MARQUETTE MANOR APARTMENTS

INTERIOR & EXTERIOR IMPROVEMENTS

1999 SUTTER AVENUE, CINCINNATI, 45225

DRAWING LIST

DESCRIPTION 01 TITLE AND CODE DRAWINGS **COVER SHEET** CODE DATA & LIFE SAFETY **ACCESSIBILITY STANDARDS** 02 SITE PLANS DEMOLITION SITE PLAN PROPOSED SITE PLAN AS.03 ENLARGED SITE PLAN - NORTH PARKING LOT AS.04 SITE DETAILS SITE DETAILS PROPOSED LANDSCAPE PLANS LANDSCAPE DETAILS 03 ARCHITECTURAL DEMOLITION DRAWINGS OVERALL BASEMENT LEVEL DEMOLITION PLAN OVERALL GROUND FLOOR DEMOLITION PLAN D1.03 OVERALL 2ND-15TH FLOOR DEMOLITION PLAN 04 ARCHITECTURAL DRAWINGS OVERALL BASEMENT LEVEL PLAN - PROPOSED OVERALL GROUND FLOOR PLAN - PROPOSED OVERALL 2ND - 15TH FLOOR PLAN - PROPOSED OVERALL PENT HOUSE LEVEL PLAN **EXTERIOR ELEVATIONS - NORTH AND EAST EXTERIOR ELEVATIONS - SOUTH AND WEST** ENLARGED EXTERIOR ELEVATIONS **ENLARGED EXTERIOR ELEVATIONS - STOREFRONTS** TYPICAL STOREFRONT DETAILS BUILDING SECTION BUILDING SECTION PROPOSED CANOPY PLANS

PROPOSED CANOPY ELEVATIONS AND DETAILS PROPOSED CANOPY PLANS OVERALL BASEMENT LEVEL REFLECTED CEILING PLAN OVERALL GROUND FLOOR REFLECTED CEILING PLAN OVERALL 2ND FLOOR - PENTHOUSE LEVEL REFLECTED CEILING PLAN INTERIOR DETAILS INTERIOR DETAILS INTERIOR DETAILS ENLARGED UNIT PLAN- 1A **ENLARGED UNIT PLAN - 1B ENLARGED UNIT PLAN - 1C** BASEMENT FINISH PLAN **GROUND FLOOR FINISH PLAN** 2ND - 15TH FLOOR FINISH PLAN COMMON AREA INTERIOR ELEVATIONS COMMON AREA INTERIOR ELEVATIONS **ENLARGED RESTROOM PLANS**

INTERIOR SCHEDULES SIGNAGE DETAILS BASEMENT SIGNAGE PLAN FIRST FLOOR SIGNAGE PLAN 2ND - 15TH FLOOR SIGNAGE PLAN PENTHOUSE SIGNAGNE & SIGNAGE DETAILS STRUCTURAL DRAWINGS **GENERAL NOTES** FOUNDATION PLAN SPECIAL INSPECTIONS **ENLARGED CANOPY PLANS ENLARGED CANOPY PLANS** TYPICAL FOUNDATION DETAILS & SECTIONS S211 TYPICAL FOUNDATION DETAILS & SECTIONS

TYPICAL FRAMING DETAILS & SECTIONS

DOOR SCHEDULES AND DETAILS

INTERIOR SCHEDULES

PLUMBING DRAWINGS

PLUMBING SPECIFICATIONS PLUMBING SCHEDULES & DETAILS PLUMNBING STACK AND RISER DIAGRAMS BASEMENT PLUMBING PLAN **GROUND FLOOR PLUMBING PLAN** TYPICAL FLOORS 2-15 PLUMBING PLAN TYPICAL UNIT PLUMBING PLAN MECHANICAL DRAWINGS MECHANICAL SPECIFICATIONS MECHANICAL SCHEDULES & DETAILS M1.01 BASEMENT MECHANICAL PLAN M1.02 GROUND FLOOR MECHANICAL PLAN M1.03 TYPICAL FLOORS 2-15 MECHANICAL PLAN PENTHOUSE MECHANICAL PLAN M2.01 TYPICAL UNIT MECHANICAL PLAN

ELECTRICAL DRAWINGS

E1.00

ELECTRICAL SITE PLAN ELECTRICAL SPECIFICATIONS ELECTRICAL SPECIFICATIONS LIGHTING DETAILS AND POWER RISER DIAGRAM E0.04 PANEL SCHEDULES

LOWER LEVEL LIGHTING PLAN

GENERAL NOTES

GENERALER DESCRIPTION

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES, FIRE SAFETY CODES AND REGULATIONS, BUT NOT LIMITED TO, THE OHIO BUILDING THESE DOCUMENTS AND RELATED CODES OR REGULATIONS NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING

2. PROVIDE MEANS NECESSARY TO PROTECT THE STRUCTURE IN ALL RESPECTS FROM THE WEATHER, BUILDING HAZARDS, UNNECESSARY INTRUSIONS, AND FROM DUST, DIR1 AND DEBRIS.

3. MAKE ARRANGEMENTS IN 72 HOURS MINIMUM IN ADVANCE WITH THE OWNER FOR ANY INTERRUPTIONS OF UTILITY SERVICE

4. EACH CONTRACTOR AND VENDOR SHALL INSPECT THE SITE & BECOME FAMILIAR WITH ALL CONDITIONS AND CLEARANCES PRIOR TO SUBMITTING A PROPOSAL.

5. ARCHITECT TO SUBMIT FOR GENERAL PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.

6. ALL WORK SHALL BE COMPLETED IN A FIRST CLASS MANNER TO BETTER THAN ACCEPTED INDUSTRY STANDARDS.

7. SHOULD ANY OF THE DETAILED INSTRUCTIONS ON THE DRAWINGS CONFLICT WITH THE NOTES OR SPECIFICATIONS OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL APPLY. ANY SUCH CONFLICT SHALL BE REPORTED TO THE ARCHITECT AS A FORMAL RFI (REQUEST FOR INFORMATION) AS INDICATED IN THE SPECIFICATIONS.

8. ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR SITUATIONS THROUGHOUT THE STRUCTURE UNLESS SPECIFICALLY NOTED OTHERWISE.

9. THE CONTRACTOR SHALL VERIFY ALL RELEVANT DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE AFFECTED WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.

10. EACH CONTRACTOR SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH THE PLUMBING, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS BEFORE PROCEEDING WITH THE WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY IN A FORMAL RFI (REQUEST FOR INFORMATION) AS INDICATED IN THE

11. THE TERM "FURNISH" SHALL MEAN TO OBTAIN AND SUPPLY TO THE JOB SITE. THE TERM "INSTALL" MEANS TO FIX IN POSITION AND CONNECT FOR USE. THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL.

12. ALL ARRANGEMENTS FOR CONSTRUCTION PERSONNEL ENTERING THE SITE DURING WORK HOURS, DELIVERY OF MATERIALS, REMOVAL OF DEBRIS, PARKING, ETC. SHOULD BE MADE WITH THE GENERAL CONTRACTOR

13. ALL CONTRACTORS AND SUBCONTRACTORS FOR THE WORK OF THIS CONTRACT SHALL BE PROPERLY LICENSED AND REGISTERED IN ACCORDANCE WITH THE REGULATIONS OF LOCAL AND STATE CODES.

14. ALL DRAWINGS AND SPECIFICATIONS PREPARED AS PART OF THIS COMMISSION ARE THE PROPERTY OF LDA ARCHITECTS, INC. AND WILL NOT BE TRANSFERRED OR USED ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT.

15. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE GENERAL CONTRACTOR. ALL AREAS OF THE PROJECT SHALL BE FINISHED AND READY FOR OCCUPANCY AND INCLUDE SUCH ITEMS AS HARDWARE, ACCESSORIES, PAINTING, AND ETC. WHETHER SPECIFIED OR NOT

16. AT ALL TIMES WHEN WORK IS IN PROGRESS, A REPRESENTATIVE OF THE CONTRACTOR OR SUB-CONTRACTOR SHALL BE ON THE SITE AND AUTHORIZED TO ANSWER QUESTIONS OR RECEIVE INSTRUCTIONS FROM THE OWNER OR ARCHITECT

17. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL PROVIDE A COPY OF PROOF OF INSURANCE TO THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK

18. THE CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, ETC. AS A CONDITION FOR FINAL PAYMENT.

19. THE CONTRACTOR SHALL GUARANTEE THAT ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR OR LONGER AS INDICATED IN DRAWINGS AND SPECIFICATIONS FOLLOWING COMPLETION OF ALL WORK AND THAT ALL DEFECTS ARISING WITHIN THIS PERIOD OF TIME SHALL BE CORRECTED, REPAIRED, OR REPLACED WITHIN 30 DAYS OF NOTIFICATION OF SUCH DEFECTS BY OWNER.

20. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING, COORDINATING, AND COMPLYING WITH THE FULL SET OF DRAWINGS, SPECIFICATIONS, AND ADDENDA.

21. THE APPLICABLE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR THE VERIFICATION AND LOCATION OF UNDERGROUND UTILITIES, FACILITIES, AND EQUIPMENT. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY PROTECTION SERVICE AS REQUIRED IN ADVANCE OF THE COMMENCEMENT OF UNDERGROUND UTILITIES WORK.

22. ALL PRODUCTS SPECIFIED IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE THE BASIS OF DESIGN. OTHER PRODUCTS THAT MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF THE BASIS OF DESIGN ARE ACCEPTABLE IF DOCUMENTATION IS PROVIDED SHOWING COMPLIANCE.

1. THE EXTENT OF DEMOLITION IS GENERALLY DESCRIBED. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE THE INSTALLATION OF THE PROPOSED WORK.

2. BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW CONSTRUCTION UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS.

3. EACH CONTRACTOR AND VENDOR SHALL COORDINATE AND COOPERATE WITH OTHER TRADES. SCHEDULE ALL WORK THROUGH THE GENERAL CONTRACTOR.

4. PIPES, CONDUIT, AND DUCTWORK ENCOUNTERED IN DEMOLISHED PARTITIONS AND CEILINGS WHICH ARE TO REMAIN SHALL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE ABANDONED SHALL BE CAPPEDAND CONCEALED IN THE FLOOR, WALLS, OR CEILING.

5. CONTRACTOR IS RESPONSIBLE TO FIRESTOP NEWLEY ENCOUNTERED PIPES AND CONDUITS DUE TO DEMOLITION THAT WERE NOT PREVIOUSLY EXPOSED AND ARE NOT CURRENTLY FIRESTOPPED.

6. REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY DEMOLITION. REPAIR TO MATCH ADJACENT CONSTRUCTION.

7. SALVAGEABLE MATERIALS TO BE REMOVED AND TURNED OVER TO THE OWNER SHALL BE IDENTIFIED BY THE OWNER AND/OR ARCHITECT PRIOR TO THE BEGINNING OF WORK AND ARE TO BE STORED ON SITE AT A LOCATION DESIGNATED BY THE OWNER

8. ANY PROJECTING OR SURFACE MOUNTED ITEMS NOT PART OF WORK AND/OR ABANDONED SHALL BE REMOVED. CONTRACTOR TO PATCH AND FILL HOLES AND PENETRATIONS TO

9. CLEAN AND PREPARE ALL SURFACES TO ACCEPT NEW WORK. THIS INCLUDES PATCHING AND REPAIRING ALL PENETRATIONS FROM REMOVED DUCTWORK, VENTS, DOOR FRAMES,

ETC. ALL PATCHING AND NEW DRYWALL TO BE FLUSH AND MATCH EXISTING.

FLOOR PLANS AND FINISHES

1. ALIGN NEW WALLS WITH EXISTING, PATCH TO CREATE A SMOOTH SEAMLESS SURFACE.

2. INTERIOR DIMENSIONS ARE TO FINISH FACE UNLESS NOTED OTHERWISE. DIMENSIONS TO OPENINGS ARE TO CENTER OF OPENING. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THE EXISTING CONDITIONS. CONSTRUCTION DIMENSIONS. AND CLEARANCES. DO NOT SCALE DRAWINGS.

3. ALL CONTRACTORS TO ENSURE FIRE SEPARATION RATINGS AND FIRE STOPPING AS SPECIFIED BY CODE. WHERE EACH TRADE PENETRATES A TENANT SEPARATION WALL, THAT TRADE WILL BE RESPONSIBLE TO SEAL TIGHT OPENINGS WITH MATERIAL TO MATCH THE FIRE RESISTANCE RATING OF THE IN-PLACE CONSTRUCTION. ALL CONCEALED SPACES TO HAVE FIRE STOPPING AND/OR DRAFT STOPPING BETWEEN FLOORS AND/OR UNITS.

4. ALL NEW DRYWALL WALLS AND CEILINGS ARE TO RECEIVE A LEVEL 4 FINISH, PER ASTM C840 STANDARDS.

5. PROVIDE MOISTURE AND MOLD RESISTANT NON-PAPER FACE WALL BOARD AT ALL WET LOCATIONS (BATHROOMS AND KITCHENS) WALLS AND CEILINGS. PROVIDE CEMENT BOARD BEHIND ALL TILE LOCATIONS.

6. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL FIELD DIMENSIONS WITH COUNTERTOPS AND CABINETS.

7. COORDINATE ALL SELECTED FINISHES WITH ARCHITECT. A PHYSICAL SAMPLE MUST BE SUBMITTED FOR FINAL APPROVAL BEFORE INSTALLATION.

8. PAINT FINISHES: FLAT FINISH FOR CEILINGS AND SOFFITS, SEMI-GLOSS FINISH FOR TRIM, AND EGGSHELL FINISH FOR ALL WALLS, TYPICAL.

DRAWING LIST (CONTINUED)

NUMBER DESCRIPTION

E1.01 FIRST FLOOR LIGHTING PLAN E1.02 2ND-15TH FLOOR AND PENTHOUSE LIGHTING PLANS

E2.00 LOWER LEVEL POWER & COMMUNICATION PLAN E2.01 FIRST FLOOR POWER & COMMUNICATION PLAN E2.02 2ND-15TH FLOOR POWER & COMMUNICATION PLAN

E2.03 PENTHOUSE & ROOF POWER AND COMMUNICATION PLAN E3.00 TYPICAL DWELLING UNIT ELECTRICAL DETAILS E3.01 TYPICAL DWELLING UNIT ELECTRICAL PLANS

PROJECT DIRECTORY

CINCINNATI METROPOLITAN HOUSING AUTHORITY **1627 WESTERN AVENUE** CINCINNATI, OHIO 45214

ARCHITECT: LDA ARCHITECTS, INC. 5000 EUCLID AVENUE SUITE 104 CLEVELAND, OHIO 44103 PHONE: (216) 932- 1890

PHONE: (513) 721-4580

MEP ENGINEER: WHS ENGINEERING 2012 WEST 25TH STREET, SUITE 512 CLEVELAND, OHIO 44113 PHONE: (216) 227-8505

STRUCTURAL ENGINEER: SHAEFER 537 EAST PETE ROSE WAY, SUITE 400 CINCINNATI, OHIO 45202 PHONE: (513) 542-3300

PROJECT INFORMATION

PROJECT NAME: MARQUETTE MANOR

ADDRESS: 1999 SUTTER AVE., CINCINNATI, OH 45225

HEIGHT: 2 STORY PENTHOUSE & 15 STORY APARTMENT BUILDING

BUILDING COUNT: 1 TOTAL

UNIT COUNT: 140 UNITS

UNIT MIX: 126 (1BR), 14 (1BR ADA)

BUILDING INFORMATION:

UNIT TYPE(S)	*UNIT AREA	QUANTITY	**ACCESSIBLE UNIT(S)	A/V UNIT(S)
TYPE: 1A	548 SF	84	0	3
TYPE: 1B	593 SF	42	0	0
TYPE: 1C	1024 SF	14	14	0
TOTAL:	85,274 SF	140	14	3

***GROSS SQUARE FOOTAGE

BASEMENT= FIRST FLOOR= SECOND- FIFTEEN PENTHOUSE LEVEL 1= PENTHOUSE LEVEL 2=	3,539 5,705 8,656 PER FLOOR X 14 FLOORS 905 <u>905</u>	
TOTAL:	132,238 SF	

*UNIT AREAS ARE BASED ON BOMA STANDARD METHOD A (NET) LEASED UNITS *** PROJECT GROSS AREA BASED ON BOMA STANDARD PLAN A GROSS AREA

ACCESSIBLE UNIT LOCATIONS: #205, #305, #405, #505, #605, #705 #805, #905, #1005, #1105, #1205, #1305, #1405, #1505

AUDIO / VISUAL UNIT LOCATIONS: #309, #709, #1409

SITE INFORMATION:

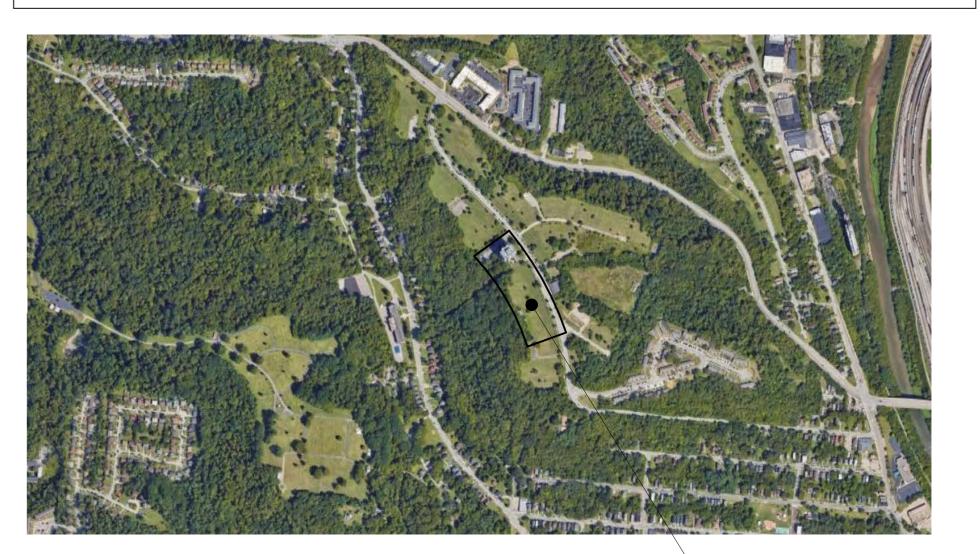
LOT SIZE: 4.38 ACRES PARCEL #: 020600010234 CURRENT USE: R-2 PROPOSED USE: R-2

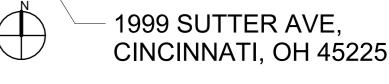
EXISTING PARKING: STANDARD PARKING SPACES: 30 **ACCESSIBLE PARKING SPACES: 8** PROPOSED PARKING: (SEPERATE PERMIT) STANDARD PARKING SPACES: 88 ACCESSIBLE PARKING SPACES: 4

TOTAL PARKING SPACES: 38

TOTAL PARKING SPACES: 92

PROJECT LOCATION







The Offices at the Agora 5000 Euclid Avenue, Suite 104 Cleveland, OH 44103 LDAarchitecture.com 216.932.1890

DESCRIPTION DATE 2023.12.18 DRAFT DESIGN DEVELOPMEN 2024.01.05 DESIGN DEVELOPMENT 2024.01.15 DRAFT 80%- OHFA APP 2024.02.01 80% CD'S- OHFA APPLICATION 2024.03.21 BIDDING AND PERMIT

e original and unpublished work of, and are the instruments of service of, LDA main the exclusive property of LDA, who shall retain all common law, statutory and ppied, or altered, in whole or in part, for any purpose of project without the written Marguette Manor - Interior and

Exterior Improvements Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

COVER SHEET

DOMINICK DURANTE, JR

CONSTRUCTION CODE SUMMARY

APPLICABLE CODES:

- 1. 2024 OHIO EXISTING BUILDING CODE (OBC) WITH ALL CURRENT AMENDMENTS/UPDATES
- 2. 2024 OHIO BUILDING CODE (EOBC) WITH ALL CURRENT AMENDMENTS/UPDATES 3. 2024 OHIO MECHANICAL CODE (OMC)
- 4. 2024 OHIO PLUMBING CODE (OPC)
- 5. 2024 NATIONAL ELECTRICAL CODE NFPA 70
- 6. ICC/ANSI A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES '. ACCESSIBLE, UNIFORM FEDERAL ACCESSIBILITY GUIDELINES (UFAS)
- 8. ASHRAE 90.1 2019
- 9. ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS

EXISTING CONSTRUCTION SUMMARY:

THE EXISTING STRUCTURE IS A CONCRETE SLAB ON GRADE WITH CONCRETE CAISSON FOOTINGS. THE EXTERIOR WALLS ARE A COMBINATION OF EXPOSED REINFORCED CONCRETE SPANDREL BEAMS AND CONCRETE COLUMNS WITH AREAS OF BRICK VENEER ON 4" CMU BACK-UP.

THE FLOORS ARE 10" REINFORCED CONCRETE CAST-IN-PLACE SLABS.

FIRE PROTECTION: EXISTING BUILDING IS FULLY SPRINKLERED AND HAS A WET STAND-PIPE SYSTEM.

EXISTING USE AND OCCUPANCY CLASSIFICATIONS:

PRIMARY USE(S):

THERE ARE NO CHANGES IN EXISTING USE GROUPS.

-RESIDENTIAL, R-2 (APARTMENTS)

SECONDARY USES: ACCESSORY SPACES INCLUDE THE FOLLOWING:

-BUSINESS, B (OFFICES)

-ASSEMBLY, A-3 (COMMUNITY AREAS) -STORAGE, S

EXISTING CONSTRUCTION CLASSIFICATION:

TYPE IB

OBC TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:

1. PRIMARY STRUCTURAL FRAME: 2 HR 2. BEARING WALLS:

EXTERIOR 2 HR **INTERIOR 2 HR**

3. NONBEARING WALLS AND PARTITIONS:

EXTERIOR 0 HR INTERIOR 0 HR

4. FLOOR CONSTRUCTION: 2 HR 5. ROOF CONSTRUCTION: 1 HR

APPLICABLE 2024 OHIO EXISTING BUILDING CODE MATERIAL:

EOBC 301.3.1 PRESCRIPTIVE COMPLIANCE METHOD.

ALTERATIONS, ADDITIONS AND CHANGES OF OCCUPANCY COMPLYING WITH SECTIONS 302 THROUGH 309 AND CHAPTER 5 OF THIS CODE ARE TO BE CONSIDERED IN COMPLIANCE WITH THE PROVISIONS OF THIS CODE.

302.4 NEW AND REPLACEMENT MATERIALS.

EXCEPT AS OTHERWISE REQUIRED OR PERMITTED BY THIS CODE, MATERIALS PERMITTED BY THE APPLICABLE CODE FOR NEW CONSTRUCTION SHALL BE USED. LIKE MATERIALS SHALL BE PERMITTED FOR REPAIRS AND ALTERATIONS, PROVIDED THAT UNSAFE CONDITIONS ARE NOT CREATED. HAZARDOUS MATERIALS SHALL NOT BE USED WHERE THE CODE FOR NEW CONSTRUCTION WOULD NOT PERMIT THEIR USE IN BUILDINGS OF SIMILAR OCCUPANCY, PURPOSE AND LOCATION.

302.5 OCCUPANCY AND USE.

WHERE DETERMINING THE APPROPRIATE APPLICATION OF THE REFERENCED SECTIONS OF THIS CODE, THE OCCUPANCY AND USE OF A BUILDING SHALL BE DETERMINED IN ACCORDANCE WITH CHAPTER 3 OF THE BUILDING CODE. (SEE ABOVE)

503.1 GENERAL.

EXCEPT AS PROVIDED IN CHAPTER 3 OF THIS CODE OR THIS SECTION, ALTERATIONS TO ANY BUILDING, STRUCTURE, OR SYSTEM (EGRESS, FIRE PROTECTION, SMOKE CONTROL, MECHANICAL, PLUMBING, ETC.) ARE TO COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION ONLY TO THE EXTENT OF THE PROPOSED ALTERATION. PORTIONS OF THE STRUCTURE OR SYSTEM NOT ALTERED AND NOT AFFECTED BY THE ALTERATION ARE NOT REQUIRED TO COMPLY WITH THE CODE REQUIREMENTS FOR A NEW STRUCTURE ALTERATIONS ARE TO BE SUCH THAT THE EXISTING BUILDING, STRUCTURE, OR SYSTEM IS NO LESS COMPLYING WITH THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

APPLICABLE 2024 OHIO BUILDING CODE MATERIAL:

OBC 603 COMBUSTIBLE MATERIAL IN TYPE I AND II CONSTRUCTION:

ALL NEW MATERIALS TO BE IN ACCORDANCE AND INSTALLED PER IBC SECTION 603.

OBC 708.3 FIRE RESISTANCE RATINGS FOR FIRE PARTITIONS BETWEEN DWELLING UNITS: 1 HR - FIRE PARTITION SEPARATION

OBC 711.2 FIRE RESISTANCE RATINGS FOR FLOORS BETWEEN DWELLING UNITS:

1 HR - FIRE RESISTANCE RATED CONSTRUCTION

OBC 713.3.1.2 THROUGH PENETRATION FIRESTOP SYSTEM: THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AND TESTED IN ACCORDANCE WITH ASTM E 814 OR UL 1479, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF WATER AND SHALL HAVE AN F RATING OF

NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL PENETRATED.

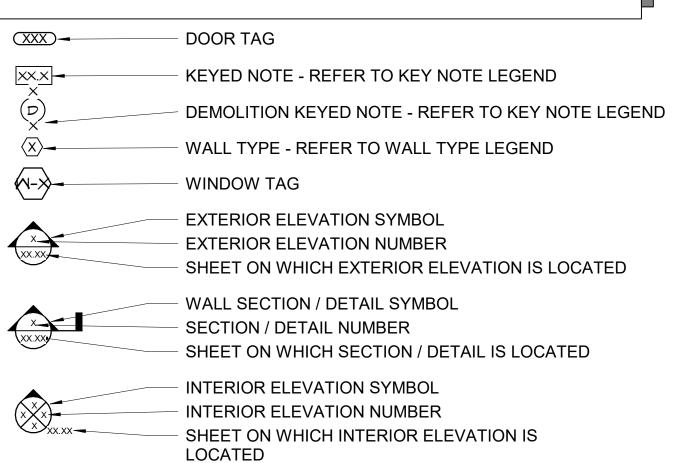
OBC TABLE 803.9 INTERIOR WALL AND CEILING FINISH REQUIREMENTS:

GROUP R-2:

-EXIT ENCLOSURES AND EXIT PASSAGEWAYS: CLASS B

-CORRIDORS: CLASS B -ROOMS AND ENCLOSED SPACES: CLASS C

SYMBOL LEGEND



ENERGY CODE REQUIREMENTS

APPLICABLE CODES / STANDARDS:

1. 2017 OHIO ENERGY CODE

2. OHFA LIMITED SCOPE REHABILITATION SUSTAINABILITY STANDARDS

3. ASHRAE 90.1 2019

GENERAL: THE FOLLOWING REQUIREMENTS ARE ONLY REQUIRED IN ALTERATIONS AS DEFINED BY ASHRAE 90.1-2019 IN REPLACEMENTS TO A BUILDING OR ITS SYSTEMS. REPAIRS SHALL NOT CONSTITUTE AN ALTERATION.

3401.1 ENERGY CODE COMPLIANCE:

ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2012) / ASHRAE 90.1 - 2019

ASHRAE 90.1 - 2019: BUILDING ENVELOPE REQUIREMENTS FOR **ZONE 4A**:

TABLE C402.2:

ROOF INSULATION = R-25 CONTINUOUS INSULATION **TABLE C402.3:**

U-FACTOR: FIXED FENESTRATION = 0.38 OPERABLE FENESTRATION = 0.45

ENTRANCE DOORS = 0.77

SHGC: SHGC = 0.40

CONSTRUCTION TYPES ANS ASSEMBLIES

NEW EXTERIOR WALL TYPES:

1) REFER TO COVER SHEET FOR ADDITIONAL FINISH AND DRYWALL REQUIREMENTS AT ALL NEW WALLS

⟨EW | 01⟩

6" METAL STUD WALL W/ OPEN-JOINT CLADDING: **EXTERIOR**

1) 1" AZEK OPEN-OPEN JOINT CLADDING 2) 1" Z-FURRING CHANNEL W/ RIGID INSULATION 3) BLACK FELT WEATHER BARRIER 4) 3/4" EXTERIOR GRADE SHEATHING 2) 6" METAL STUDS W/ BATT INSULATION. 3) 5/8" TYPE "X" GYPSUM BOARD INTERIOR

⟨EW | 02⟩

INTERIOR OPEN-JOINT CLADDING ON EXISTING CMU

3) 1" Z-FURRING CHANNELS W/ RIGID INSULATION

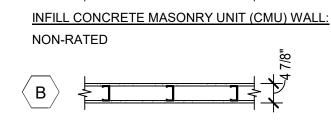
1) 1" AZEK OPEN-OPEN JOINT CLADDING

2) BLACK FELT WEATHER BARRIER

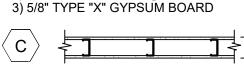
4) EXISTING CMU TO REMAIN

NEW INTERIOR WALL TYPES: 1) REFER TO COVER SHEET FOR ADDITIONAL FINISH

AND DRYWALL REQUIREMENTS AT ALL NEW WALLS

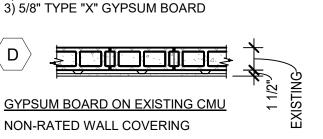


NON-RATED PARTITION 1) 5/8" TYPE "X" GYPSUM BOARD 2) 3 5/8" METAL STUD @ 16" O.C 3) 5/8" TYPE "X" GYPSUM BOARD



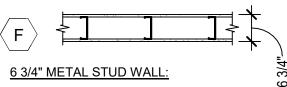
NON-RATED PARTITION 1) 5/8" TYPE "X" GYPSUM BOARD 2) 4" METAL STUD

4" METAL STUD WALL:



1) EXISTING CMU WALL TO REMAIN 2) 7/8" 25 GAUGE STEEL HAT CHANNEL FURRING 3) 5/8" TYPE "X" GYPSUM BOARD *DRYWALL COVERING CAN OCCUR ON ONE OR BOTH SIDES OF AN EXISTING WALL. REFER TO PLANS.

INFILL CONCRETE MASONRY UNIT (CMU) WALL U-905 - 2 HOUR FIRE RESISTIVE RATING

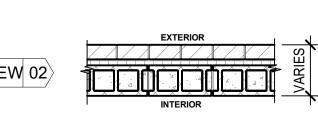


NON-RATED PARTITION 1) 5/8" TYPE "X" GYPSUM BOARD 2) 5 1/2" METAL STUD @ 16" O.C 3) 5/8" TYPE "X" GYPSUM BOARD

EXISTING EXTERIOR WALL TYPES:

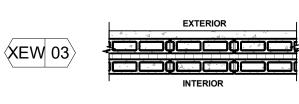
XEW 01

CONCRETE FOUNDATION WALL: 1) 12" CAST-IN-PLACE REINFORCED CONCRETE WALL



CMU WALL W/ BRICK VENEER: (10", 14") **EXTERIOR** 1) REINFORCED BRICK VENEER 2) 1-1/2" RIGID INSULATION 3) CONCRETE MASONRY UNIT (SIZE VARIES)

INTERIOR



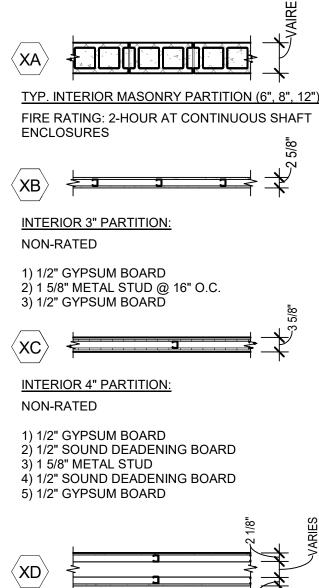
CMU WALL W/ EIFS PANEL VENEER: **EXTERIOR** 1) EIFS PANEL VENEER 2) CONCRETE MASONRY UNIT (SIZE VARIES) 3) 1-1/2" RIGID INSULATION 4) CONCRETE MASONRY UNIT (SIZE VARIES)

EXISTING FLOOR TYPES:



EXISTING CAST-IN-PLACE CONCRETE FLOOR 1) 10" REINFORCED CAST-IN-PLACE CONCRETE FLOOR

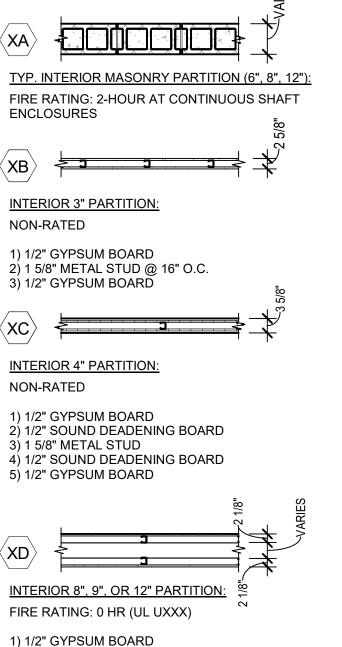
EXISTING INTERIOR WALL TYPES:

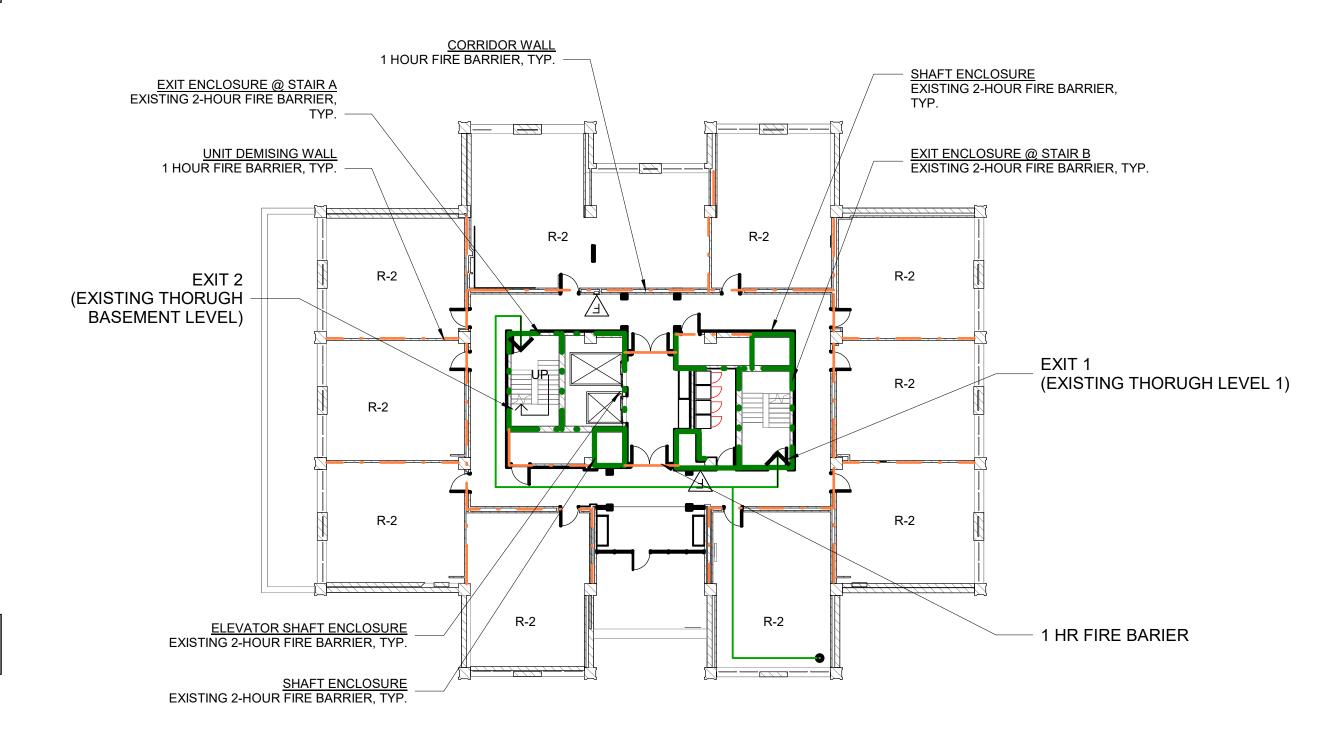


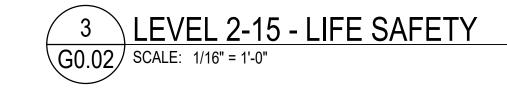
2) 1 5/8" METAL STUD @ 16" O.C

3) AIR SPACE (DEPTH VARIES) 3) 1 5/8" METAL STUD @ 16" O.C.

4) 1/2" GYPSUM BOARD

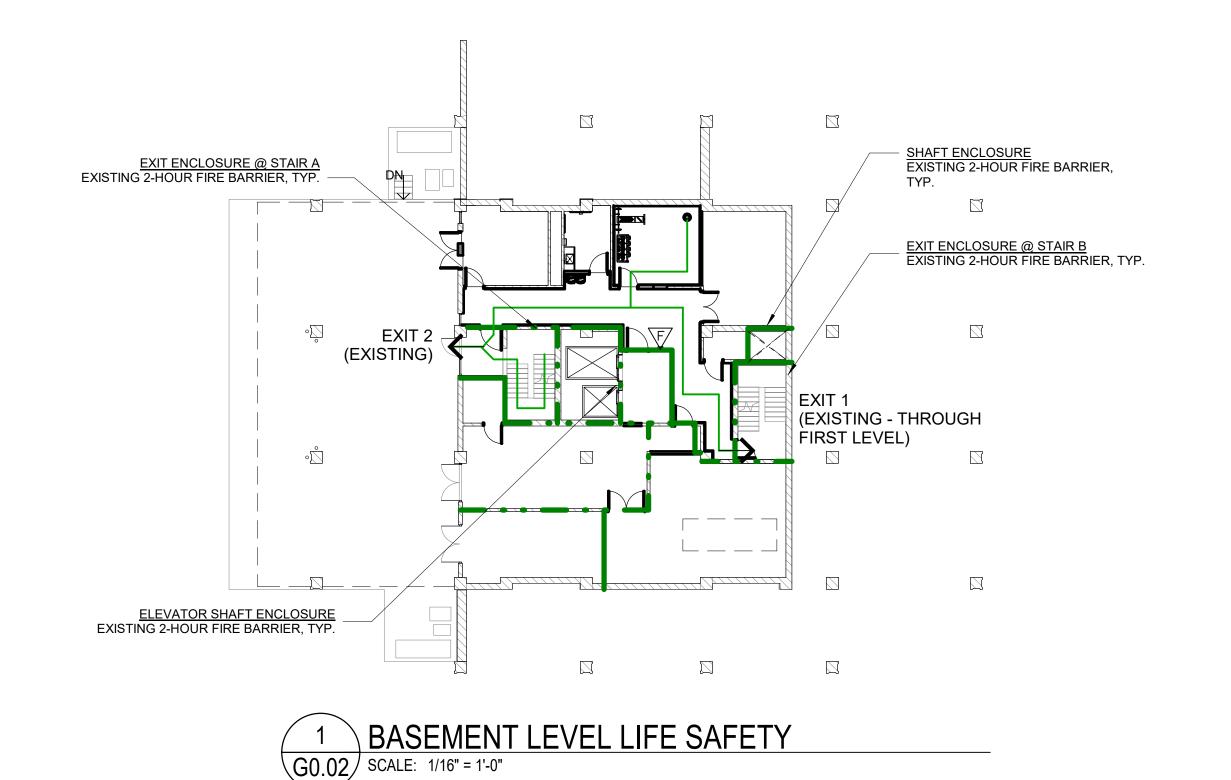


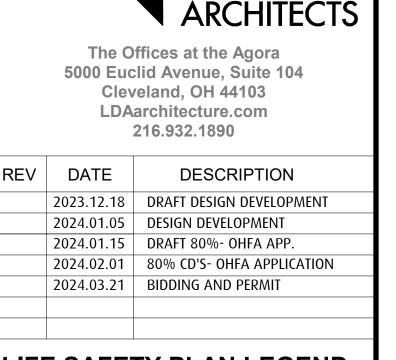




G0.02 | SCALE: 1/16" = 1'-0"







LIFE SAFETY PLAN LEGEND

_ . _ . _ . _ . _

1 HOUR RATED WALL

2 HOUR RATED WALL

ACCESSIBLE PATH OF TRAVEL

DIRECTION OF EGRESS

FIRE EXTINGUISHER CABINET

GENERAL NOTES - GYPSUM BOARD

1. THESE GENERAL NOTES APPLY TO ANY GYPSUM BOARD CALLED OUT IN WALL TYPES THAT APPLY TO THE BELOW DESCRIBED AREAS.

2. PAPERLESS GYPSUM BOARD (PGB) MUST BE USED AT A MINIMUM IN THE FOLLOWING AREAS WHERE NEW GYPSUM BOARD IS TO BE PROVIDED:

> BEHIND KITCHEN SINKS AND RESTROOM SINKS TO A HEIGHT OF 3" ABOVE BASE SHOWER WALLS WHERE PGB WILL NOT HAVE AN EXPOSED FINISH EXCEPT 6" BEYOND SHOWER AND TUB JAMS. BEHIND TOILETS UP TO THE TOP OF THE

> > ON CEILINGS WHERE BATHROOM AND

TOILET ROOMS ARE LOCATED DIRECTLY

3. PAPER-FACED MOISTURE-RESISTANT GYPSUM BOARD MUST BE USED AT A MINIMUM IN THE FOLLOWING AREAS WHERE NEW GYPSUM BOARD IS

BEING PROVIDED:

WITHIN 4 FEET IN HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCE, EXCEPT DIRECTLY BEHIND SINKS, TUBS, SHOWER SURROUNDS, AND BEHIND BEHIND PUBLIC DRINKING FOUNTAINS WITHIN 4 FEET IN ANY DIRECTION BEHIND LAUNDRY / CLOTHES WASHING

MACHINES, WATER HEATERS, WATER

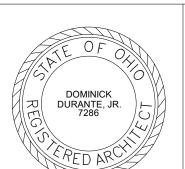
4. A PRODUCT THAT MEETS THE REQUIREMENTS OF BOTH PRODUCTS OUTLINED ABOVE MAY BE USED IF APPROVED BY ARCHITECT.

METERS, ETC.

*THIS SHEET IS INTENDED TO BE

PRINTED IN COLOR. BLACK AND WHITE

PRINTS MAY NOT FULLY DEPICT INTENT



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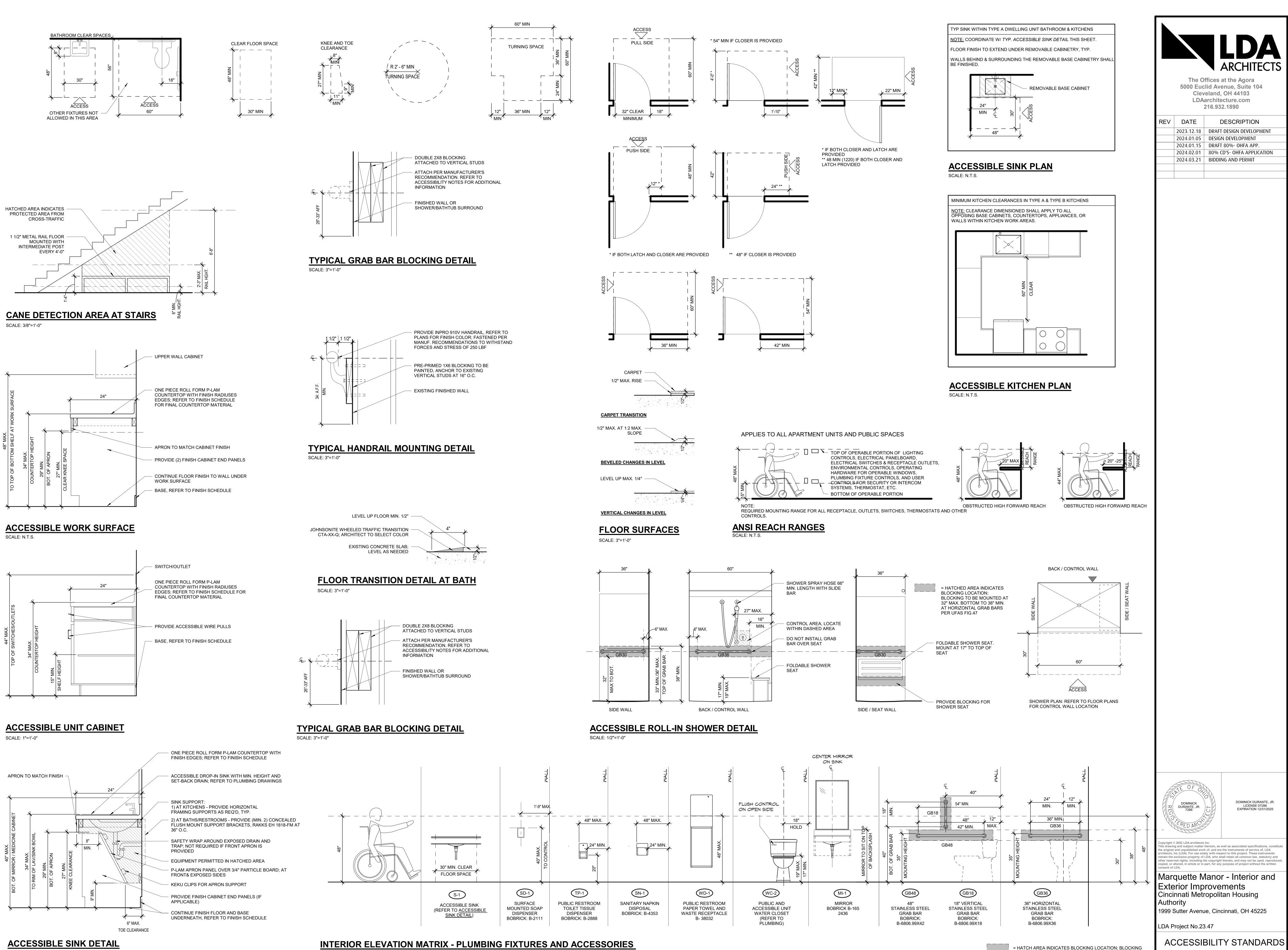
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CODE DATA & LIFE SAFETY



SCALE: 1/2"=1'-0"

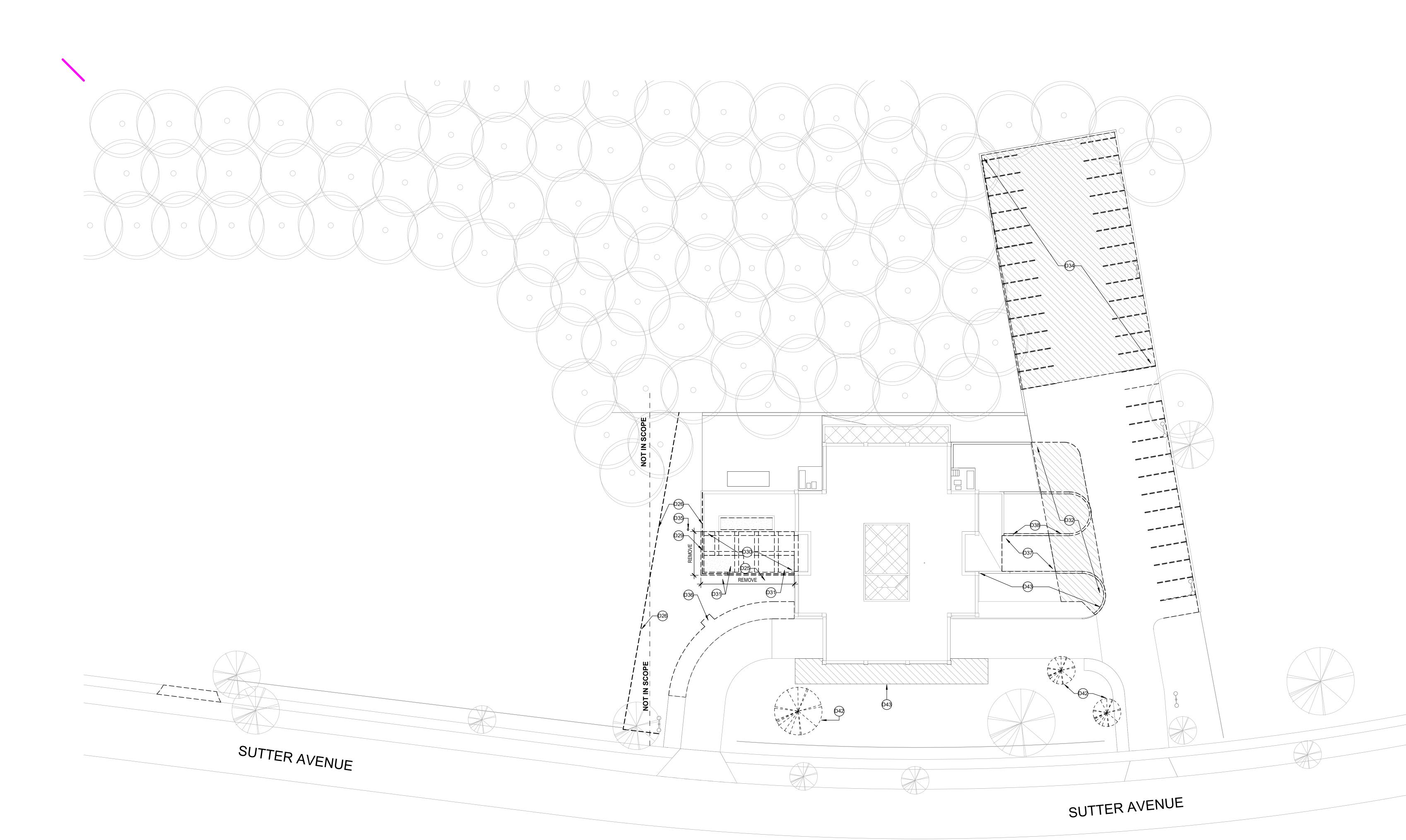
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DESCRIPTION





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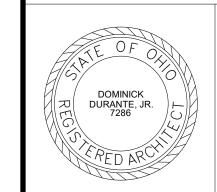
REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- D25 REMOVE EXISTING CONCRETE SIDEWALK. ADD FILL, COMPACT AND SEED.
- D26 REMOVE EXISTING FENCING.
- D29 REMOVE PORTION OF EXISTING WALL AND FENCING AS INDICATED ON PLAN.
- D30 REMOVE PORTION OF EXISTING PATIO AND PAVERS SHOWN TO ACCOMMODATE NEW ENTRANCE CANOPY CONSTRUCTION. REFER TO CANOPY PLANS.
- D31 REMOVE EXISTING LANDSCAPE BEDS AND PLANTINGS
- D34 HATCHED AREA INDICATES AREA TO BE RE-PURPOSED FOR EXTERIOR RECREATION AREA. REMOVE ASPHALT DOWN TO GRADE UNDERNEATH.
- D35 REMOVE EXISTING WOOD UTILITY POLE AND RE-ROUTE UTILITY LINES UNDERGROUND TO NEW UTILITY POLE AT STREET. COORDINATE WITH UTILITY
- D36 REMOVE EXISTING COVERING AND BENCH. D37 REMOVE PORTION OF EXISTING SERVICE DRIVE.
- D42 REMOVE EXISTING TREE IN ITS ENTIRETY. D43 REMOVE EXISTING LANDSCAPING.





