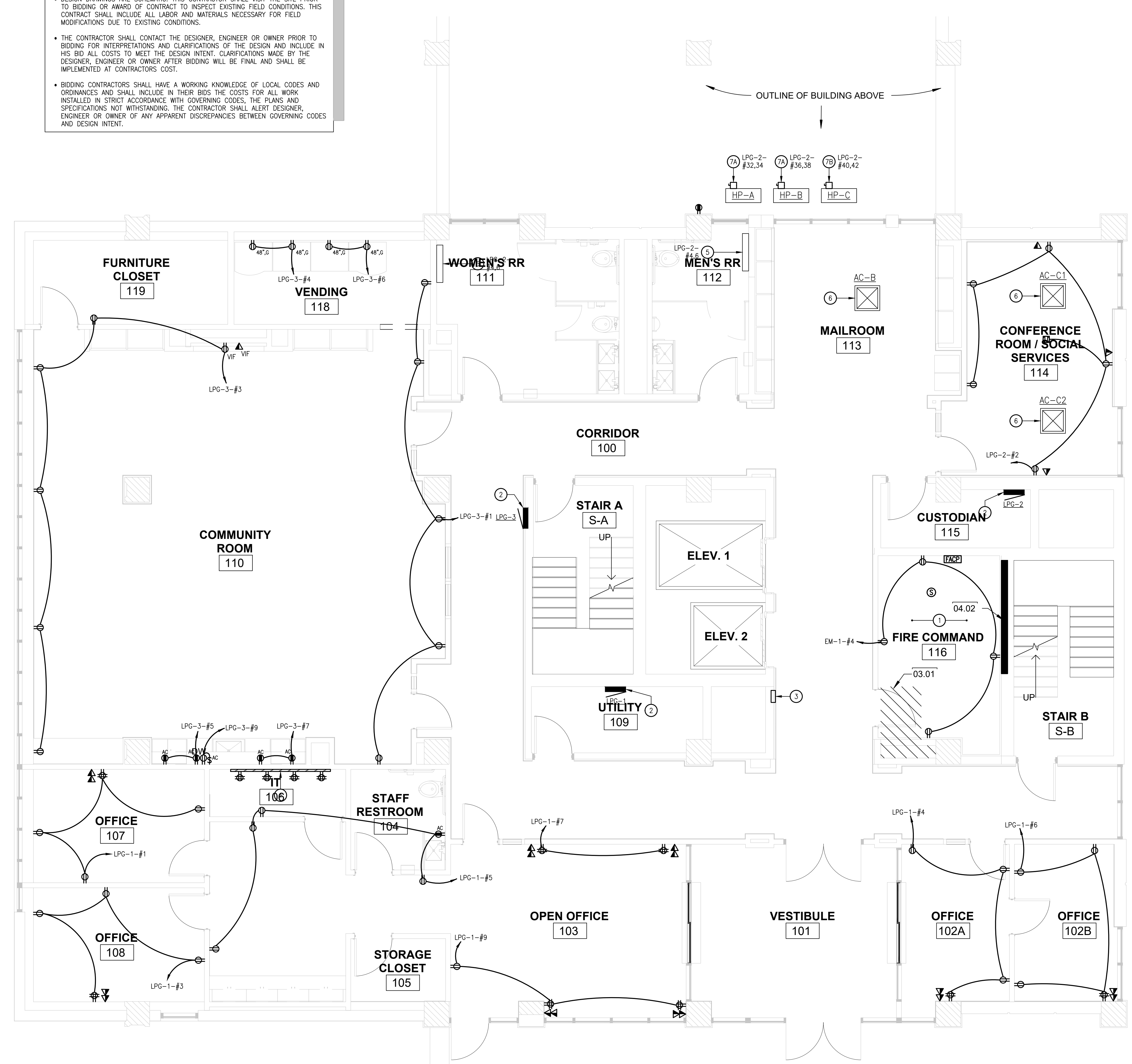
Marquette Manor - Interior and Exterior Improvements
 Cincinnati Metropolitan Housing Authority
 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT

FIELD VERIFY ALL CONDITIONS

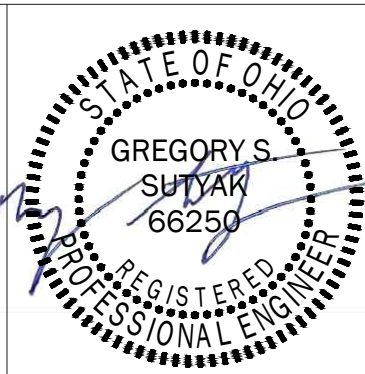
- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING, THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.