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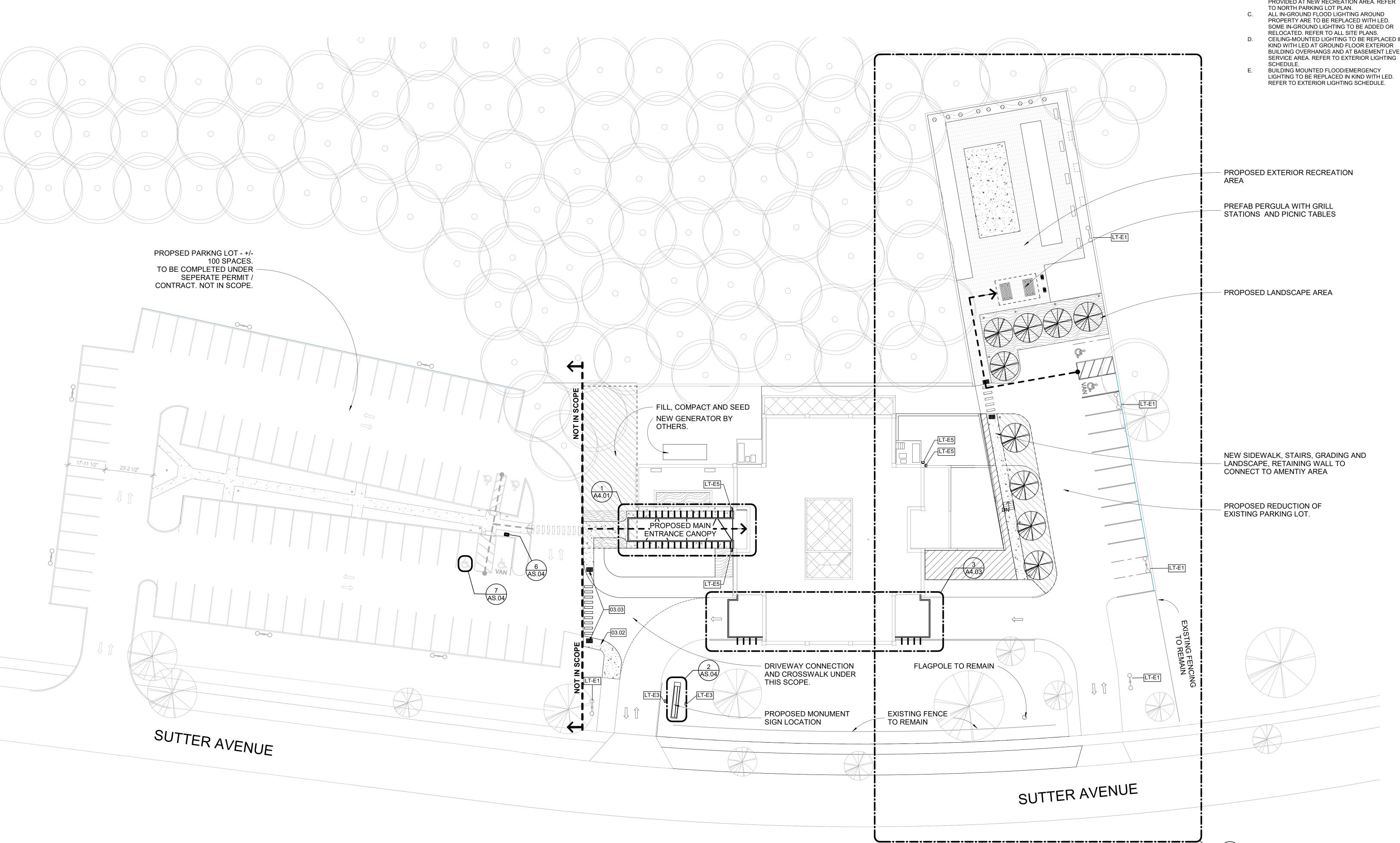
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DEMOLITION SITE PLAN

AS.01



	EXTERIOR LIGHT FIXTURE SCHEDULE							
TAG	TYPE	FIXTURE LOCATIONS	MANUFACTURER	NAME	MODEL	FINISH	LAMP	REMARKS
.T-E1	EXISTING POLE LIGHT	NORTH LOT - REFER TO SITE PLANS					LED	POLES TO REMAIN. REPLACE LAMPS
T-E2	BOLLARD LIGHT	NORTH LOT / REC AREA - REFER TO SITE PLANS	LITHONIA LIGHTING	DOME TOP ROUND LED BOLLARD	KBA8 LED	BRONZE	LED	
	IN-GROUND FLOOD LIGHT	MONUMENT SIGN	LITHONIA LIGHTING	LED FLOOD LIGHT	ESXF2 LED	ARCHITECT TO SELECT	LED	
T-E4	CEILING MOUNT	LOWER LEVEL SERVICE AREA, GROUND LEVEL OVERHANG	LITHONIA LIGHTING	LED CANOPY LIGHT	CNY LED P0 50K MVOLT DDB M4	DARK BRONZE	LED	
	WALL-MOUNT FLOOD LIGHT	BUILDING EXTERIOR - REFER TO SITE PLANS				ARCHITECT TO SELECT	LED	



SCOPE OF WORK & GENERAL NOTES -SITE PLANS (CONTINUED)

MAIN ENTRANCE CONTINUED

A. A PORTION OF EXISTING PATIO AND RETAINING

WALL AT MAIN ENTRY IS TO BE REMOVED TO ACCOMMODATE NEW MAIN ENTRANCE CANOPY AND NEW LANDSCAPING. THE REMAINDER OF EXISTING PATIO IS TO REMAIN, REPLACE

DAMAGED OR LIFTED CONCRETE AS NEEDED. FILL AND COMPACT SOIL IN AREA CONNECTING THE PROPOSED ENTRANCE CANOPY AND WALK TO NEW SOUTH PARKING LOT. SEED ALL SURROUNDING GROUND NOT PROVIDED WITH LANDSCAPING OR NEW WALKS.

SOUTH PARKING LOT

ALL WORK DESCRIBED IN THIS SECTION TO BE COMPLETED CONCURRENTLY UNDER SEPERATE CONTRACT. SHOWN ON PLAN FOR ILLUSTRATION AND BASIS OF DESIGN PURPOSES. AN ASPHALT DRIVE CONNECTION FROM EXISTING DROP-OFF DRIVEWAY TO AREA OF NEW LOT IS TO BE PROVIDED UP TO "NOT IN SCOPE" LINE. REFER

- ALL ACCESSIBLE PARKING SPACES SHOWN ON PLAN ARE TO BE PROVIDED WITH ACCESSIBLE PARKING SIGNAGE.
- NEW LOT TO BE CONNECTED TO EXISTING DROP-OFF DRIVEWAY.

SITE LIGHTING A. EXISTING POLE LIGHTS ON PROPERTY ARE TO REMAIN. REPLACE BULBS WITH NEW LED.

- NEW BOLLARD-STYLE LIGHTING IS TO BE PROVIDED AT NEW RECREATION AREA. REFER
- ALL IN-GROUND FLOOD LIGHTING AROUND PROPERTY ARE TO BE REPLACED WITH LED.
- RELOCATED. REFER TO ALL SITE PLANS. CEILING-MOUNTED LIGHTING TO BE REPLACED IN KIND WITH LED AT GROUND FLOOR EXTERIOR BUILDING OVERHANGS AND AT BASEMENT LEVEL
- BUILDING MOUNTED FLOOD/EMERGENCY LIGHTING TO BE REPLACED IN KIND WITH LED. REFER TO EXTERIOR LIGHTING SCHEDULE.

DROP-OFF AND ENTRANCE DRIVES

A. EXISTING DRIVING SURFACE IS TO BE RE-PAVEDSEALCOAT, MILL, RESURFACE, AND RE

BE REMOVED.

STRIPE ALL EXISTING ASPHALT PAVED AREAS. MINIMUM 2" MILLING OF EXISTING PAVEMENT. NEW CANOPIES TO BE PROVIDED ON BOTH SIDES OF EXISTING DROP OFF OVERHANG. REFER TO CANOPY PLANS.

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REGRADING/FILL SOIL &

EXISTING PLANTS TO REMAIN

ACCESSIBLE ROUTE. SLOPE NOT TO EXCEED 5%. CROSS-SLOPE

1. ALL SITE WORK DESCRIBED IN THIS SECTION IS TO BE COORDINATED WITH LANDSCAPE AND CIVIL DRAWINGS.

VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES ON PROPERTY AND SHALL RREPORT ALL POTENTIAL

CONFLICTS WITH THE PROPOSED UTILITIES, UTILITY

3. PROVIDE NEW WATER SHUTOFF VALVES AT STREET.

LANDSCAPING

A. NEW LANDSCAPING IS TO BE PROVIDED IN ALL

LIGHTING. REFER TO SITE DETAILS. REMOVE ALL VEGETATION FROM EXISTING

CONCRETE SIDEWALKS
A. NEW CONCRETE SIDEWALKS ARE TO BE PROVIDED IN NEW PARKING LOT, NEW

REPAIRED OR REPLACED AS NEEDED.

NORTH PARKING LOT & RECREATION AREA

A. REFER TO NORTH PARKING LOT PLAN FOR

ADDITIONAL SCOPE AND DETAILS.

ADDITIONAL INFORMATION.

NORTH PARKING LOT PLAN.

ENTRANCE CANOPY, AND ON NORTH SIDE OF THE BUILDING TO NEW EXTERIOR AMENITY SPACE. REFER TO RESPECTIVE SCOPES OF WORK BELOW FOR ADDITIONAL INFORMATION. EXISTING CONCRETE SIDEWALKS ARE TO BE

REAR HALF OF EXISTING NORTH PARKING LOT TO HAVE ASHALT REMOVED, TO BE FILLED, COMPACTED, AND LEVELED FLAT TO

REPURPOSE AS EXTERIOR RECREATION AREA WITH SPACE PROVIDED FOR OUTDOOR

REFER TO NORTH PARKING LOT PLAN FOR

NEW LANDSCAPING AND GRASS AREAS TO BE PROVIDED BETWEEN EXTERIOR AMENITY AND EXISTING PARKING TO REMAIN. REFER TO NORTH PARKING LOT PLAN. ACCESSIBLE PARKING TO BE PROVIDED NEAR

NEW RECREATION AREA WITH ACCESSIBLE

PARKING TO RECREATION AREA SHALL BE PROVIDED WITH A SLOPE NOT TO EXCEED 5% AND CROSS-SLOPE NOT TO EXCEED 2%.

ALL OTHER ADDITIONAL PARKING SURFACE AREA IS TO REMAIN AND BE RE-PAVED. SEALCOAT, MILL, RESURFACE, AND RE STRIPE ALL EXISTING ASPHALT PAVED AREAS. MINIMUM 2" MILLING OF EXISTING PAVEMENT. REFER TO

A NEW CONCRETE SIDEWALK AND STAIRS IS TO

BE PROVIDED THAT CONNECTS EXISTING SIDEWALK AT DROP-OFF TO THE RECREATION AREA. PORTION OF EXISTING SERVICE DRIVE TO

PARKING SIGNAGE. ACCESSIBLE ROUTE FROM

GRILLING, PICKLEBALL, AND OUTDOOR SEATING.

PAVEMENT AND SITE WALLS.

AREAS INDICATED ON SITE PLAN. REFER TO

EXISTING TREES ON PROPERTY LOCATED OUTSIDE OF NEWLY LANDSCAPED AREAS ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION IF NEEDED.
PROVIDE NEW MONUMENT SIGN WITH LED

LANDSCAPE PLANS AND SPECIFICATIONS. ANY

4. ALL SITE SANITARY AND STORM LINES ARE TO BE RELINED OR REPLACED AS NEEDED. OWNER TO HAVE

NOT TO EXCEED 2%.

SCOPE OF WORK & GENERAL NOTES -

2. CONTRACTOR SHALL BE RESPONSIBLE FOR

RIGHT OF WAYS, ETC. TO THE ARCHITECT.

SITE PLANS

LANDSCAPE AREA

NEW PLANTINGS

LANDSCAPE

DATE

SITE PLAN LEGEND

DESCRIPTION

BUILDING MAIN ENTRANCE

A. REFER TO MAIN ENTRANCE PLAN FOR ADDITIONAL SCOPE AND DETAILS. NEW MAIN ENTRANCE CANOPY IS TO BE PROVIDED, WITH NEW LED LIGHTING. REFER TO CANOPY PLANS.



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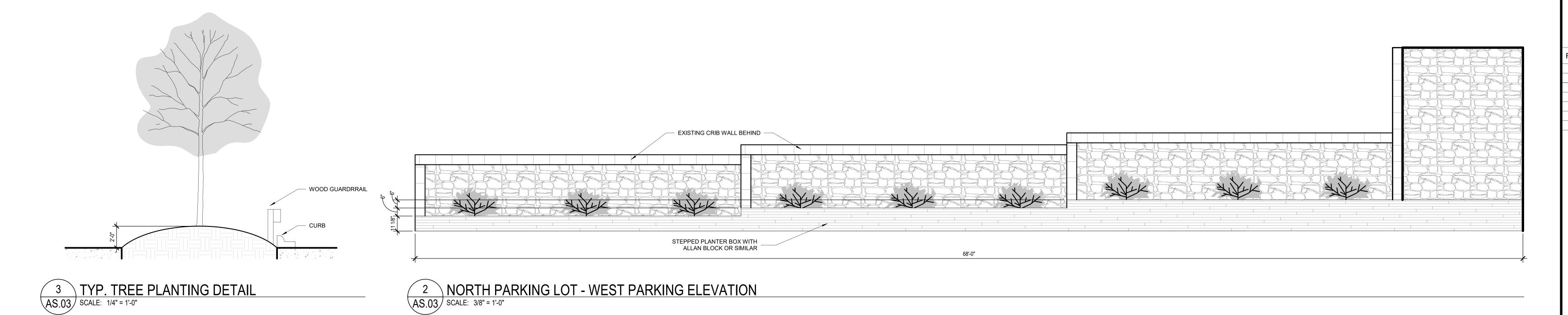
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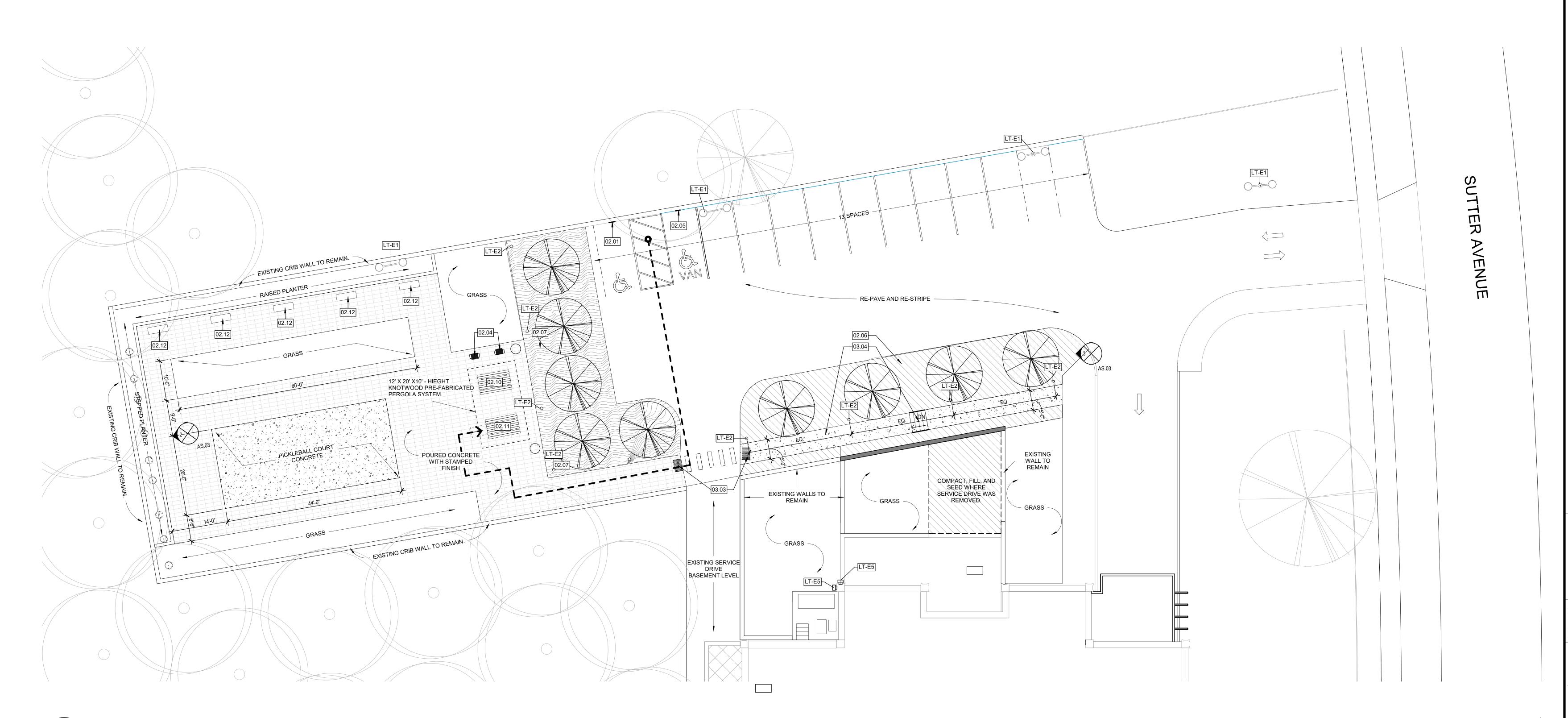
PROPOSED SITE PLAN



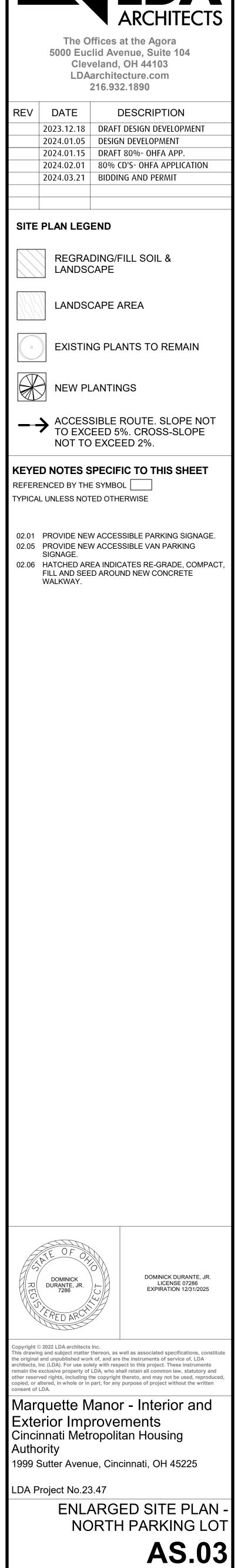
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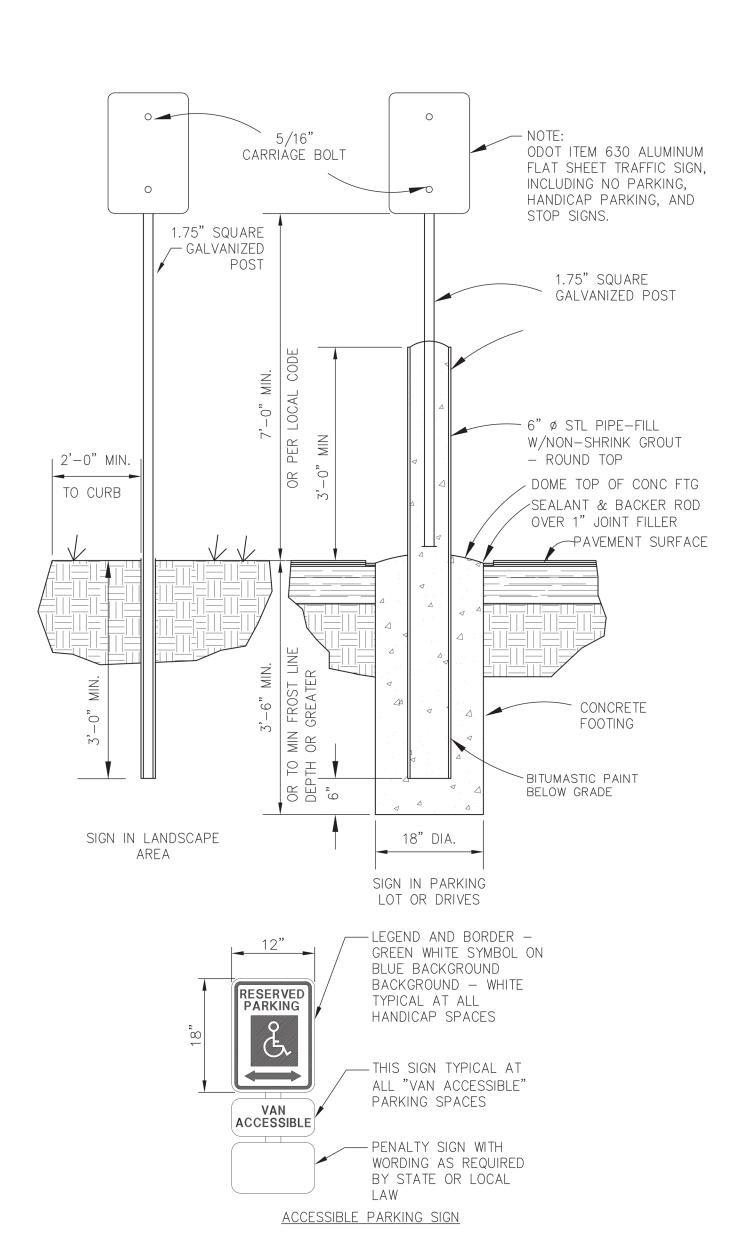


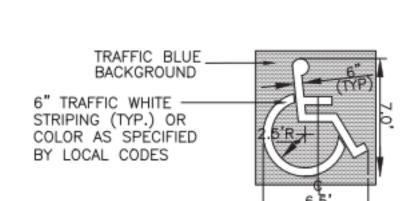




1 ENLARGED SITE PLAN - NORTH PARKING LOT
AS.03 SCALE: 3/32" = 1'-0"







PARKING SIGNAGE

AS.04 | SCALE: 3/4" = 1'-0"

ACCESSIBLE PARKING SYMBOL

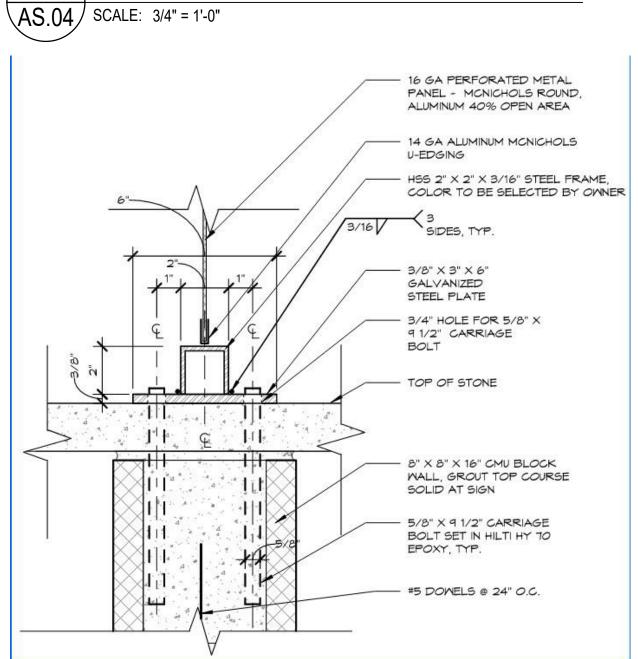
LOCATE AT EDGE OF PARKING SPACE UNLESS
ACCOMPANIED BY "VAN" LETTERING WHERE SPECIFIED

NOTE:

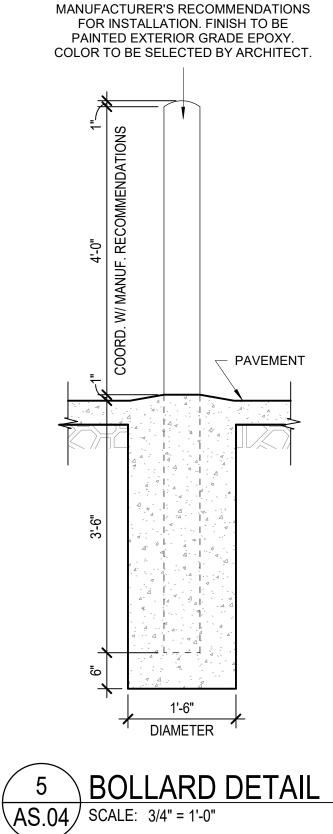
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS

2. THESE WORDS AND ARROWS ARE TO BE PAINTED REFLECTIVE WHITE.

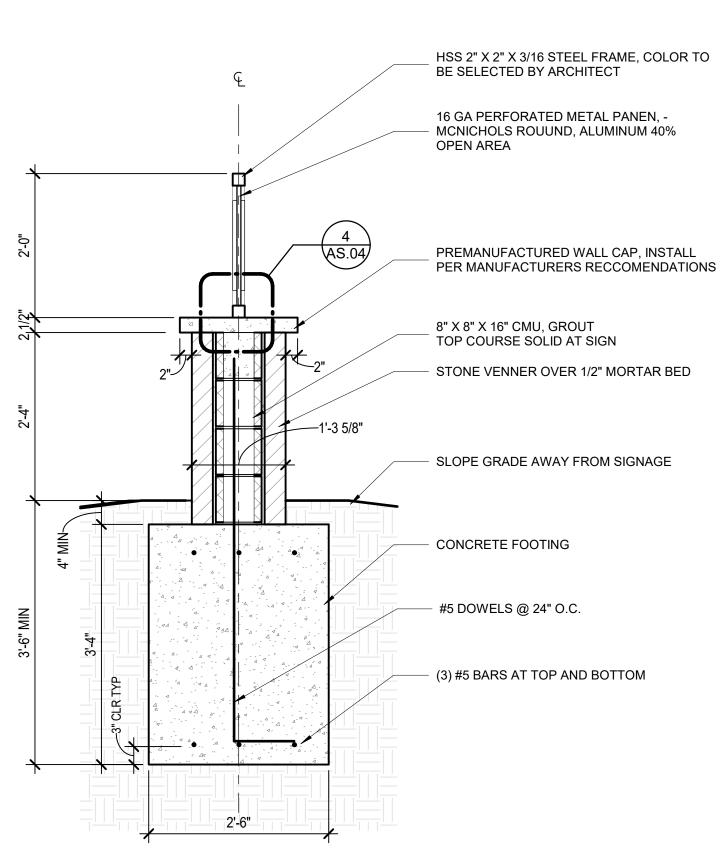




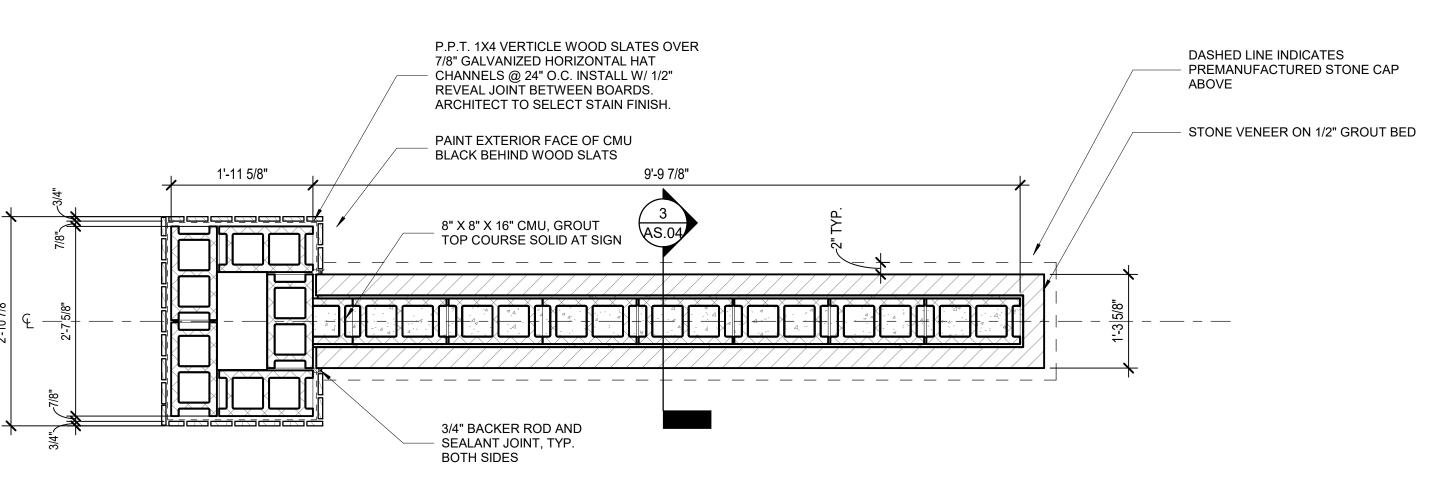
4 HSS CONNECTION DETIAL
AS.04 SCALE: 3" = 1'-0"



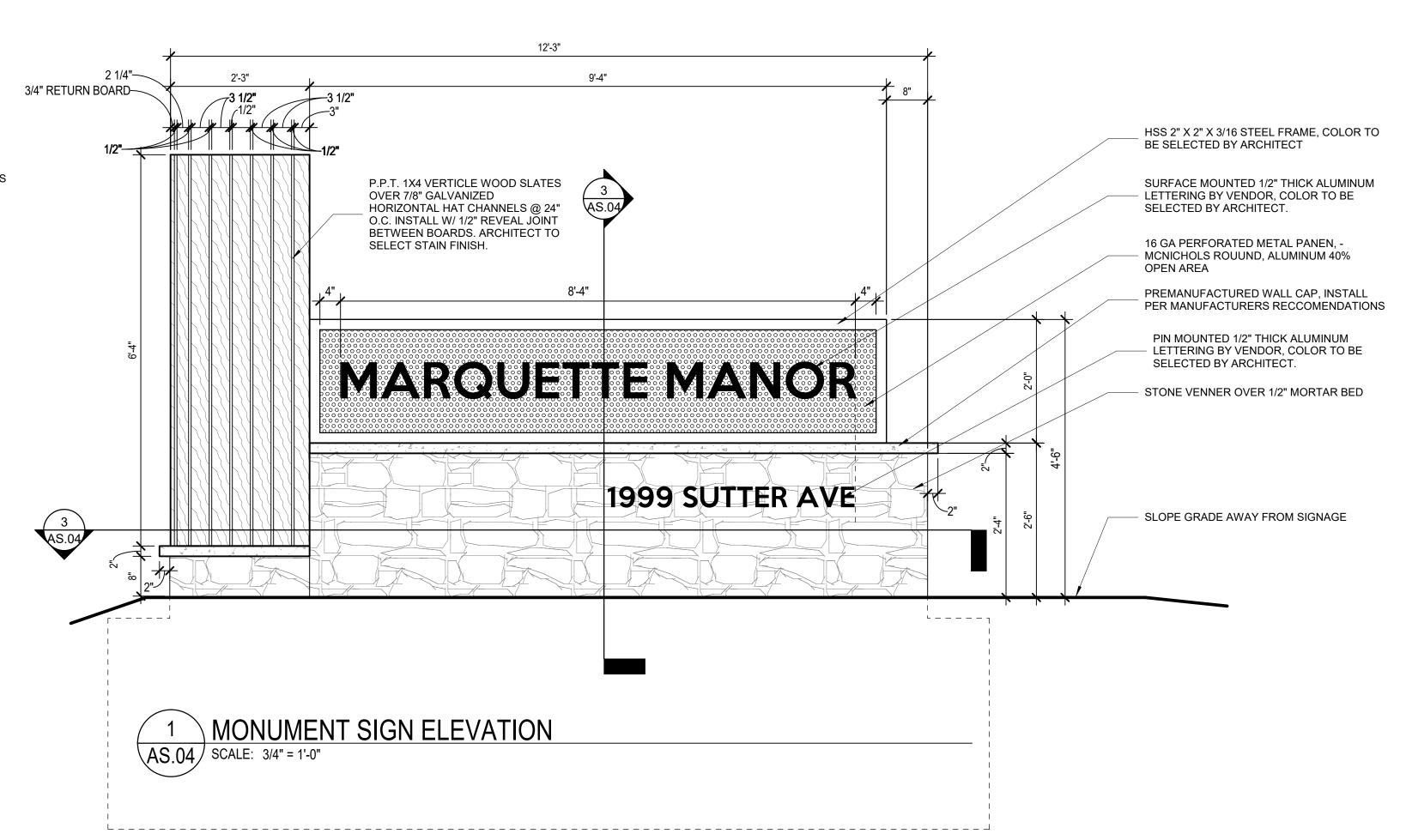
CONCRETE FILLED 6" DIA. SCH. 40 STEEL PIPE. COORDINATE WITH

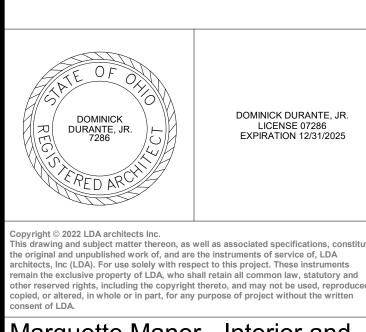


3 MONUMENT SIGN SECTION
AS.04 SCALE: 3/4" = 1'-0"









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2024.03.21 BIDDING AND PERMIT

REV DATE

DESCRIPTION

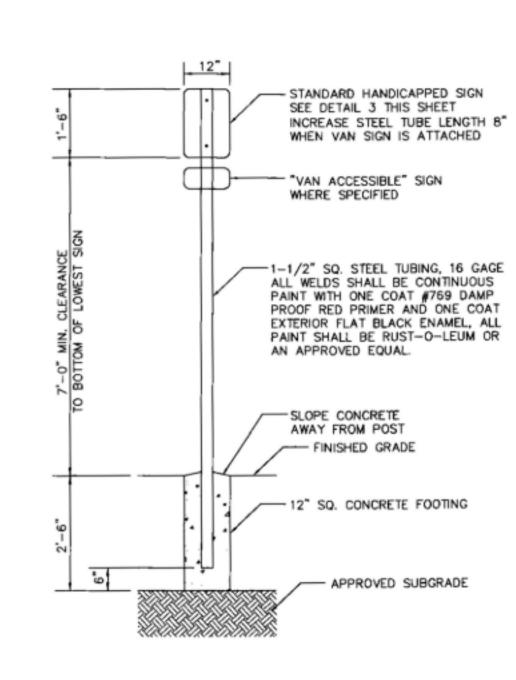
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Authority
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LDA Project No.23.47

SITE DETAILS

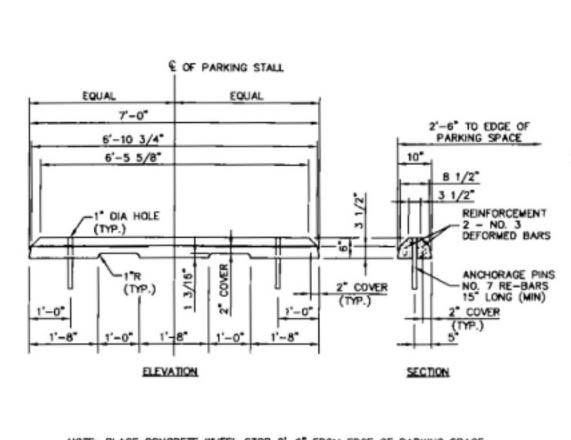
AS.04



NOTES

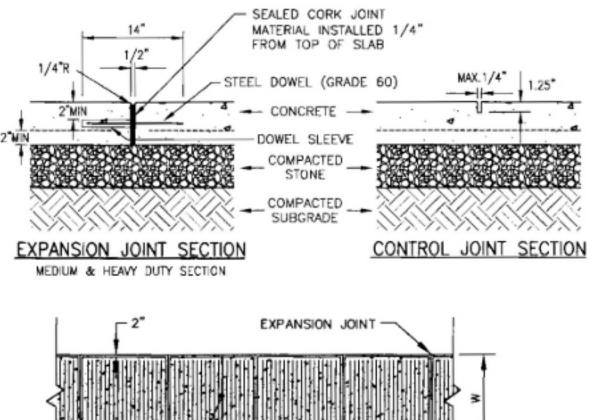
DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'.
 SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAPPED SIGN.
 ALL WORK SHALL BE DONE IN ACCORDANCE MOST CURRENT ADA REGULATIONS

HANDICAP SIGN MOUNTING



NOTE: PLACE CONCRETE WHEEL STOP 2'-6" FROM EDGE OF PARKING SPACE

WHEEL STOP DETAILS



NOTES:

CONTROL JOINT(S) -

VARIES SEE PLAN-

 MATERIALS AND CONSTRUCTION METHODS SHALL MATCH DDOT STANDARDS. CONCRETE SHALL BE MIN. 3500 PSI CLASS F CONCRETE. 3500 PSI CLASS E CONCRETE SHALL BE USED WHERE SUBJECTED TO VEHICLE TRAFFIC.

SEE NOTE 5

SEE NOTE 2 NOTE: L=W

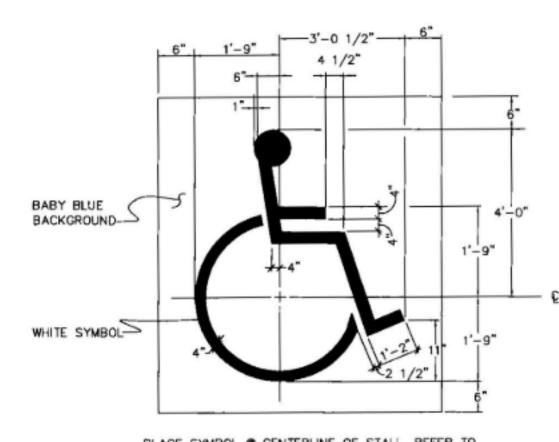
- CONTROL JOINTS, SPACED TO MATCH SIDEWALK WIDTH (6' MAX), SHALL BE INSTALLED IN THE SIDEWALK CONCRETE TO FORM SQUARE PANELS. CONTROL JOINTS SHALL BE SAW-CUT OR FORMED 1.1.4" DEED.
- EXPANSION JOINTS FOR SIDEWALK SHALL BE 1/4" WIDTH PREFORMED CORK MATERIAL INSTALLED EVERY 15" MAX.
- EXPANSION JOINTS FOR MEDIUM & HEAVY DUTY SIDEWALK/CONCRETE PAYING SHALL BE 1/2"
 WIDTH PREFORMED CORK INSTALLED EVERY 30" MAX. WITH DOWELS AT 12" SPACING. 1/2"
 EXPANSION JOINTS SHALL ALSO BE PLACED WHERE SIDEWALKS ABUT CURBS AND OTHER RIGID
 STRUCTURES.
- 5. FINISH SURFACES WITH A LIGHT BROOM FINISH.
- 6. INSTALL REINFORCING MIN. 2" FROM SURFACES AND EDGES, TYP.

TYPICAL SIDEWALK DETAILS



J. Section 4.6.4 Signage. Each accessible parking space shall be identified by an approved sign with the bottom edge at least 7 feet above the ground, unless the sign is placed flush against a building, structure, or other location that does not obstruct vehicle or pedestrian traffic, in which case the sign shall be at least 6 feet and no more than 10 feet above the ground. Signs shall bear the international symbol of access and the words "Reserved Parking" and shall be in conformance with the requirements of the Maryland District of Columbia.

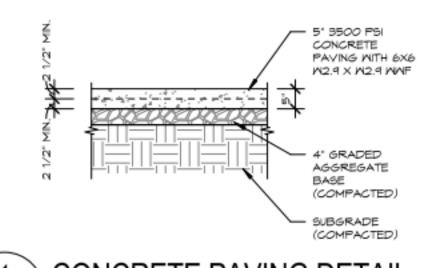
HANDICAP PARKING SIGN



PLACE SYMBOL © CENTERLINE OF STALL, REFER TO PARKING STRIPING DETAIL THIS SHEET FOR DIMENSIONS.

NOTE: THIS DETAIL PROVIDED FOR REFERENCE ONLY! ALL DIMENSIONS, LAYOUT, BACKGROUNDS AND COLOR MUST CONFORM TO MOST CURRENT ADA GUIDELINES.

HANDICAP PARKING SYMBOL PAVEMENT PAINTING







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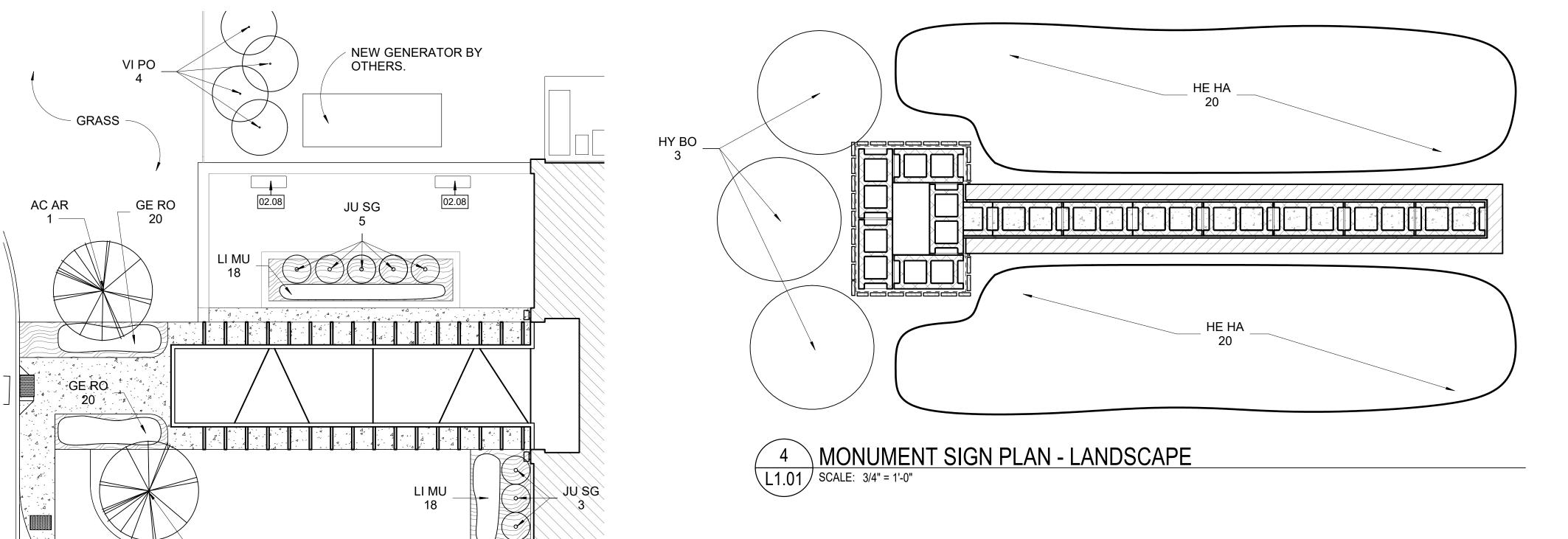
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Marquette Manor - Interior and

LDA Project No.23.47

SITE DETAILS

AS.05



Overall Site Plant Material List:

Trees						
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	COND	
AC CE	04	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZA MAPLE	4" Cal.	B&B	
AC AR	03	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	4" Cal.	B&B	
со ко	04	CORNUS KOUSA 'CHINENSIS'	KOUSA DOGWOOD	8' HT.	B&B	
ST PS	01	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	6' HT. clump	B&B	
TI CO	06	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	3" Cal.	B&B	

Shru	Shrubs						
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	COND		
FO GA	05	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	No. 3	CONT.		
HY BO	03	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	No. 7	CONT.		
IT VI	11	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	No. 5	CONT.		
JU SG	08	JUNIPERUS CHINENSIS 'SEA GREEN'	ROSEUM ELEGANS RHODODENDRON	No. 7	CONT.		
SP LP	08	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA	No.3	CONT.		
TA ME	11	TAXUS MEDIA 'EVERLOW'	EVERLOW YEW	36" HT	B&B		

EMERALD ARBORVITAE

POPCORN DOUBLEFILE VIBURNUM

B&B

8' HT

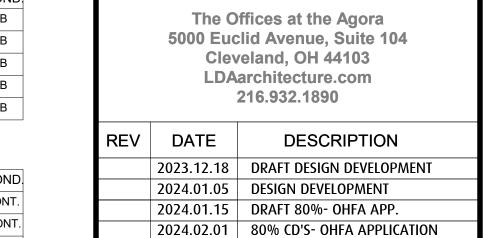
30" HT

Perennials and	Groundcovers

TH EM 08 THUJA OCCIDENTALIS 'EMERALD'

VI PO 04 VIBURNUM PLICATUM 'POPCORN'

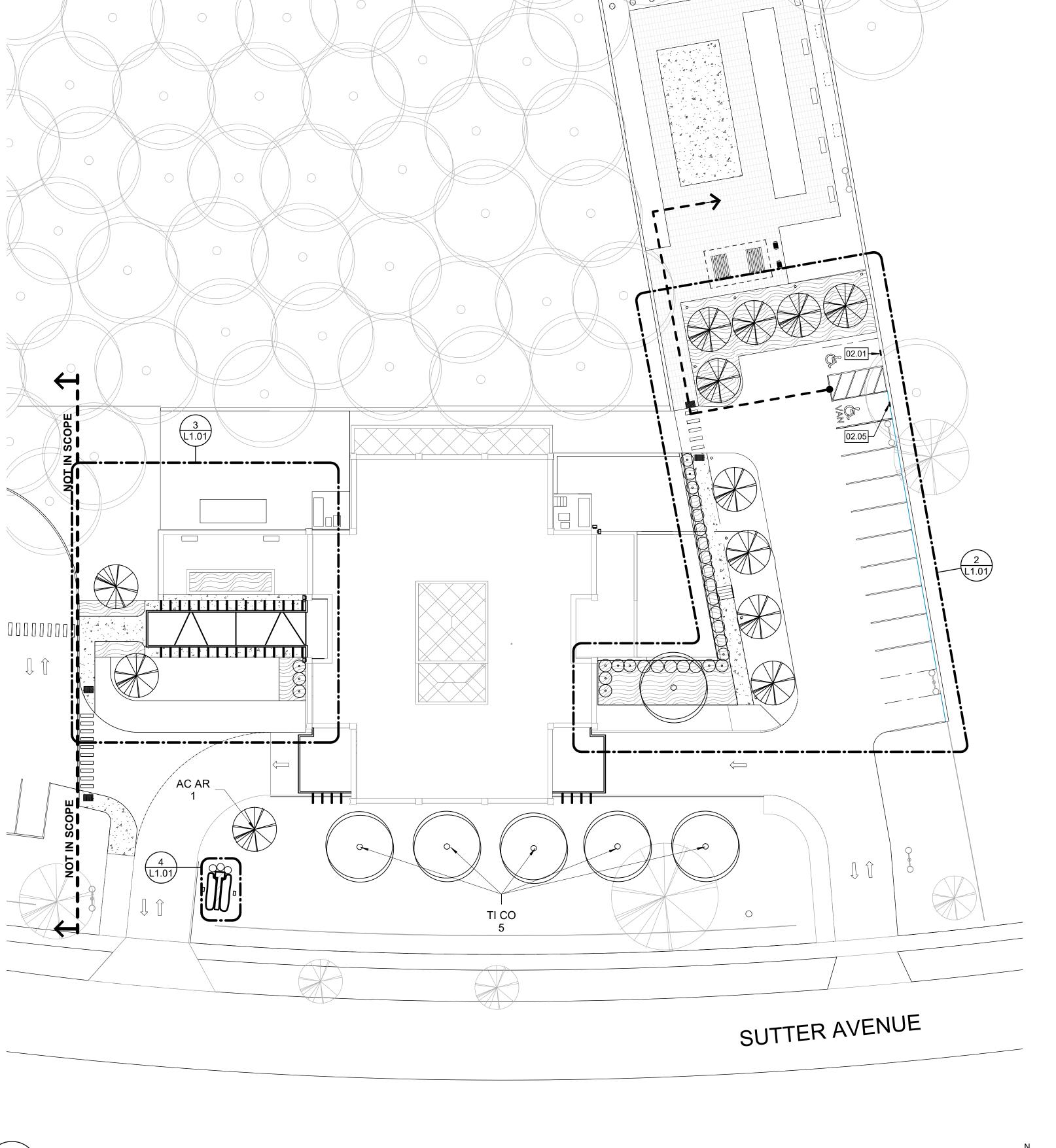
i CiCi	IIIIais	and Ordandovers			
KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	CON
GE RO	40	GERANIUM X 'ROZANNE'	ROZANNE CRANESBILL	No.1	CON
HE HA	40	HEMEROCALLIS 'HAPPY RETURN'	HAPPY RETURN DAYLILLY	No. 1	CON
LIVI	36	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILY TURF	No.1	CON

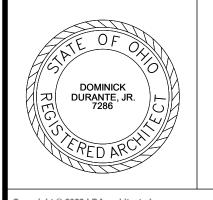


KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

2024.03.21 BIDDING AND PERMIT

02.01 PROVIDE NEW ACCESSIBLE PARKING SIGNAGE. 02.05 PROVIDE NEW ACCESSIBLE VAN PARKING SIGNAGE. 02.08 PROVIDE NEW ULINE 6' COURTYARD BENCH WITH BACK #H-3018. ARCHITECT TO SELECT COLOR.