CODED NOTES

- LOCATION OF THE FIRE COMMAND CENTER. PROVIDING AND INSTALL ALL NECESSARY EQUIPMENT, DEVICES, ETC. TO ENSURE THE FIRE COMMAND CENTER IS IN FULL COMPLIANCE WITH SECTION 911.1 OF THE 2024 EDITION OF THE OHIO BUILDING CODE. RELOCATE THE EXISTING FIRE ALARM PANEL AND EXTEND ALL WIRING AS REQUIRED TO NEW ROOM. COORDINATE ALL NECESSARY PROVISIONS WITH ARCHITECT AND AHJ.
- LOCATION OF A CIRCUIT BREAKER PANEL TO BE REPLACED WITH NEW, MATCHING EXISTING RATINGS UNLESS NOTED OTHERWISE ON PANEL SCHEDULES. RECONNECT EXISTING FEEDERS. ENSURE NEW PANEL LPG-3 IS INSTALLED TO MAINTAIN FIRE RATINGS OF STAIRWELL.
- LOCATION OF AREA OF RESCUE COMMUNICATION BASE STATION. REFER TO DIAGRAM ON DRAWING #E0.02.
- PROVIDE A 8' x 4' x 3/4" THICK PLYWOOD BACKBOARD PAINTED WITH FIRE RETARDANT PAINT FOR COMMUNICATION TERMINAL BOARD (TELEPHONE, TELEVISION, ETC.). INCLUDE ALL WORK REQUIRED BY RESPECTIVE UTILITIES. PROVIDE A COPPER GROUNDING BUS AND #6 AWG GROUNDING CONDUCTOR TO SERVICE GROUNDING POINT(S) (REFER TO DETAIL ON DRAWING #E0.02). INCLUDE (4) DOUBLE DUPLEX RECEPTACLES INSTALLED AT THIS TERMINAL BOARD SERVED FROM (4) 20A-120V-1Ø DEDICATED CIRCUITS. REFER TO COMMUNICATION RISER DIAGRAM ON DRAWING #E0.02 FOR ADDITIONAL INFORMATION.
- BASEBOARD HEATING (0.650KW-208V-1Ø)**: PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE.
- INTERIOR CASSETTE MINI SPLIT UNIT (0.052KW-208V-1Ø)**: PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE. ALL UNITS ON THE FIRST FLOOR SHALL BE CONNECTED TO THE SAME CIRCUIT BREAKER (PANEL LPG-2, CIRCUIT #39.41).
- EXTERIOR MINI SPLIT UNIT (2.475KW-208V-1Ø)**: PROVIDE A 30A-2P, 240V, NEMA 3R RATED DISCONNECT SWITCH AND MOUNT AT UNIT. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE. BRANCH TO FINAL CONNECTION VIA FLEXIBLE METALLIC CONDUIT.
- EXTERIOR MINI SPLIT UNIT (3.307KW-208V-1Ø)**: PROVIDE A 30A-2P, 240V, NEMA 3R RATED DISCONNECT SWITCH AND MOUNT AT UNIT. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 20A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE. BRANCH TO FINAL CONNECTION VIA FLEXIBLE METALLIC CONDUIT.