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Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225

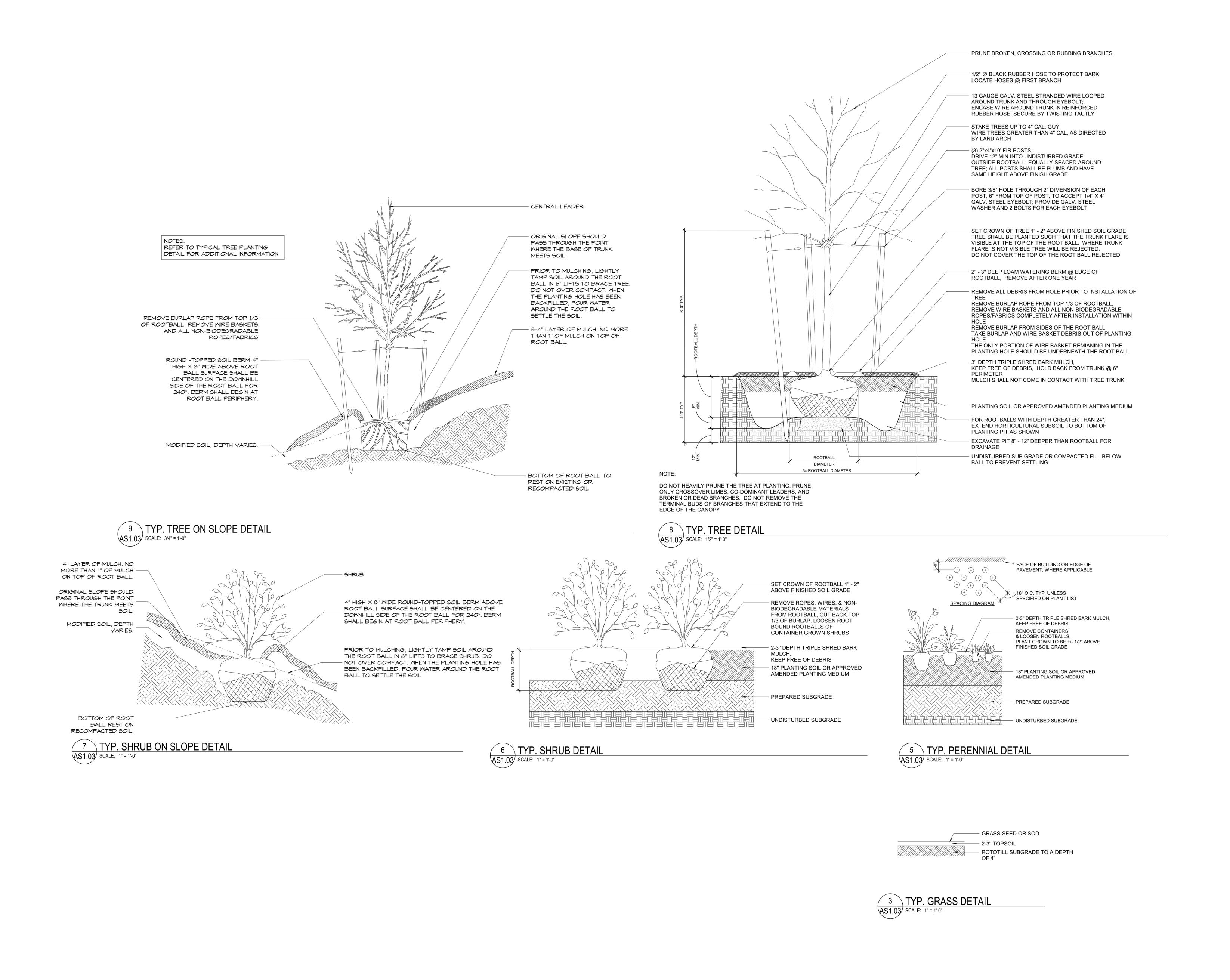
LDA Project No.23.47 PROPOSED LANDSCAPE L1.01

2 LANDSCAPE PLAN - NORTH PARKING LOT L1.01 SCALE: 1" = 10'-0"

_ AC AR

3 LANDSCAPE PLAN - MAIN ENTRANCE
L1.01 SCALE: 1" = 10'-0"

1 PROPOSED LANDSCAPE PLAN
L1.01 SCALE: 1" = 20'-0"





5000 Euclid Avenue, Suite 104 Cleveland, OH 44103 LDAarchitecture.com 216.932.1890

REV	DATE	DESCRIPTION			
	2023.12.18	DRAFT DESIGN DEVELOPMENT			
	2024.01.05	DESIGN DEVELOPMENT			
	2024.01.15	DRAFT 80%- OHFA APP.			
	2024.02.01	80% CD'S- OHFA APPLICATION			
	2024.03.21	BIDDING AND PERMIT			

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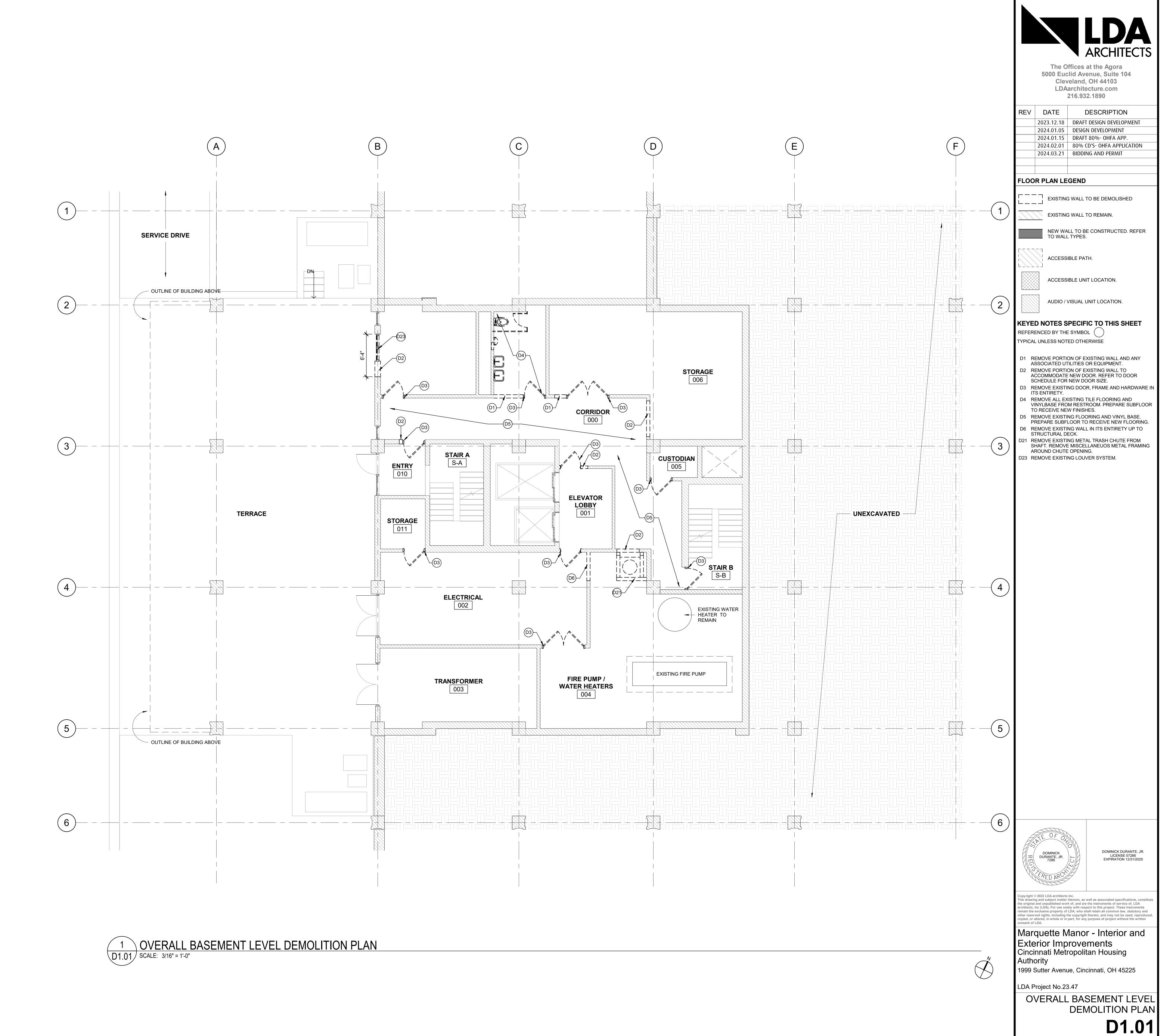
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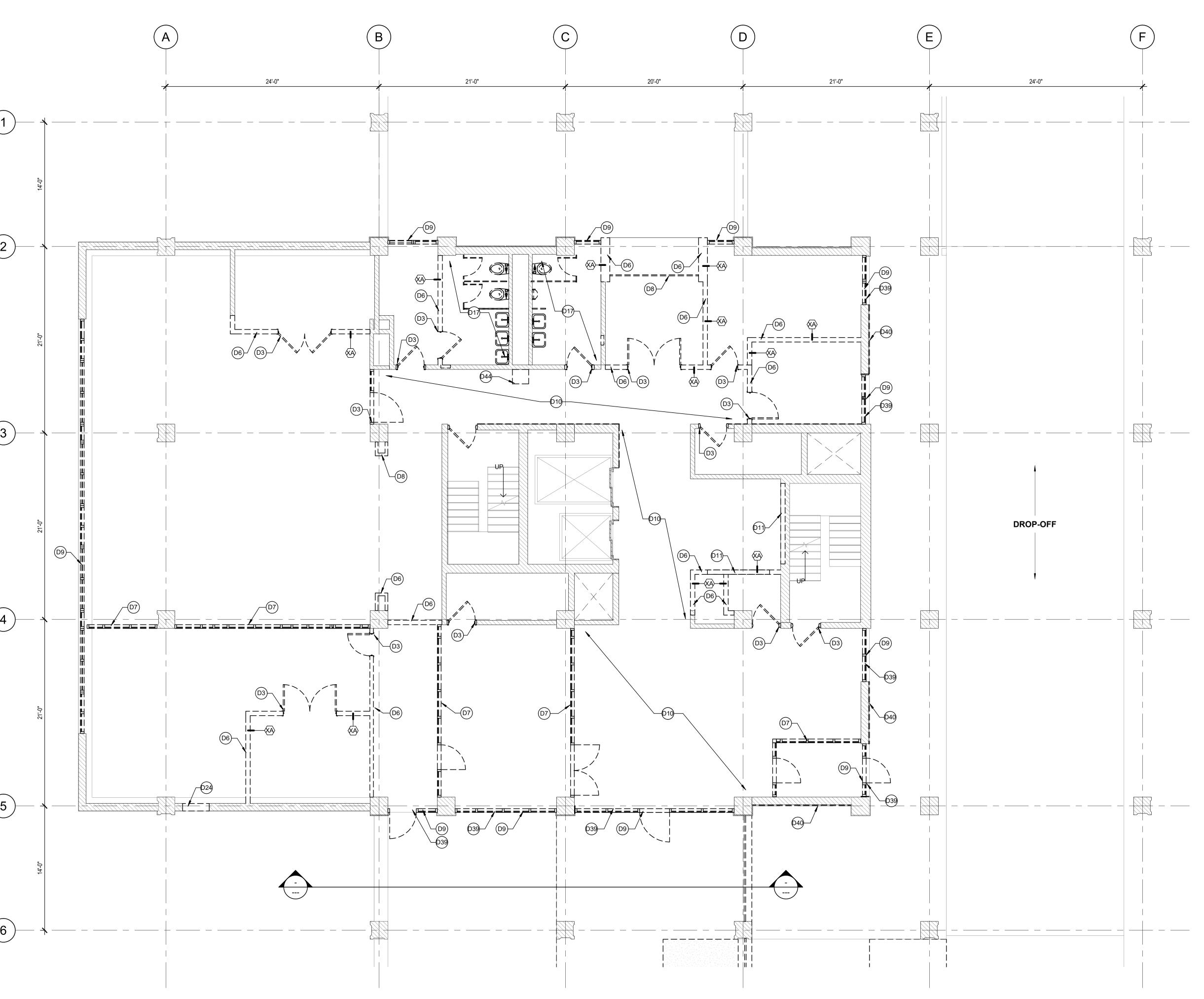
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LDA Project No.23.47

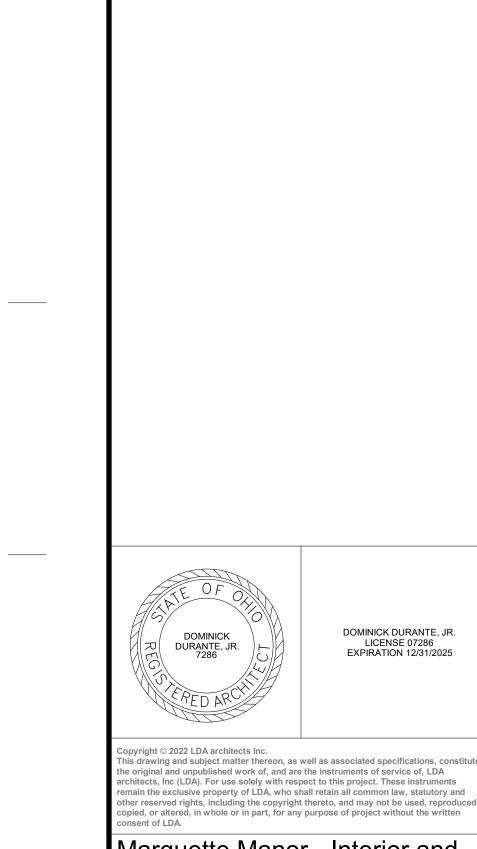
LANDSCAPE DETAILS

L1.02





1 OVERALL GROUND LEVEL DEMOLITION PLAN
D1.02 SCALE: 3/16" = 1'-0"

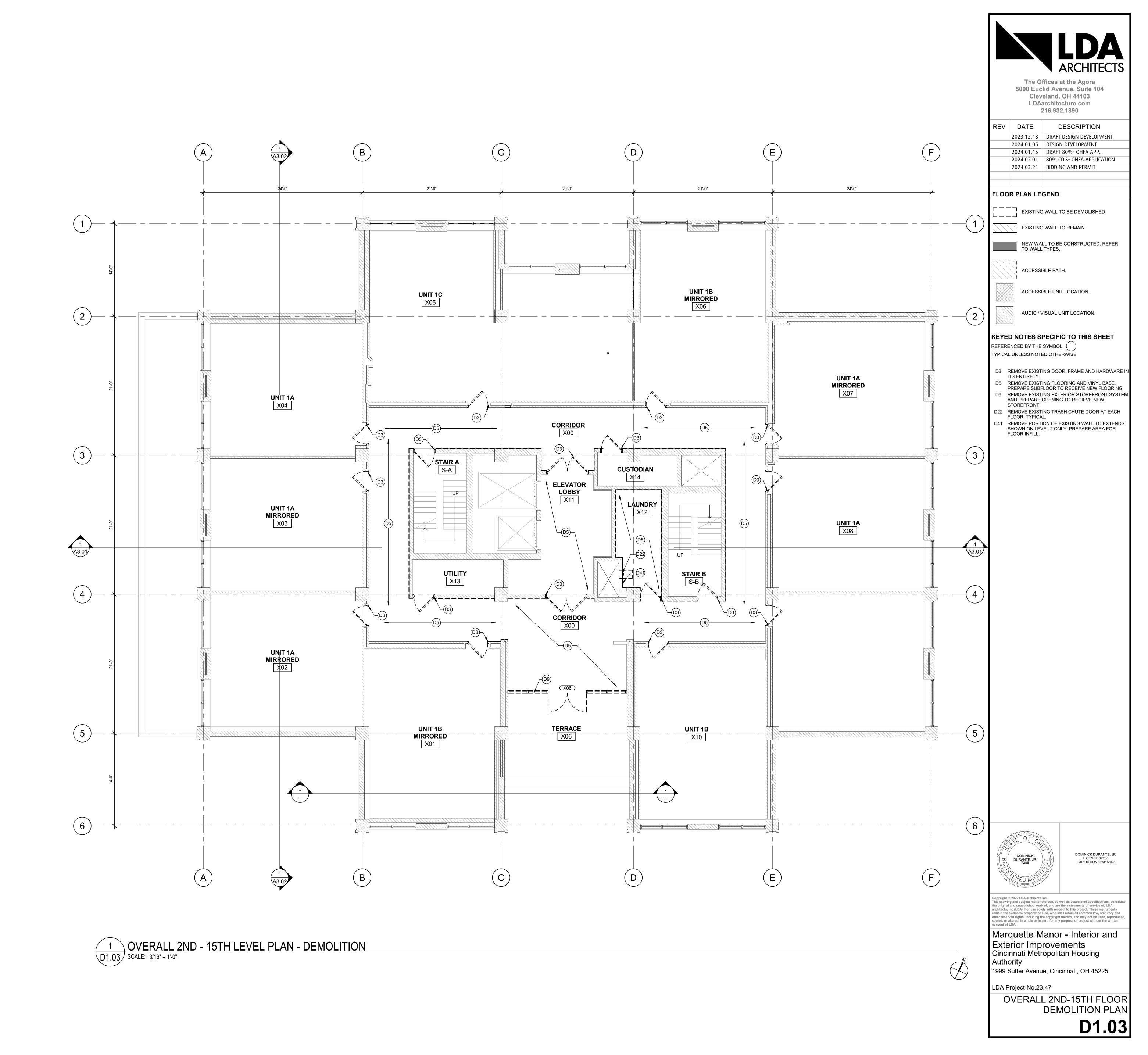


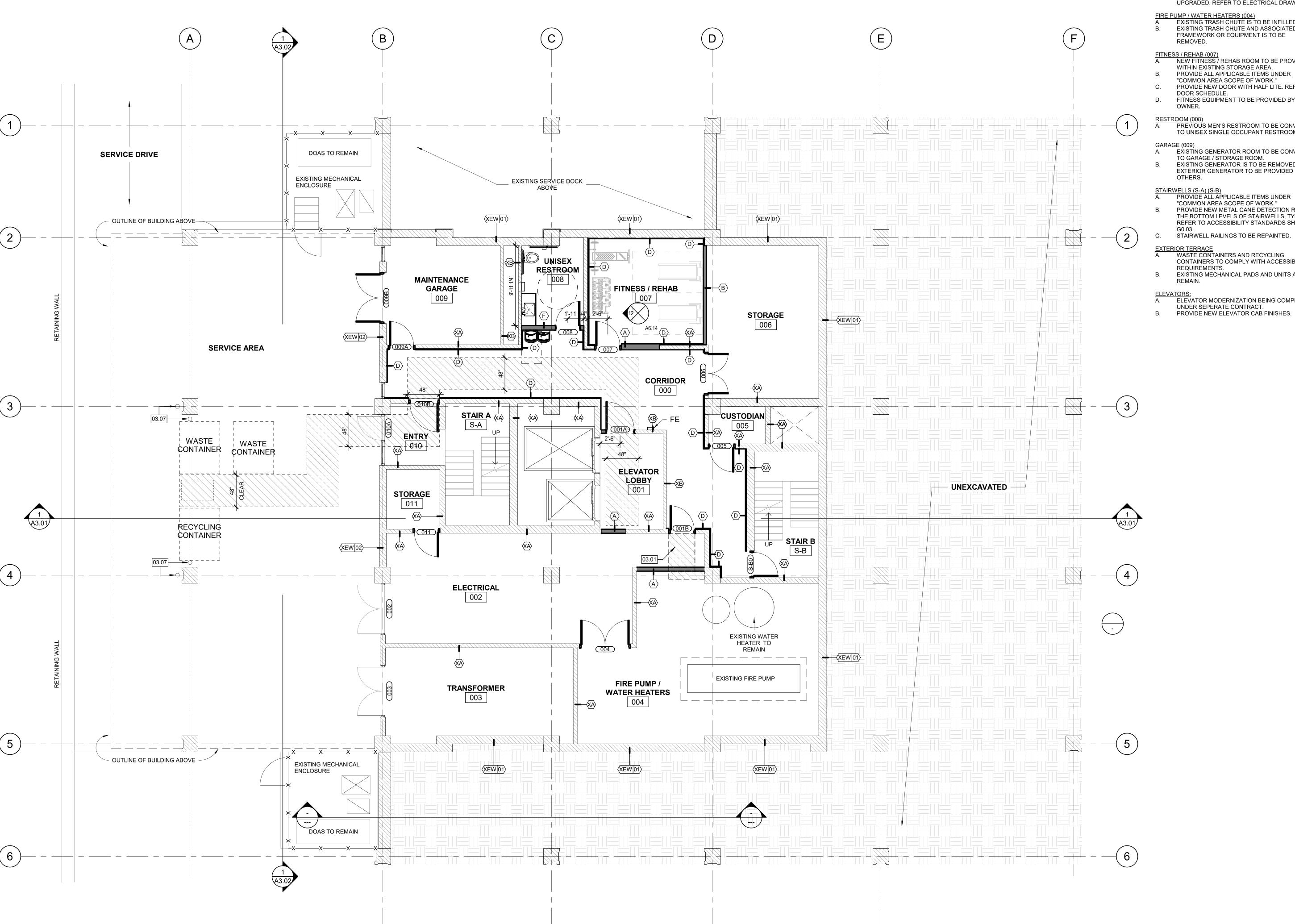
The Offices at the Agora 5000 Euclid Avenue, Suite 104 Cleveland, OH 44103 LDAarchitecture.com 216.932.1890 REV DATE DESCRIPTION 2023.12.18 DRAFT DESIGN DEVELOPMENT 2024.01.05 DESIGN DEVELOPMENT 2024.01.15 DRAFT 80%- OHFA APP. 2024.02.01 80% CD'S- OHFA APPLICATION 2024.03.21 BIDDING AND PERMIT FLOOR PLAN LEGEND EXISTING WALL TO BE DEMOLISHED EXISTING WALL TO REMAIN. NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES. ACCESSIBLE PATH. ACCESSIBLE UNIT LOCATION. AUDIO / VISUAL UNIT LOCATION. KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL () TYPICAL UNLESS NOTED OTHERWISE D3 REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY. D6 REMOVE EXISTING WALL IN ITS ENTIRETY UP TO STRUCTURAL DECK. D7 REMOVE EXISTING INTERIOR STOREFRONT SYSTEM INCLUDING GLASS, FRAMES, AND HARDWARE IN THEIR ENTIRETY. D8 REMOVE EXISTING OVERHEAD DOOR, STEEL ANGLES, AND CONCRETE BLOCK BULKHEAD IN THEIR ENTIRETY UP TO STRUCTURAL DECK. D9 REMOVE EXISTING EXTERIOR STOREFRONT SYSTEM AND PREPARE OPENING TO RECIEVE NEW D10 REMOVE EXISTING FLOOR AND WALL TILE THROUGHOUT EXISTING LOBBY AND CORRIDOR. PREPARE SURFACES TO REVEIVE NEW FINISHES. D11 REMOVE EXISTING MAILBOXES IN THEIR ENTIRETY D17 REMOVE ALL EXISTING TILE FLOORING, BASE, PLUMBING FIXTURES, GRAB BARS, AND MIRRORS FROM BATHROOM. D24 REMOVE PORTION OF EXISTING EXTERIOR WALL TO ACCOMMODATE NEW STOREFRONT WINDOW. REFER TO STOREFRONT AND WALL TYPES. D39 REMOVE EXISTING EIFS EXTERIOR FINISH PANELS ABOVE STOREFRONT DOWN TO SUBSTRATE. D40 REMOVE EXISTING EIFS EXTERIOR FINISH PANELS DOWN TO SUBSTRATE. D44 REMOVE EXISTING DRINKING FOUNTAIN.

LDA Project No.23.47

OVERALL GROUND FLOOR DEMOLITION PLAN

DOMINICK DURANTE, JR. LICENSE 07286 EXPIRATION 12/31/2025





SCOPE OF WORK - BASEMENT LEVEL

CORRIDOR (000)
A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."

ELEVATOR LOBBY (001)

A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK." EXISTING DOOR FROM ELEVATOR LOBBY (001) TO ELECTRICAL ROOM (002) TO BE RELOCATED PROPOSED PLÀNS.

TO CORRIDOR (000). REFER TO DEMOLITION AND EXISTING DOOR FROM ELEVATOR LOBBY (000) TO CORRIDOR (000) TO BE ENLARGED. REFER TO

DOOR SCHEDULE. ELECTRICAL (002)
A. BUILDING ELECTRICAL SYSTEMS ARE TO BE UPGRADED. REFER TO ELECTRICAL DRAWINGS

FIRE PUMP / WATER HEATERS (004)

A. EXISTING TRASH CHUTE IS TO BE INFILLED. EXISTING TRASH CHUTE AND ASSOCIATED FRAMEWORK OR EQUIPMENT IS TO BE

FITNESS / REHAB (007)
A. NEW FITNESS / REHAB ROOM TO BE PROVIDED WITHIN EXISTING STORAGE AREA. PROVIDE ALL APPLICABLE ITEMS UNDER

"COMMON AREA SCOPE OF WORK." PROVIDE NEW DOOR WITH HALF LITE. REFER TO DOOR SCHEDULE. FITNESS EQUIPMENT TO BE PROVIDED BY

OTHERS.

OWNER.

REMOVED.

PREVIOUS MEN'S RESTROOM TO BE CONVERTED TO UNISEX SINGLE OCCUPANT RESTROOM.

GARAGE (009)
A. EXISTING GENERATOR ROOM TO BE CONVERTED TO GARAGE / STORAGE ROOM. EXISTING GENERATOR IS TO BE REMOVED. NEW EXTERIOR GENERATOR TO BE PROVIDED BY

"COMMON AREA SCOPE OF WORK."
PROVIDE NEW METAL CANE DETECTION RAILS AT THE BOTTOM LEVELS OF STAIRWELLS, TYPICAL. REFER TO ACCESSIBILITY STANDARDS SHEET STAIRWELL RAILINGS TO BE REPAINTED.

A. WASTE CONTAINERS AND RECYCLING CONTAINERS TO COMPLY WITH ACCESSIBILITY

REQUIREMENTS. B. EXISTING MECHANICAL PADS AND UNITS ARE TO REMAIN.

ELEVATORS:
A. ELEVATOR MODERNIZATION BEING COMPLETED UNDER SEPERATE CONTRACT. PROVIDE NEW ELEVATOR CAB FINISHES.

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	2024.03.21	BIDDING AND PERMIT

FLOOR PLAN LEGEND

EXISTING WALL TO BE DEMOLISHED

_ _ _ _ _

EXISTING WALL TO REMAIN.

NEW WALL TO BE CONSTRUCTED. REFER

TO WALL TYPES.

ACCESSIBLE PATH.

ACCESSIBLE UNIT LOCATION.

AUDIO / VISUAL UNIT LOCATION.

KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

03.01 INFILL EXISTING CONCRETE SLAB WHERE TRASH CHUTE WAS REMOVED AT FIRST AND SECOND FLOOR, REFER TO STRUCTURAL. 03.07 PROVIDE NEW CONCRETE BOLLARD. REFER TO BOLLARD DETAIL.

SCOPE OF WORK & GENERAL NOTES -COMMON AREAS

1. REFER TO COVER SHEET G0.01 FOR OVERALL PROJECT GENERAL NOTES AND DEMOLITION GENERAL

2. REFER TO A6.00 SHEETS FOR DWELLING UNIT SCOPES

3. THE FOLLOWING SCOPE OF WORK APPLIES TO ALL COMMON AREAS OUTSIDE OF DWELLING UNITS, AND ARE TYPICAL UNLESS NOTED OTHERWISE.

PAINT ALL WALLS & PAINTABLE SURFACES.

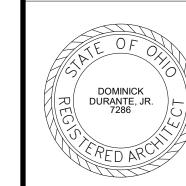
COMMON AREA SCOPE OF WORK:

REFER TO FINISH SCHEDULE. PROVIDE NEW FLOORING AND BASE AT ALL COMMON AREAS INCLUDING BUT NOT LIMITED TO CORRIDORS, RESIDENT AMENITIES, AND OFFICES. REFER TO FINISH SCHEDULE. NO NEW FLOORING IN STAIRS OR SERVICES AREAS UNLESS OTHERWISE NOTED. PROVIDE NEW LED LIGHT FIXTURES IN ALL COMMON AREAS. REFER TO REFLECTED CEILING

PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT EACH UNIT ENTRY DOOR, ALL PUBLIC AREAS AND COMMON SPACES AT THE HANDLE SIDE OF EACH DOOR IF APPLICABLE. ALL EXISTING CORRIDOR HANDRAILS ARE TO REMAIN. REPAIR OR RE-SECURE HANDRAILS AS

PROVIDE CORNER GUARDS AT ALL PUBLIC AREAS / CORRIDORS. ALL DOORS, FRAMES AND HARDWARE ARE TO

BE REPLACED WITH NEW. REFER TO A7.00 FOR DOOR SCHEDULE AND DETAILS. REPAIR ANY ELEMENTS THAT SHOW SIGNS OF WATER DAMAGE. ALL ACOUSTIC CEILING TILES AND GRIDS ARE TO BE REPLACED. REFER TO REFLECTED CEILING



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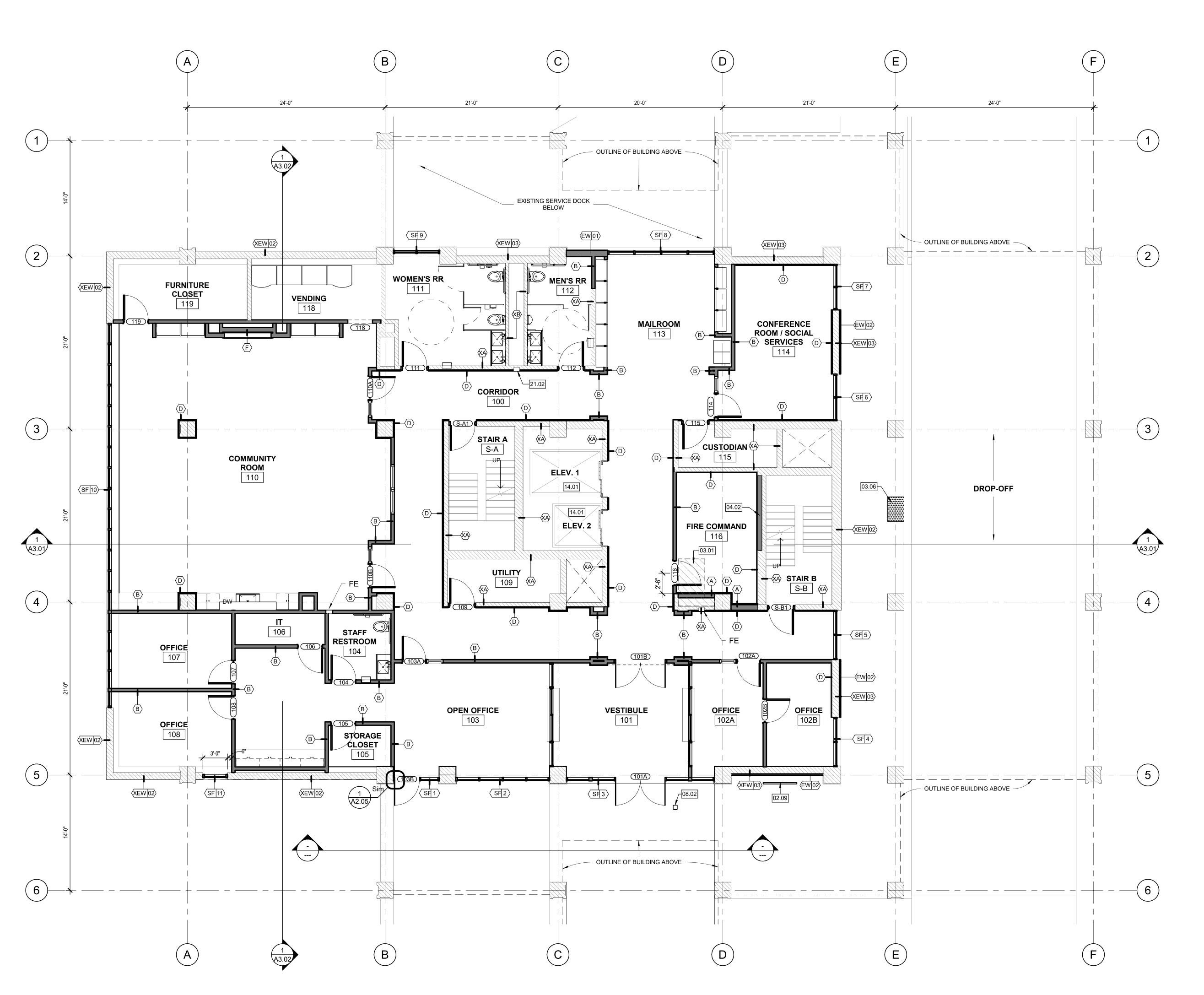
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Cincinnati Metropolitan Housing

Authority 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47 OVERALL BASEMENT LEVEL PLAN - PROPOSED

1 OVERALL BASEMENT LEVEL PLAN
A1.01 SCALE: 3/16" = 1'-0"



OVERALL GROUND LEVEL PLAN - PROPOSED

SCOPE OF WORK - GROUND LEVEL (CONTINUED)

- "COMMON AREA SCOPE OF WORK." PROVIDE NEW INTERIOR STOREFRONT SYSTEM AT CORRIDOR. REFER TO INTERIOR ELEVATIONS.
- WITHIN EXISTING OPENING. REFER TO ELEVATIONS.

PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."

- & STAINED CONCRETE. REFER TO FINISH SCHEDULE.
- AND MEET FULL ACCESSIBILITY STANDARDS. PROVIDE NEW OPEN WIRE SHELVING IN
- PROVIDE NEW EXTERIOR STOREFRONT
- NOTED OTHERWISE. PROVIDE CEMENT BOARD BEHIND ALL WALL TILE

VESTIBULE 101.

- "COMMON AREA SCOPE OF WORK." PROVIDE KITCHENETTE WITH LOCKABLE SLIDING DOORS ON SOUTH SIDE OF COMMUNITY ROOM. REFER TO INTERIOR ELEVATIONS.
- ELEVATIONS.

- "COMMON AREA SCOPE OF WORK." PROVIDE NEW FLOOR AND WALL TILE AT
- TO DEMOLITION PLAN. PROVIDE NEW FIXTURES, ACCESSORIES, AND
- PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DALTILE "STEP WISE") WITH 1/8" GROUT JOINT...

- "COMMON AREA SCOPE OF WORK." NEW MAILROOM TO BE CONSTRUCTED AT
- EXISTING SERVICE / LOADING DOCK. REFER TO
- PROVIDE NEW RECESSED MAILBOXES TO MEET
- ACCESSIBILITY REQUIREMENTS. REFER TO INTERIOR ELEVATIONS. PROVIDE TRASH PULL-OUT CABINET STORAGE
- INTERIOR ELEVATIONS. PROVIDE NEW SLIP-RESISTANT TILE FLOORING

VENDING (114) A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK."

- ELEVATIONS.

PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK." NEW FIRE COMMAND CENTER TO BE CONSTRUCTED AT EXISTING MAIL ROOM. COORDINATE THE RELOCATION OF FIRE

UNDER SEPERATE CONTRACT. PROVIDE NEW ELEVATOR CAB FINISHES.

- OFFICES (102A & 102B)

 A. PROVIDE ALL APPLICABLE ITEMS UNDER
- PROVIDE NEW EXTERIOR STOREFRONT SYSTEM
- PROVIDE CARPET TILE FLOORING & TILE TO CARPET SCHLUTER TRANSITION STRIP. PROVIDE SLIDING WINDOW INTO VESTIBULE 101.

OPEN OFFICE (103), STAFF RESTROOM (104), STORAGE (105), IT CENTER (106) AND PRIVATE OFFICES (107 & 108)

- FLOORING THROUGHOUT OFFICE TO BE SEALED
- NEW STAFF RESTROOM TO BE CONSTRUCTED
- STORAGE CLOSET. NEW PRIVATE OFFICES TO BE CONSTRUCTED.
- SYSTEMS AT EXISTING OPENINGS UNLESS
- AS INDICATED IN SPECIFICATIONS. NEW IT CENTER TO BE CONSTRUCTED. PROVIDE NEW SLIDING WINDOW AT 103 INTO

- PROVIDE ALL APPLICABLE ITEMS UNDER
- PROVIDE NEW STORAGE CABINETS, SHELVING, STACKED STONE VENEER ACCENT, AND ELECTRIC FIREPLACE AT NORTH END OF COMMUNITY ROOM. REFER TO INTERIOR
- PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DALTILE "STEP WISE") WITH 1/8" GROUT JOINT.

RESTROOMS (111 & 112) A. PROVIDE ALL APPLICABLE ITEMS UNDER

- TO MEET ACCESSIBILITY CLEARANCES. REFER
- PARTITIONS AT RESTROOMS. REFER TO INTERIOR ELEVATIONS.
- AS INDICATED IN SPECIFICATIONS.

- MAILROOM (113)
 A. PROVIDE ALL APPLICABLE ITEMS UNDER
- DEMOLITION PLANS.
- WITH COUNTERTOP & 6" GROMMET. REFER TO
 - (DALTILE "STEP WISE") WITH 1/8" GROUT JOINT..

COMMON AREAS

- PROVIDE NEW SEATING COUNTERTOP WITH SUPPORT BRACKETS. REFER TO INTERIOR
- PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DALTILE "STEP WISE") WITH 1/8" GROUT JOINT.

FIRE COMMAND CENTER (115

COMMAND EQUIPMENT WITH LOCAL FIRE DEPARTMENT.

- PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK." PROVIDE NEW METAL CANE DETECTION RAILS AT THE BOTTOM LEVELS OF STAIRWELLS, TYPICAL.
- REFER TO ACCESSIBILITY STANDARDS SHEET C. STAIRWELL RAILINGS TO BE REPAINTED
- ELEVATORS:
 A. ELEVATOR MODERNIZATION BEING COMPLETED

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V	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

FLOOR PLAN LEGEND

_ _ _ _

EXISTING WALL TO BE DEMOLISHED

EXISTING WALL TO REMAIN.

NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.

ACCESSIBLE PATH.

ACCESSIBLE UNIT LOCATION.

AUDIO / VISUAL UNIT LOCATION.

WOMEN'S RESTROOM TO HAVE WALL REMOVED TO MEET ADDRESS: TO STAND TO HAVE WALL REMOVED REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

- PROVIDE CEMENT BOARD BEHIND ALL WALL TILE | 02.09 PROVIDE NEW ULINE 5-LOOP WAVE BIKE RACK # H-2544, BLACK FINISH. 3.01 INFILL EXISTING CONCRETE SLAB WHERE TRASH CHUTE WAS REMOVED AT FIRST AND SECOND
 - 03.06 PROVIDE NEW SURFACE MOUNT ADA WARNING STRIP BY ULINE. 04.02 INFILL WALL TO MATCH SURROUNDING CONSTRUCTION AT LOCATION OF PREVIOUS

FLOOR, REFER TO STRUCTURAL.

MAILBOXES. 08.02 POLE MOUNTED AUTOMATIC DOOR OPERATOR PUSH PLATE. REFER TO SPECIFICATIONS. 14.01 REMOVE AND REPLACE ALL ELEVATOR CAB FINISHES WITH STANDARD SCHINDLER FIXTURES, U.N.O. CAB WALLS: TORONTO GRAY. CAB FLOORING: LVT-1 (SEE FINISH SCHEDULE).

STANDARD CEILING: LED SPOT. HANDRAIL: ROUND

END STAINLESS. 21.02 REPLACE ALL EXISTING FIRE EQTINGUISHERS. SCOPE OF WORK & GENERAL NOTES -

. REFER TO COVER SHEET G0.01 FOR OVERALL PROJECT GENERAL NOTES AND DEMOLITION GENERAL

2. REFER TO A6.00 SHEETS FOR DWELLING UNIT SCOPES OF WORK.

3. THE FOLLOWING SCOPE OF WORK APPLIES TO ALL COMMON AREAS OUTSIDE OF DWELLING UNITS, AND ARE TYPICAL UNLESS NOTED OTHERWISE.

COMMON AREA SCOPE OF WORK: A. PAINT ALL WALLS & PAINTABLE SURFACES. REFER TO FINISH SCHEDULE. PROVIDE NEW FLOORING AND BASE AT ALL COMMON AREAS INCLUDING BUT NOT LIMITED TO CORRIDORS, RESIDENT AMENITIES, AND OFFICES. REFER TO FINISH SCHEDULE. NO NEW FLOORING IN STAIRS OR SERVICES AREAS UNLESS OTHERWISE NOTED. PROVIDE NEW LED LIGHT FIXTURES IN ALL COMMON AREAS. REFER TO REFLECTED CEILING

PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT EACH UNIT ENTRY DOOR, ALL PUBLIC AREAS AND COMMON SPACES AT THE HANDLE SIDE OF EACH DOOR IF APPLICABLE. ALL EXISTING CORRIDOR HANDRAILS ARE TO REMAIN. REPAIR OR RE-SECURE HANDRAILS AS PROVIDE CORNER GUARDS AT ALL PUBLIC

ALL DOORS, FRAMES AND HARDWARE ARE TO BE REPLACED WITH NEW. REFER TO A7.00 FOR DOOR SCHEDULE AND DETAILS. REPAIR ANY ELEMENTS THAT SHOW SIGNS OF WATER DAMAGE. ALL ACOUSTIC CEILING TILES AND GRIDS ARE TO

BE REPLACED. REFER TO REFLECTED CEILING

SCOPE OF WORK - GROUND LEVEL

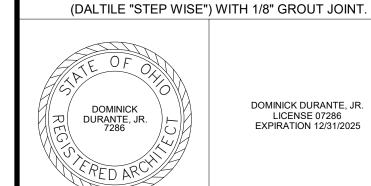
AREAS / CORRIDORS.

ORRIDOR (100)

A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK." PROVIDE NEW EXTERIOR STOREFRONT SYSTEMS WITHIN EXISTING OPENINGS UNLESS NOTED OTHERWISE. PROVIDE NEW SLIP-RESISTANT TILE FLOORING (DALTILE "STEP WISE") WITH 1/8" GROUT JOINT.

PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK." PROVIDE NEW INTERIOR STOREFRONT SYSTEMS AT OFFICE RECEPTION AND CONFERENCE ROOM. REFER TO INTERIOR ELEVATIONS. PROVIDE NEW EXTERIOR STOREFRONT SYSTEM

AT NEW MAIN ENTRY. REFER TO ELEVATIONS PROVIDE NEW SLIP-RESISTANT TILE FLOORING



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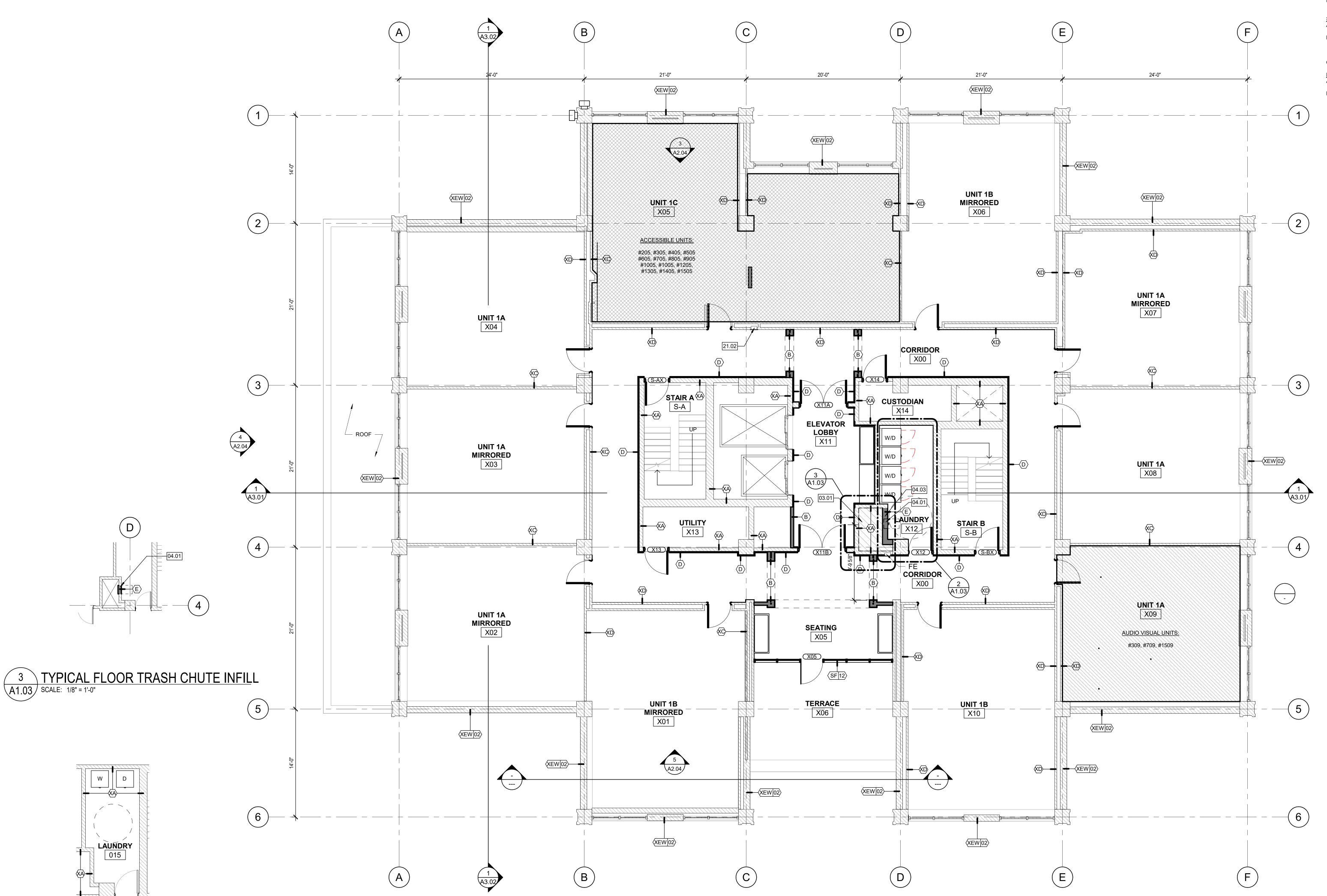
Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing

1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

Authority

OVERALL GROUND FLOOR PLAN - PROPOSED



SCOPE OF WORK - LEVELS 2-15 (CONTINUED)

LAUNDRY ROOMS (X12)
A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK." STORAGE ROOMS IN THIS AREA ON ODD-NUMBERED FLOORS ARE TO BE CONVERTED TO

LAUNDRY ROOMS. NEW LAUNDRY ROOMS ON ODD-NUMBERED FLOORS ARE TO COMPLY WITH ACCESSIBILITY STANDARDS. EXISTING LAUNDRY ROOMS ON EVEN-NUMBERED FLOORS ARE TO BE PROVIDED WITH 2 WASHERS AND 2 DRYERS. REFER TO

FLOORING TO BE A DALTILE "STEP WISE" SLIP-RESISTANT FLOOR TILE WITH 1/8" GROUT JOINT.

STAIRWELLS (S-A) (S-B)
A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK." PROVIDE NEW METAL CANE DETECTION RAILS AT

REFER TO ACCESSIBILITY STANDARDS SHEET STAIRWELL RAILINGS TO BE REPAINTED.

THE BOTTOM LEVELS OF STAIRWELLS, TYPICAL.

ELEVATORS:
A. ELEVATOR MODERNIZATION BEING COMPLETED

UNDER SEPERATE CONTRACT. PROVIDE NEW ELEVATOR CAB FINISHES. FLOOR PLAN LEGEND

DATE

EXISTING WALL TO BE DEMOLISHED

EXISTING WALL TO REMAIN.

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Cleveland, OH 44103

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2023.12.18 DRAFT DESIGN DEVELOPMENT

2024.02.01 80% CD'S- OHFA APPLICATION

2024.01.05 DESIGN DEVELOPMENT

2024.01.15 DRAFT 80%- OHFA APP.

2024.03.21 BIDDING AND PERMIT

DESCRIPTION

NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.

ACCESSIBLE PATH.

ACCESSIBLE UNIT LOCATION.

AUDIO / VISUAL UNIT LOCATION.

KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

03.01 INFILL EXISTING CONCRETE SLAB WHERE TRASH CHUTE WAS REMOVED AT FIRST AND SECOND FLOOR, REFER TO STRUCTURAL.

04.01 INFILL CMU TO ENCLOSE PREVIOUS TRASH CHUTE ON FLOORS 3-14. PROVIDE 2 HOUR FIRE RATED ACCESS PANEL ON LEVELS 2 AND 15. 04.03 INFILL CMU WALL TO PROVIDE TWO-HOUR FIRE

21.02 REPLACE ALL EXISTING FIRE EQTINGUISHERS. SCOPE OF WORK & GENERAL NOTES -

1. REFER TO COVER SHEET G0.01 FOR OVERALL PROJECT GENERAL NOTES AND DEMOLITION GENERAL

COMMON AREAS

2. REFER TO A6.00 SHEETS FOR DWELLING UNIT SCOPES

3. THE FOLLOWING SCOPE OF WORK APPLIES TO ALL COMMON AREAS OUTSIDE OF DWELLING UNITS, AND ARE TYPICAL UNLESS NOTED OTHERWISE.

COMMON AREA SCOPE OF WORK:

A. PAINT ALL WALLS & PAINTABLE SURFACES. REFER TO FINISH SCHEDULE. PROVIDE NEW FLOORING AND BASE AT ALL COMMON AREAS INCLUDING BUT NOT LIMITED TO CORRIDORS, RESIDENT AMENITIES, AND OFFICES. REFER TO FINISH SCHEDULE. NO NEW FLOORING IN STAIRS OR SERVICES AREAS UNLESS OTHERWISE NOTED. PROVIDE NEW LED LIGHT FIXTURES IN ALL

COMMON AREAS. REFER TO REFLECTED CEILING PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT EACH UNIT ENTRY DOOR, ALL PUBLIC AREAS AND COMMON SPACES AT THE HANDLE SIDE OF EACH DOOR IF APPLICABLE.

ALL EXISTING CORRIDOR HANDRAILS ARE TO REMAIN. REPAIR OR RE-SECURE HANDRAILS AS

PROVIDE CORNER GUARDS AT ALL PUBLIC AREAS / CORRIDORS. ALL DOORS, FRAMES AND HARDWARE ARE TO BE REPLACED WITH NEW. REFER TO A7.00 FOR DOOR SCHEDULE AND DETAILS. REPAIR ANY ELEMENTS THAT SHOW SIGNS OF

WATER DAMAGE. ALL ACOUSTIC CEILING TILES AND GRIDS ARE TO BE REPLACED. REFER TO REFLECTED CEILING

SCOPE OF WORK - LEVELS 2 - 15

CORRIDOR (X00)

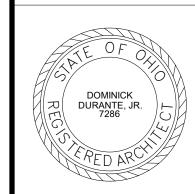
A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK." FLOORING THROUGHOUT CORRIDOR TO BE SEALED & STAINED CONCRETE. REFER TO FINISH SCHEDULE.

SEATING AREA (X05)
A. PROVIDE ALL APPLICABLE ITEMS UNDER
"COMMON AREA SCOPE OF WORK." PROVIDE NEW PERMANENT BENCH SEATING.

REFER TO INTERIOR ELEVATIONS. FLOORING THROUGHOUT CORRIDOR TO BE SEALED & STAINED CONCRETE. REFER TO FINISH

ELEVATOR LOBBY (X11)
A. PROVIDE ALL APPLICABLE ITEMS UNDER "COMMON AREA SCOPE OF WORK." PROVIDE NEW FEATURE WALL WITH PERMANENT BENCH SEATING. REFER TO INTERIOR ELEVATIONS.

FLOORING THROUGHOUT CORRIDOR TO BE SEALED & STAINED CONCRETE. REFER TO FINISH



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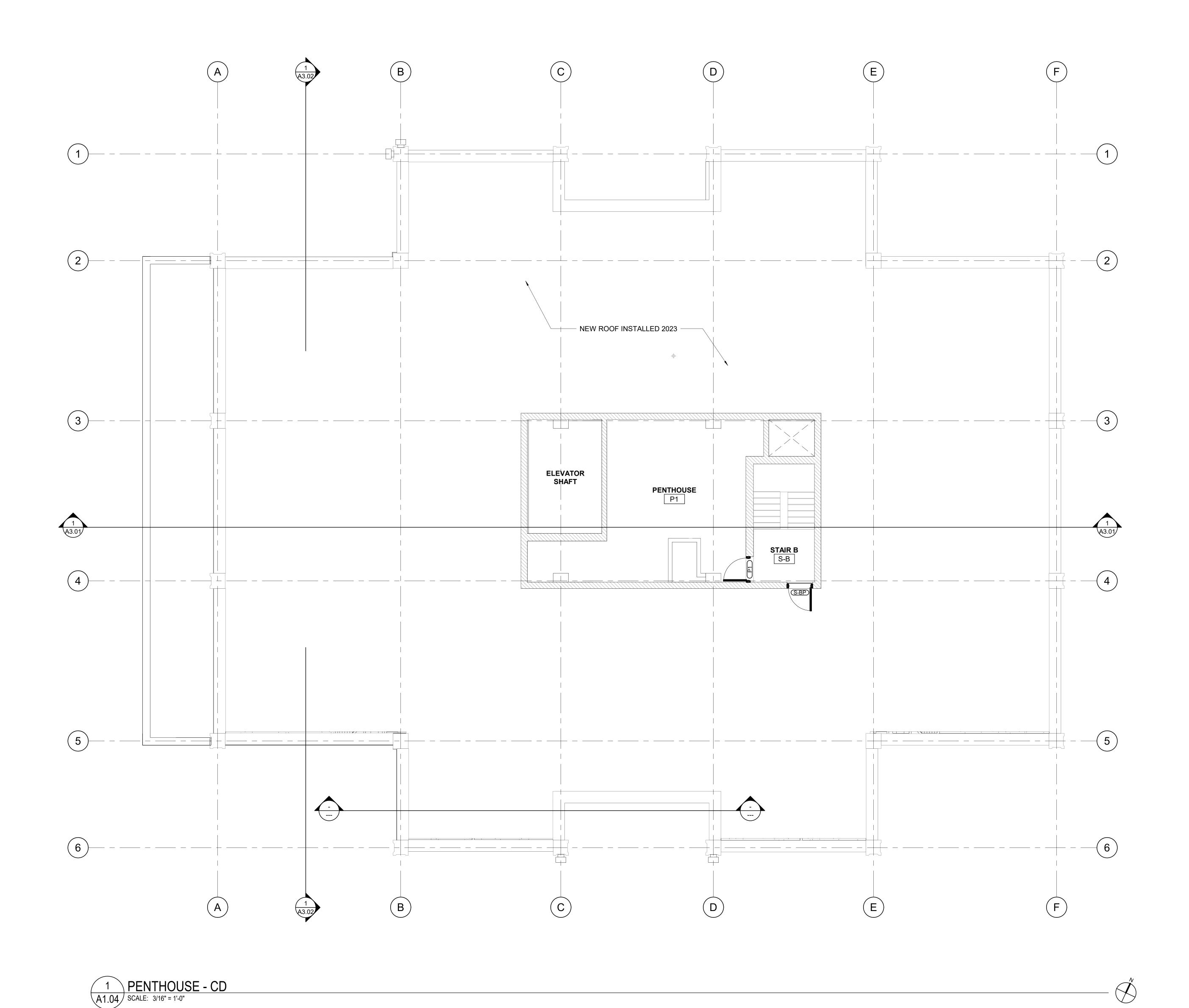
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OVERALL 2ND - 15TH FLOOR PLAN - PROPOSED



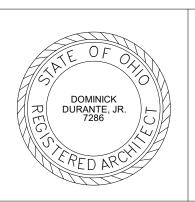
2 ADA LAUNDRY - ODD FLOORS A1.03 SCALE: 3/16" = 1'-0"





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	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT



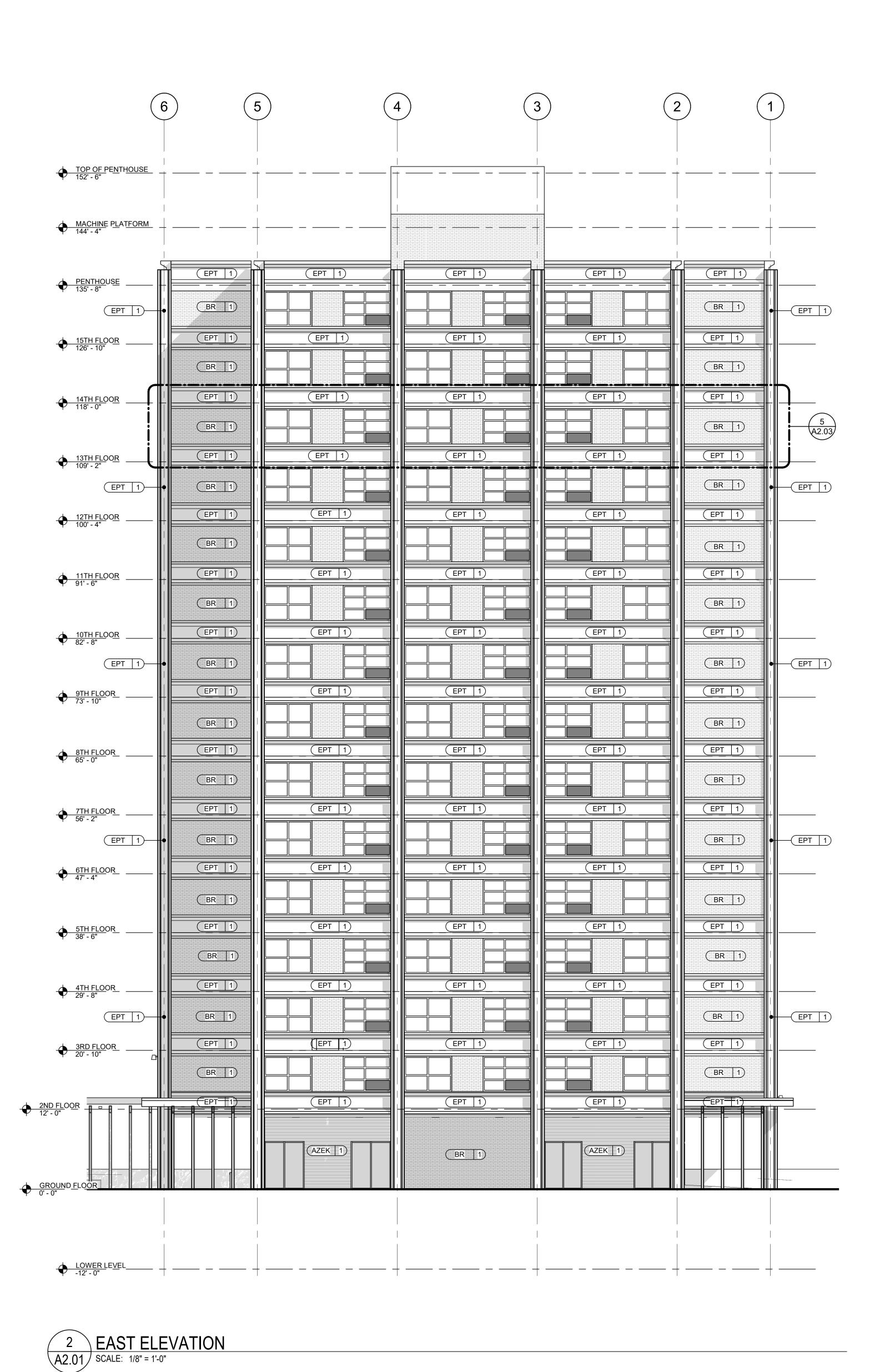
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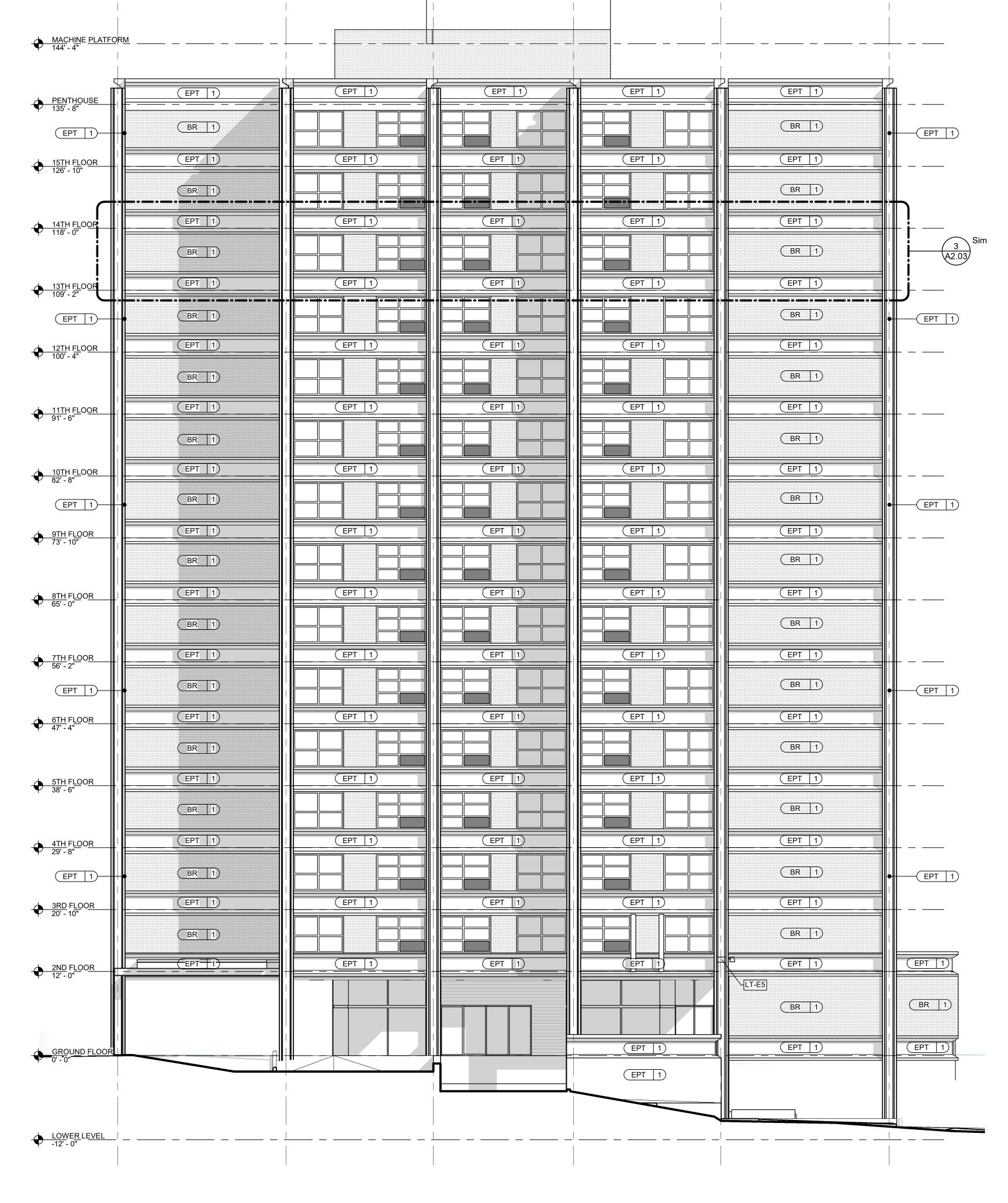
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OVERALL PENT HOUSE LEVEL PLAN





1 NORTH ELEVATION
A2.01 SCALE: 1/8" = 1'-0"

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GENERAL NOTES - EXTERIOR ELEVATIONS

1. ALL EXISTING EXTERIOR BUILDING ATTACHED LIGHTING IS TO BE REPLACED ONE FOR ONE WITH NEW LED LIGHTING. REFER TO ELECTRICAL DRAWINGS.

2. ALL EXTERIOR EXPOSED CONCRETE SURFACES ARE TO BE PAINTED. REFER TO EXTERIOR FINISH SCHEDULE,

3. ALL EXTERIOR DOORS ARE TO BE PAINTED. REFER TO DOOR SCHEDULE.

4. ALL JOINTS ON BUILDING EXTERIOR ARE TO BE RE-

ALL JOINTS ON BUILDING EXTERIOR ARE TO BE RECAULKED OR RE-SEALED.

 EXISITING WINDOWS AT DWELLING UNITS ARE TO REMAIN. STOREFRONT WINDOWS AT GROUND LEVEL.

AND AT RESIDENTIAL TERRACES ARE TO BE REPLACED. REFER TO STOREFRONT ELEVATIONS AND DETAILS.

6. ALL EXTERIOR HEAD FLASHING AND ASSOCIATED SEALANTS ARE TO BE REPLACED, TYPICAL.

7. GENERATOR HAS RECENTLY BEEN REPLACED AND WILL REMAIN.8. BUILDING ROOFING HAS RECENTLY BEEN REPLACED

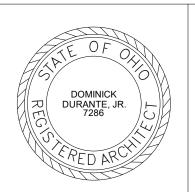
AND WILL REMAIN.

9. EXISTING EXTERIOR BRICK IS TO REMAIN. ALLOW FOR RE-TUCKPOINTING ON UP TO 20% OF BRICK.

RE-TUCKPOINTING ON UP TO 20% OF BRICK.

10. EXISTING EIFS FACADE PANELS ARE TO BE REMOVED DOWN TO EXISTING CMU AT GROUND FLOOR AT SELECT AREAS AROUND STOREFRONTS, REFER TO ENLARGED ELEVATIONS.

KEYED NOTES SPECIFIC TO THIS SHEET
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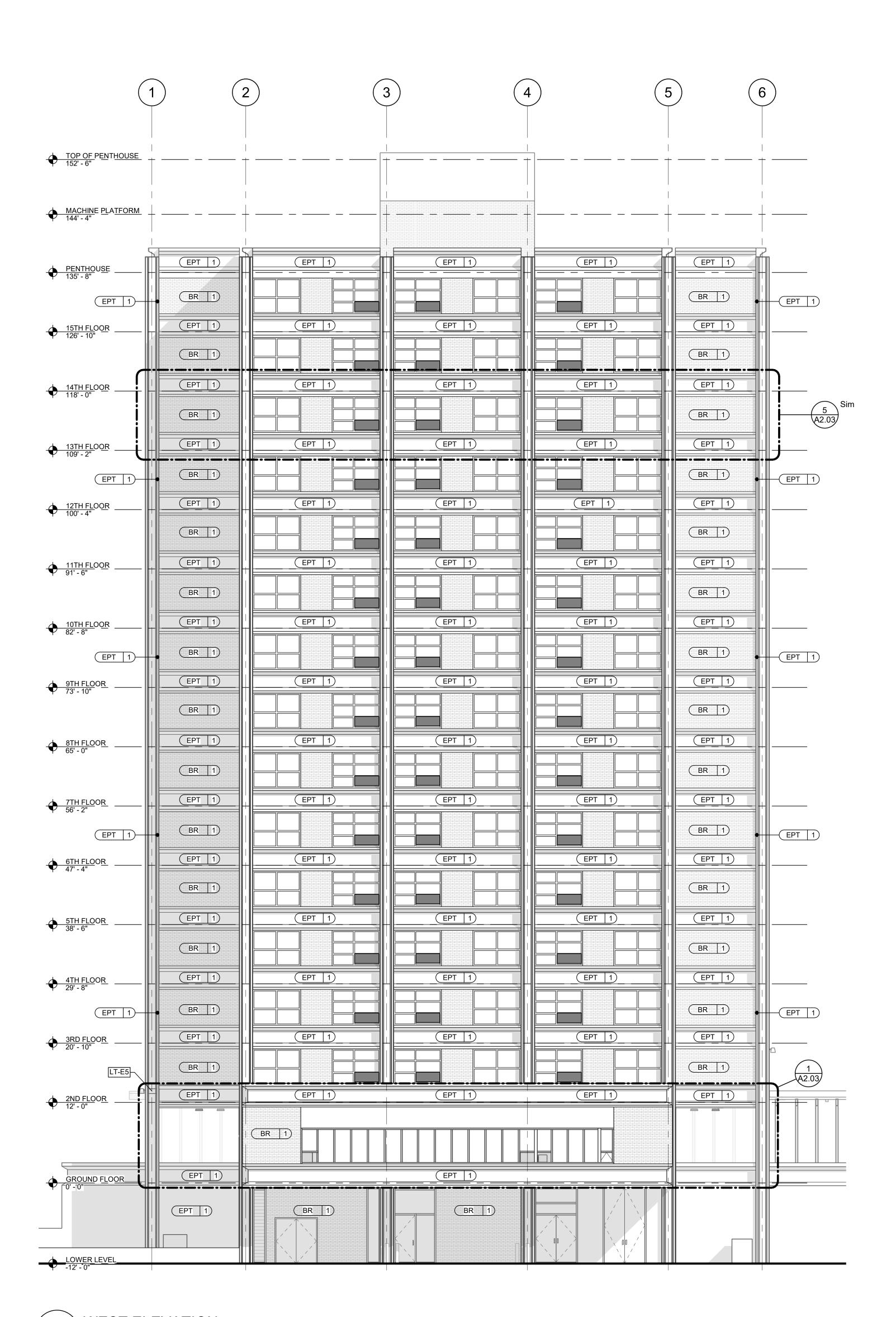
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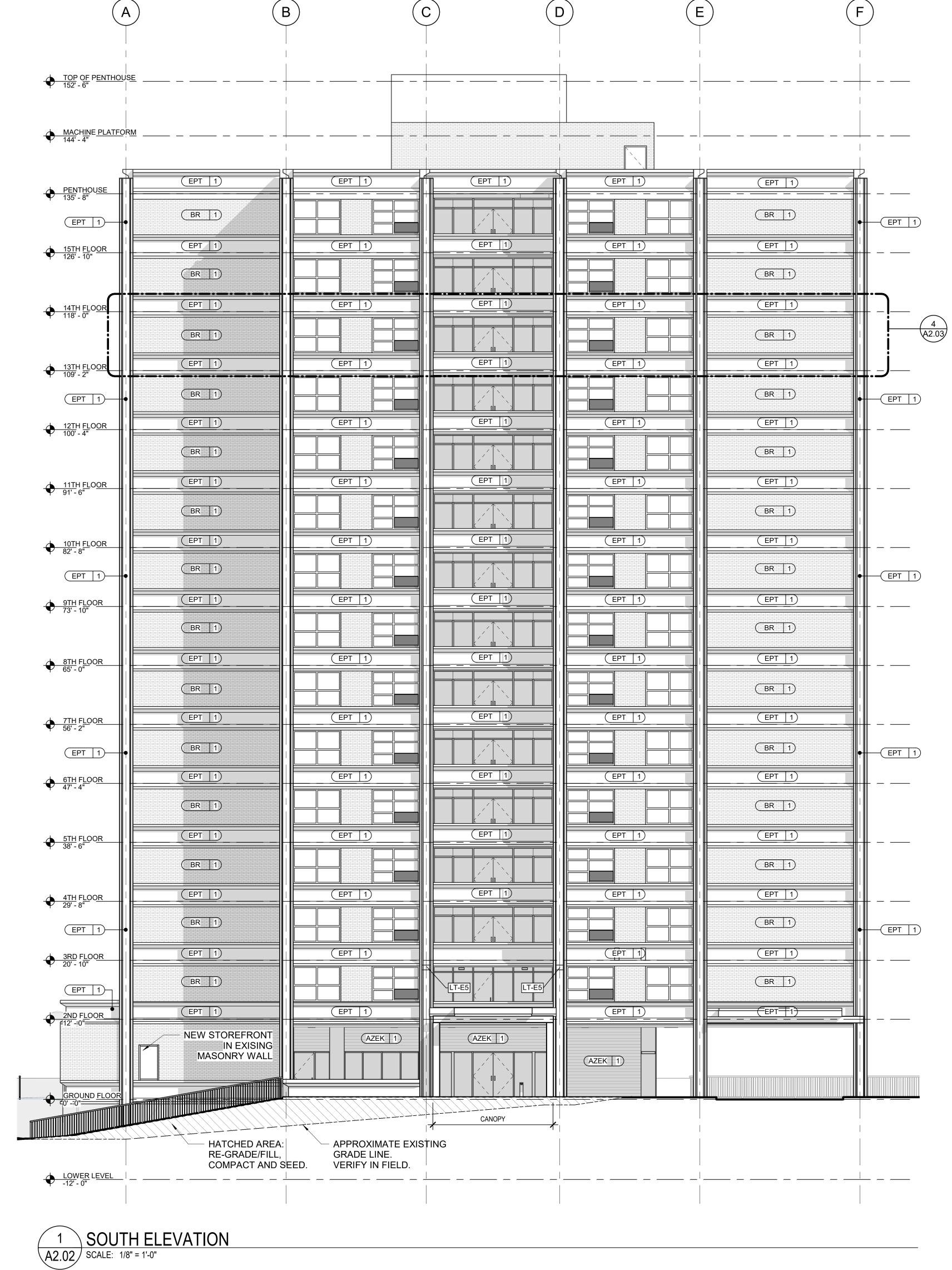
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EXTERIOR ELEVATIONS - NORTH AND EAST **A2.01**





2 WEST ELEVATION
A2.02 SCALE: 1/8" = 1'-0"

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3. ALL EXTERIOR DOORS ARE TO BE PAINTED. REFER TO DOOR SCHEDULE.

4. ALL JOINTS ON BUILDING EXTERIOR ARE TO BE RE-CAULKED OR RE-SEALED.

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6. ALL EXTERIOR HEAD FLASHING AND ASSOCIATED SEALANTS ARE TO BE REPLACED, TYPICAL. 7. GENERATOR HAS RECENTLY BEEN REPLACED AND

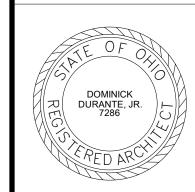
RE-TUCKPOINTING ON UP TO 20% OF BRICK.

8. BUILDING ROOFING HAS RECENTLY BEEN REPLACED AND WILL REMAIN. 9. EXISTING EXTERIOR BRICK IS TO REMAIN. ALLOW FOR

10. EXISTING EIFS FACADE PANELS ARE TO BE REMOVED DOWN TO EXISTING CMU AT GROUND FLOOR AT SELECT AREAS AROUND STOREFRONTS, REFER TO ENLARGED ELEVATIONS.

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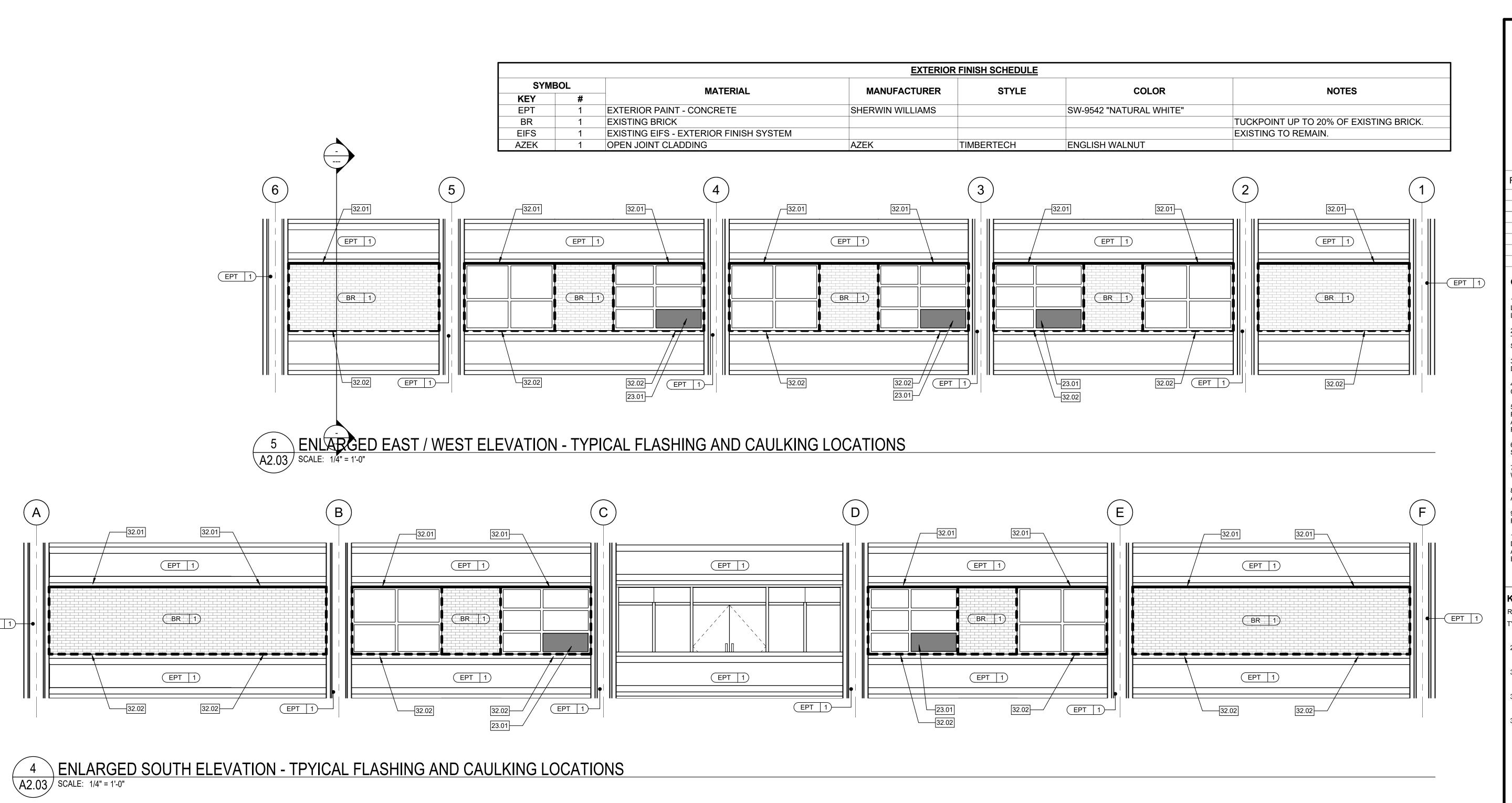
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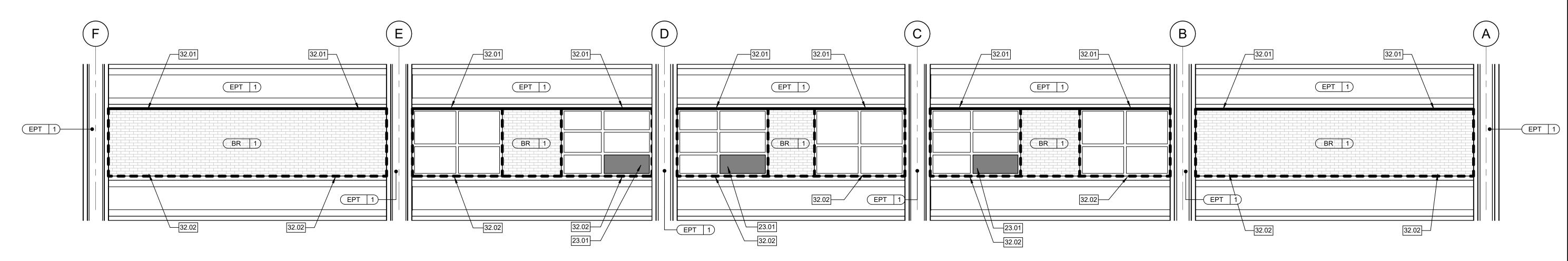
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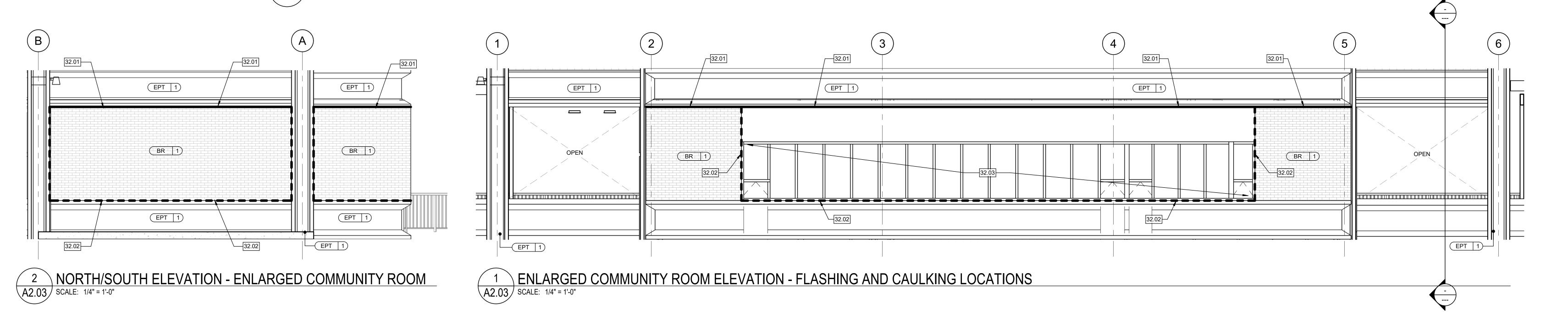
EXTERIOR ELEVATIONS -SOUTH AND WEST A2.02











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3. ALL EXTERIOR DOORS ARE TO BE PAINTED. REFER TO DOOR SCHEDULE.

4. ALL JOINTS ON BUILDING EXTERIOR ARE TO BE RE-CAULKED OR RE-SEALED.

5. EXISITING WINDOWS AT DWELLING UNITS ARE TO REMAIN. STOREFRONT WINDOWS AT GROUND LEVEL AND AT RESIDENTIAL TERRACES ARE TO BE REPLACED. REFER TO STOREFRONT ELEVATIONS AND DETAILS. 6. ALL EXTERIOR HEAD FLASHING AND ASSOCIATED SEALANTS ARE TO BE REPLACED, TYPICAL.

7. GENERATOR HAS RECENTLY BEEN REPLACED AND 8. BUILDING ROOFING HAS RECENTLY BEEN REPLACED

AND WILL REMAIN. 9. EXISTING EXTERIOR BRICK IS TO REMAIN. ALLOW FOR RE-TUCKPOINTING ON UP TO 20% OF BRICK.

10. EXISTING EIFS FACADE PANELS ARE TO BE REMOVED DOWN TO EXISTING CMU AT GROUND FLOOR AT SELECT AREAS AROUND STOREFRONTS, REFER TO ENLARGED

KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL

- 23.01 HATCHED AREA INDICATES LOCATION OF APARTMENT HVAC UNIT TO BE REPLACED. REFER TO MECHANICAL DRAWINGS. 32.01 BOLD LINE INDICATES TYPICAL LOCATION FOR ALUMINUM FLASHING TO BE REPLACED. FLASHING
- 32.02 BOLD-DASHED LINE INDICATES TYPICAL LOCATION OF BUILDING JOINTS WHICH ARE TO BE
- 32.03 PROVIDE NEW PRE-FINISHED EXTERIOR ALUMINUM STOREFRONT SYSTEM.



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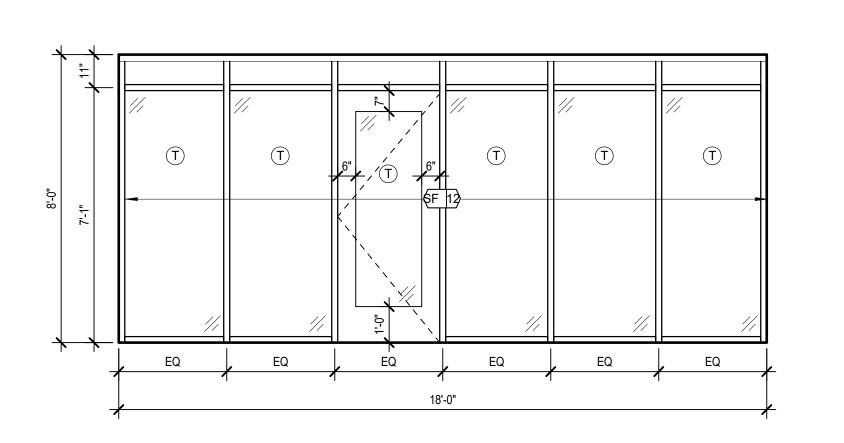
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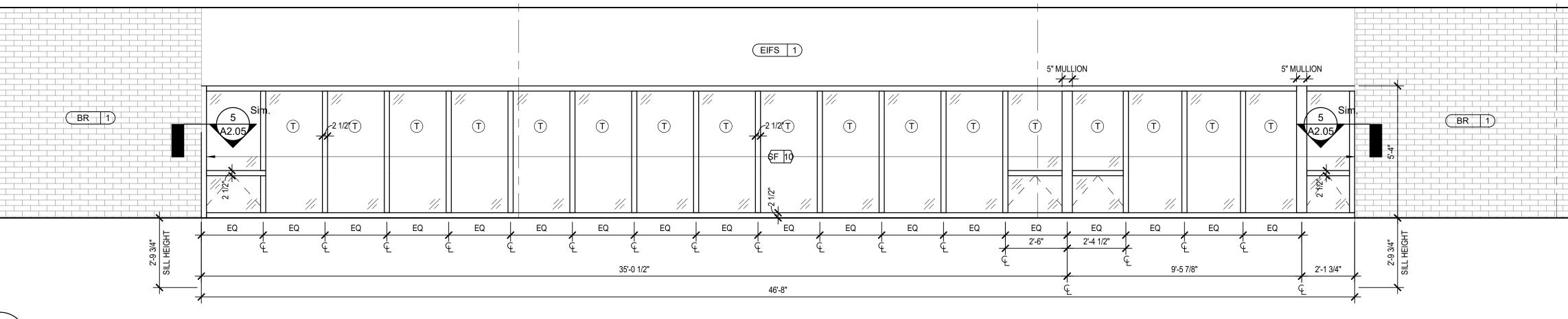
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ENLARGED EXTERIOR ELEVATIONS

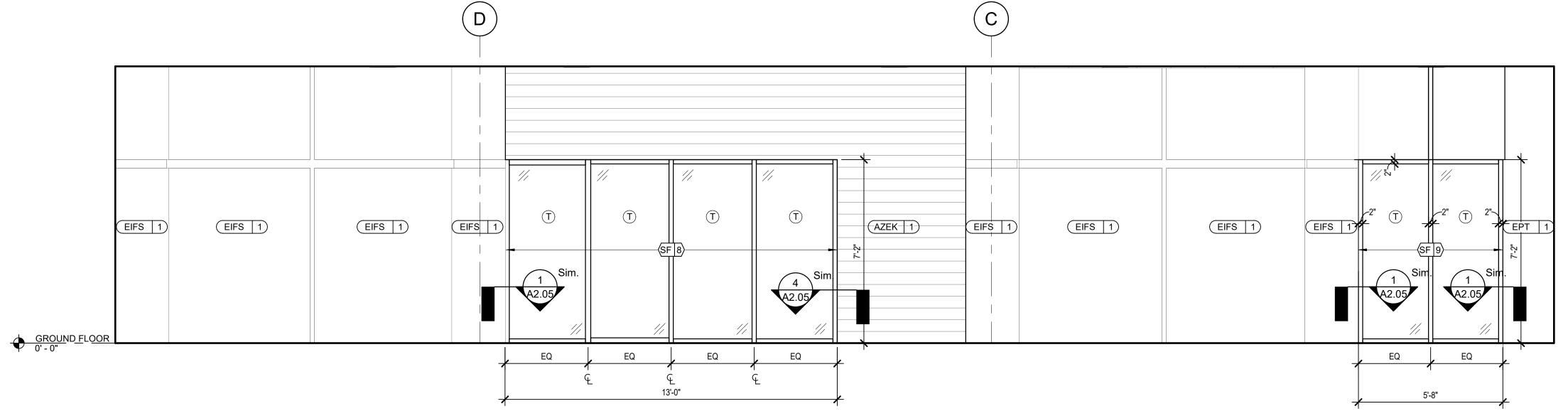
A2.03



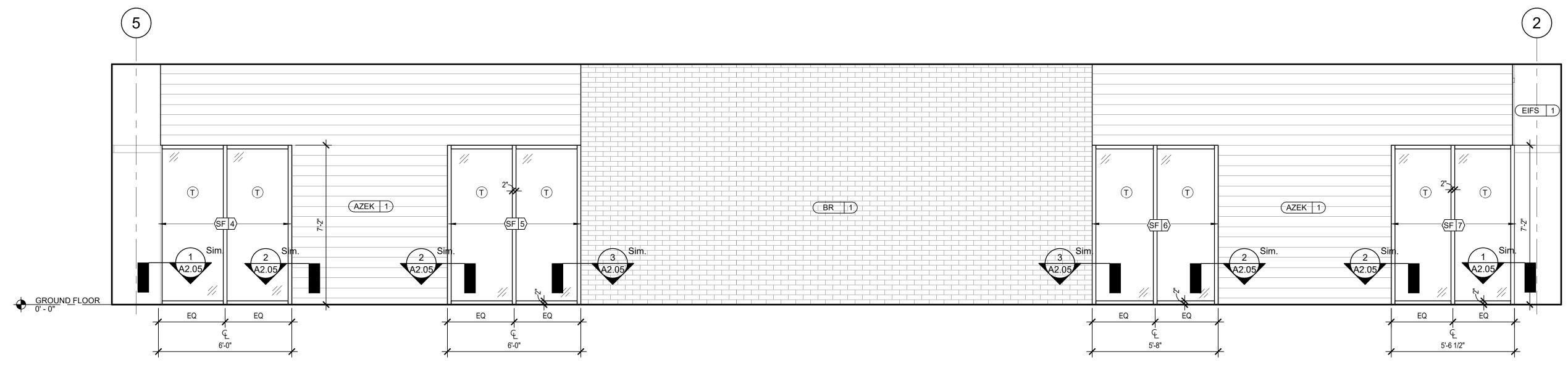


5 ENLARGED ELEVATION SOUTH - TYP. FLOOR STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"

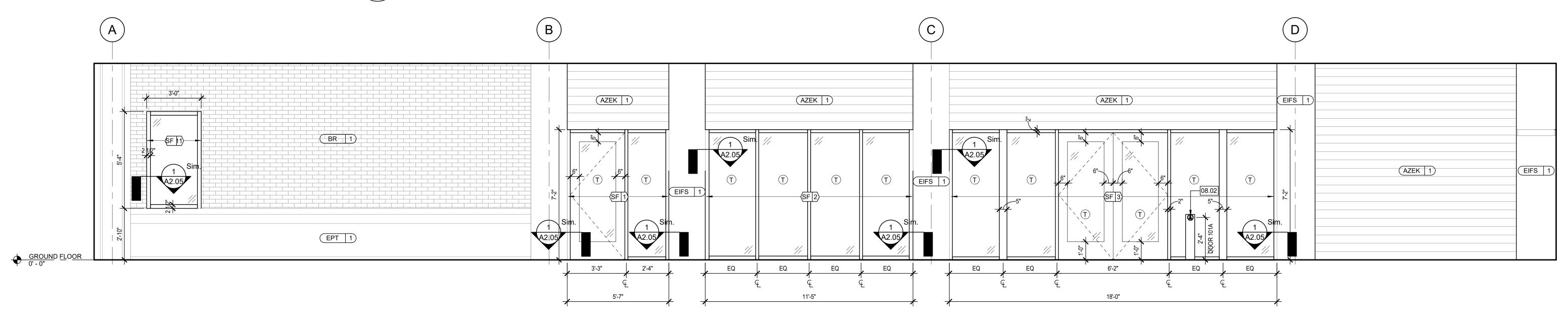
4 ENLARGED ELEVATION WEST - COMMUNITY ROOM STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"



3 ENLARGED ELEVATION NORTH - GROUND FLOOR STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"



2 ENLARGED ELEVATION EAST - GROUND FLOOR STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"



1 ENLARGED ELEVATION SOUTH - GROUND FLOOR STOREFRONT
A2.04 SCALE: 3/8" = 1'-0"



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2024.01.05 DESIGN DEVELOPMENT

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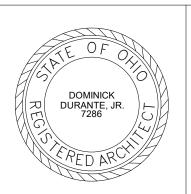
2024.02.01 80% CD'S- OHFA APPLICATION

KEYED NOTES SPECIFIC TO THIS SHEET
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TYPICAL UNLESS NOTED OTHERWISE

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08.02 POLE MOUNTED AUTOMATIC DOOR OPERATOR PUSH PLATE. REFER TO SPECIFICATIONS.