1 FIRST FLOOR POWER & COMM. PLAN
E2.01 SCALE: 1/4" = 1'-0"



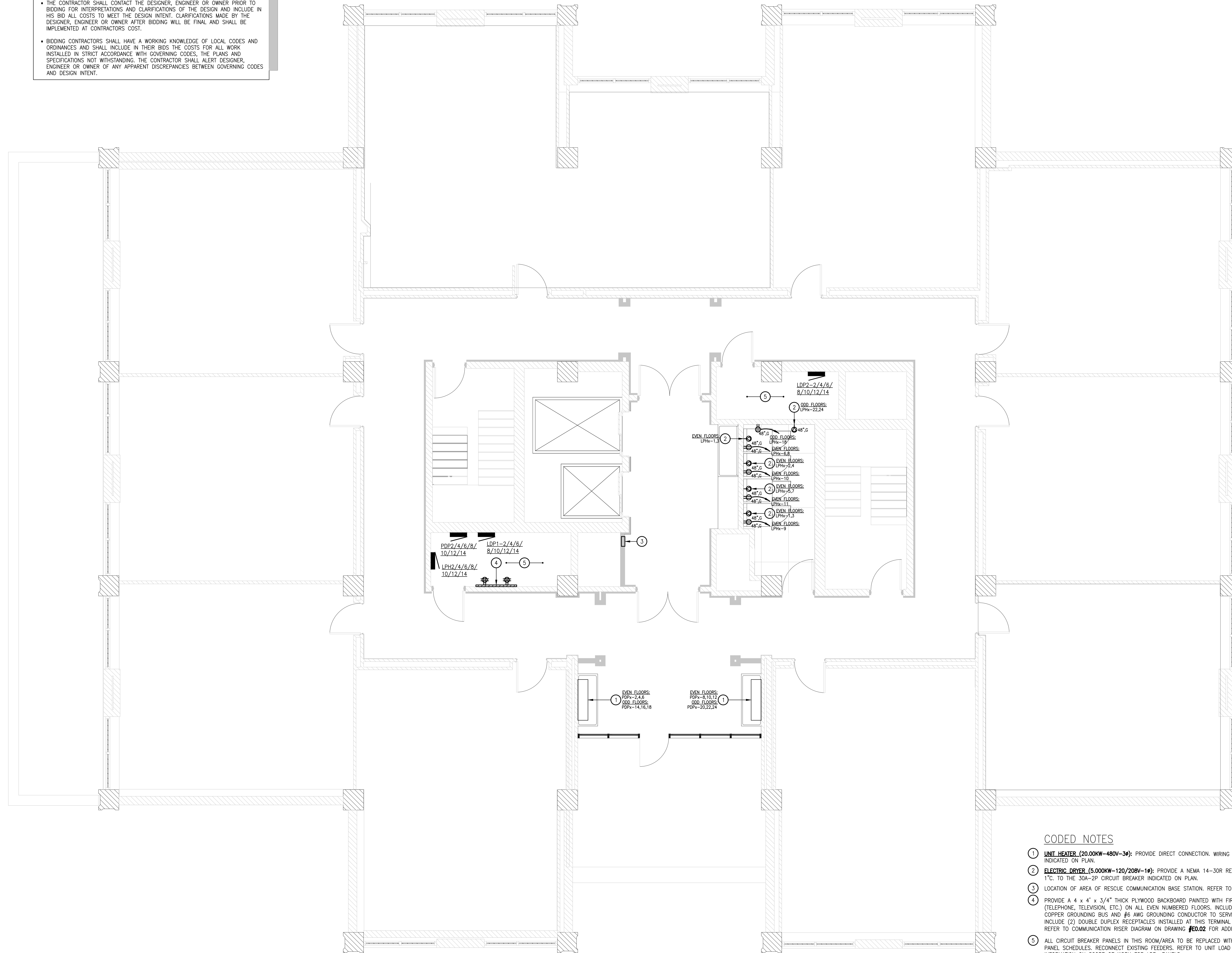
Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

REV	DATE	DESCRIPTION
	2023.12.18	ISSUED FOR 50% PACKAGE
	2024.02.02	ISSUED FOR OHFA
	2024.03.22	ISSUED FOR PERMIT

FIELD VERIFY ALL CONDITIONS

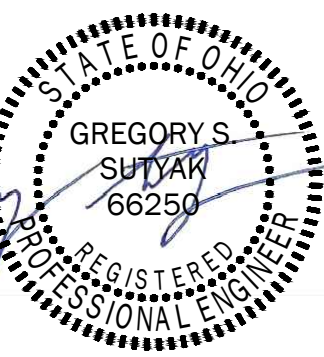
- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING, THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.



CODED NOTES

- UNIT HEATER (20,000W-480V-3Ø):** PROVIDE DIRECT CONNECTION. WIRING SHALL BE 3Ø10, 1Ø10(G), 1°C. TO THE 30A-3P CIRCUIT BREAKER INDICATED ON PLAN.
- ELECTRIC DRYER (5,000KW-120/208V-1Ø):** PROVIDE A NEMA 14-30R RECEPTACLE MOUNTED AT 48" A.F.F. WIRING SHALL BE 3Ø10, 1Ø10(G), 1°C. TO THE 30A-2P CIRCUIT BREAKER INDICATED ON PLAN.
- LOCATION OF AREA OF RESCUE COMMUNICATION BASE STATION. REFER TO DIAGRAM ON DRAWING #E0.02.
- PROVIDE A 4 x 4' x 3/4" THICK PLYWOOD BACKBOARD PAINTED WITH FIRE RETARDANT PAINT FOR COMMUNICATION TERMINAL BOARD (TELEPHONE, TELEVISION, ETC.) ON ALL EVEN NUMBERED FLOORS. INCLUDE ALL WORK REQUIRED BY RESPECTIVE UTILITIES. PROVIDE A COPPER GROUNDING BUS AND #6 AWG GROUNDING CONDUCTOR TO SERVICE GROUNDING POINT(S) (REFER TO DETAIL ON DRAWING #E0.02). INCLUDE (2) DOUBLE DUPLEX RECEPTACLES INSTALLED AT THIS TERMINAL BOARD SERVED FROM (2) 20A-120V-1Ø DEDICATED CIRCUITS. REFER TO COMMUNICATION RISER DIAGRAM ON DRAWING #E0.02 FOR ADDITIONAL INFORMATION.
- ALL CIRCUIT BREAKER PANELS IN THIS ROOM/AREA TO BE REPLACED WITH NEW, MATCHING EXISTING RATINGS UNLESS NOTED OTHERWISE ON PANEL SCHEDULES. RECONNECT EXISTING FEEDERS. REFER TO UNIT LOAD CENTER RISER DIAGRAM ON SHEET #E0.03 FOR ADDITIONAL INFORMATION ON SCOPE OF WORK FOR LDPx PANELS.