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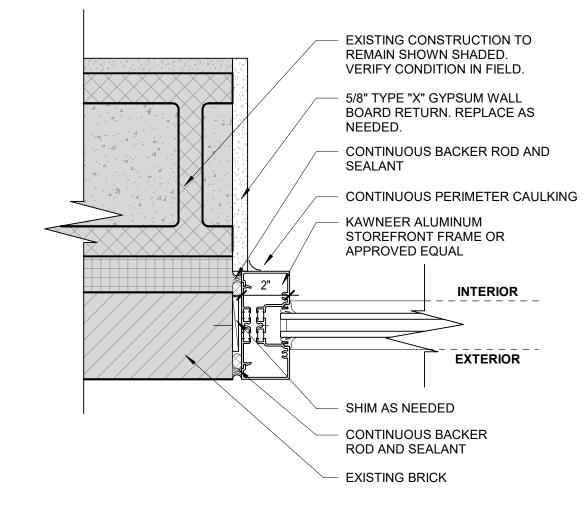
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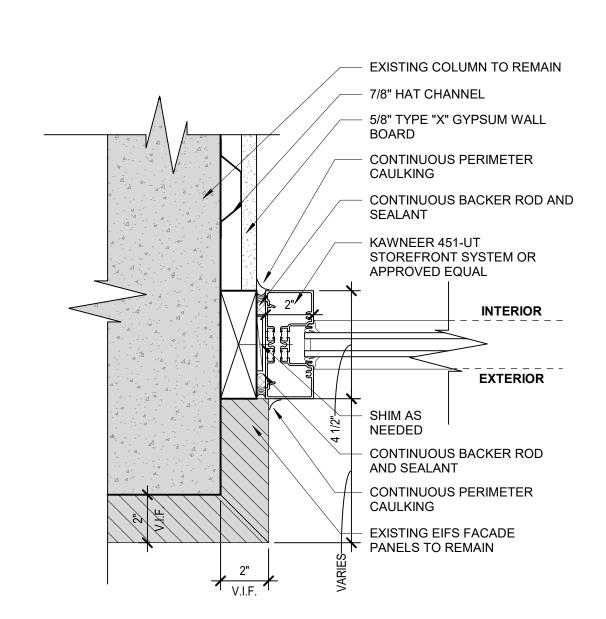
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ENLARGED EXTERIOR ELEVATIONS - STOREFRONTS

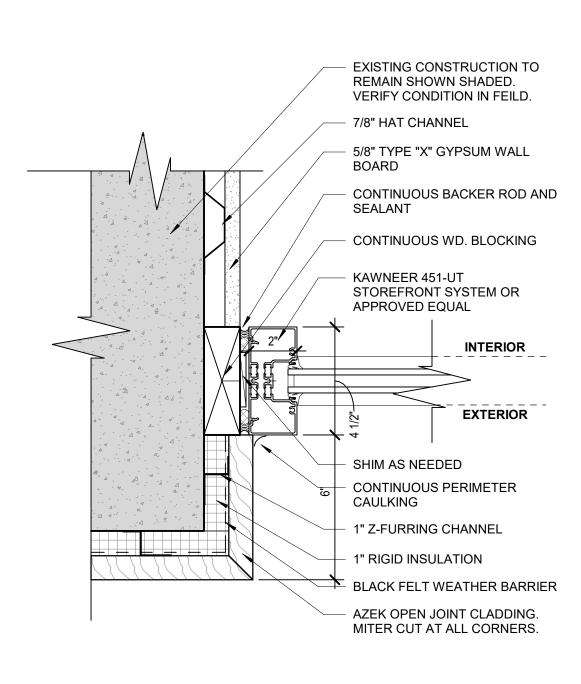
A2.04





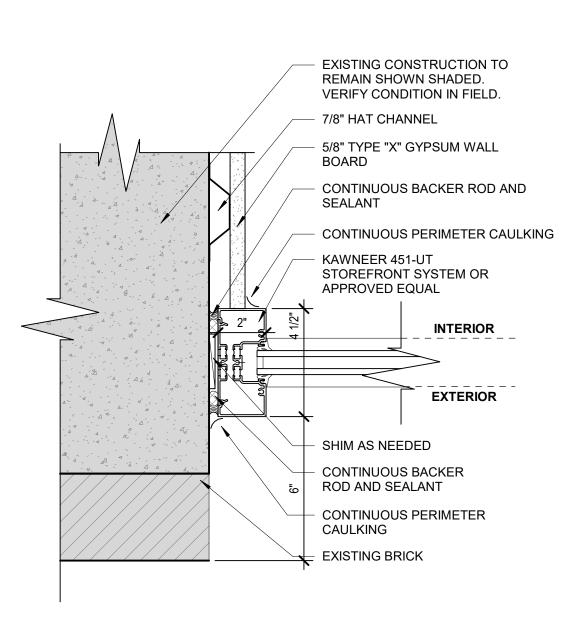


1 STOREFRONT JAMB @ COLUMN / EIFS
A2.05 SCALE: 3" = 1'-0"

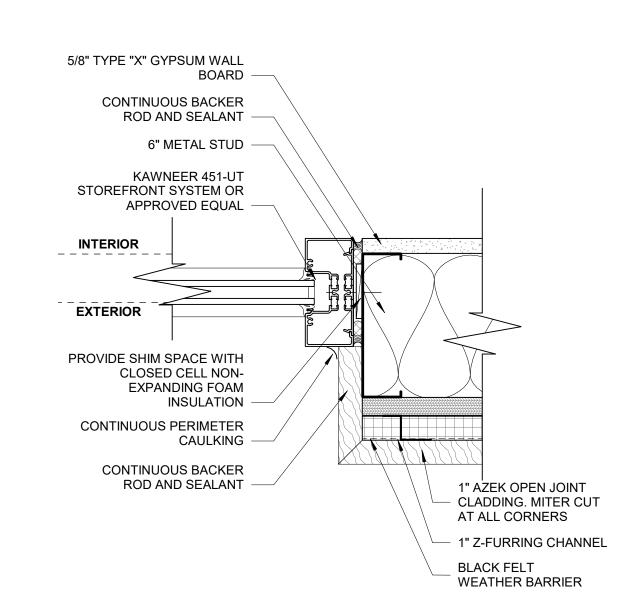


2 STOREFRONT JAMB @ OPEN JT. CLADD.

A2.05 SCALE: 3" = 1'-0"

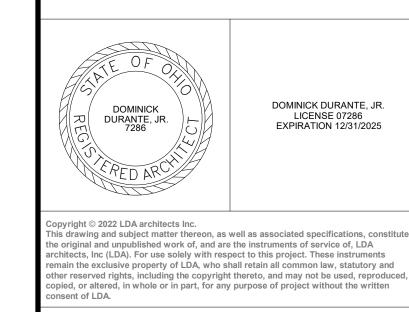


3 STOREFRONT JAMB @ BRICK A2.05 SCALE: 3" = 1'-0"



4 STOREFRONT JAMB @ OPEN JT. CLADD.

SCALE: 3" = 1'-0"



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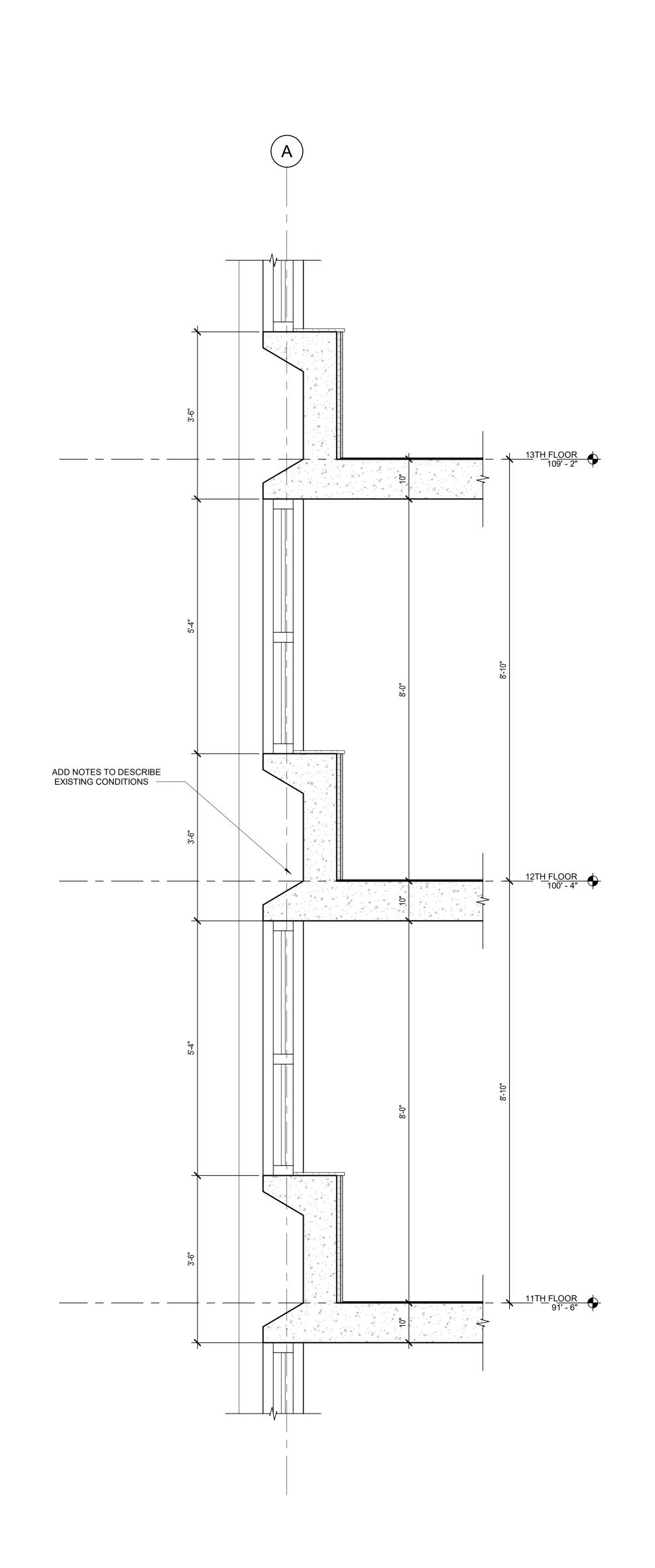
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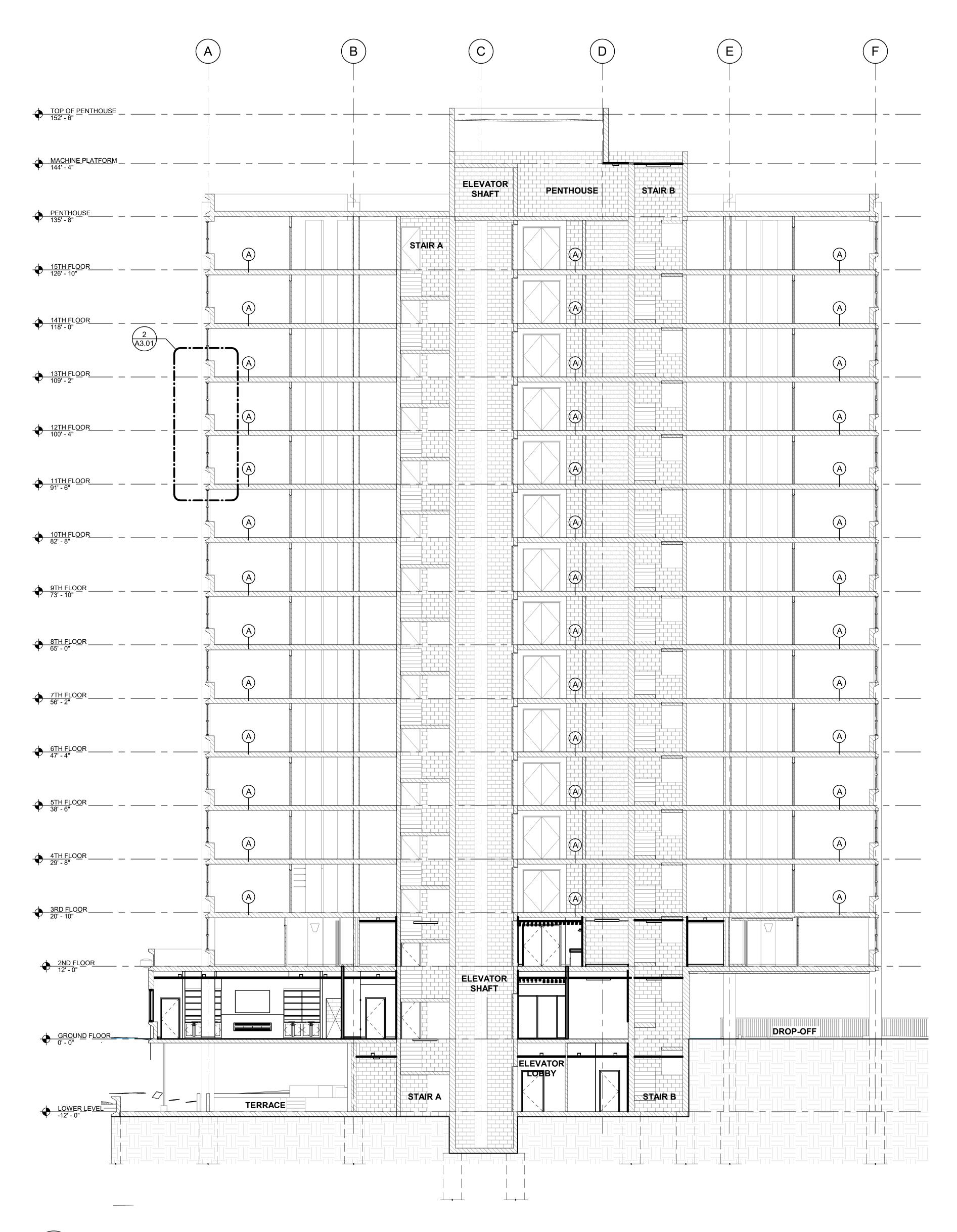
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TYPICAL STOREFRONT DETAILS A2.05





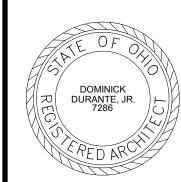
2 TYPICAL WALL SECTION - SPANDREL BEAM & WINDOWS
A3.01 SCALE: 3/4" = 1'-0"

1 BUILDING SECTION - EAST TO WEST
A3.01 SCALE: 1/8" = 1'-0"



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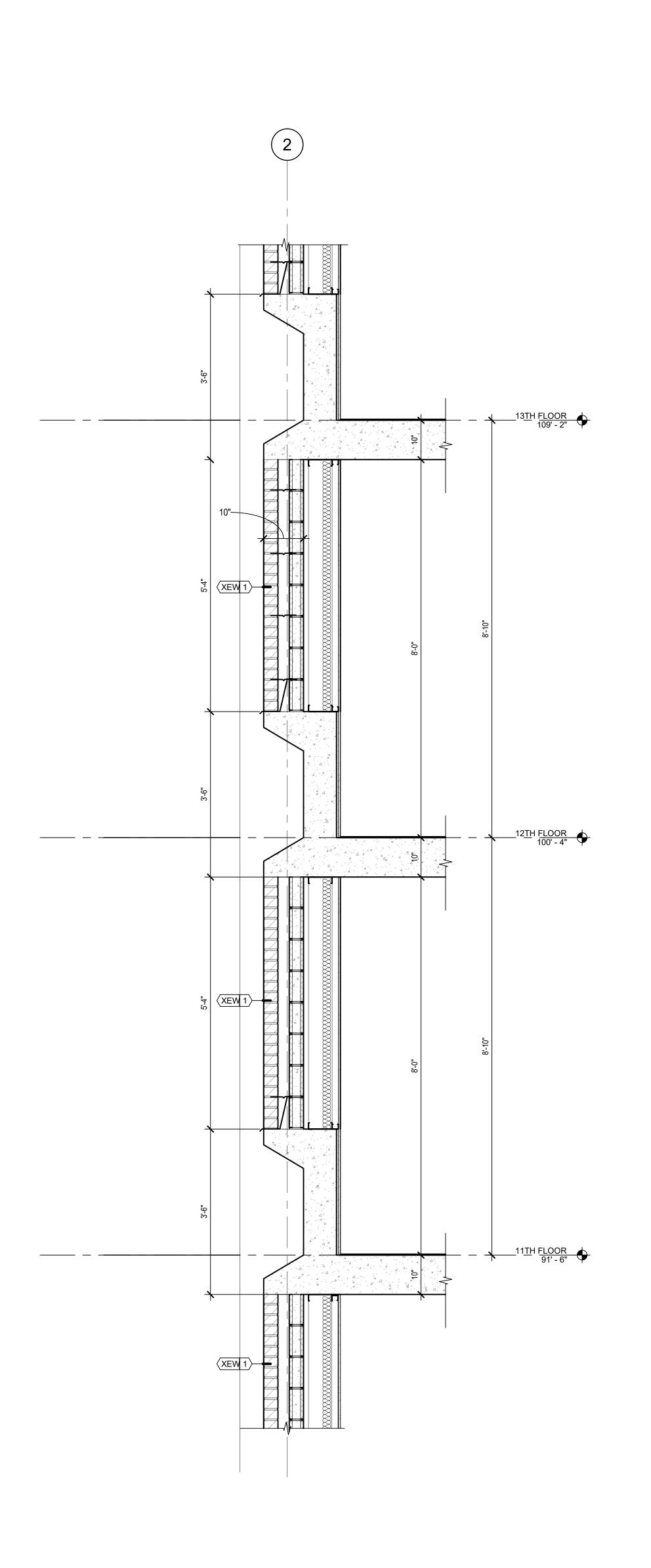
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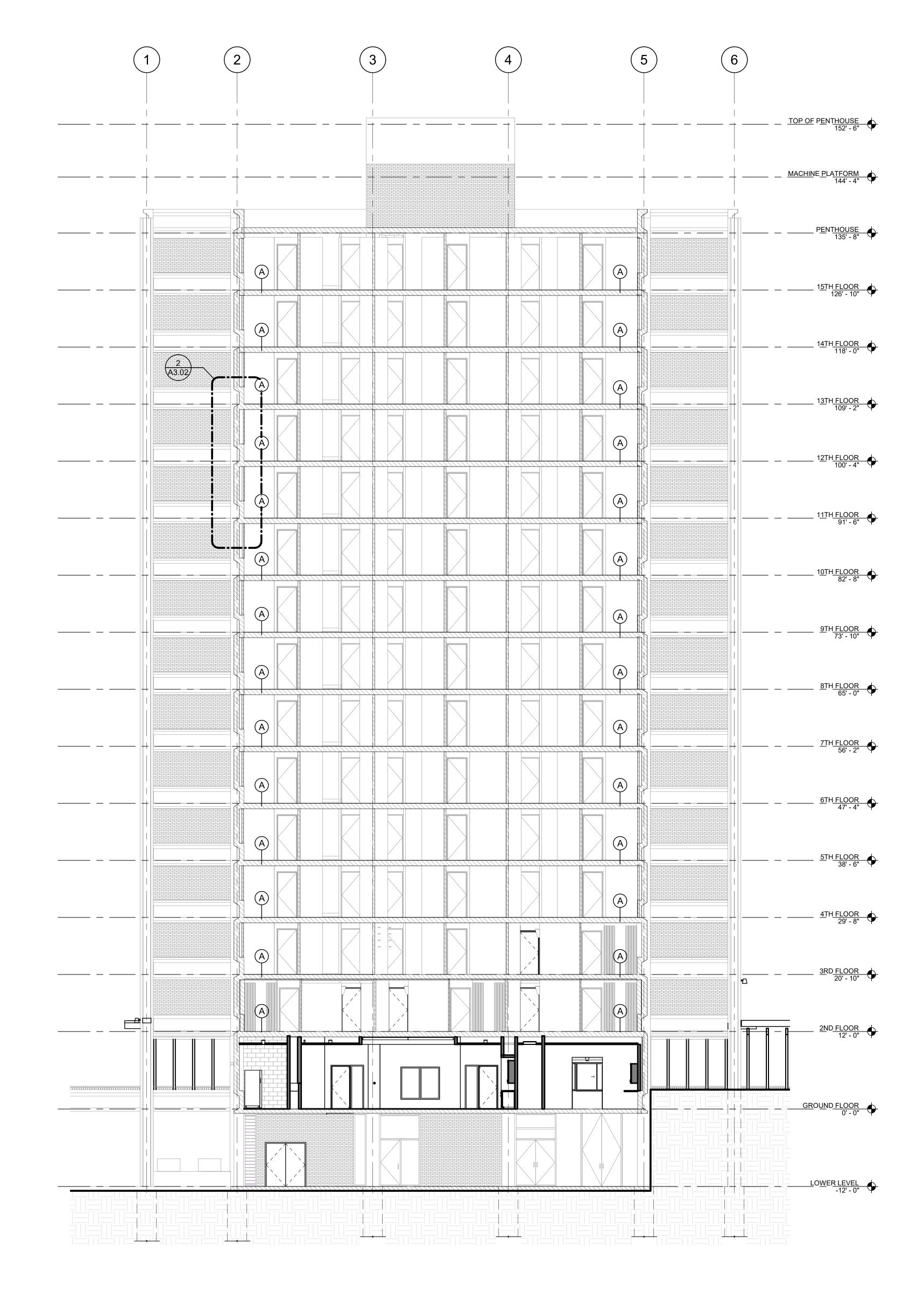
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BUILDING SECTION

A3.01





2 TYPICAL WALL SECITON - BRICK VENEER
A3.02 SCALE: 3/4" = 1'-0"

1 BUILDING SECTION
A3.02 SCALE: 1/8" = 1'-0"



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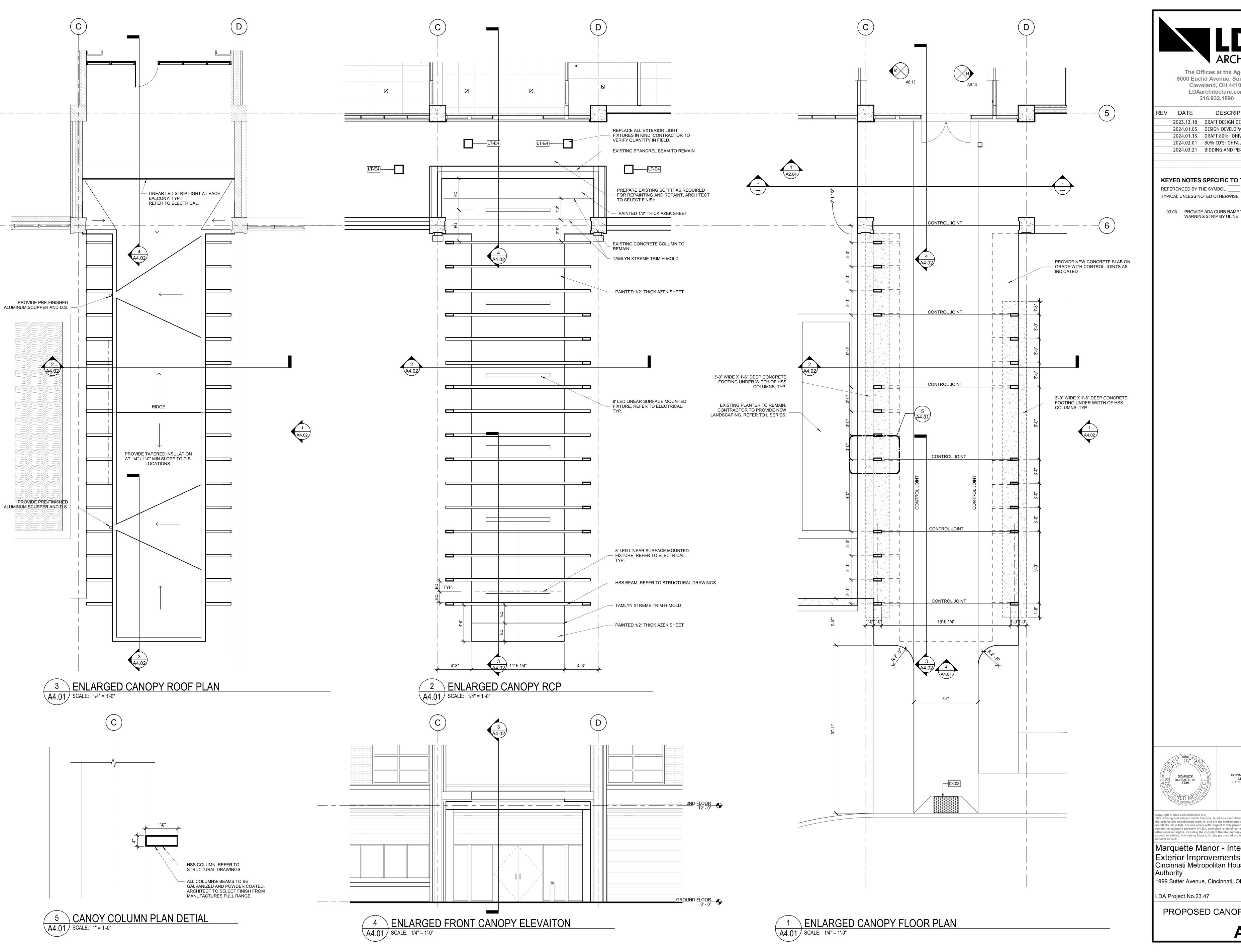
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BUILDING SECTION

A3.02





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03.03 PROVIDE ADA CURB RAMP WITH ADA WARNING STRIP BY ULINE.



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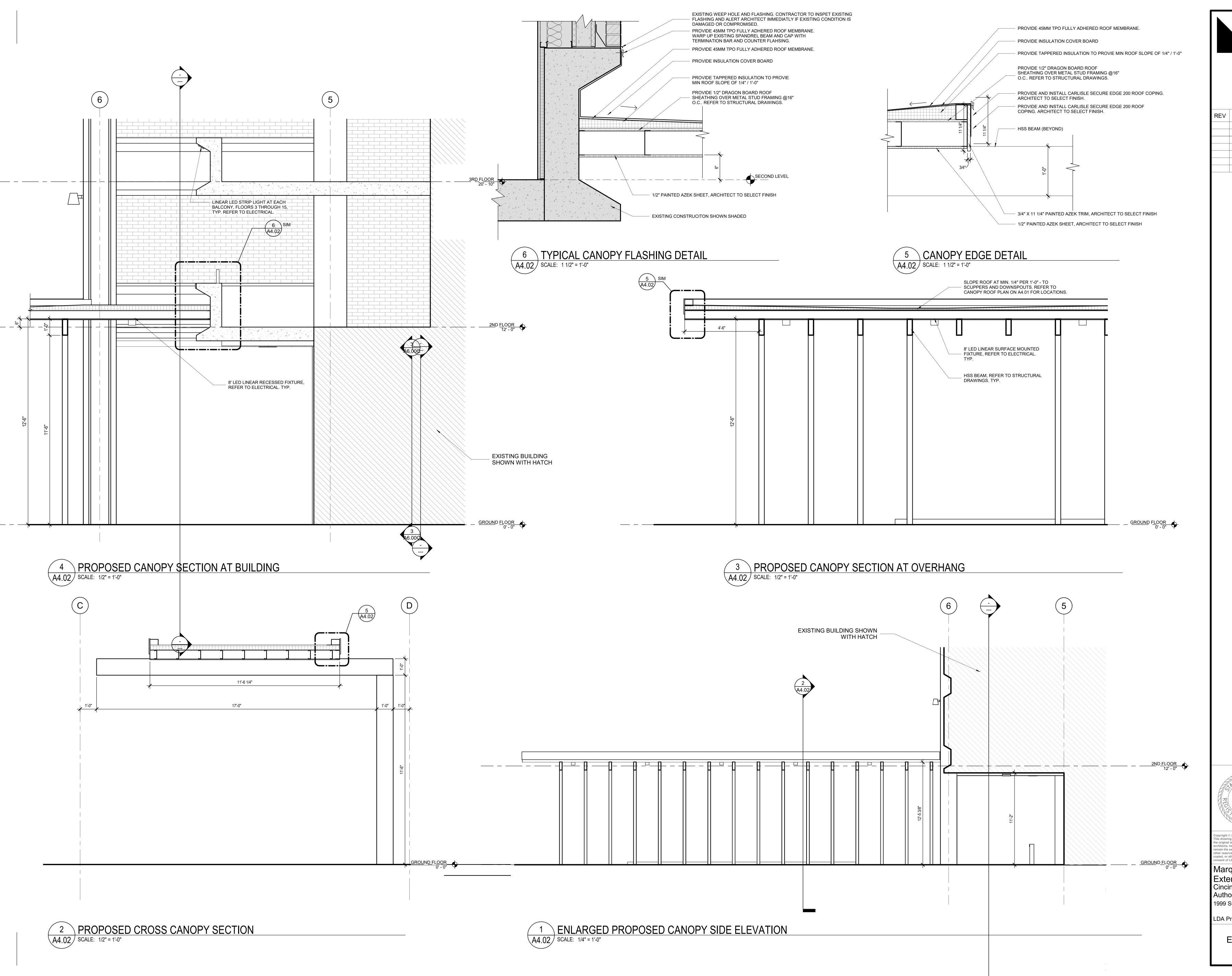
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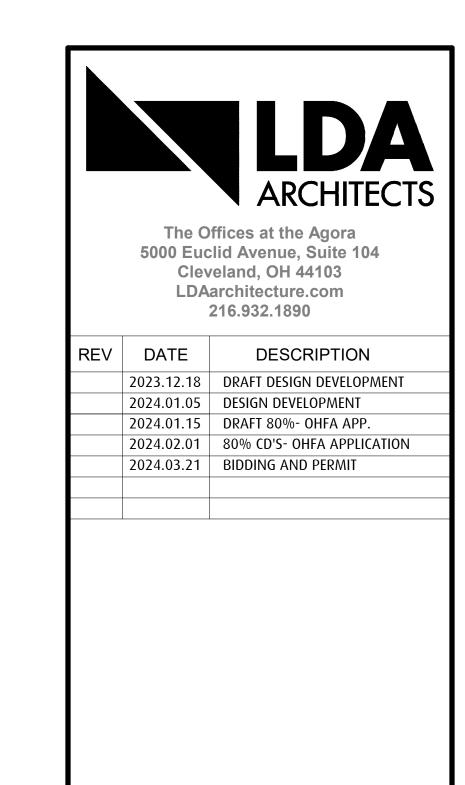
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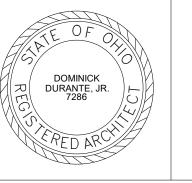
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PROPOSED CANOPY PLANS

A4.01







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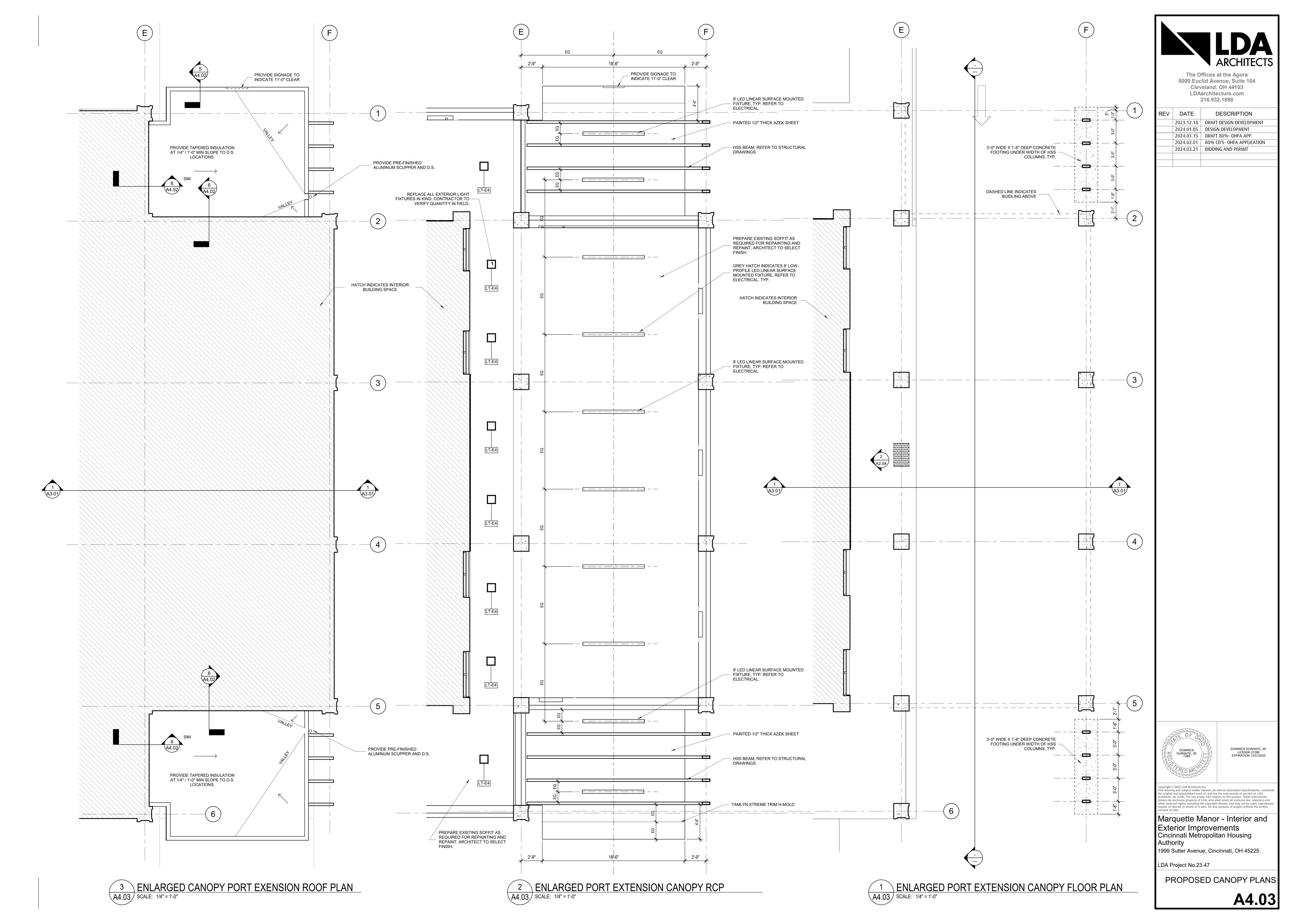
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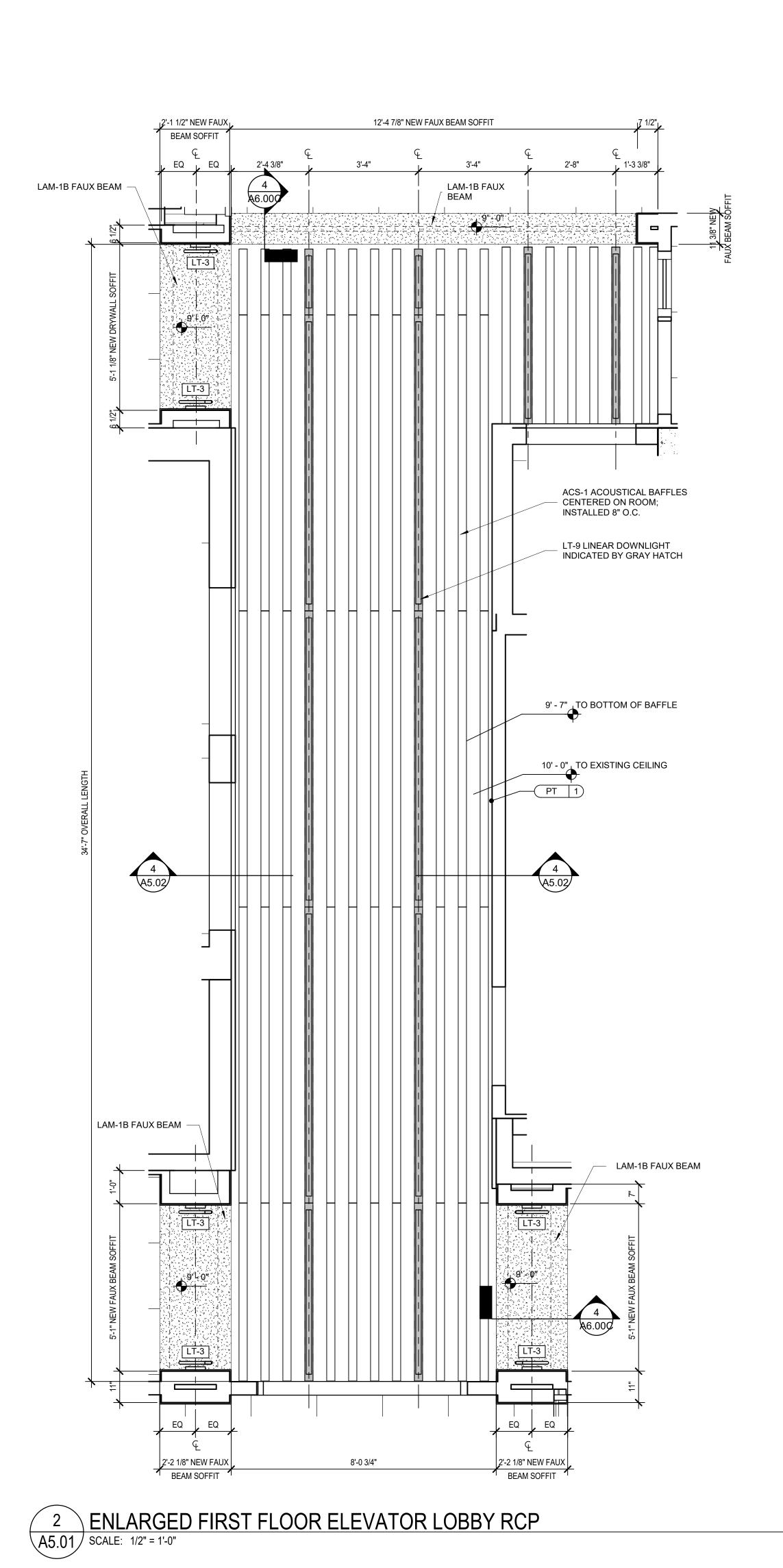
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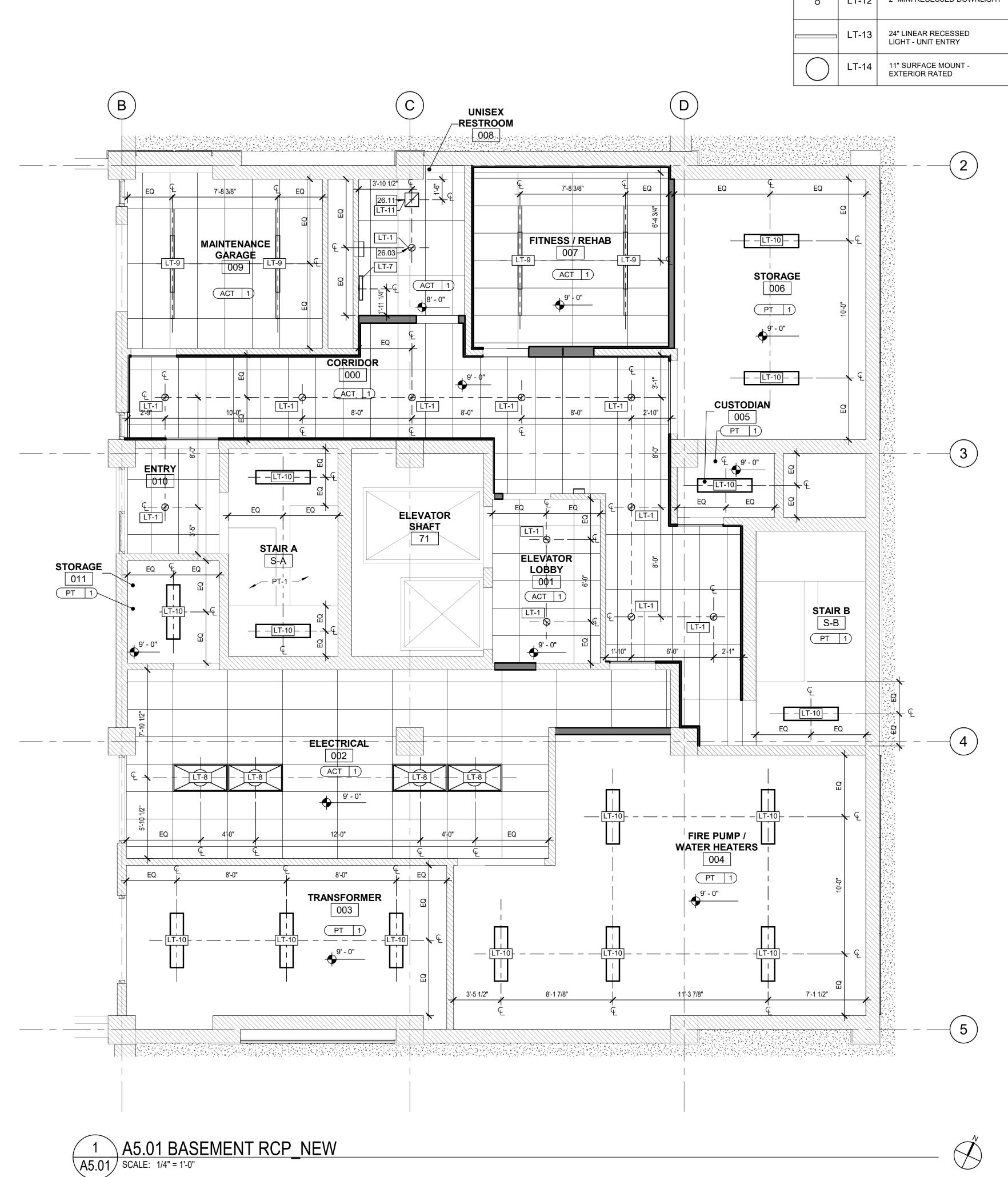
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PROPOSED CANOPY ELEVATIONS AND DETAILS **A4.02**







COMMON AREA FIXTURE LEGEND 6" RECESSED DOWNLIGHT ALONSO 37" DIAMETER CHANDELIER WALL SCONCE - ADA CERTIFIED LT-4 TAPE LIGHT - UNDER CABINET 17" FLUSH MOUNT ALONSO 8" WALL SCONCE LT-7 24" VANITY WALL SCONCE 24" X 48" RECESSED PANEL GENERAL NOTES - REFLECTED CEILING PLAN 2" X 8' LINEAR RECESSED LIGHT | T-10 | 12" X 48" UTILITY LIGHT EXHAUST FAN LT-12 2" MINI RECESSED DOWNLIGHT 9. COORDINATE DIFFUSER AND LIGHT FIXTURE

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DESCRIPTION

DATE

1. ALL LIGHTS TO BE ON DIMMERS BY TYPE, TYPICAL 2. LIGHT SWITCHES AND OUTLET COVERS TO BE LEGRAND RADIANT COLLECTION, COLOR WHITE. 3. ALL ROOMS TO HAVE THE CAPABILITY OF TURNING LIGHTS ON AND OFF. 4. EXIT LIGHTS TO BE CLEAR LED STYLE EDGE LIT. 5. EXIT LIGHTS TOW BE CENTERED ON DOORWAY SAND BE PLACES 2" OVER DOOR FRAME. 6. ALL NEW GRILLES, VENTS, ETC. TO BE PRE-FINISHED 'WHITE'; ALL EXISTING GRILLES, VENTS, ETC. TO BE PAINTED ADJACENT SURFACE FIELD COLOR. 7. DIFFUSERS, SPEAKERS, CONDUITS, ETC. THAT ARE PART OF THE CEILING SYSTEM ARE TO BE PRE-FINISHED TO MATCH ADJACENT CEILING UNLESS NOTED OTHERWISE 8. GYPSUM WALLBOARD CEILING AND SOFFITS ARE TO BE PAINTED. VERTICAL SURFACE SOFFITS ARE TO BE PAINTED TO MATCH ADJACENT WALLS UNLESS NOTED OTHERWISE

LOCATIONS WITH MECHANICAL AND ELECTRICAL REQUIREMENTS. EXACT LOCATIONS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS SHALL GOVERN. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES. 10. COORDINATE LOCATIONS OF SPRINKLER HEADS WITH APPROVED SHOP DRAWINGS. 11. REFLECTED CEILING PLAN MAY NOT SHOW EXTENTS OF ELECTRICAL OR MECHANICAL PENETRATIONS OR

REQUIRED ACCESS PANELS. COORDINATE WITH INTERIOR ELEVATIONS, ELECTRICAL, PLUMBING AND MECHANICAL DRAWINGS. 12. CONTROL JOINTS TO BE PLACED IN DRYWALL CEILINGS 30'-0" O.C. IN EACH DIRECTION. COORDINATE LOCATIONS WITH ARCHITECT AS NEEDED. 13. PROVIDE

SUPPORT AND REINFORCEMENT OF PENDANT LIGHT FIXTURES. 13. GENERAL CONTRACTOR TO COORDINATE RECESSED LIGHT FIXTURE LOCATIONS WITH DUCTWORK. SPRINKLERS, AN STRUCTURE. SUBMIT REVISIONS TO LDA ARCHITECTURE FOR APPROVAL. 14. CENTER SPRINKLER HEADS, DIFFUSERS, GRILLES, LIGHTING FIXTURES, ETC. IN CEILING TILES OR ALIGN IN GYPSUM BOARD CEILINGS (SEE MECHANICAL DRAWINGS FOR ADDITIONAL DIFFUSERS). 15. CEILING TILES TO BE LAID OUT IN SPACES AS

SHOWN IN ARCHITECTURAL REFLECTED CEILING 16. FIREHORN AND ALARM PULL TO BE VERTICALLY ALIGNED WHERE THEY OCCUR TOGETHER. 17. DUPLEX RECEPTACLES TO BE ALIGNED BELOW EITHER THE WALL MOUNTED FIXTURES OR THE FIRE

ALARM PULL/FIREHORN WHEREVER THEY OCCUR.

KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

26.11 CENTER FIXTURE ON WATER CLOSET.

26.03 CENTER FIXTURE IN ROOM.

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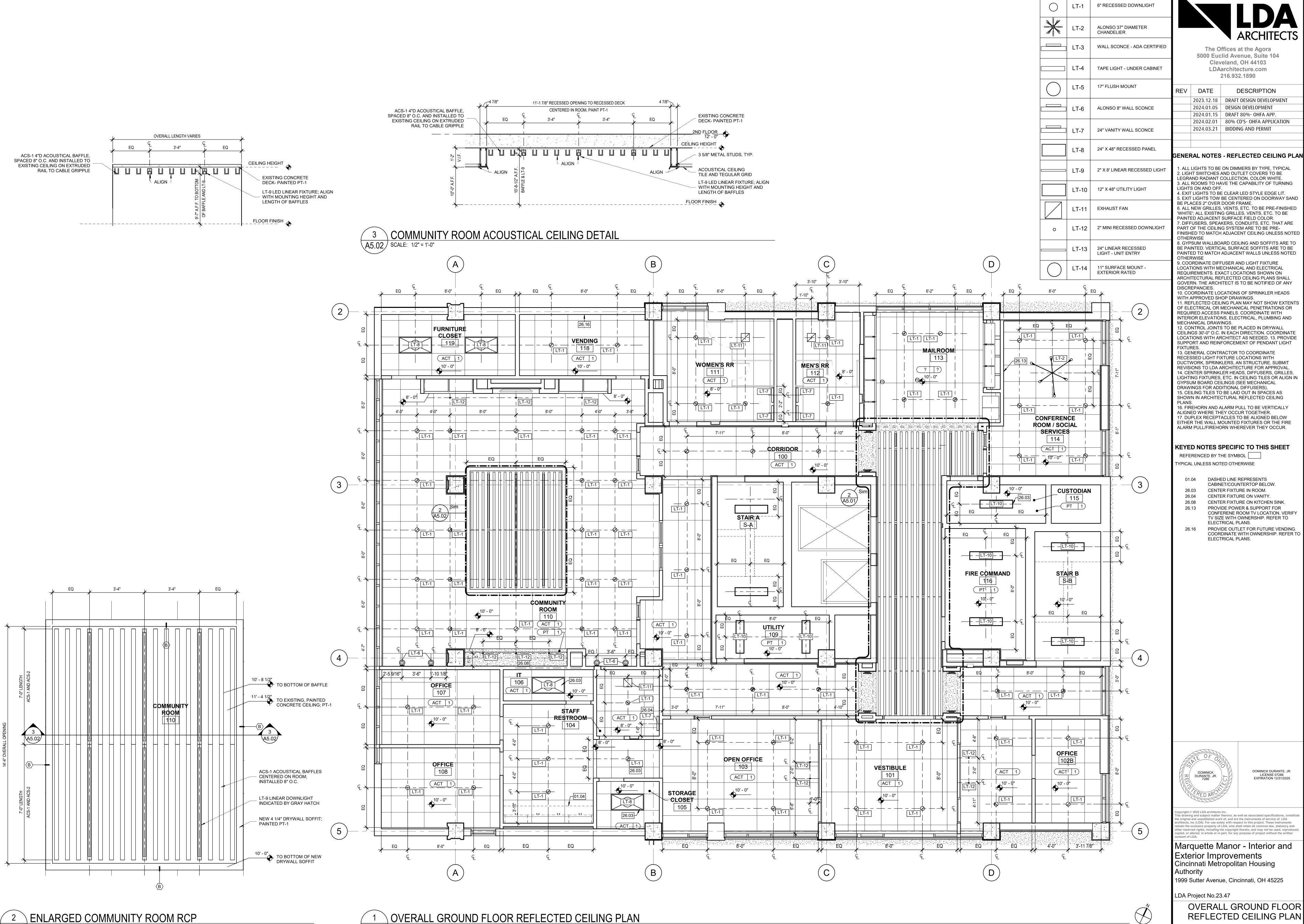
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Cincinnati Metropolitan Housing

Authority 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

OVERALL BASEMENT LEVEL REFLECTED CEILING PLAN

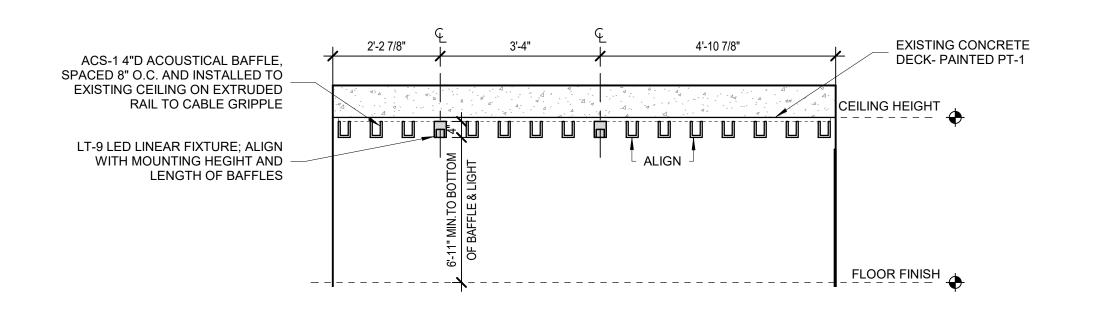
A5.01



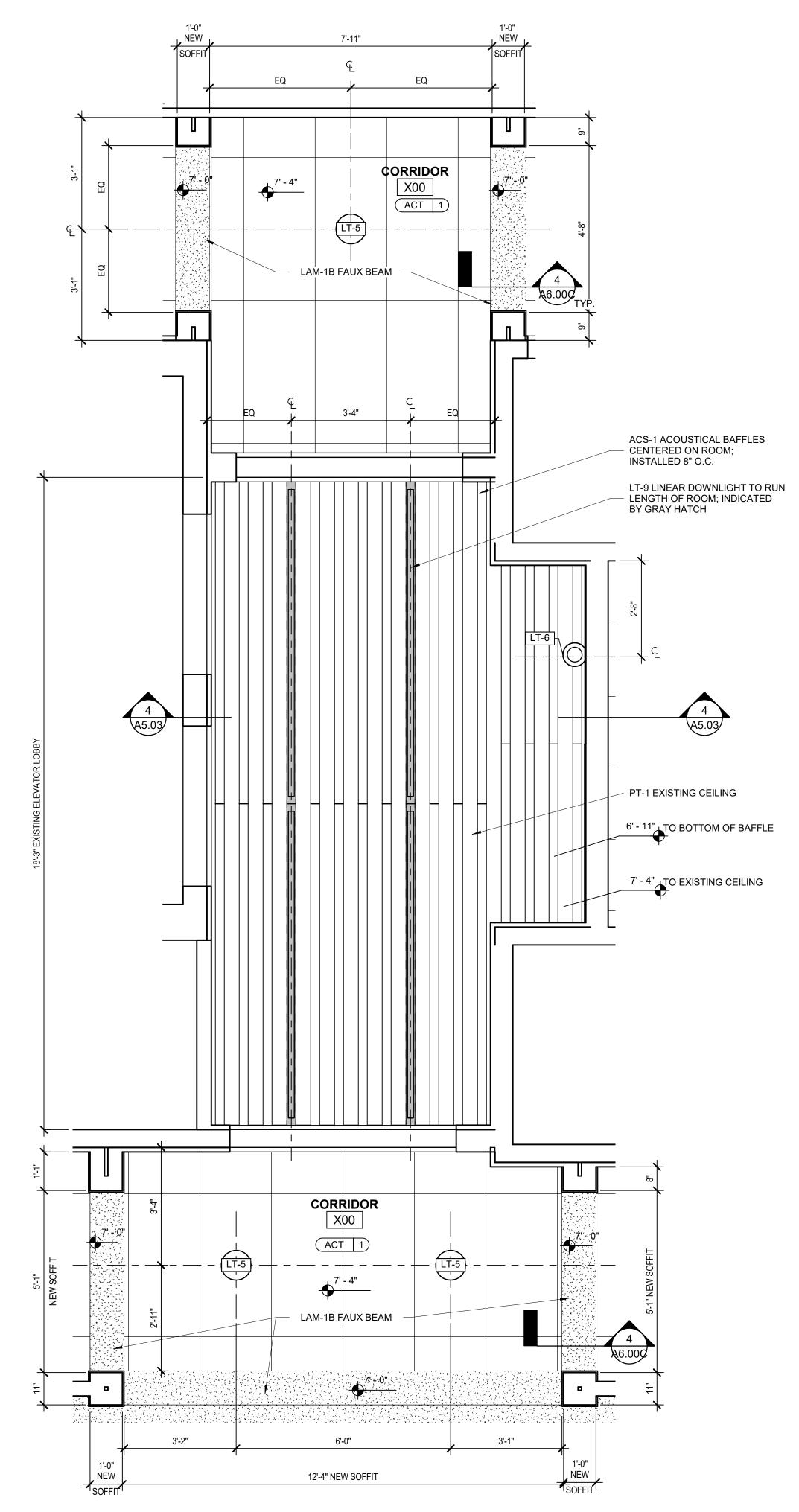
A5.02 | SCALE: 1/2" = 1'-0"

COMMON AREA FIXTURE LEGEND

A5.02

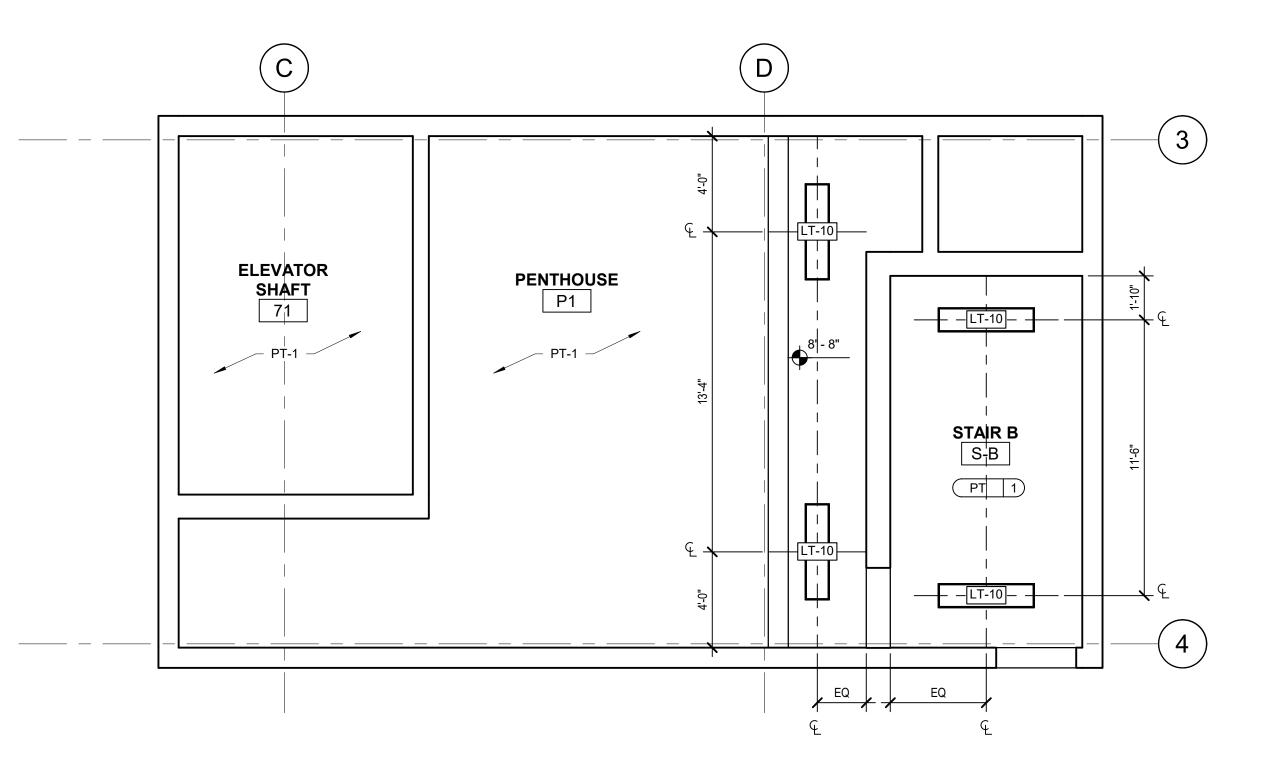


TYP. 2ND-15TH ELEVATOR LOBBY SOFFIT DETAIL

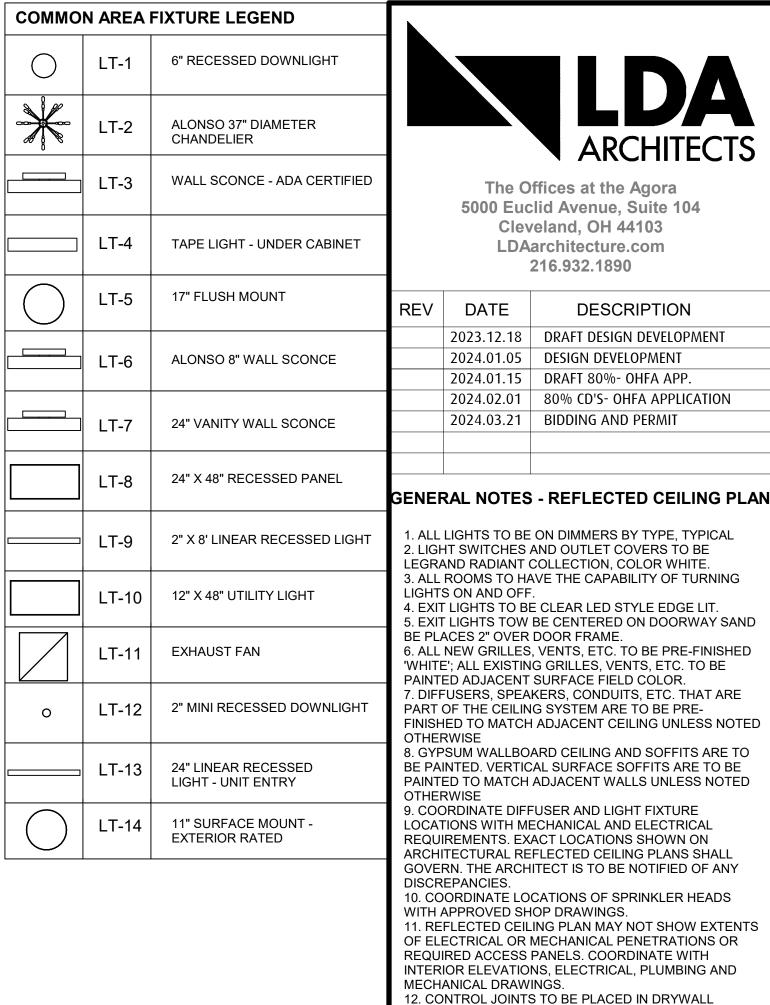


OVERALL 2ND - 15TH FLOOR REFLECTED CEILING PLAN

A5.03 SCALE: 1/2" = 1'-0"



2 PENTHOUSE LEVEL REFLECTED CEILING PLAN A5.03 | SCALE: 1/4" = 1'-0"



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2023.12.18 DRAFT DESIGN DEVELOPMENT

2024.02.01 80% CD'S- OHFA APPLICATION

2024.01.05 DESIGN DEVELOPMENT

2024.01.15 DRAFT 80%- OHFA APP.

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CEILINGS 30'-0" O.C. IN EACH DIRECTION. COORDINATE LOCATIONS WITH ARCHITECT AS NEEDED. 13. PROVIDE SUPPORT AND REINFORCEMENT OF PENDANT LIGHT

13. GENERAL CONTRACTOR TO COORDINATE RECESSED LIGHT FIXTURE LOCATIONS WITH

GYPSUM BOARD CEILINGS (SEE MECHANICAL DRAWINGS FOR ADDITIONAL DIFFUSERS).

15. CEILING TILES TO BE LAID OUT IN SPACES AS

SHOWN IN ARCHITECTURAL REFLECTED CEILING

16. FIREHORN AND ALARM PULL TO BE VERTICALLY ALIGNED WHERE THEY OCCUR TOGETHER.

17. DUPLEX RECEPTACLES TO BE ALIGNED BELOW EITHER THE WALL MOUNTED FIXTURES OR THE FIRE ALARM PULL/FIREHORN WHEREVER THEY OCCUR.

KEYED NOTES SPECIFIC TO THIS SHEET

26.03 CENTER FIXTURE IN ROOM.

26.10 CENTER FIXTURE ON DOOR/OPENING.

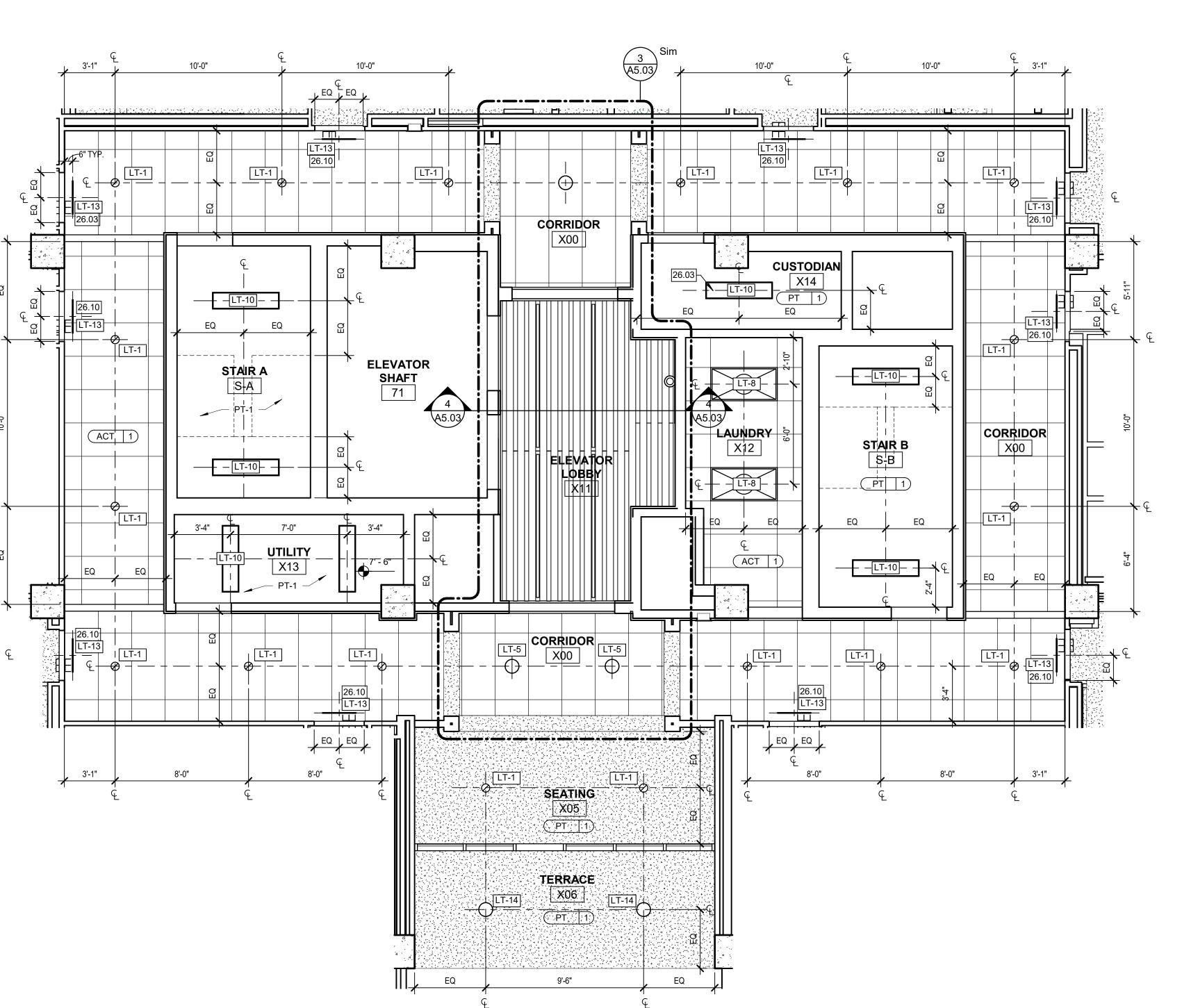
REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

DUCTWORK, SPRINKLERS, AN STRUCTURE. SUBMIT REVISIONS TO LDA ARCHITECTURE FOR APPROVAL.

14. CENTER SPRINKLER HEADS, DIFFUSERS, GRILLES,

LIGHTING FIXTURES, ETC. IN CEILING TILES OR ALIGN IN

DESCRIPTION





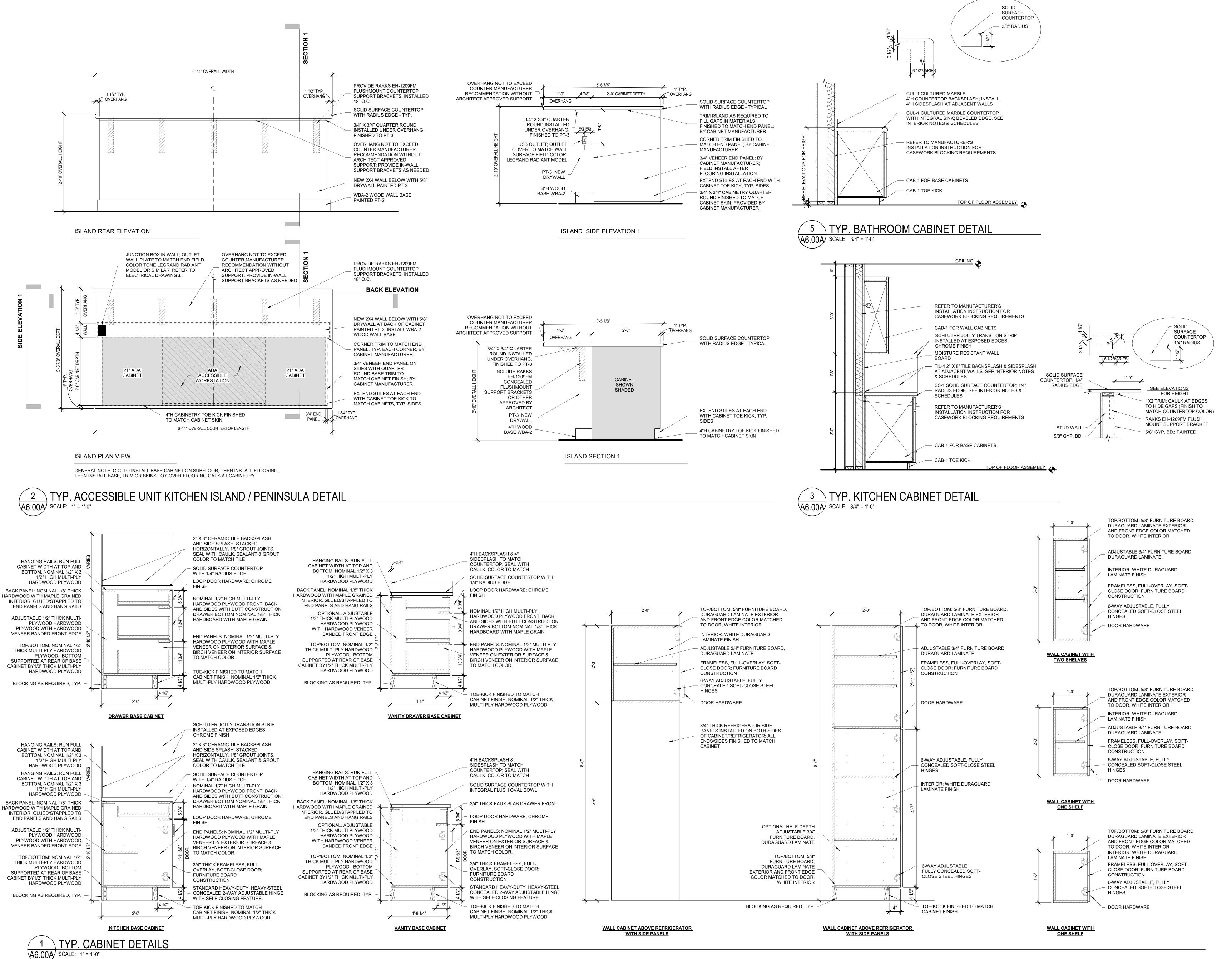


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LDA Project No 23 47
OVERALL 2ND FLOOR -PENTHOUSE LEVEL REFLECTED CEILING PLAN
A5.03





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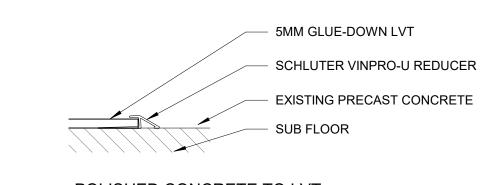
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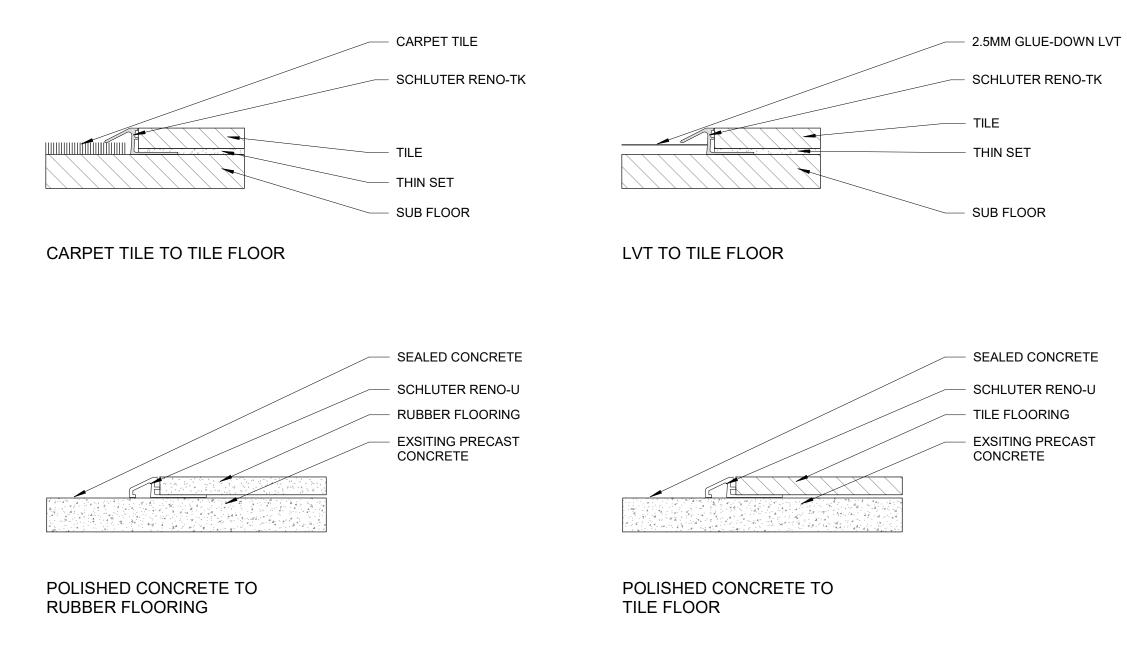
LDA Project No.23.47

INTERIOR DETAILS

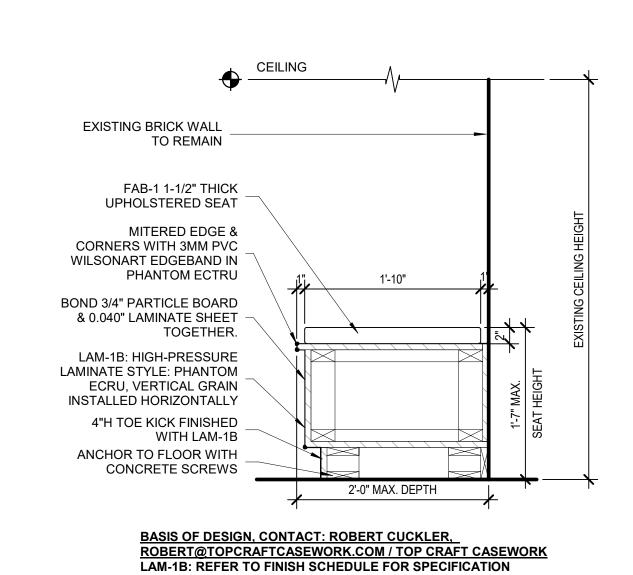
A6 00/







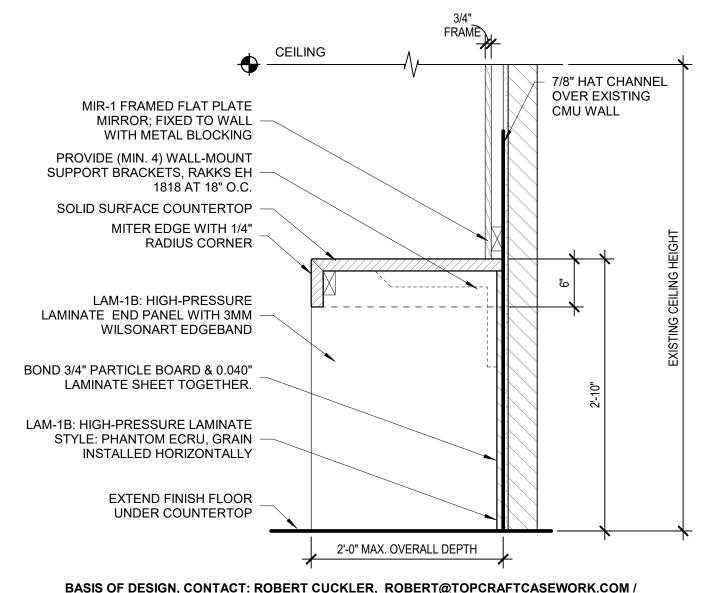
6 TRANSITION DETAILS
A6.00B SCALE: 6" = 1'-0"



INCLUDE WILSONART PVC 3MM EDGEBAND AT OUTSIDE

CORNERS/BOND LAMINATE WITH 3/4" PARTICLE BOARD

5 SEATING AREA BENCH A6.00B SCALE: 1" = 1'-0"

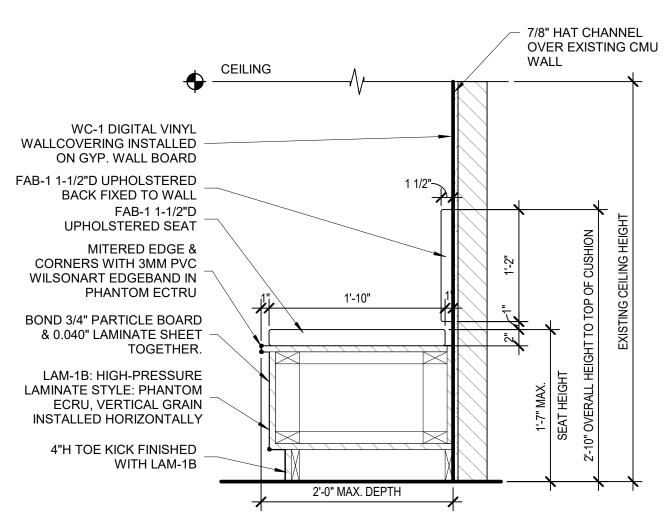


BASIS OF DESIGN, CONTACT: ROBERT CUCKLER, ROBERT@TOPCRAFTCASEWORK.COM / TOP CRAFT CASEWORK

LAM-1B: REFER TO FINISH SCHEDULE FOR SPECIFICATION
INCLUDE WILSONART PVC 3MM EDGEBAND AT END PANEL OUTSIDE CORNERS/BOND
LAMINATE WITH 3/4" PARTICLE BOARD

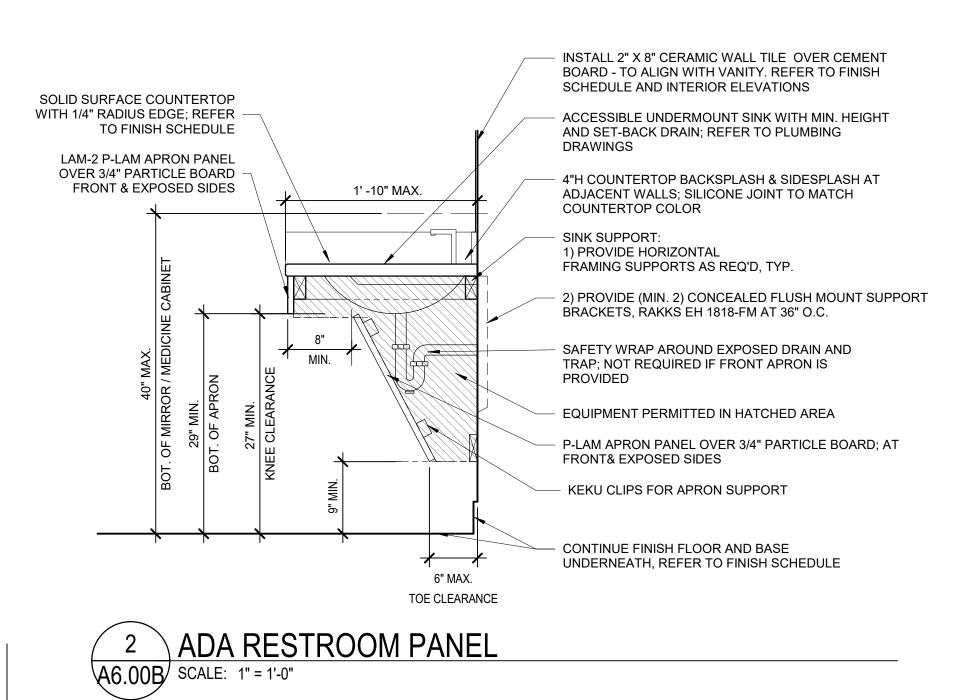
4 ELEVATOR LOBBY COUNTERTOP
A6.00B SCALE: 1" = 1'-0"

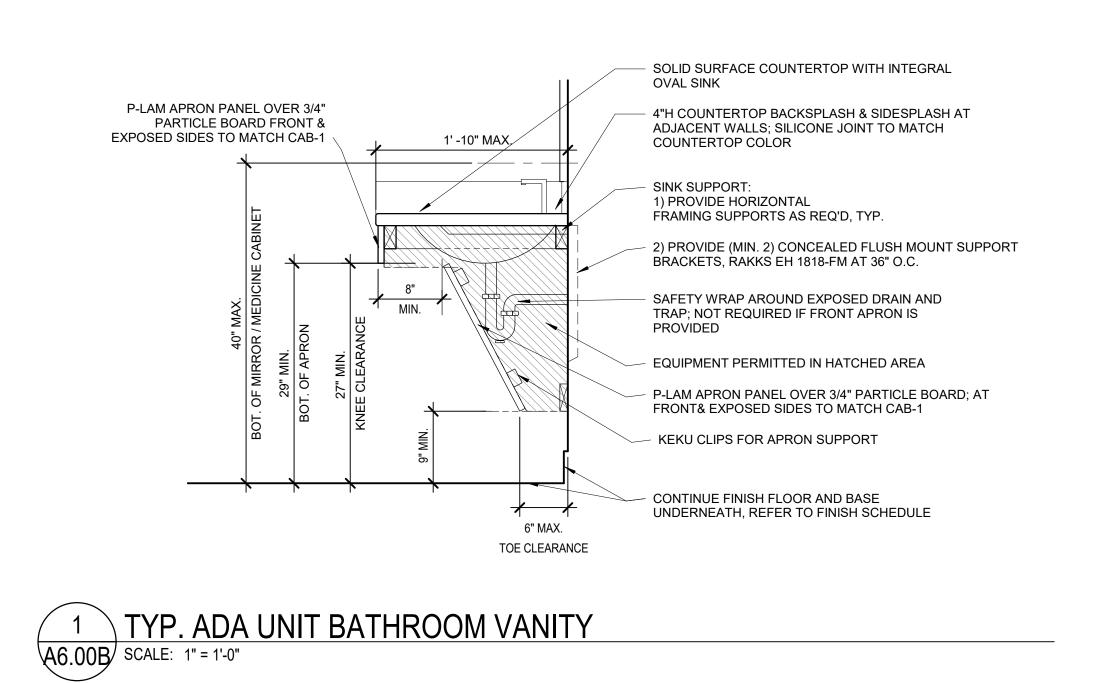
SS-4: SOLID SURFACE COUNTERTOP WITH MITERED EDGE TO CREATE 6"H TOP MIR-1: FLAT PLATE MIRROR WITH 1"X2" WOOD TRIM STAINED TO MATCH LAM-1B

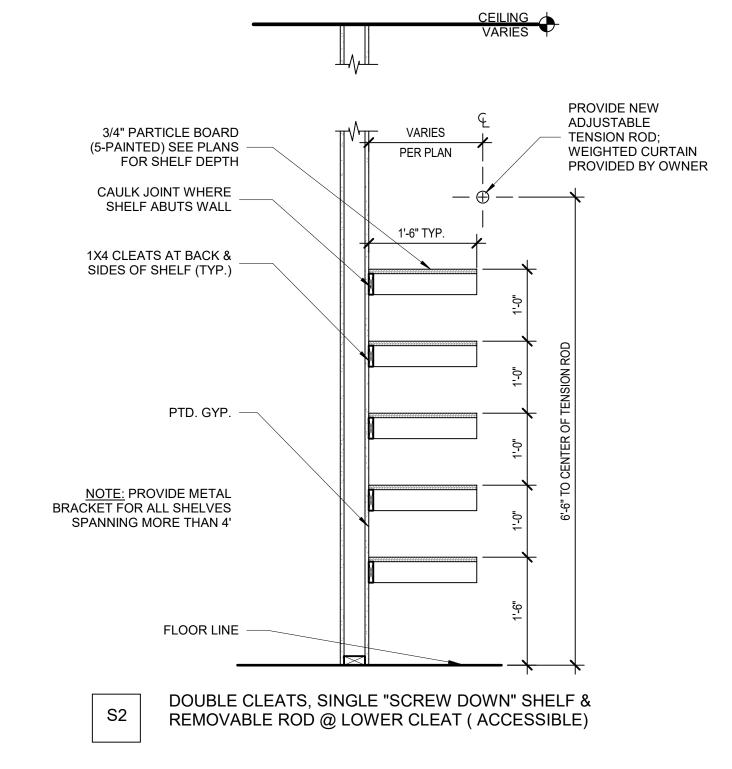


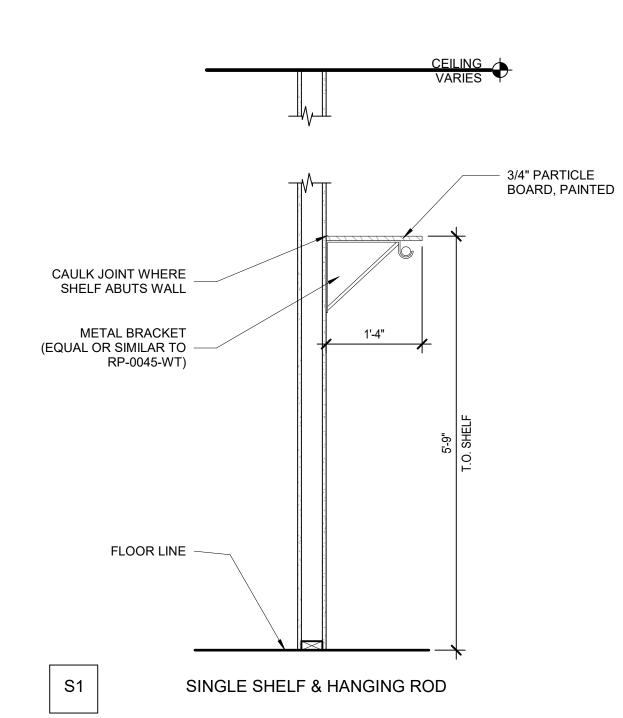
BASIS OF DESIGN, CONTACT: ROBERT CUCKLER,
ROBERT@TOPCRAFTCASEWORK.COM / TOP CRAFT CASEWORK
LAM-1B: REFER TO FINISH SCHEDULE FOR SPECIFICATION
INCLUDE WILSONART PVC 3MM EDGEBAND AT OUTSIDE CORNERS/BOND LAMINATE
WITH 3/4" PARTICLE BOARD

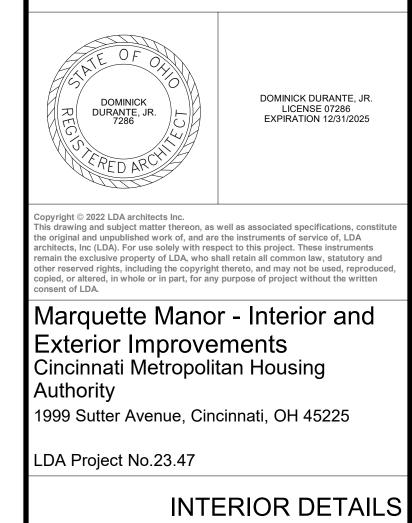
3 ELEVATOR LOBBY BENCH
A6.00B SCALE: 1" = 1'-0"











A6.00B

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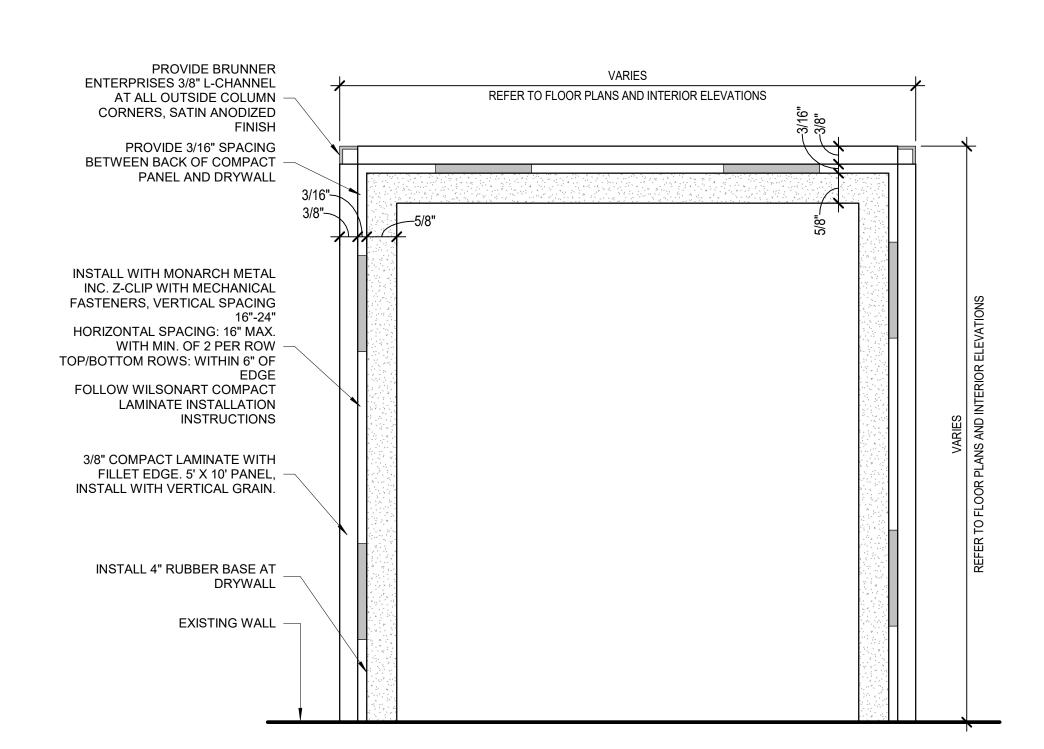
2024.02.01 80% CD'S- OHFA APPLICATION

2024.01.05 DESIGN DEVELOPMENT 2024.01.15 DRAFT 80%- OHFA APP.

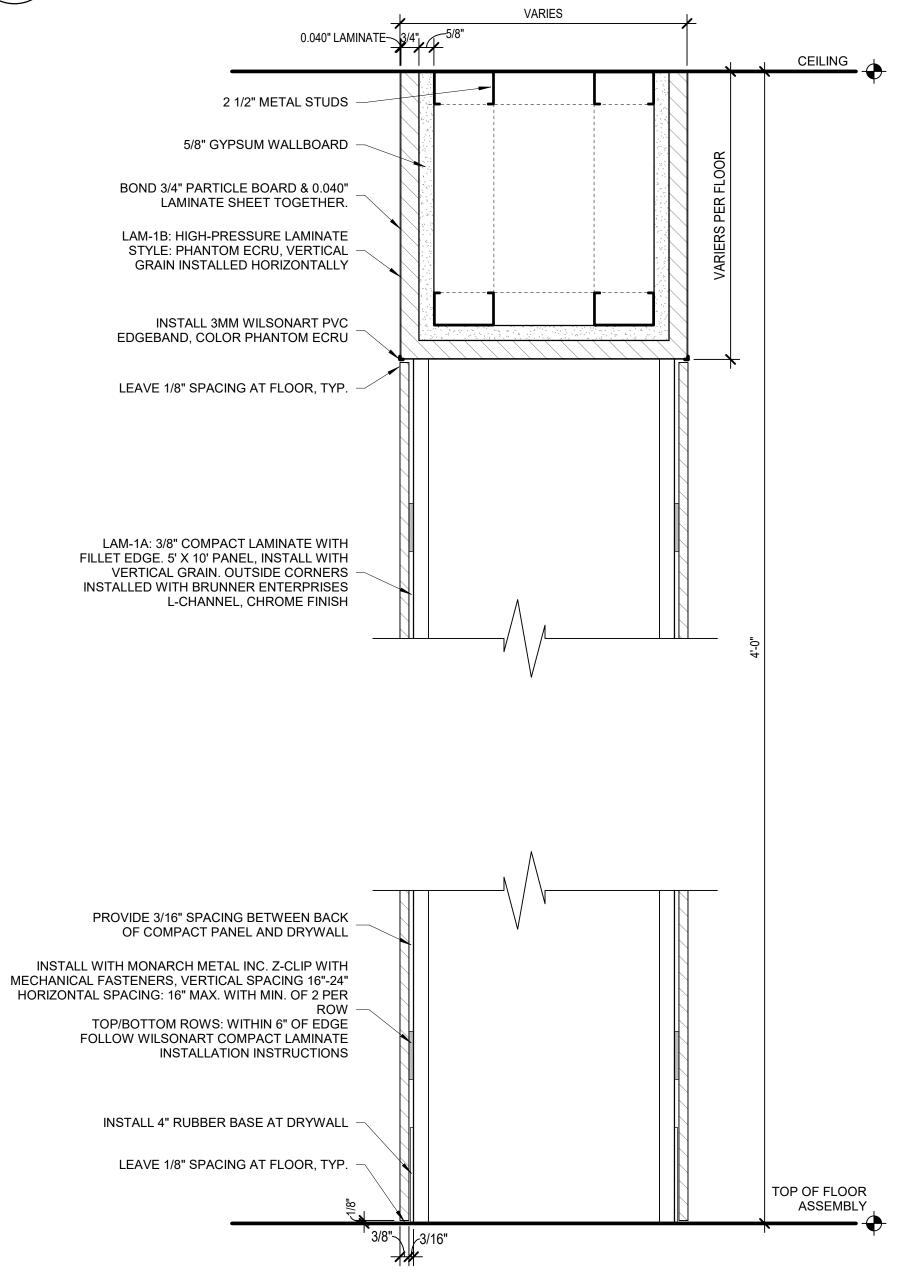
2024.03.21 BIDDING AND PERMIT

DESCRIPTION

REV DATE



5 TYP. FAUX COLUMN CORNER DETAIL
A6.00C SCALE: 6" = 1'-0"

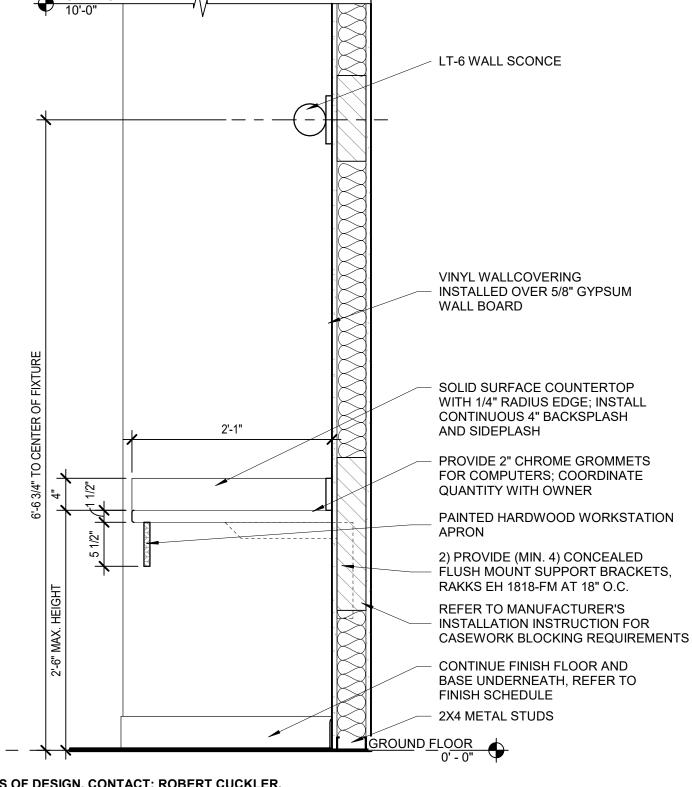


BASIS OF DESIGN, CONTACT: ROBERT CUCKLER, ROBERT@TOPCRAFTCASEWORK.COM / TOP CRAFT CASEWORK LAM-1A: REFER TO FINISH SCHEDULE FOR SPECIFICATION INCLUDE BRUNNER ENTERPRISES: L-CHANNEL, SATIN ANODIZED FINISH AT OUTSIDE CORNERS

LAM-1B: REFER TO FINISH SCHEDULE FOR SPECIFICATION INCLUDE WILSONART PVC 3MM EDGEBAND AT OUTSIDE CORNERS/BOND LAMINATE WITH 3/4" PARTICLE BOARD

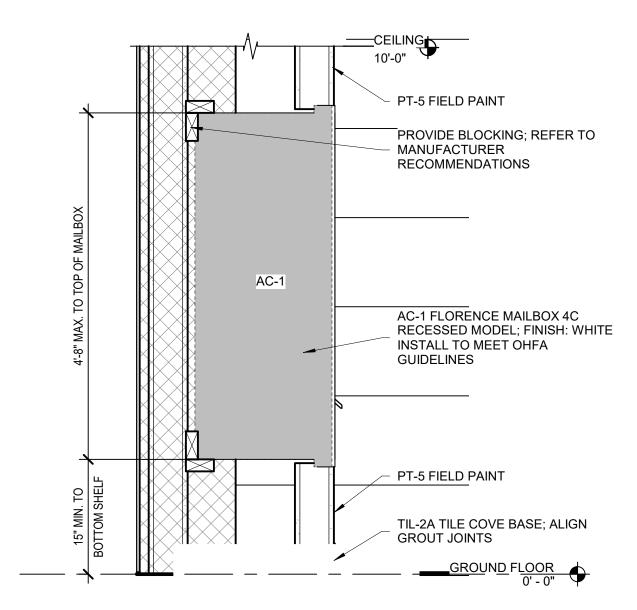
INSTALL WITH MONARCH METAL INC.: Z-CLIP

4 TYP. FAUX COLUMN & BEAM

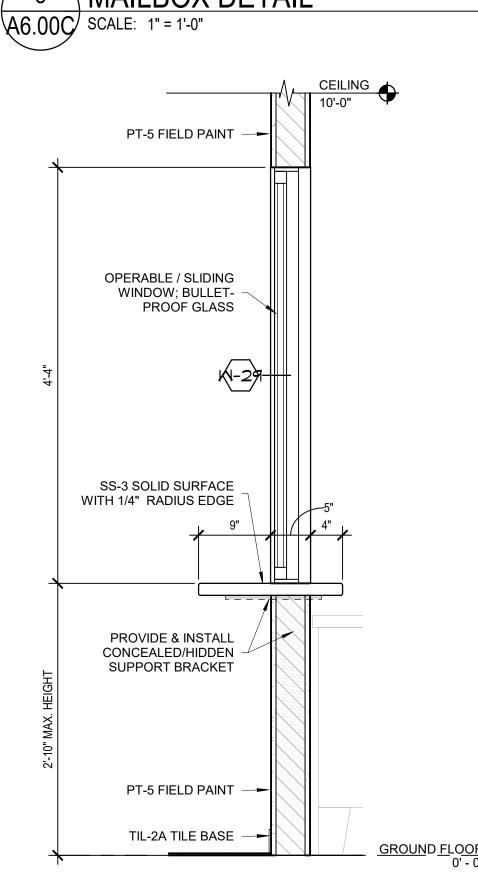


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ROBERT@TOPCRAFTCASEWORK.COM / TOP CRAFT CASEWORK
PAINTED PT-9 SHERWIN WILLIAMS SW7660 EARLY GRAY

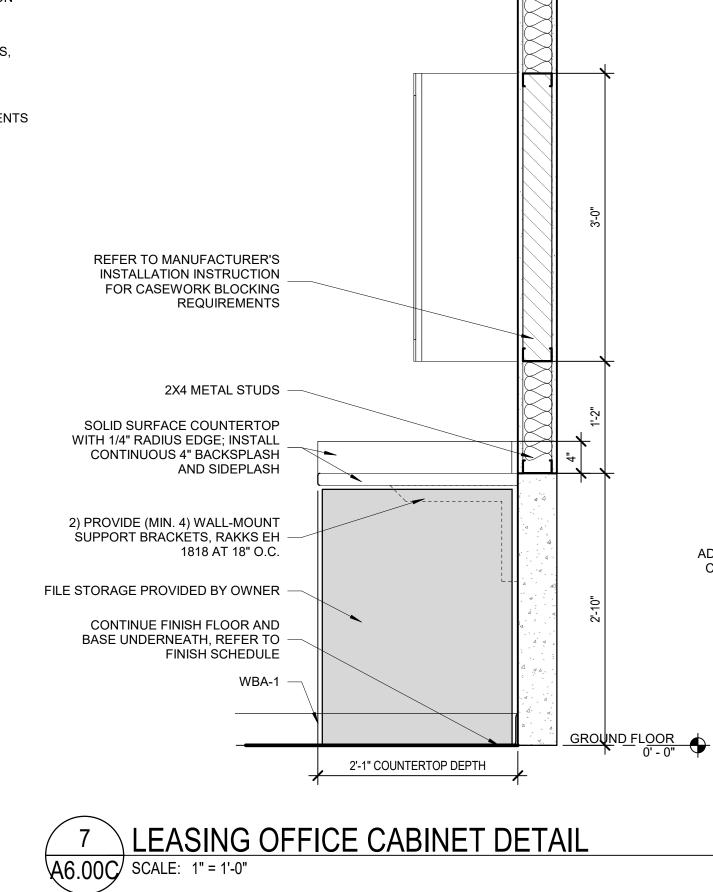




8 MAILBOX DETAIL A6.00C SCALE: 1" = 1'-0"



3 TYP. LEASING OFFICE SERVICE WINDOW SCALE: 1" = 1'-0"

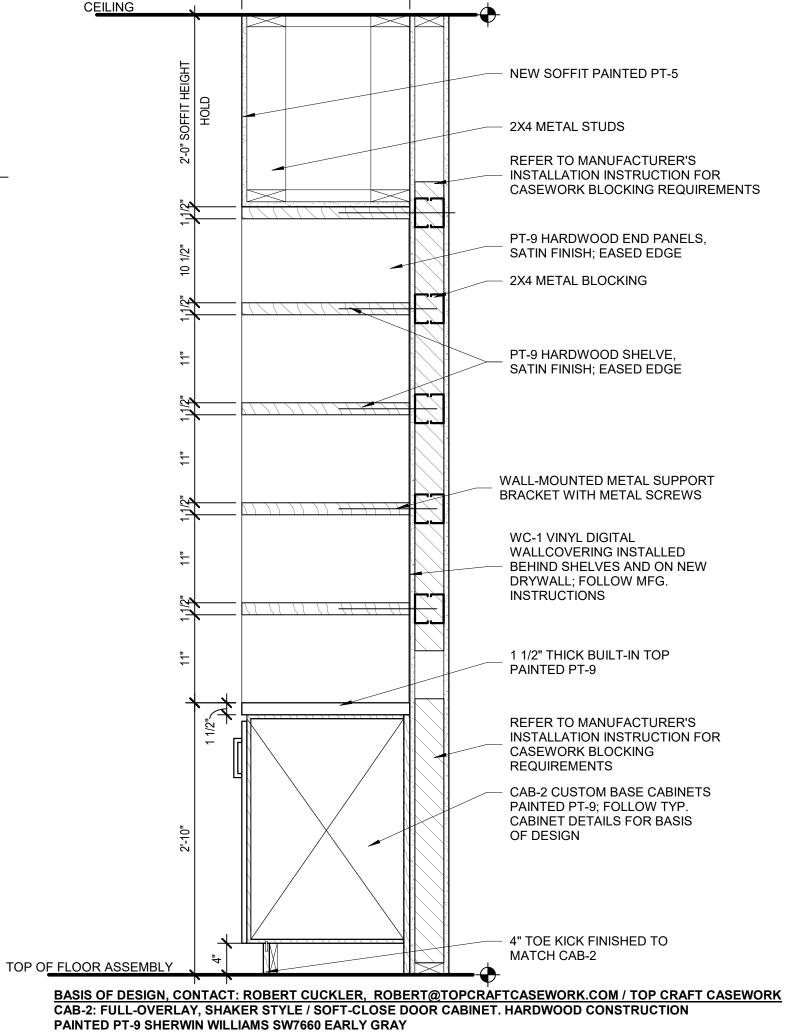


2X4 METAL STUDS

NEW 4-7/8" GYP. BD.