1 TYPICAL 2ND THROUGH 15TH FLOOR POWER & COMM. PLAN
E2.02 SCALE: 1/4" = 1'-0"



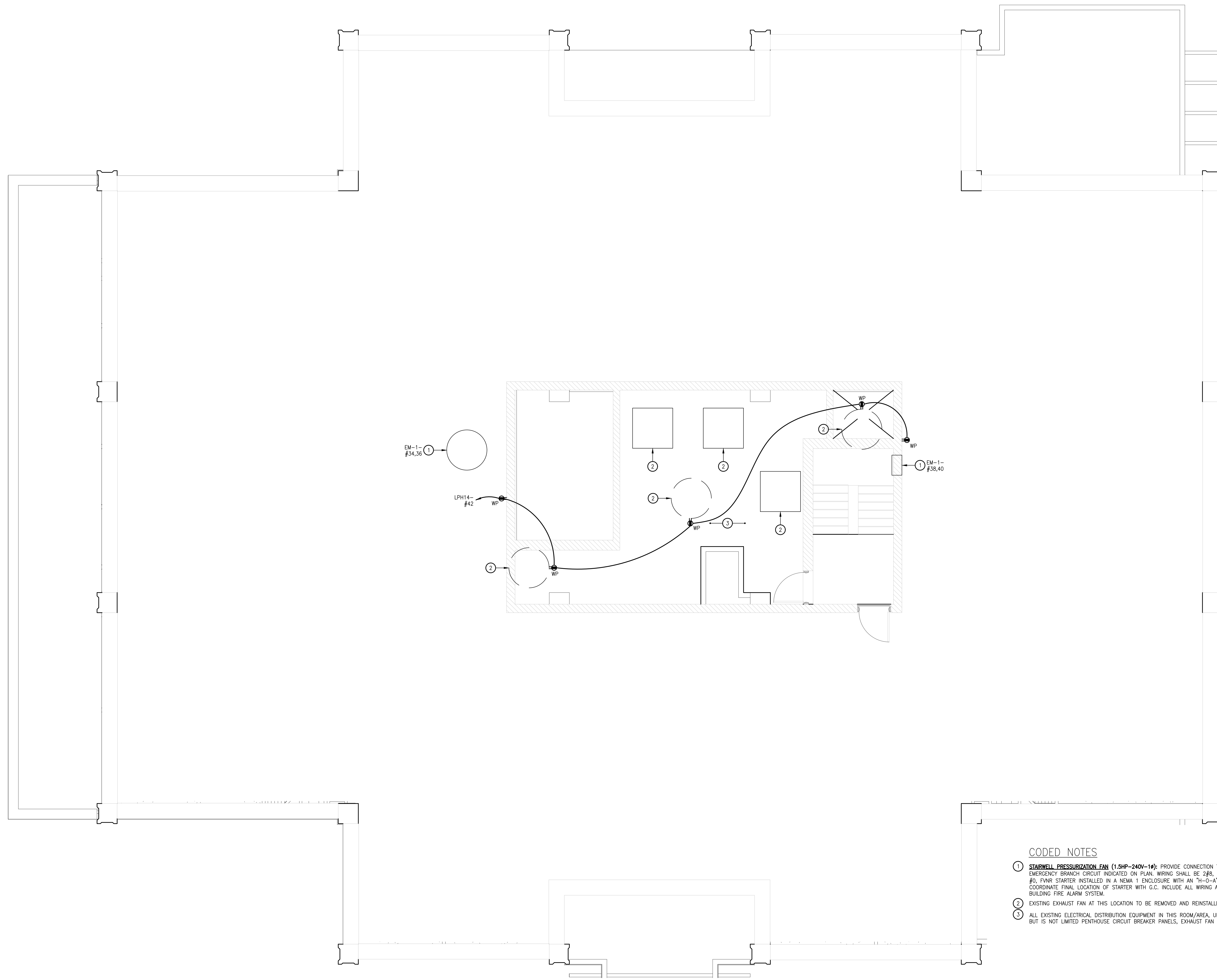
Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc. (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

2ND - 15TH FLOOR POWER & COMMUNICATION PLAN
E2.02

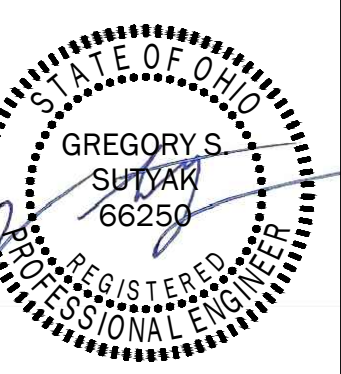
REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT



CODED NOTES

- ① **STARWELL PRESSURIZATION FAN (1.5HP-240V-1P)**: PROVIDE CONNECTION TO DISCONNECT SWITCH PROVIDED WITH FAN, BY M.C. CONNECT TO EMERGENCY BRANCH CIRCUIT INDICATED ON PLAN. WIRING SHALL BE 2#8, 1#10(G), 1" C. TO ACCOUNT FOR VOLTAGE DROP. PROVIDE A SIZE #0, FVNR STARTER INSTALLED IN A NEMA 1 ENCLOSURE WITH AN "H-O-A" SWITCH AND TWO SETS OF "N-G/N-C" AUXILIARY CONTACTS. COORDINATE FINAL LOCATION OF STARTER WITH G.C. INCLUDE ALL WIRING AND OTHER COMPONENTS FOR INTERCONNECTION AND CONTROL TO BUILDING FIRE ALARM SYSTEM.
- ② EXISTING EXHAUST FAN AT THIS LOCATION TO BE REMOVED AND REINSTALLED WITH NEW, BY M.C. RECONNECT EXISTING BRACH CIRCUITING.
- ③ ALL EXISTING ELECTRICAL DISTRIBUTION EQUIPMENT IN THIS ROOM/AREA, UNLESS SHOWN OTHERWISE, IS EXISTING TO REMAIN. THIS INCLUDES BUT IS NOT LIMITED PENTHOUSE CIRCUIT BREAKER PANELS, EXHAUST FAN DISCONNECTS, AND ELEVATOR EQUIPMENT.

1 PENTHOUSE AND ROOF LEVEL POWER & COMM. PLAN
E2.03 SCALE: 1/4" = 1'-0"



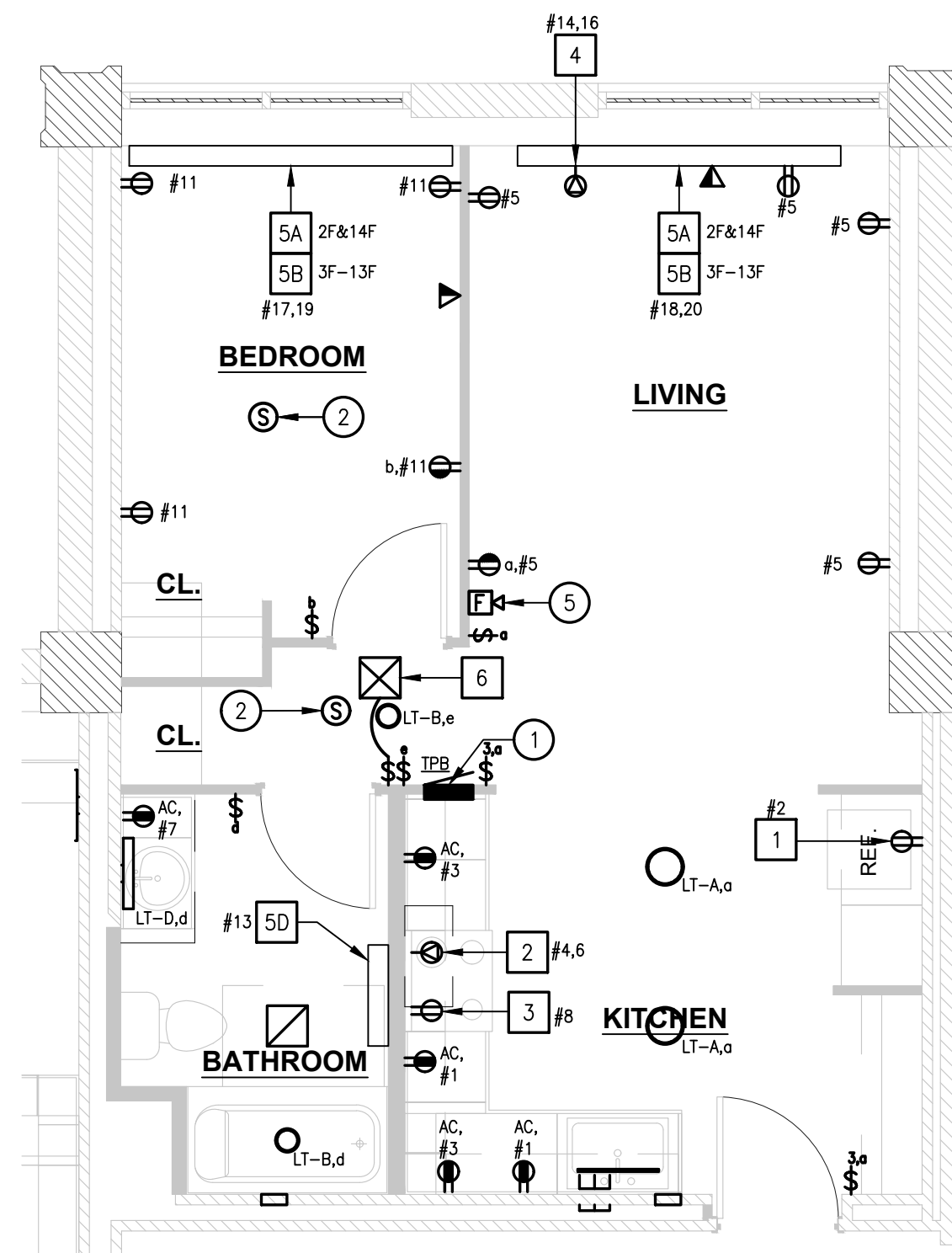
Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