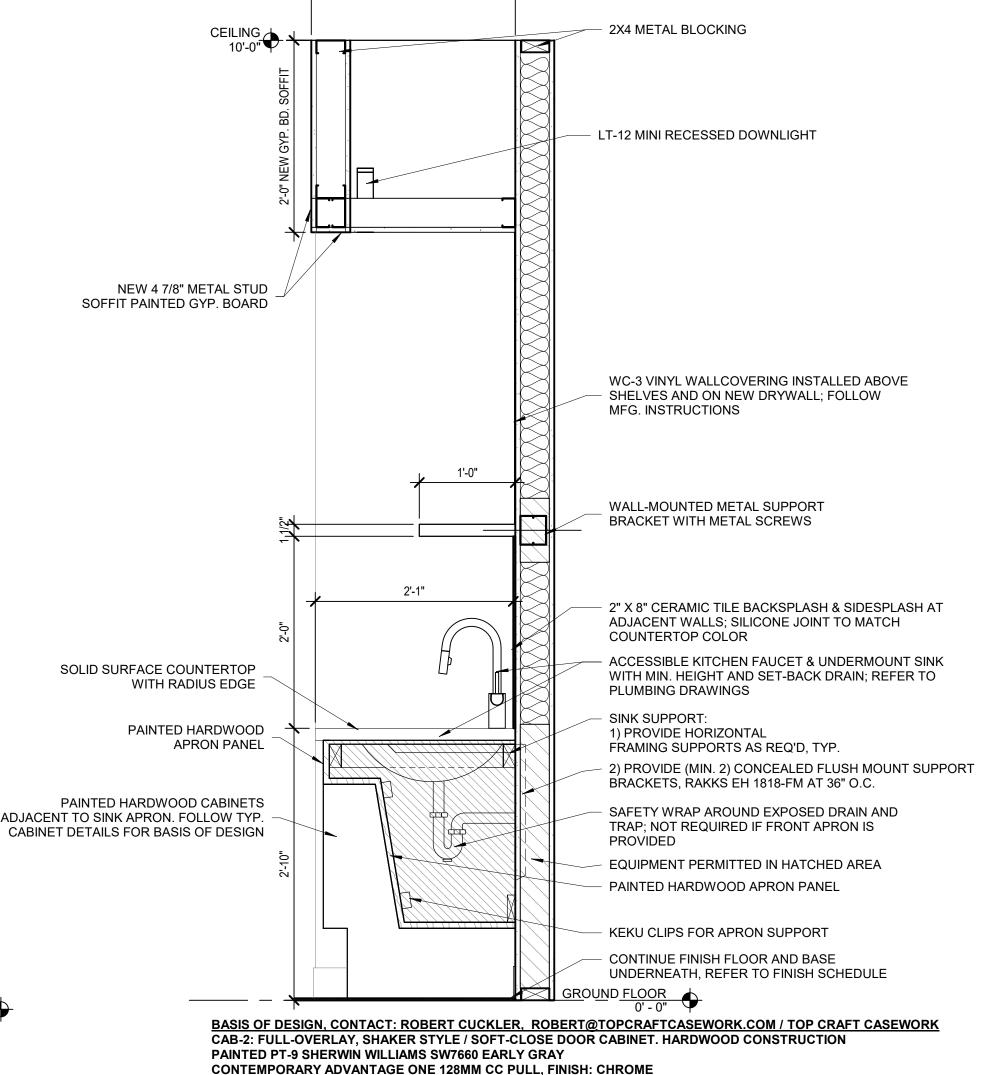
WALL PAINTED PT-5

A6.00C SCALE: 1" = 1'-0"



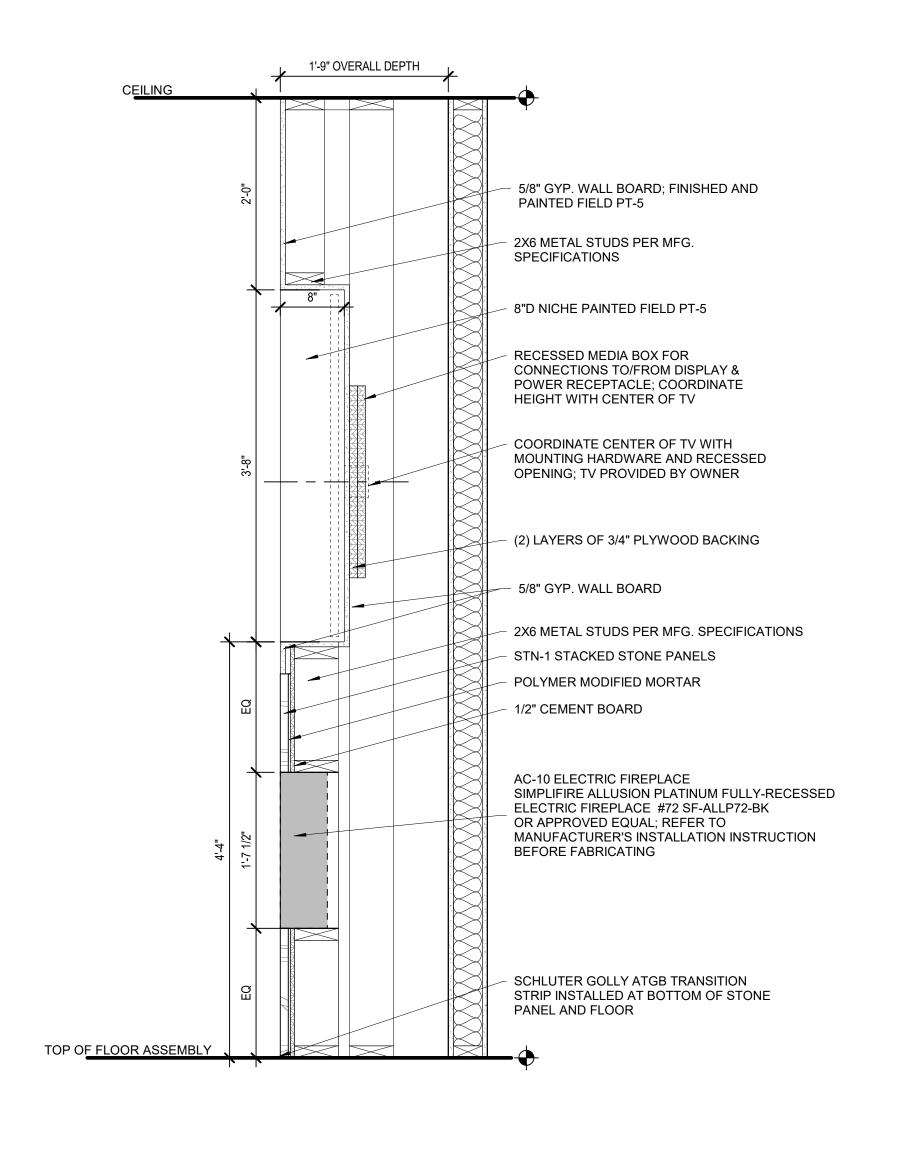
2 COMMUNITY ROOM BOOKCASE
A6.00C SCALE: 1" = 1'-0"

CONTEMPORARY ADVANTAGE ONE 128MM CC PULL, FINISH: CHROME



COMMUNITY ROOM KITCHEN

2'-1 1/2" NEW GYP. BD. SOFFIT



1 COMMUNITY ROOM FIREPLACE
A6.00¢ SCALE: 1" = 1'-0"



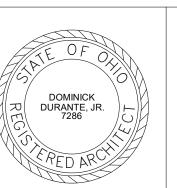
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REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET

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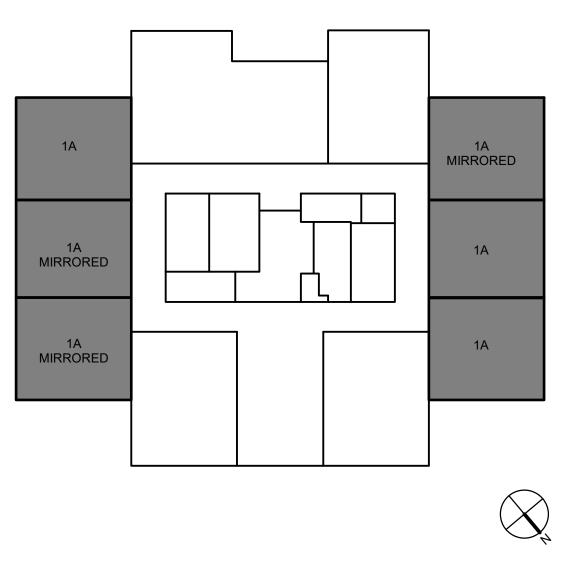
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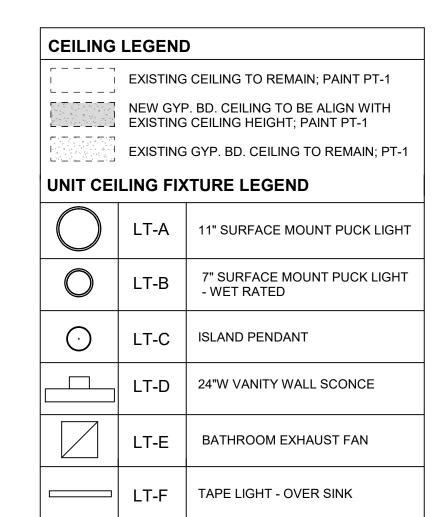
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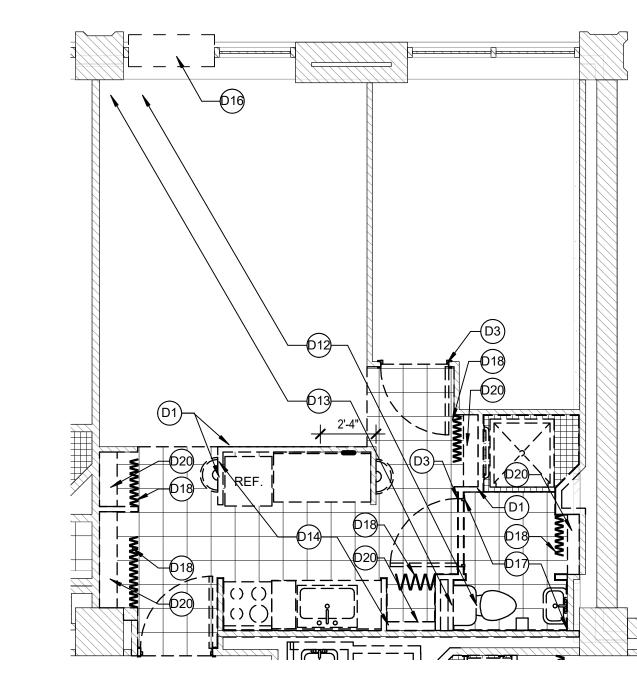
INTERIOR DETAILS

A6.00C

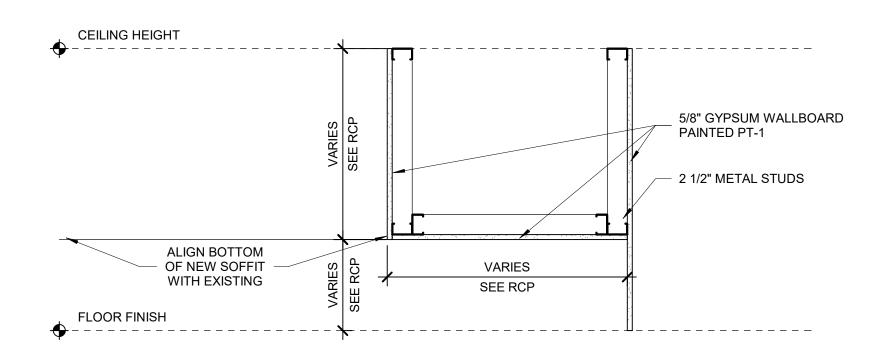


UNIT KEY PLAN - 1A

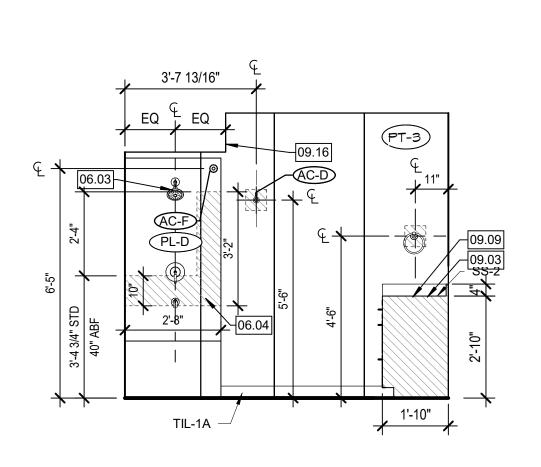


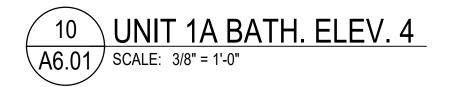


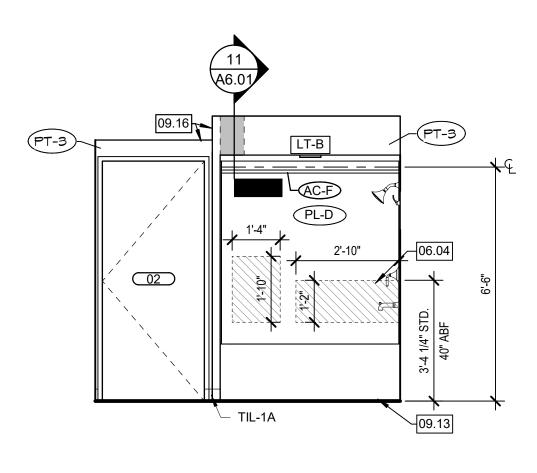
、A6.01 / SCALE: 1/4" = 1'-0"



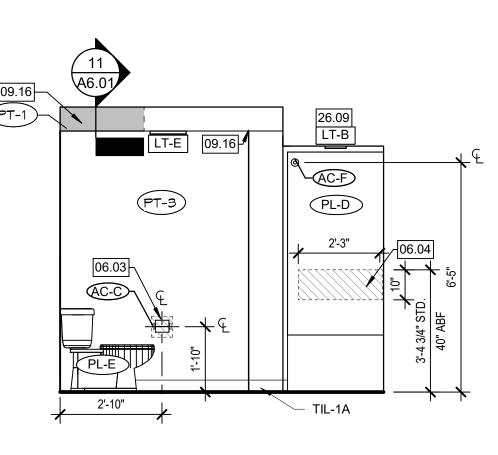
TYPICAL UNIT SOFFIT DETAIL A6.01 | SCALE: 1" = 1'-0"



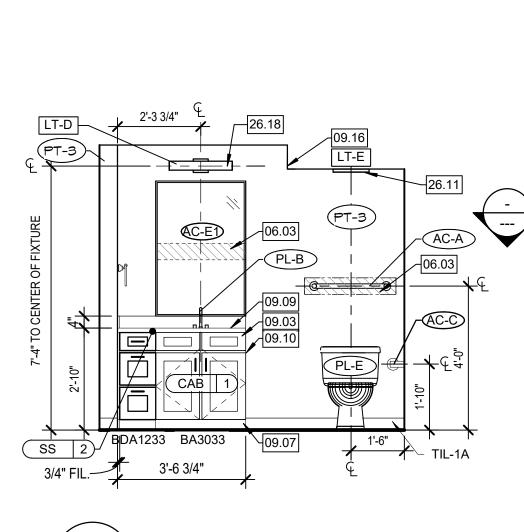




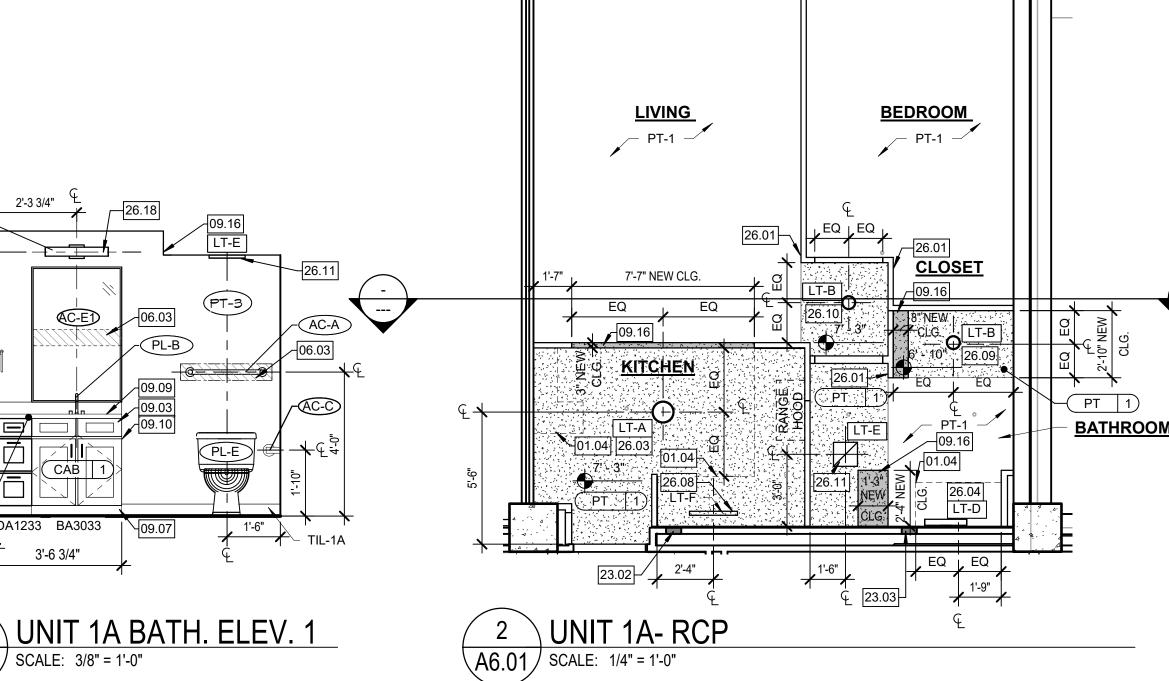


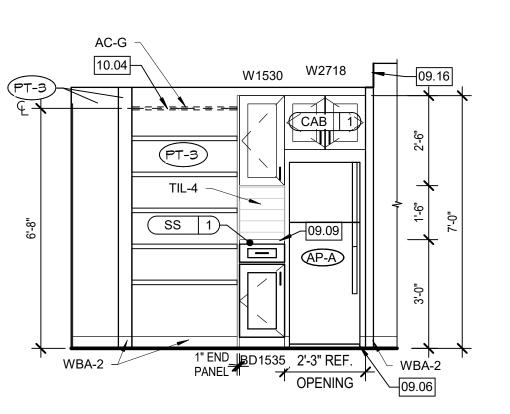




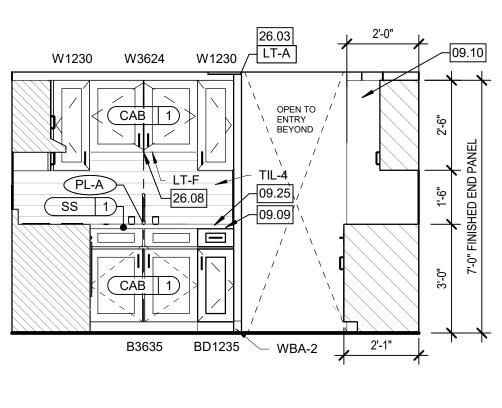


UNIT 1A BATH. ELEV. 1 A6.01 SCALE: 3/8" = 1'-0"

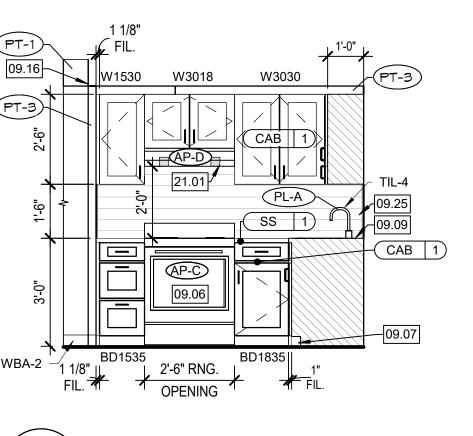




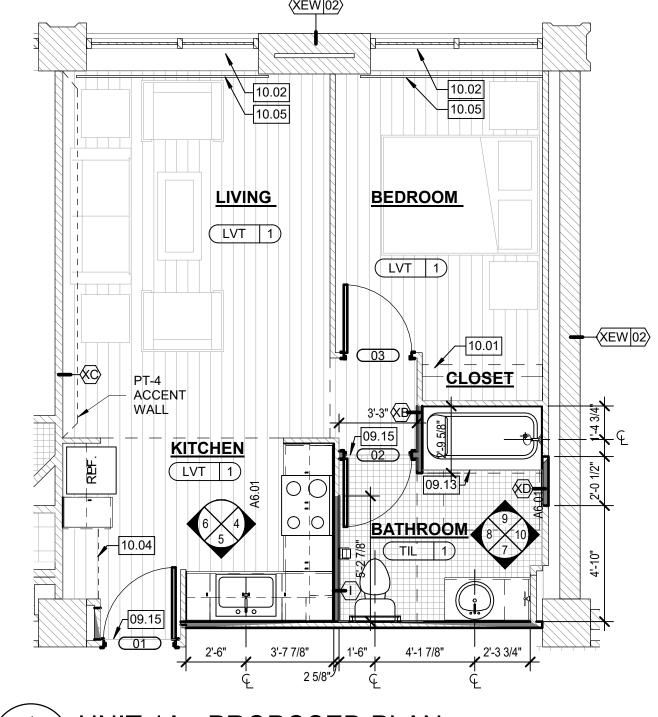








UNIT 1A KITCHEN ELEV. 1 A6.01 SCALE: 3/8" = 1'-0"



UNIT 1A - PROPOSED PLAN A6.01 | SCALE: 1/4" = 1'-0"

GENERAL NOTES - ENLARGED UNIT PLANS

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.

2. REFER TO SHEET G0.03 FOR ACCESSIBLE DETAILS TO FOLLOW.

3. THE FOLLOWING SCOPE OF WORK IS FOR ALL TYPICAL UNITS UNLESS OTHERWISE NOTED; REFER TO PLANS FOR ADDITIONAL SCOPE: **GENERAL UNIT**:

A. REPAIR DRYWALL & WATER DAMAGE THROUGHOUT UNITS. INSULATE WHERE POSSIBLE. B. PAINT ALL WALLS (EGGSHELL FINISH), CEILINGS & SOFFITS (FLAT FINISH), AND DOORS & TRIM (SATIN FINISH) WITH ONE COAT PRIMER AND 2 COATS PAINT.

B1. PROVIDE ACCENT WALL IN LIVING. REFER TO FINISH SCHEDULE & ENLARGED UNIT PLANS. B2. ALL DRYWALL WALLS AND CEILINGS ARE TO RECEIVE LEVEL 4 FINISH PER STM C840 STANDARDS. USE TUFF-HIDE AT ALL JOINTS.

C. PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT CORRIDOR ON DOOR LEVER SIDE. D. PROVIDE NEW GLUE-DOWN VINYL PLANK FLOORING THROUGHOUT UNIT - EXCEPT BATHROOM; PREP FLOOR PER MANUFACTURERS INSTALL REQUIREMENTS. D1. REMOVE ALL EXISTING FLOORING (CARPET, TILE, VCT, ETC.) THROUGHOUT UNIT DOWN TO

CONCRETE/ SUBFLOORING. E. PROVIDE NEW WOOD BASE THROUGHOUT - EXCEPT BATHROOMS. REFER TO FINISH SCHEDULE WBA-2. F. REPLACE ALL EXIST. LIGHT FIXTURES, OUTLETS, SWITCHES AND COVER PLATES. NEW SWITCHES, GFCI OUTLETS & COVER PLATES, ETC. TO BE LEGRAND RADIANT IN WHITE. LIGHT FIXTURES TO BE LED. F1. ALL TO BE INSTALLED AT ACCESSIBLE HEIGHTS. G. PROVIDE NEW HARDWIRED COMBO CO/SMOKE DETECTORS IN ALL UNITS. CONCEAL WIRING IN WIRE MOULD AND PAINT TO

MATCH CEILING. HVI AND MOBILITY UNITS TO RECEIVE STROBES.

H. INSTALL CARBON MONOXIDE DETECTORS IN ALL UNITS. I. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS. THE NEW BLINDS SHALL BE VINYL. INSTALL DOUBLE CURTAIN J. INSTALL VENTED CLOSET SHELVING IN ALL CLOSETS (WHITE). TENSION ROD & CURTAINS TO BE INSTALLED ON ALL CLOSET AND PANTRY DOORS (CURTAINS PROVIDED BY OWNER). K. EXIST. HANGERS, NAILS, ETC. IN WALLS AND CEILINGS TO BE REMOVED AND PATCHED.

L. PROVIDE SHUT OFF VALVES AT ALL PLUMBING FIXTURES. M. INSTALL SANITARY CLEANOUT. N. REPLACE ALL SEWER AND WATER LINES. PROVIDE WATER MAIN SHUT OFF VALVES FOR EACH RISER AND/OR BRANCH. O. COVER CMU WALLS WITH DRYWALL. NEW DRYWALL PAINTED P. REPLACE APARTMENT ENTRY DOORS. NEW DOORS ARE T BE STAINED WOOD DOORS. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS Q. REPLACE ALL INTERIOR DOORS WITH PAINTED SOLID CORE WOOD DOORS; REPLACE DOORFRAMES WITH METAL FRAMES. EXISITNG FRAMES MAY REMAIN IF IN GOOD SHAPE AND INTERIOR WALLS REMAIN. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS. R. INSTALL CARD ACCESS LOCKS ON ALL APARTMENT ENTRIES. S. UPGRADE EXISTING ELECTRICAL SYSTEM. PROVIDE NEW MAIN INCOMING SERVICES AND FEEDS, IF NEEDED. WIRE MOLD WILL BE REQUIRED.

T. REPLACE WINDOW HEAT PUMPS. U. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS WITH NEW VINYL BLINDS WB-1 THROUGHOUT ALL UNITS. INSTALL DOUBLE CURTAIN RODS (PROVIDED BY OWNER). V. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING/SOFFIT FINNISH. W. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.

KITCHEN:

A. REPLACE SINK, FAUCET, AND APPLIANCES. NEW RANGES TO BE ELECTRICAL. A1. G.C. TO PROVIDE NEW APPLIANCES. CMHA MAINTENANCE TO DETERMINE A NUMBER OF OLD APPLIANCES TO SALVAGE; G.C. TO REMOVE/DISPOSE OF REMAINING APPLIANCES, CMHA TAGS TO BE RETURNED. B. PROVIDE NEW SOLID SURFACE COUNTERTOP WITH SURFACE MOUNT SINKS AND RADIUS EDGES. INCLUDE 2" X 8" CERAMIC TILE

BACKSPLASH & SIDESPALSH. INSTALLATION: HORIZONTAL STACKED. SEALANT TOP OF BACKSPLASH TO MATCH COUNTERTOP. C. PROVIDE NEW 30" WIDE VENTLESS RANGE HOOD IN STAINLESS STEEL FINISH. INSTALL (2) FIRESTOP CANISTERS UNDER HOOD. D. PROVIDE NEW ENERGY STAR REFRIGERATOR IN STAINLESS E. PROVIDE NEW 30" WIDE ELECTRIC RANGE WITH ANTI-TIP BRACKETS W/ BLACK/ WHITE FINISH. F. REMOVE EXIST. GREASE SHIELD AT RANGES.

G. PROVIDE NEW CABINETS WITH ANSI/KCMA A161.1 CERTIFIED G1. PROVIDE LOOP HANDLES, CHROME FINISH. H. PROVIDE NEW TOP-MOUNT SINGLE-BOWL STAINLESS STEEL I. PROVIDE NEW LEVER STYLE KITCHEN FAUCET (<2.2 GPM). PROVIDE ANTI-SCALD FAUCET.

BATHROOM:
A. REPLACE FLOORING WITH NEW CERAMIC TILE FLOOR & COORDINATING TILE WALL BASE. 1. SEAL / CAULK PERIMETER OF FLOORING ALONG ENTIRE PERIMETER PRIOR TO INSTALLING BASE. B. PROVIDE NEW COMFORT HEIGHT (ADA COMPLIANT) 1.28 LOW-FLOW TOILETS. INSTALL TO INCLUDE NEW WAX RING. CAULK PERIMETER OF TOILET AT FLOOR.

C. TUB/ SHOWER C1. PROVIDE NEW SHOWER, INCLUDING SHOWER PAN. PROVIDE NEW TUB IF SPACE ALLOWS. REFER TO ENLARGED **UNIT PLANS**

C2. PROVIDE ACCESS PANEL TO ALL TUB DRAINS/MIXING VALVE. C3. CAULK SHOWER/TUB AT FLOORS AND WALL

TILES. PROVIDE QUARTER ROUND PVC TRIM AT BASE OF SHOWER/TUB C5. PROVIDE NEW <2.0 GPM & WATERSENSE LABEL SHOWERHEAD. C6. INSTALL NEW PRESSURE-BALANCED LEVER FAUCET, STAINLESS COVER PANEL, AND MIXING D. PROVIDE NEW LEVER STYLE WATER-SENSE FAUCET WITH <1.5 GPM AT SINKS. PROVIDE PRESSURE BALANCED FAUCET WITH ANTI-SCALD. E. PROVIDE NEW CABINETS WITH ANSI/KCMA A161.1 CERTIFIED

CABINETS & CULTURED MARBLE INTEGRAL OVAL SINK WITH ROLLED EDGES AND 4" BACKSPLASH & SIDESPLASH. E1. PROVIDE LOOP HANDLES, CHROME FINISH. E2. SEALANT TOP OF BACKSPLASH TO MATCH COUNTERTOP. F. PROVIDE NEW LED VANITY LIGHT. CENTER ON SINK & MIRROR. COST TO INCLUDE CUTTING AND RUNNING OF NEW WIRE.

G. PROVIDE NEW ENERGY STAR EXHAUST FAN. PROVIDE NEW WIRING SO LIGHTING AND FAN ARE ON SEPARATE SWITCH. CLEANOUT EXIST.DUCTS. H. PROVIDE NEW MIRROR. 18" TOWEL BAR. TOWEL RING. AND TOILET PAPER HOLDER, CHROME FINISH.

DOOR & DOOR HARDWARE A. UNIT ENTRY DOORS:

A1. EXIST. FIRE-RATED ENTRY DOORS & FRAMES TO REMAIN (REFER TO A3) A2. REPLACE HANDLES WITH NEW HARDWARE INTERCONNECTED LEVER STYLE HANDLE A3. PROVIDE REPLACEMENT OF ENTRY DOORS AS NOTED ON MATRIX. (FRAMES TO REMAIN) A4. PROVIDE BRUSHED DOOR SWEEPS AT ALL DOORS. BASIS OF DESIGN: PEMKO 18100 NB DOOR BOTTOM SWEEP, CLEAR ANODIZED ALUMINUM FINISH. A5. PAINT EXIST. DOOR FRAMES (BOTH SIDES); REFER TO FINISH SCHEDULE. A6. SAND, CLEAN, STAIN, AND PROVIDE 1 COAT OF POLYURETHANE (BOTH SIDES) AT EXIST. WOOD

A7. ENTRY DOORS TO BE EQUIPPED WITH A VIEWER AND BELL/ BUZZER. B. BEDROOM & BATHROOM DOORS B1. EXIST. DOORS AND HARDWARE TO BE REPLACED. B2. PRIME/ PAINT EXIST. DOOR FRAME (BOTH SIDES)

B3. REPLACE DAMAGED DOORS WITH NEW PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED; REFER TO MATRIX. C. CLOSET DOORS: C1. EXIST. DOORS TO REMAIN.

> C2. REPLACE DAMAGED DOORS WITH PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED; REFER TO C3. PROVIDE NEW HARDWARE TO ALL DOORS. C4. PRIME/ PAINT EXIST. DOOR FRAME (BOTH SIDES).

The Offices at the Agora 5000 Euclid Avenue, Suite 104 Cleveland, OH 44103 LDAarchitecture.com 216.932.1890

EV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

01.04 DASHED LINE REPRESENTS CABINET/COUNTERTOP BELOW.

06.03 PROVIDE WOOD BLOCKING FOR BATHROOM FIXTURE. INSTALL PER MANUFACTURER'S

RECOMMENDATIONS. 06.04 PROVIDE WOOD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS TO FULLY COMPLY WITH ANSI A1171.1.

09.03 PROVIDE AND INSTALL CONTINUOUS 4"H BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS. SEE FINISH SCHEDULE FOR

SPECIFICATIONS. 09.06 G.C. TO FINISH WALL AND BASE BEHIND RANGE

AND REFRIGERATOR, TYP. ALL UNITS AND COMMON AREA KITCHEN. PROVIDE 4" CABINET TOE KICK TO MATCH

CABINETRY FINISH. CUT TO LENGTH IF 09.09 PROVIDE AND INSTALL SILICONE JOINT

BETWEEN SOLID SURFACE AND BACKSPLASH TILE. COLOR TO MATCH COUNTERTOP COLOR. 09.10 FINISH CABINET SIDE PANEL. 09.13 PVC QUARTER ROUND INSTALLED AT SHOWER

BASE. TO BE SEALED.

09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B. 09.16 ALIGN NEW CEILING WITH EXISTING WALL AND CEILING HEIGHT. PAINT PT-1.

09.25 INSTALL 2"X8" CERAMIC TILE AT BACKSPLASH AND SIDEWALL OF ALL UNIT KITCHENS. STACK HORIZONTALLY AND ALIGN GROUT JOINTS. INCLUDE SCHLUTER JOLLY TRANSITION,

CHROME FINISH, AT EXPOSED EDGE AND TOP. 10.01 16" DEEP WHITE CLOSET SHELVING WITH ADDITION OF HANG ROD. 10.02 PROVIDE 2" VINLY BLINDS AT ALL UNIT

WINDOWS. REFER TO FINISH SCHEDULE FOR SPECIFICATION WB-1. 10.04 PROVIDE ADJUSTABLE TENSION ROD AT ALL CLOSETS. WEIGHTED CURTAIN TO BE

PROVIDED BY OWNER. 10.05 PROVIDE DOUBLE DRAPERY ROD AT ALL UNIT

WINDOWS. REFER TO ACCESSORY SCHEDULE. **CURTAIN PROVIDED BY TENANT** PROVIDE AND INSTALL (2) FIRE CANISTERS AT EACH RANGEHOOD.

LOCATION OF EXISTING KITCHEN VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW KITCHEN RANGE HOOD. REFER TO MECHANICAL DRAWINGS. 23.03 LOCATION OF EXISTING BATHROOM

VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW BATHROOM EXHAUST FAN. REFER TO MECHANICAL DRAWINGS.

26.01 PROVIDE SWITCHED OUTLET IN BEDROOMS AND LIVING ROOM WHERE NO OVERHEAD LIGHT IS LOCATED, TYPICAL ALL UNITS.

26.03 CENTER FIXTURE IN ROOM. 26.04 CENTER FIXTURE ON VANITY.

26.08 CENTER FIXTURE ON KITCHEN SINK. 26.09 CENTER FIXTURE ON SHOWER.

26.10 CENTER FIXTURE ON DOOR/OPENING. 26.11 CENTER FIXTURE ON WATER CLOSET. 26.18 CENTER FIXTURE ON LAVATORY SINK AND

KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL (

TYPICAL UNLESS NOTED OTHERWISE

REMOVE PORTION OF EXISTING WALL AND ANY ASSOCIATED UTILITIES OR EQUIPMENT. REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.

D12 REMOVE ALL EXISTING FLOORING AND VINYL BASE IN ENTIRE DWELLING UNIT. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING. REMOVE ALL EXISTING LIGHT FIXTURES IN

ENTIRE DWELLING UNIT. REMOVE EXISTING SINK, CABINETS, APPLIANCES, COUNTERTOP AND HARDWARE

FROM KITCHEN AREA, APPLIANCES IN GOOD CONDITION ARE TO BE SALVAGED AND STORED, COORDINATE WITH OWNER.

REMOVE IN-WINDOW HEAT PUMP UNIT. EXISTING ASSOCIATED DUCTWORK TO REMAIN AND BE CLEANED. REMOVE ALL EXISTING TILE FLOORING, BASE,

PLUMBING FIXTURES, GRAB BARS, AND MIRRORS FROM BATHROOM. REMOVE EXISTING ACCORDIAN DOOR AND ASSOCIATED TRACK, FRAME AND HARDWARE.

D20 REMOVE ALL EXISTING CLOSET SHELVING.



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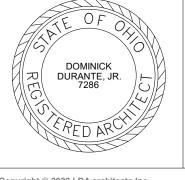
|Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing

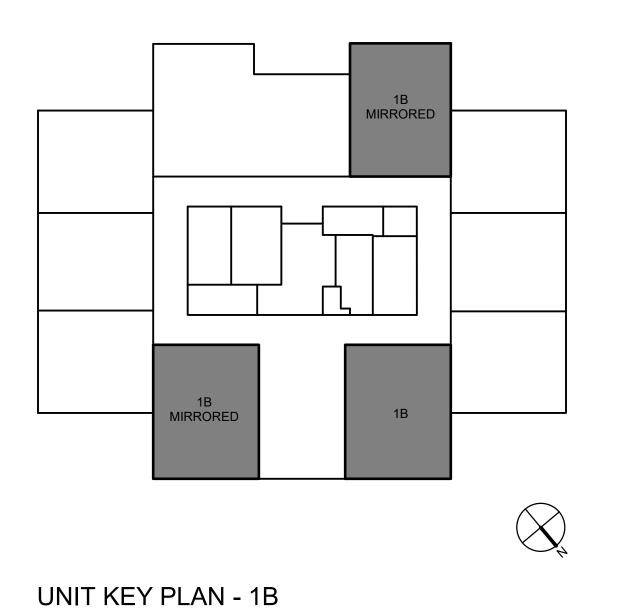
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LDA Project No.23.47

ENLARGED UNIT PLAN- 1A

A6.01





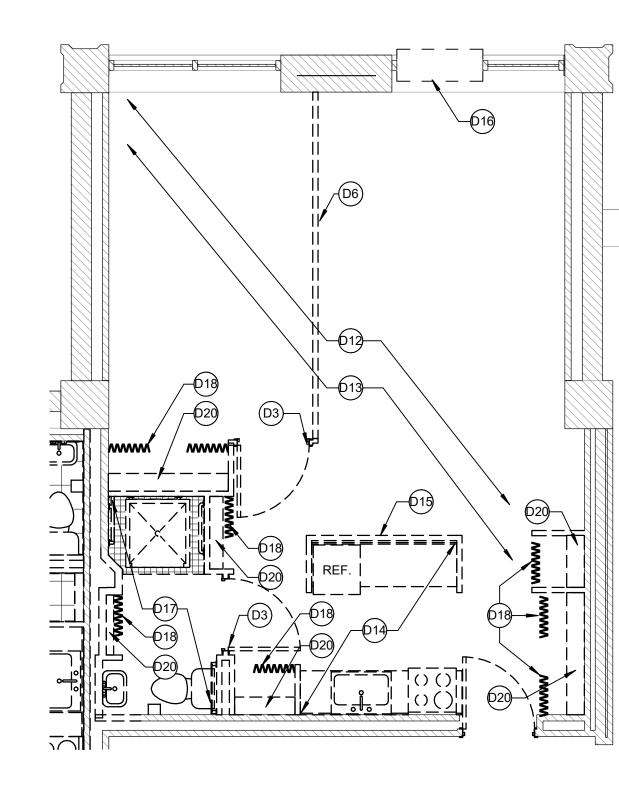
~ -- - - - - AC-F

2'-10"

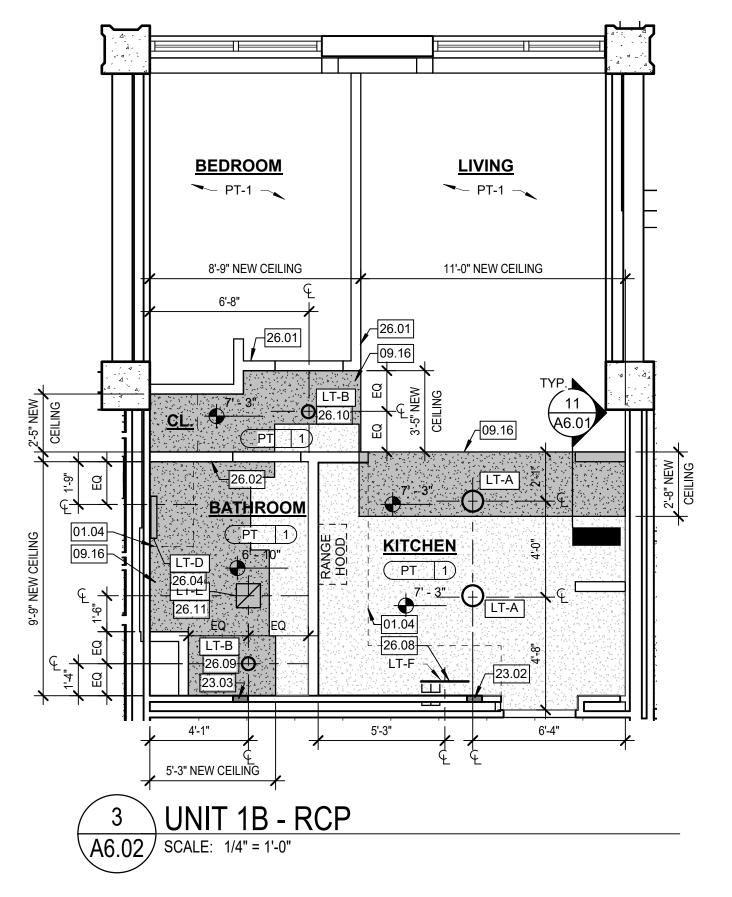
10 UNIT 1B BATH. ELEV. 3
A6.02 SCALE: 3/8" = 1'-0"

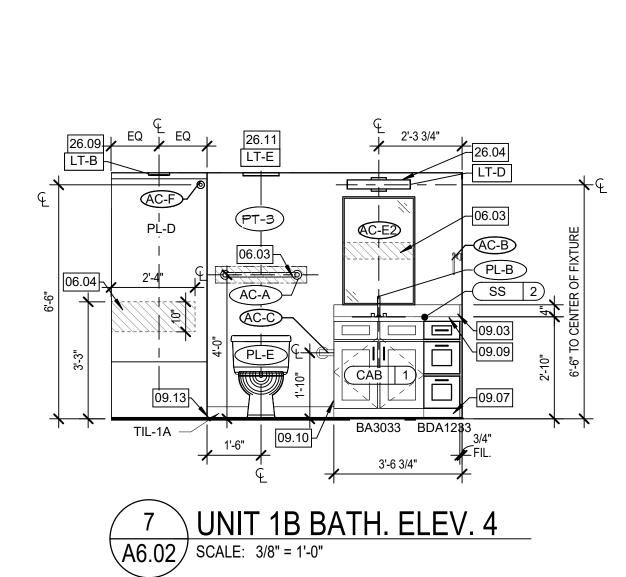
-(PL-E)

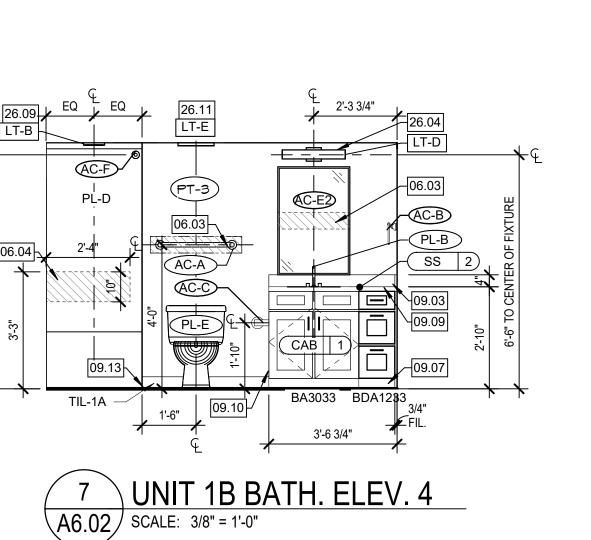
CEILING LEGEND		
	EXISTING	CEILING TO REMAIN; PAINT PT-1
		P. BD. CEILING TO BE ALIGN WITH CEILING HEIGHT; PAINT PT-1
	EXISTING	GYP. BD. CEILING TO REMAIN; PT-1
UNIT CEI	LING FIX	TURE LEGEND
	LT-A	11" SURFACE MOUNT PUCK LIGHT
0	LT-B	7" SURFACE MOUNT PUCK LIGHT - WET RATED
\odot	LT-C	ISLAND PENDANT
	LT-D	24"W VANITY WALL SCONCE
	LT-E	BATHROOM EXHAUST FAN
	LT-F	TAPE LIGHT - OVER SINK