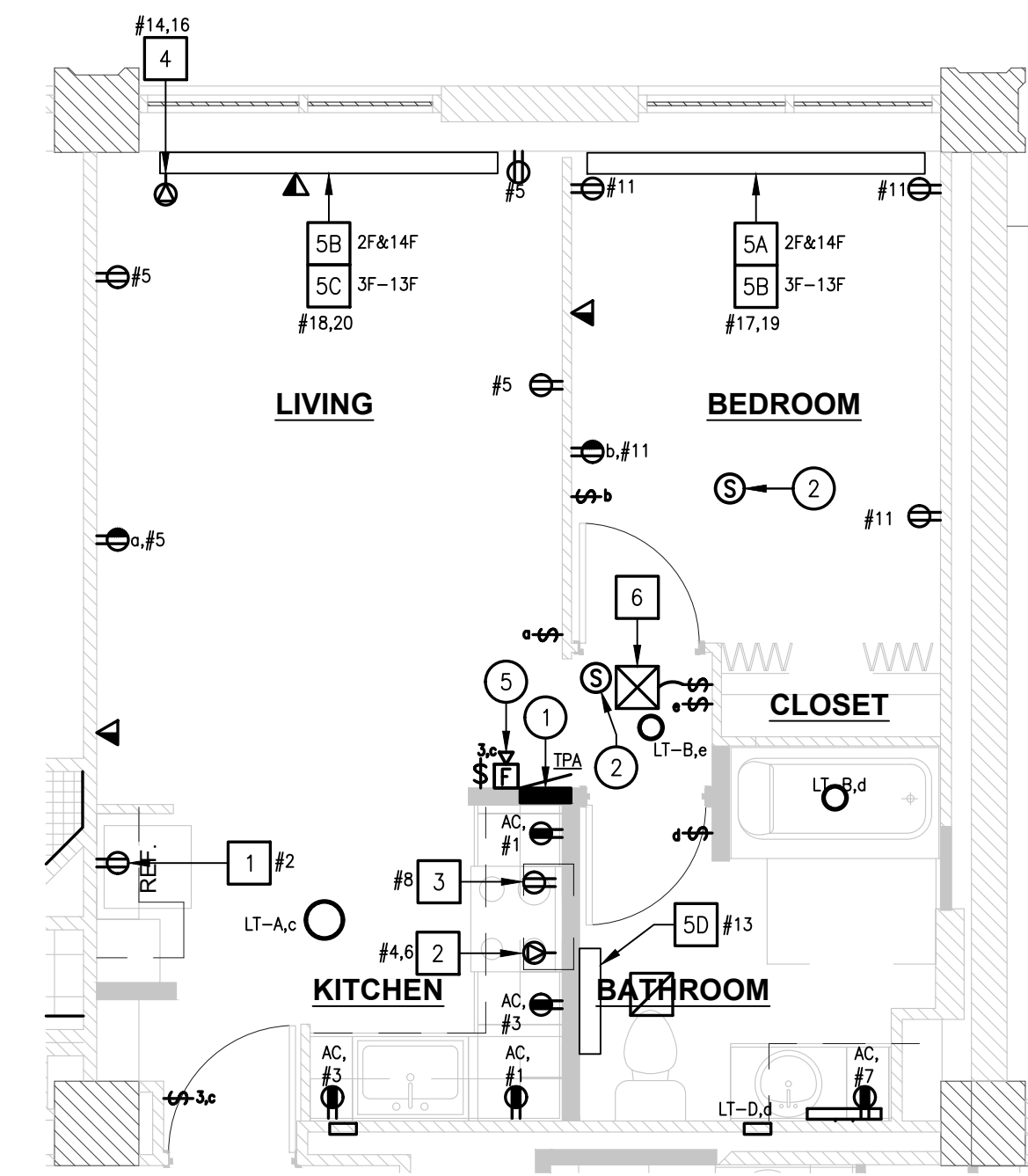
LDA Project No.23.47

PENTHOUSE & ROOF POWER & COMMUNICATION PLAN
E2.03

REV	DATE	DESCRIPTION
2023.12.18		ISSUED FOR 50% PACKAGE
2024.02.02		ISSUED FOR OHFA
2024.03.22		ISSUED FOR PERMIT



1 TYPICAL UNIT 1A ELECTRICAL PLAN
E3.01 SCALE: 1/4" = 1'-0"



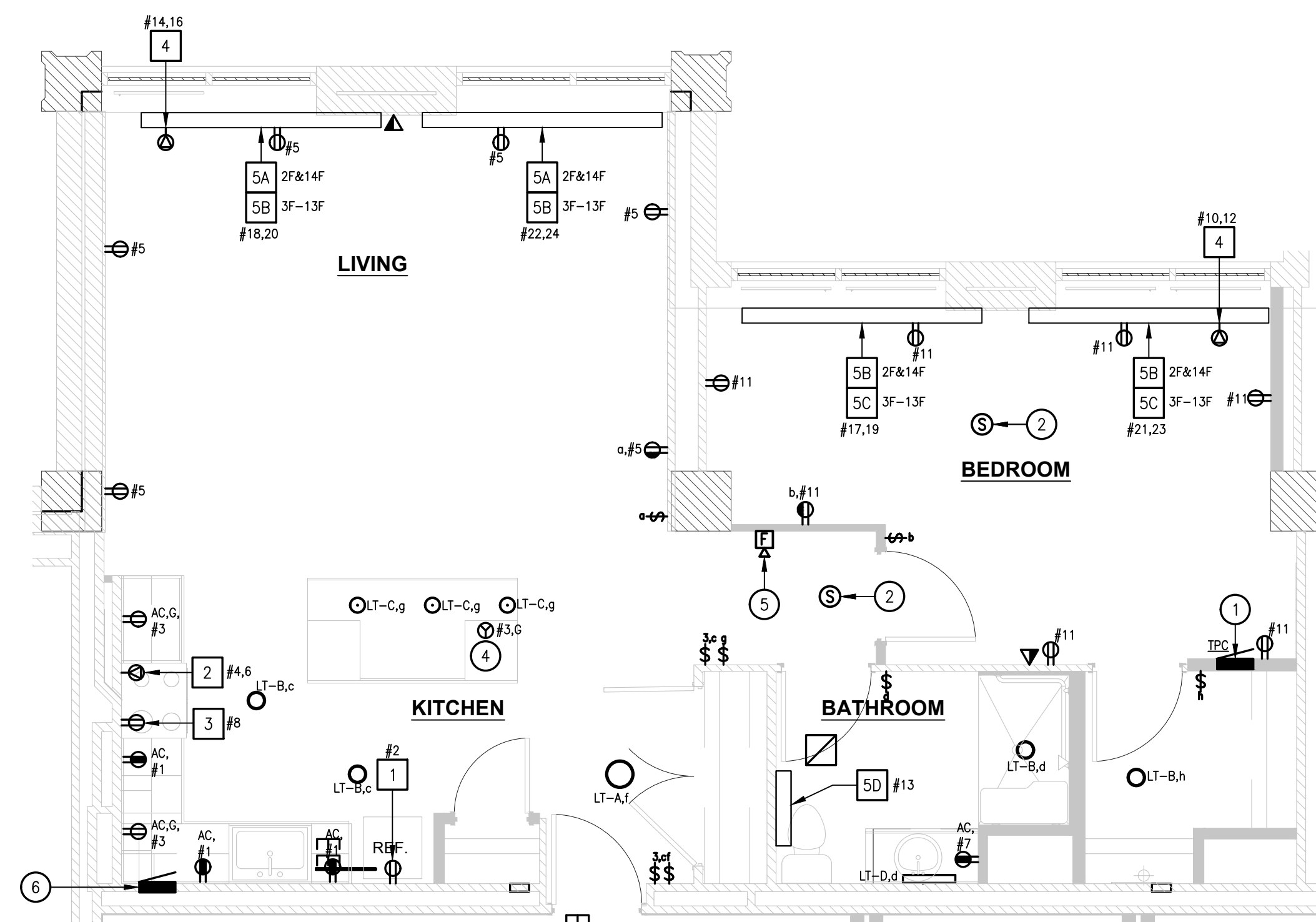
2 TYPICAL UNIT 1B ELECTRICAL PLAN
E3.01 SCALE: 1/4" = 1'-0"

GENERAL DWELLING UNIT ELECTRICAL PLAN NOTES

- ALL LIGHT FIXTURES, CEILING FANS, BATHROOM/KITCHEN EXHAUST FANS, AND SMOKE/COMBINATION SMOKE AND CO ALARMS SHALL BE CONNECTED TO CIRCUIT #9 IN RESPECTIVE UNIT LOAD CENTER UNLESS SHOWN OTHERWISE.
- REFER TO SHEET #E3.00 FOR ALL UNIT DETAILS, INCLUDING APPLIANCE SCHEDULES.
- FLOOR RECEPTACLES MAY BE INSTALLED IN LIEU OF WALL RECEPTACLES SHOULD WINDOWS/GLAZING OR SLIDING DOOR RECESSED POCKETS INTERFERE WITH WALL MOUNTING AT ANY LOCATION WITHIN THE DWELLING UNIT. FLOOR RECEPTACLES SHALL BE INSTALLED WITHIN 18" OF WINDOWS/WALLS OR PER NEC #210.52(A)(3).

FIELD VERIFY ALL CONDITIONS

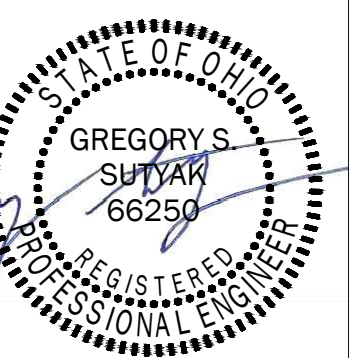
- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING. THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.



3 TYPICAL UNIT 1C ELECTRICAL PLAN
E3.01 SCALE: 1/4" = 1'-0"

CODED NOTES

- LOCATION OF NEW TENANT CIRCUIT BREAKER LOAD CENTER. REFER TO TYPICAL UNIT CIRCUIT BREAKER PANEL SCHEDULE ON SHEET #E3.00 FOR ADDITIONAL INFORMATION. ALL LIVING AREA BRANCH CIRCUITS SHALL BE PROVIDED WITH ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IN ACCORDANCE WITH N.E.C. ARTICLE #210.12(A). PROVIDE A TYPE 1 OR 2 SURGE PROTECTIVE DEVICE (SPD) AND INSTALL IN EACH LOAD CENTER IN ACCORDANCE WITH NEC #215.16. TYPICALLY SIEMENS "FIRSTSURGE" SERIES. THE KVAIC RATING OF THE SPD SHALL NOT BE LESS THAN 10KVAIC, AND NOT LESS THAN THE RATING OF THE LOAD CENTER AS SHOWN ON THE PANEL SCHEDULE. ENSURE THE ENCLOSURE OF THE LOAD CENTER IS CAPABLE OF HOUSING THE SPD. INCLUDE NECESSARY CIRCUIT BREAKER FOR REFERENCE VOLTAGE OR OTHER REQUIREMENTS. REMOVE EXISTING CONDUCTORS BACK TO DISTRIBUTION PANEL, AND ROUTE NEW AS DESCRIBED ON PARTIAL POWER RISER ON SHEET E.D.03. EXTEND EXISTING CONDUIT AS REQUIRED TO NEW LOAD CENTER LOCATIONS, OR ROUTE NEW IF THE EXISTING CONDUIT IS UNDERSIZED IN ACCORDANCE WITH NEC TABLES.
- PROVIDE MULTIPLE STATION, SELF-RESTORING TYPE SMOKE ALARM(S) (COMBINATION SMOKE ALARM/CARBON MONOXIDE ALARM WHERE NOTED WITH "CO") WITH INTEGRAL BATTERY BACK-UP AND TANDEM WIRING CAPABILITY. PROVIDE CIRCUIT BREAKER "LOCK-ON" CLIP AND CONNECT TO DWELLING UNIT LIGHTING CIRCUIT INDICATED ON PANEL SCHEDULES ON SHEET #E3.00. DETECTORS SHALL BE WIRED SUCH THAT UPON ACTIVATION OF (1) DETECTOR, ALL OTHER DETECTORS IN THE UNIT ARE INITIATED. REFER TO WIRING DIAGRAM ON SHEET #E3.00.
- LOCATION OF STRUCTURED MEDIA ENCLOSURE "SME". REFER TO DETAIL ON DRAWING #E3.00 FOR ADDITIONAL INFORMATION. PROVIDE POWER FROM NEAREST LIVING AREA BRANCH CIRCUIT.
- COORDINATE FINAL LOCATION OF ISLAND/PENINSULA COUNTER RECEPTACLE WITH MILLWORK DRAWINGS AND G.C. IN FIELD. INCLUDE ALL WORK ASSOCIATED WITH CORE DRILLING OF COUNTERTOP TO MOUNT DEVICE. THIS RECEPTACLE SHALL BE PROTECTED BY A GFCI-TYPE CIRCUIT BREAKER.
- THIS FIRE ALARM DEVICE SHALL BE CONNECTED TO THE BASE BUILDING FIRE ALARM SYSTEM. VERIFY FINAL LOCATION WITH A.H.J. AND FIRE MARSHAL.
- LOCATION OF A SECOND, EXISTING LOAD CENTER IN THIS UNIT TYPE ONLY. REMOVE THE LOAD CENTER AND ALL EXISTING BRANCH CIRCUITING AND THE SERVING FEEDER BACK TO SOURCE.



Copyright © 2022 LDA architects Inc.
This drawing and subject matter thereon, as well as associated specifications, constitute the original and unpublished work of, and are the instruments of service of, LDA architects, Inc (LDA). For use solely with respect to this project. These instruments remain the exclusive property of LDA, who shall retain all common law, statutory and other reserved rights, including the copyright therein, and may not be used, reproduced, copied, or altered, in whole or in part, for any purpose of project without the written consent of LDA.

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

TYPICAL DWELLING UNIT
ELECTRICAL PLANS
E3.01