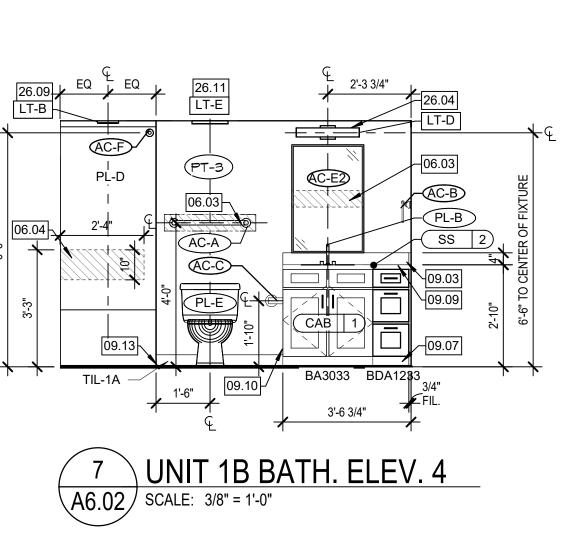


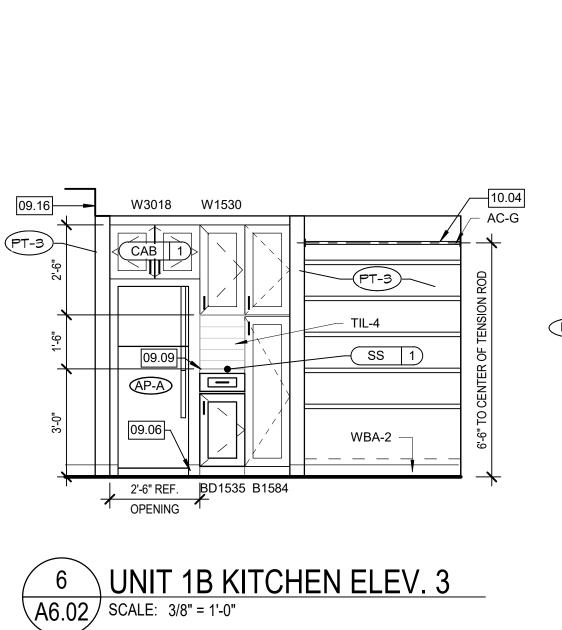










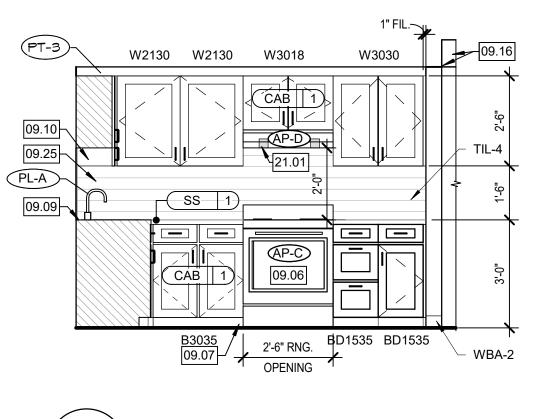


TIL-1A — 09.13

A6.02 | SCALE: 3/8" = 1'-0"

9 UNIT 1B BATH. ELEV. 2

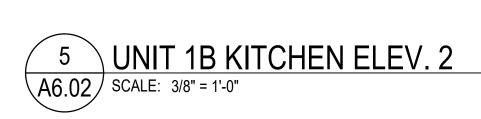
3'-8"

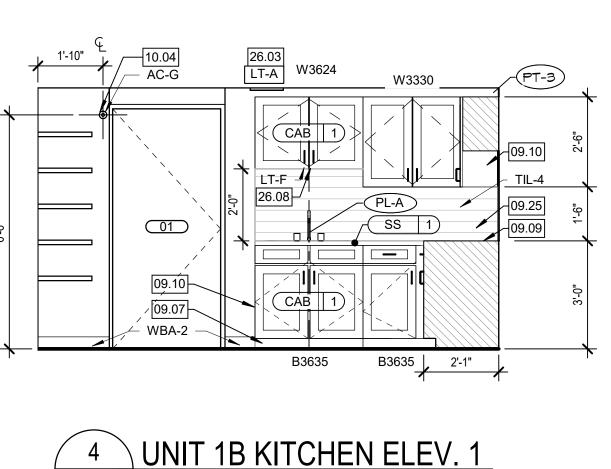


1'-10"

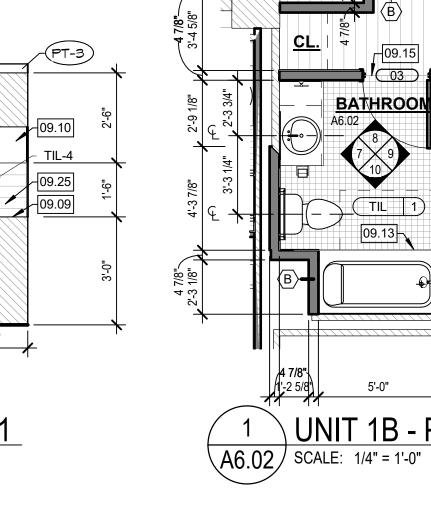
A6.02 | SCALE: 3/8" = 1'-0"

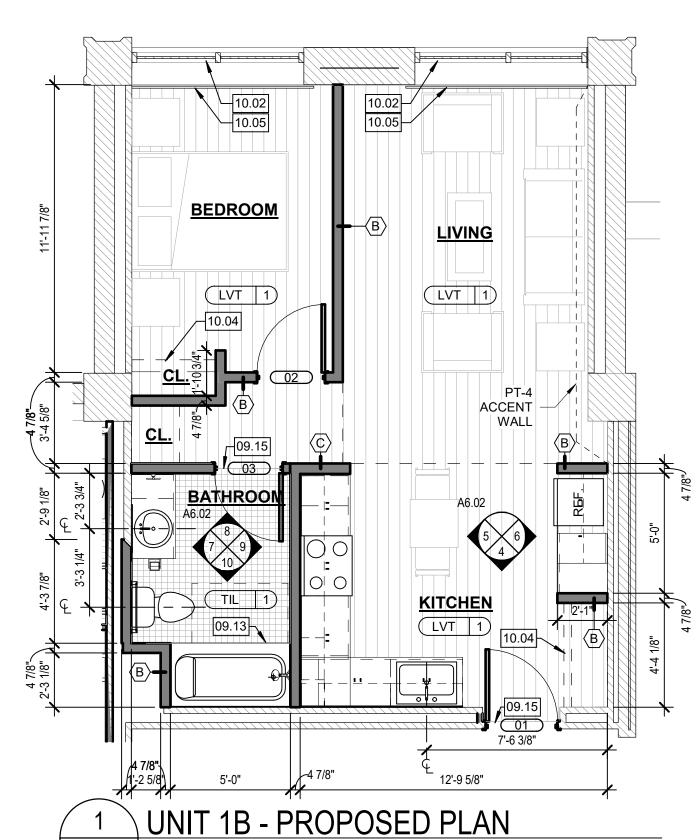
8 UNIT 1B BATH. ELEV. 1





A6.02 SCALE: 3/8" = 1'-0"





GENERAL NOTES - ENLARGED UNIT PLANS

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.

2. REFER TO SHEET G0.03 FOR ACCESSIBLE DETAILS TO FOLLOW. 3. THE FOLLOWING SCOPE OF WORK IS FOR ALL TYPICAL UNITS UNLESS OTHERWISE NOTED; REFER TO PLANS FOR ADDITIONAL SCOPE:

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2023.12.18 DRAFT DESIGN DEVELOPMENT

2024.02.01 80% CD'S- OHFA APPLICATION

2024.01.05 DESIGN DEVELOPMENT

2024.01.15 DRAFT 80%- OHFA APP.

2024.03.21 BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

01.04 DASHED LINE REPRESENTS

RECOMMENDATIONS.

WITH ANSI A1171.1.

SPECIFICATIONS.

COMMON AREA KITCHEN.

09.10 FINISH CABINET SIDE PANEL.

BASE. TO BE SEALED.

BY OWNER.

EACH RANGEHOOD.

MECHANICAL DRAWINGS.

26.03 CENTER FIXTURE IN ROOM.

26.04 CENTER FIXTURE ON VANITY.

26.09 CENTER FIXTURE ON SHOWER.

REFERENCED BY THE SYMBOL (

TYPICAL UNLESS NOTED OTHERWISE

IN ITS ENTIRETY.

DWELLING UNIT.

STRUCTURAL DECK.

LOCATED, TYPICAL ALL UNITS.

26.08 CENTER FIXTURE ON KITCHEN SINK.

26.10 CENTER FIXTURE ON DOOR/OPENING.

26.11 CENTER FIXTURE ON WATER CLOSET.

KEYED NOTES SPECIFIC TO THIS SHEET

D3 REMOVE EXISTING DOOR, FRAME AND HARDWARE

D6 REMOVE EXISTING WALL IN ITS ENTIRETY UP TO

BASE IN ENTIRE DWELLING UNIT. PREPARE

SUBFLOOR TO RECEIVE NEW FLOORING.

D13 REMOVE ALL EXISTING LIGHT FIXTURES IN ENTIRE

D14 REMOVE EXISTING SINK, CABINETS, APPLIANCES,

D16 REMOVE IN-WINDOW HEAT PUMP UNIT. EXISTING

D17 REMOVE ALL EXISTING TILE FLOORING, BASE,

D18 REMOVE EXISTING ACCORDIAN DOOR AND

D20 REMOVE ALL EXISTING CLOSET SHELVING.

ASSOCIATED DUCTWORK TO REMAIN AND BE

ASSOCIATED TRACK, FRAME AND HARDWARE.

PLUMBING FIXTURES, GRAB BARS, AND MIRRORS

D15 REMOVE EXISTING KITCHEN WALL AND

ASSOCIATED UTILITIES.

FROM BATHROOM.

DURANTE, JR. 7286

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COUNTERTOP AND HARDWARE FROM KITCHEN

AREA. APPLIANCES IN GOOD CONDITION ARE TO

BE SALVAGED AND STORED, COORDINATE WITH

D12 REMOVE ALL EXISTING FLOORING AND VINYL

BATHROOM, TYPICAL ALL UNITS.

CABINET/COUNTERTOP BELOW.

06.03 PROVIDE WOOD BLOCKING FOR BATHROOM

06.04 PROVIDE WOOD BLOCKING FOR FUTURE

09.03 PROVIDE AND INSTALL CONTINUOUS 4"H

09.07 PROVIDE 4" CABINET TOE KICK TO MATCH

TO MATCH COUNTERTOP COLOR.

TRANSITION DETAILS ON A6.00B.

CEILING HEIGHT. PAINT PT-1.

WALLS. SEE FINISH SCHEDULE FOR

09.06 G.C. TO FINISH WALL AND BASE BEHIND RANGE

AND REFRIGERATOR, TYP. ALL UNITS AND

09.09 PROVIDE AND INSTALL SILICONE JOINT BETWEEN

09.13 PVC QUARTER ROUND INSTALLED AT SHOWER

09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO

09.16 ALIGN NEW CEILING WITH EXISTING WALL AND

09.25 INSTALL 2"X8" CERAMIC TILE AT BACKSPLASH AND

SIDEWALL OF ALL UNIT KITCHENS, STACK

HORIZONTALLY AND ALIGN GROUT JOINTS. INCLUDE SCHLUTER JOLLY TRANSITION, CHROME

10.02 PROVIDE 2" VINLY BLINDS AT ALL UNIT WINDOWS.

REFER TO FINISH SCHEDULE FOR SPECIFICATION

CLOSETS. WEIGHTED CURTAIN TO BE PROVIDED

WINDOWS. REFER TO ACCESSORY SCHEDULE.

PROVIDE NEW DUCTWORK AND CONNECT TO NEW KITCHEN RANGE HOOD. REFER TO MECHANICAL

PROVIDE NEW DUCTWORK AND CONNECT TO NEW

FINISH, AT EXPOSED EDGE AND TOP.

10.04 PROVIDE ADJUSTABLE TENSION ROD AT ALL

10.05 PROVIDE DOUBLE DRAPERY ROD AT ALL UNIT

23.02 LOCATION OF EXISTING KITCHEN VENTILATION.

23.03 LOCATION OF EXISTING BATHROOM VENTILATION.

26.01 PROVIDE SWITCHED OUTLET IN BEDROOMS AND

26.02 FAN AND LIGHT TO BE SWITCHED SEPARATELY AT

LIVING ROOM WHERE NO OVERHEAD LIGHT IS

BATHROOM EXHAUST FAN. REFER TO

CURTAIN PROVIDED BY TENANT. 21.01 PROVIDE AND INSTALL (2) FIRE CANISTERS AT

CABINETRY FINISH. CUT TO LENGTH IF NEEDED.

SOLID SURFACE AND BACKSPLASH TILE. COLOR

FIXTURE. INSTALL PER MANUFACTURER'S

INSTALLATION OF GRAB BARS TO FULLY COMPLY

BACKSPLASH AND SIDESPLASH AT ADJACENT

DESCRIPTION

DATE

GENERAL UNIT:

A. REPAIR DRYWALL & WATER DAMAGE THROUGHOUT UNITS. INSULATE WHERE POSSIBLE. B. PAINT ALL WALLS (EGGSHELL FINISH), CEILINGS & SOFFITS (FLAT FINISH), AND DOORS & TRIM (SATIN FINISH) WITH ONE COAT PRIMER AND 2 COATS PAINT.

B1. PROVIDE ACCENT WALL IN LIVING. REFER TO FINISH SCHEDULE & ENLARGED UNIT PLANS. B2. ALL DRYWALL WALLS AND CEILINGS ARE TO RECEIVE LEVEL 4 FINISH PER STM C840 STANDARDS. USE TUFF-HIDE AT ALL JOINTS. C. PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT CORRIDOR ON DOOR LEVER SIDE. D. PROVIDE NEW GLUE-DOWN VINYL PLANK FLOORING THROUGHOUT UNIT - EXCEPT BATHROOM; PREP FLOOR PER MANUFACTURERS INSTALL REQUIREMENTS.

D1. REMOVE ALL EXISTING FLOORING (CARPET. TILE, VCT, ETC.) THROUGHOUT UNIT DOWN TO CONCRETE/ SUBFLOORING. E. PROVIDE NEW WOOD BASE THROUGHOUT - EXCEPT BATHROOMS. REFER TO FINISH SCHEDULE WBA-2. F. REPLACE ALL EXIST. LIGHT FIXTURES, OUTLETS, SWITCHES AND COVER PLATES. NEW SWITCHES, GFCI OUTLETS & COVER

PLATES, ETC. TO BE LEGRAND RADIANT IN WHITE. LIGHT FIXTURES TO BE LED. F1. ALL TO BE INSTALLED AT ACCESSIBLE HEIGHTS. G. PROVIDE NEW HARDWIRED COMBO CO/SMOKE DETECTORS IN ALL UNITS. CONCEAL WIRING IN WIRE MOULD AND PAINT TO MATCH CEILING. HVI AND MOBILITY UNITS TO RECEIVE STROBES. H. INSTALL CARBON MONOXIDE DETECTORS IN ALL UNITS. I. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS. THE NEW BLINDS SHALL BE VINYL. INSTALL DOUBLE CURTAIN J. INSTALL VENTED CLOSET SHELVING IN ALL CLOSETS (WHITE).

TENSION ROD & CURTAINS TO BE INSTALLED ON ALL CLOSET AND PANTRY DOORS (CURTAINS PROVIDED BY OWNER). K. EXIST. HANGERS, NAILS, ETC. IN WALLS AND CEILINGS TO BE REMOVED AND PATCHED. L. PROVIDE SHUT OFF VALVES AT ALL PLUMBING FIXTURES. M. INSTALL SANITARY CLEANOUT. N. REPLACE ALL SEWER AND WATER LINES. PROVIDE WATER MAIN SHUT OFF VALVES FOR EACH RISER AND/OR BRANCH. O. COVER CMU WALLS WITH DRYWALL. NEW DRYWALL PAINTED

EGGSHELL FINISH. P. REPLACE APARTMENT ENTRY DOORS. NEW DOORS ARE T BE STAINED WOOD DOORS. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS. Q. REPLACE ALL INTERIOR DOORS WITH PAINTED SOLID CORE WOOD DOORS; REPLACE DOORFRAMES WITH METAL FRAMES. EXISITNG FRAMES MAY REMAIN IF IN GOOD SHAPE AND INTERIOR WALLS REMAIN. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS. R. INSTALL CARD ACCESS LOCKS ON ALL APARTMENT ENTRIES. S. UPGRADE EXISTING ELECTRICAL SYSTEM. PROVIDE NEW MAIN INCOMING SERVICES AND FEEDS, IF NEEDED. WIRE MOLD WILL

BE REQUIRED. T. REPLACE WINDOW HEAT PUMPS. U. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS WITH NEW VINYL BLINDS WB-1 THROUGHOUT ALL UNITS. INSTALL DOUBLE CURTAIN RODS (PROVIDED BY OWNER). V. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING/SOFFIT FINNISH. W. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.

A. REPLACE SINK, FAUCET, AND APPLIANCES. NEW RANGES TO BE ELECTRICAL. A1. G.C. TO PROVIDE NEW APPLIANCES. CMHA

MAINTENANCE TO DETERMINE A NUMBER OF OLD APPLIANCES TO SALVAGE; G.C. TO REMOVE/DISPOSE OF REMAINING APPLIANCES, CMHA TAGS TO BE RETURNED. B. PROVIDE NEW SOLID SURFACE COUNTERTOP WITH SURFACE MOUNT SINKS AND RADIUS EDGES. INCLUDE 2" X 8" CERAMIC TILE BACKSPLASH & SIDESPALSH. INSTALLATION: HORIZONTAL STACKED. SEALANT TOP OF BACKSPLASH TO MATCH

C. PROVIDE NEW 30" WIDE VENTLESS RANGE HOOD IN STAINLESS STEEL FINISH. INSTALL (2) FIRESTOP CANISTERS UNDER HOOD. D. PROVIDE NEW ENERGY STAR REFRIGERATOR IN STAINLESS STEEL FINISH. E. PROVIDE NEW 30" WIDE ELECTRIC RANGE WITH ANTI-TIP BRACKETS W/ BLACK/ WHITE FINISH. F. REMOVE EXIST. GREASE SHIELD AT RANGES. G. PROVIDE NEW CABINETS WITH ANSI/KCMA A161.1 CERTIFIED

G1. PROVIDE LOOP HANDLES, CHROME FINISH. H. PROVIDE NEW TOP-MOUNT SINGLE-BOWL STAINLESS STEEL I. PROVIDE NEW LEVER STYLE KITCHEN FAUCET (<2.2 GPM). PROVIDE ANTI-SCALD FAUCET.

BATHROOM:
A. REPLACE FLOORING WITH NEW CERAMIC TILE FLOOR & COORDINATING TILE WALL BASE. 1. SEAL / CAULK PERIMETER OF FLOORING ALONG ENTIRE PERIMETER PRIOR TO INSTALLING BASE. B. PROVIDE NEW COMFORT HEIGHT (ADA COMPLIANT) 1.28 LOW-FLOW TOILETS. INSTALL TO INCLUDE NEW WAX RING. CAULK PERIMETER OF TOILET AT FLOOR. C. TUB/ SHOWER

C1. PROVIDE NEW SHOWER, INCLUDING SHOWER PAN. PROVIDE NEW TUB IF SPACE ALLOWS. REFER TO ENLARGED **UNIT PLANS** C2. PROVIDE ACCESS PANEL TO ALL TUB

DRAINS/MIXING VALVE. C3. CAULK SHOWER/TUB AT FLOORS AND WALL TILES. PROVIDE QUARTER ROUND PVC TRIM AT BASE OF SHOWER/TUB C5. PROVIDE NEW <2.0 GPM & WATERSENSE LABEL SHOWERHEAD. C6. INSTALL NEW PRESSURE-BALANCED LEVER FAUCET, STAINLESS COVER PANEL, AND MIXING

D. PROVIDE NEW LEVER STYLE WATER-SENSE FAUCET WITH <1.5 GPM AT SINKS. PROVIDE PRESSURE BALANCED FAUCET WITH ANTI-SCALD. E. PROVIDE NEW CABINETS WITH ANSI/KCMA A161.1 CERTIFIED CABINETS & CULTURED MARBLE INTEGRAL OVAL SINK WITH ROLLED EDGES AND 4" BACKSPLASH & SIDESPLASH. E1. PROVIDE LOOP HANDLES, CHROME FINISH. E2. SEALANT TOP OF BACKSPLASH TO MATCH

COUNTERTOP. F. PROVIDE NEW LED VANITY LIGHT, CENTER ON SINK & MIRROR. COST TO INCLUDE CUTTING AND RUNNING OF NEW WIRE. G. PROVIDE NEW ENERGY STAR EXHAUST FAN. PROVIDE NEW WIRING SO LIGHTING AND FAN ARE ON SEPARATE SWITCH. CLEANOUT EXIST.DUCTS. H. PROVIDE NEW MIRROR, 18" TOWEL BAR, TOWEL RING, AND TOILET PAPER HOLDER, CHROME FINISH.

DOOR & DOOR HARDWARE

A. UNIT ENTRY DOORS: A1. EXIST. FIRE-RATED ENTRY DOORS & FRAMES TO REMAIN (REFER TO A3) A2. REPLACE HANDLES WITH NEW HARDWARE INTERCONNECTED LEVER STYLE HANDLE A3. PROVIDE REPLACEMENT OF ENTRY DOORS AS NOTED ON MATRIX. (FRAMES TO REMAIN) A4. PROVIDE BRUSHED DOOR SWEEPS AT ALL DOORS. BASIS OF DESIGN: PEMKO 18100 NB DOOR BOTTOM SWEEP, CLEAR ANODIZED ALUMINUM FINISH. A5. PAINT EXIST. DOOR FRAMES (BOTH SIDES); REFER TO FINISH SCHEDULE. A6. SAND, CLEAN, STAIN, AND PROVIDE 1 COAT OF POLYURETHANE (BOTH SIDES) AT EXIST. WOOD A7. ENTRY DOORS TO BE EQUIPPED WITH A VIEWER AND

BELL/ BUZZER. B. BEDROOM & BATHROOM DOORS: B1. EXIST. DOORS AND HARDWARE TO BE REPLACED. B2. PRIME/ PAINT EXIST. DOOR FRAME (BOTH SIDES) B3. REPLACE DAMAGED DOORS WITH NEW PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED;

C3. PROVIDE NEW HARDWARE TO ALL DOORS.

C4. PRIME/ PAINT EXIST. DOOR FRAME (BOTH SIDES).

REFER TO MATRIX. C. CLOSET DOORS: C1. EXIST. DOORS TO REMAIN. C2. REPLACE DAMAGED DOORS WITH PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED; REFER TO

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Cincinnati Metropolitan Housing

Exterior Improvements

LDA Project No.23.47 ENLARGED UNIT PLAN - 1B

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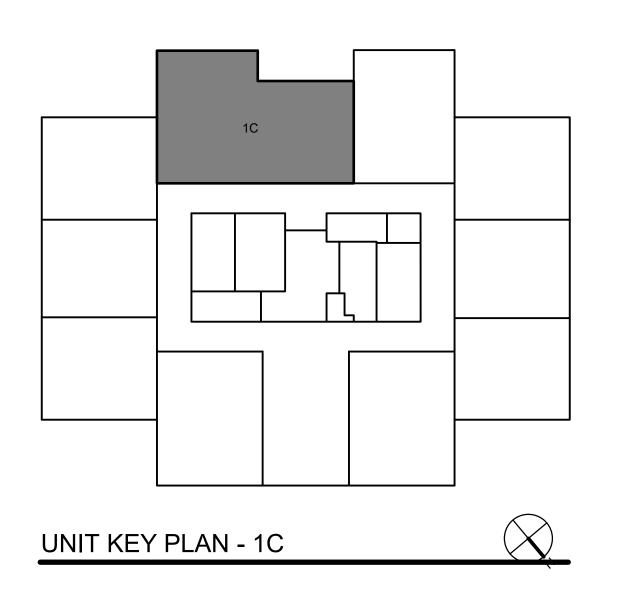
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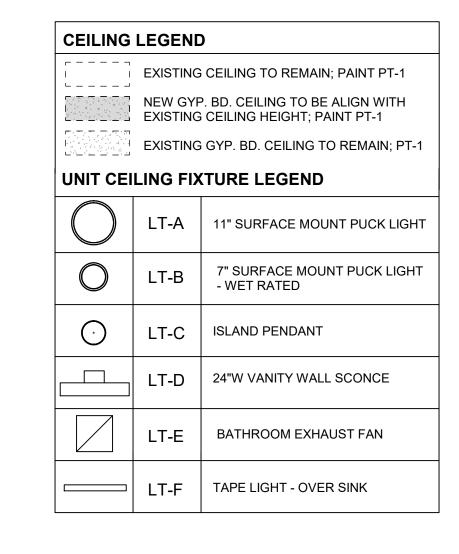
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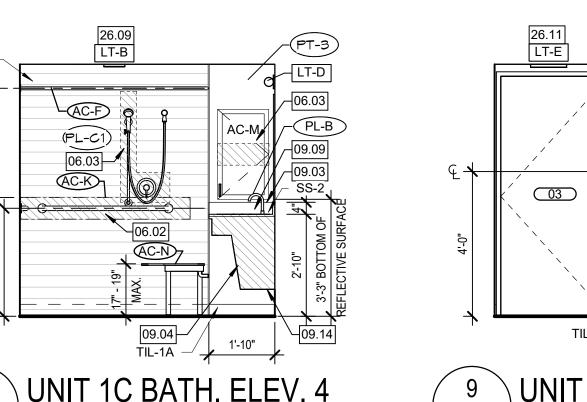
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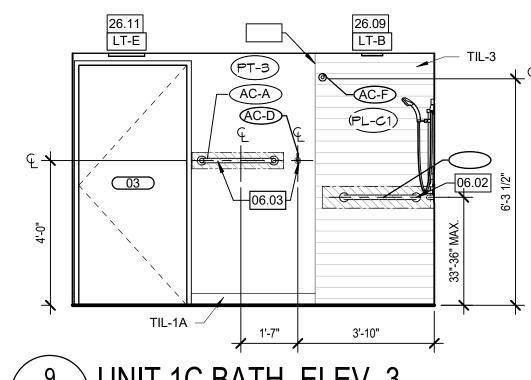


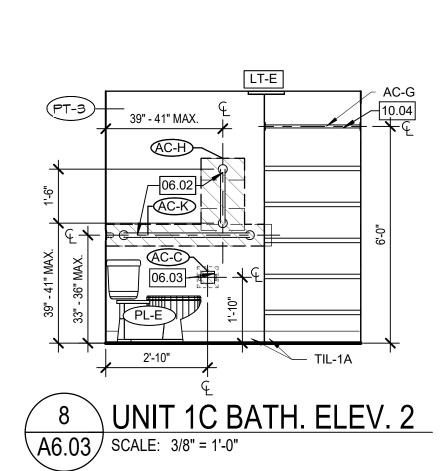
KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL (TYPICAL UNLESS NOTED OTHERWISE

- D6 REMOVE EXISTING WALL IN ITS ENTIRETY UP TO STRUCTURAL DECK. D12 REMOVE ALL EXISTING FLOORING AND VINYL BASE IN ENTIRE DWELLING UNIT. PREPARE SUBFLOOR TO RECEIVE NEW FLOORING.
- D13 REMOVE ALL EXISTING LIGHT FIXTURES IN ENTIRE DWELLING UNIT.
- D16 REMOVE IN-WINDOW HEAT PUMP UNIT. EXISTING ASSOCIATED DUCTWORK TO REMAIN AND BE CLEANED.
- D17 REMOVE ALL EXISTING TILE FLOORING, BASE, PLUMBING FIXTURES, GRAB BARS, AND MIRRORS FROM BATHROOM.
- D18 REMOVE EXISTING ACCORDIAN DOOR AND ASSOCIATED TRACK, FRAME AND D19 REMOVE PORTION OF EXISTING WALL TO
- ACCOMMODATE NEW DOOR, REFER TO DOOR SCHEDULE FOR NEW DOOR SIZE.
- D20 REMOVE ALL EXISTING CLOSET SHELVING.

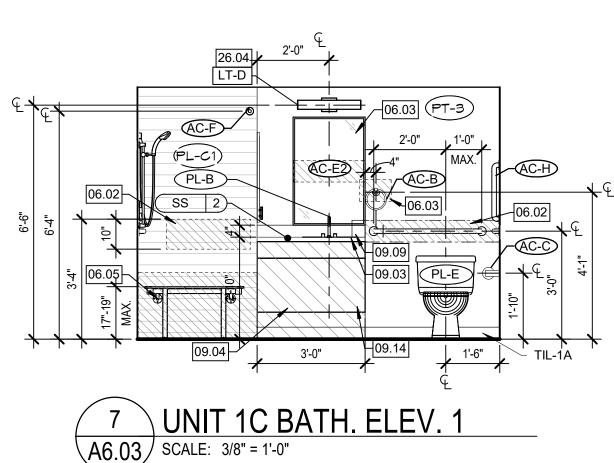




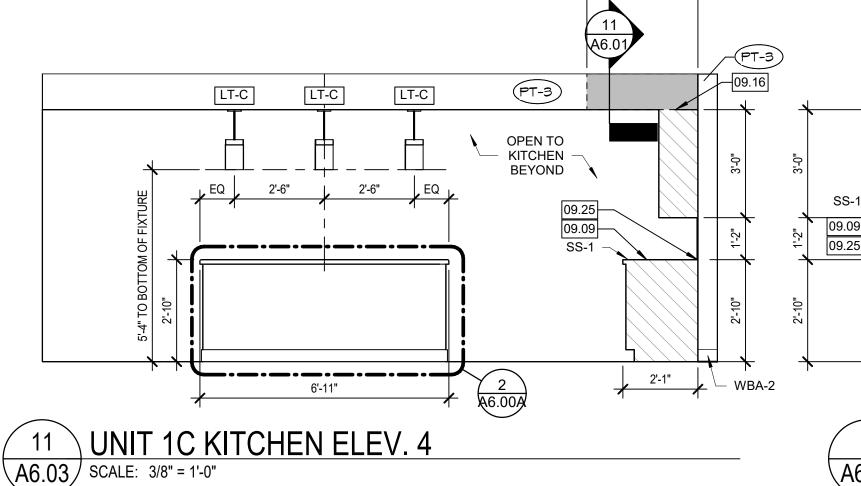


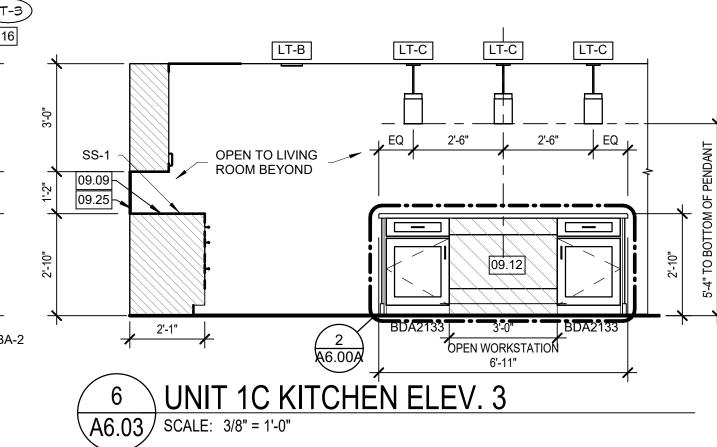


A6.03 | SCALE: 3/8" = 1'-0"

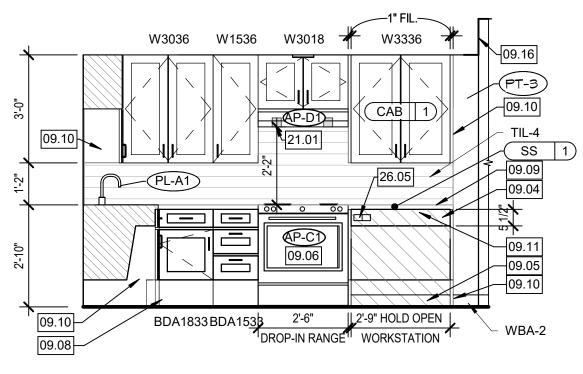


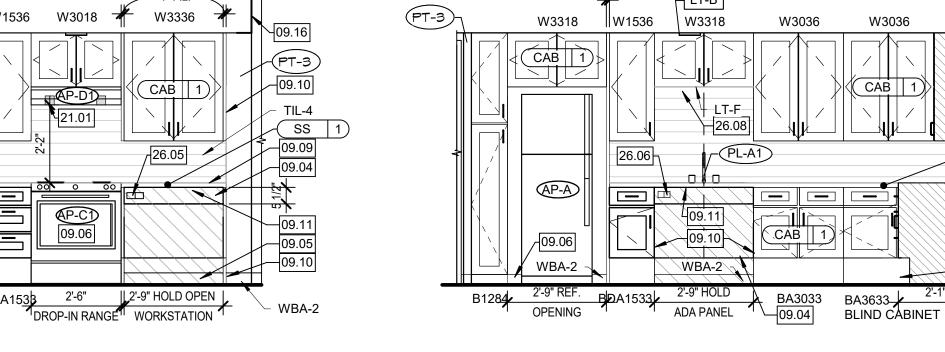
A6.03 | SCALE: 3/8" = 1'-0"





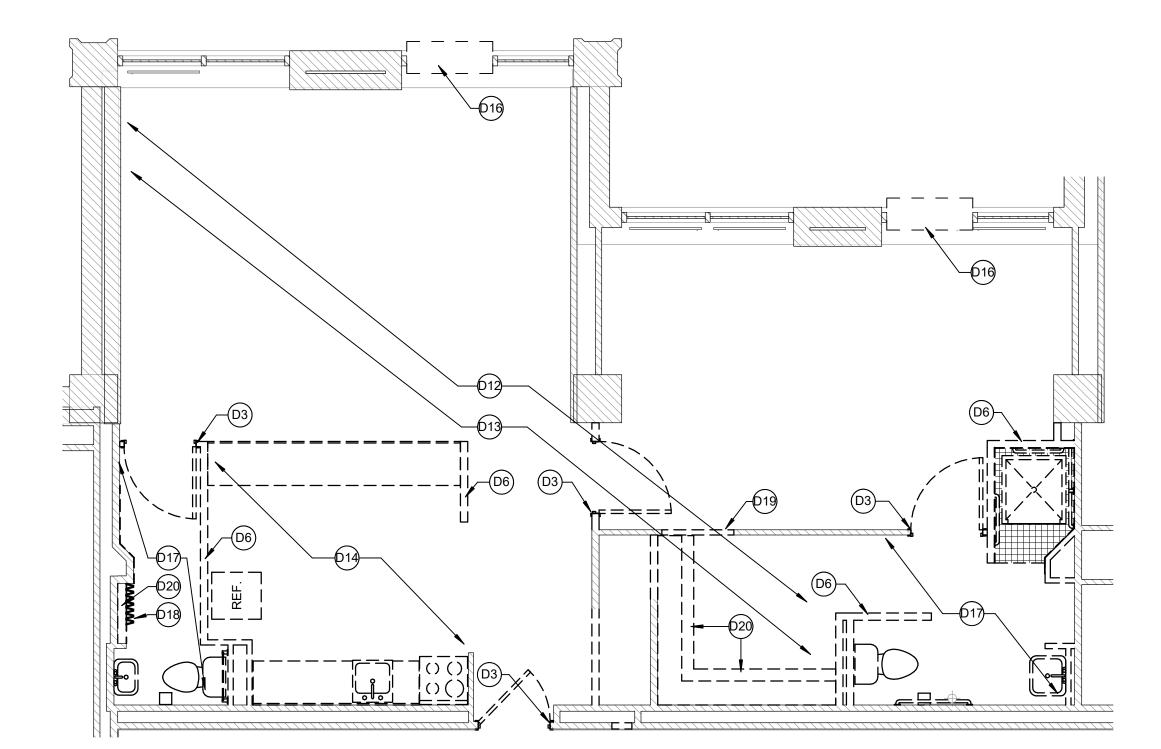
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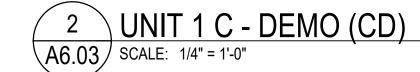


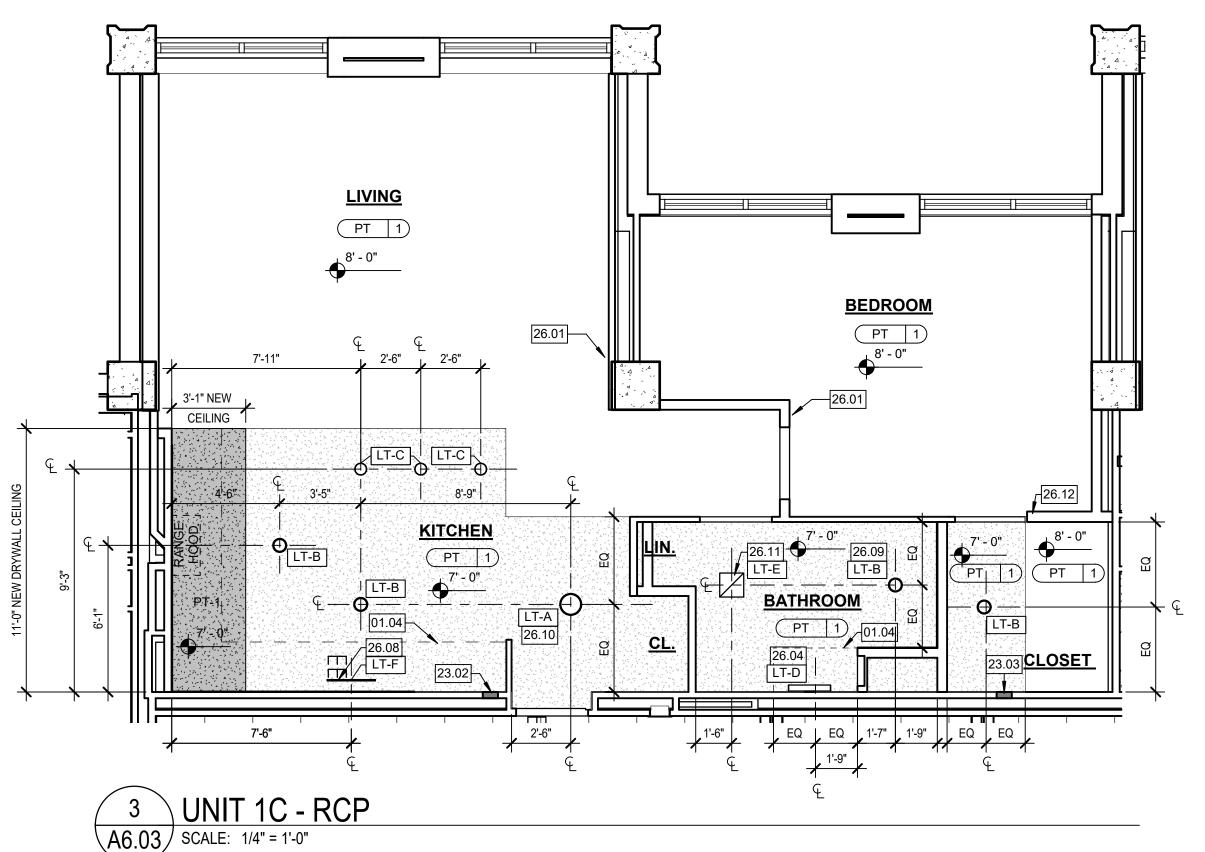


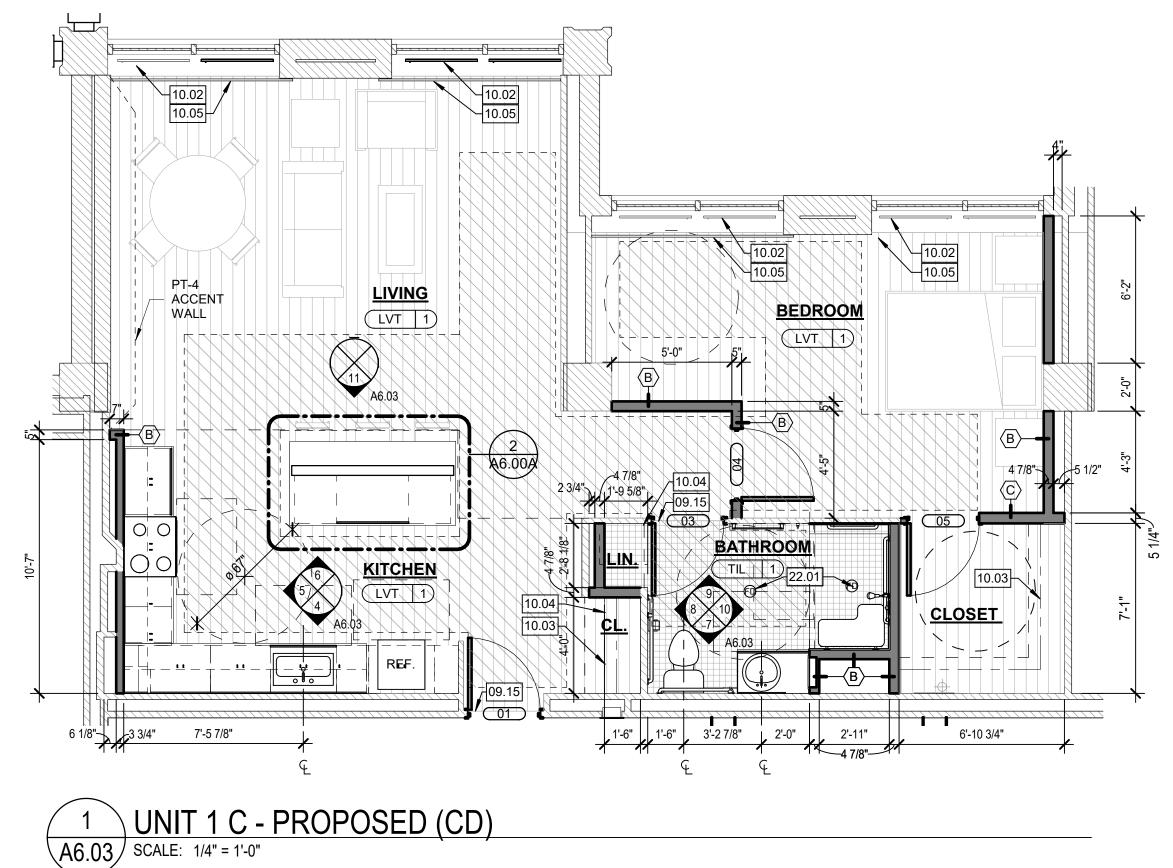












GENERAL NOTES - ENLARGED ACCESSIBLE UNIT PLANS

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN ANDDEMOLITION GENERAL NOTES.

2. REFER TO SHEET G0.03 FOR ACCESSIBLE DETAILS TO FOLLOW.

3. THE FOLLOWING SCOPE OF WORK IS FOR ALL ACCESSIBLE UNITS UNLESS OTHERWISE NOTED; REFER TO PLANS FOR ADDITIONAL SCOPE:

GENERAL UNIT:

A. REPAIR DRYWALL & WATER DAMAGE THROUGHOUT UNITS. INSULATE WHERE POSSIBLE. B. PAINT ALL WALLS (EGGSHELL FINISH), CEILINGS & SOFFITS (FLAT FINISH), AND DOORS & TRIM (SATIN FINISH) WITH ONE COAT PRIMER AND 2 COATS PAINT. B1. PROVIDE ACCENT WALL IN LIVING. REFER TO

FINISH SCHEDULE & ENLARGED UNIT PLANS. B2. ALL DRYWALL WALLS AND CEILINGS ARE TO RECEIVE LEVEL 4 FINISH PER STM C840 STANDARDS. USE TUFF-HIDE AT ALL JOINTS. C. PROVIDE NEW ROOM SIGNAGE W/ BRAILLE AT CORRIDOR ON DOOR LEVER SIDE. D. PROVIDE NEW GLUE-DOWN VINYL PLANK FLOORING THROUGHOUT UNIT - EXCEPT BATHROOM; PREP FLOOR PER MANUFACTURERS INSTALL REQUIREMENTS. D1. REMOVE ALL EXISTING FLOORING (CARPET

TILE, VCT, ETC.) THROUGHOUT UNIT DOWN TO CONCRETE/ SUBFLOORING. E. PROVIDE NEW WOOD BASE THROUGHOUT - EXCEPT BATHROOMS. REFER TO FINISH SCHEDULE WBA-2. F. REPLACE ALL EXIST. LIGHT FIXTURES, OUTLETS, SWITCHES AND COVER PLATES. NEW SWITCHES, GFCI OUTLETS & COVER PLATES, ETC. TO BE LEGRAND RADIANT IN WHITE. LIGHT FIXTURES TO BE LED. F1. ALL TO BE INSTALLED AT ACCESSIBLE HEIGHTS. G. PROVIDE NEW HARDWIRED COMBO CO/SMOKE DETECTORS IN ALL UNITS. CONCEAL WIRING IN WIRE MOULD AND PAINT TO MATCH CEILING. HVI AND MOBILITY UNITS TO RECEIVE STROBES. H. INSTALL CARBON MONOXIDE DETECTORS IN ALL UNITS. I. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS. THE NEW BLINDS SHALL BE VINYL. INSTALL DOUBLE CURTAIN J. INSTALL VENTED CLOSET SHELVING IN ALL CLOSETS (WHITE).

TENSION ROD & CURTAINS TO BE INSTALLED ON ALL CLOSET AND PANTRY DOORS (CURTAINS PROVIDED BY OWNER). J1. TOP OF CLOTHES SHELF AT 48" A.F.F. J2. BOTTOM OF LOWEST 5-SHELF UNIT 15" A.F.F. K. EXIST. HANGERS, NAILS, ETC. IN WALLS AND CEILINGS TO BE REMOVED AND PATCHED. L. PROVIDE SHUT OFF VALVES AT ALL PLUMBING FIXTURES. M. INSTALL SANITARY CLEANOUT. N. REPLACE ALL SEWER AND WATER LINES. PROVIDE WATER MAIN SHUT OFF VALVES FOR EACH RISER AND/OR BRANCH. O. COVER CMU WALLS WITH DRYWALL. NEW DRYWALL PAINTED EGGSHELL FINISH. P. REPLACE APPARTMENT ENTRY DOORS. NEW DOORS ARE T BE STAINED WOOD DOORS. PROVIDE NEW DOOR HARDARE AND DOOR STOPS ON ALL DOORS Q. REPLACE ALL INTERIOR DOORS WITH PAINTED SOLID CORE WOOD DOORS; REPLACE DOORFRAMES WITH METAL FRAMES. EXISITNG FRAMES MAY REMAIN IF IN GOOD SHAPE AND INTERIOR WALLS REMAIN. PROVIDE NEW DOOR HARDWARE AND DOOR STOPS ON ALL DOORS. R. INSTALL CARD ACCESS LOCKS ON ALL APARTMENT ENTRIES. S. UPGRADE EXISTING ELECTRICAL SYSTEM. PROVIDE NEW MAIN

BE REQUIRED. T. REPLACE WINDOW HEAT PUMPS. U. EXISTING WINDOWS TO REMAIN. REPLACE ALL MINI BLINDS WITH NEW VINYL BLINDS WB-1 THROUGHOUT ALL UNITS. INSTALL DOUBLE CURTAIN RODS (PROIVED BY OWNER). V. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING/SOFFIT FINISIH. W. COORDINATE FINAL CABINETRY SHOP DRAWINGS WEITH APPLIANCES AND SUBMIT TO ARHITECT FOR REVIEW

INCOMING SERVICES AND FEEDS, IF NEEDED. WIRE MOLD WILL

KITCHEN:

A. REPLACE SINK, FAUCET, AND APPLIANCES. NEW FRONT-CONTROL RANGES TO BE ELECTRICAL. A1. G.C. TO PROVIDE NEW APPLIANCES. CMHA MAINTENANCE TO DETERMINE A NUMBER OF OLD APPLIANCES TO SALVAGE; G.C. TO REMOVE/DISPOSE OF REMAINING APPLIANCES, CMHA TAGS TO BE RETURNED. B. PROVIDE NEW SOLID SURFACE COUNTERTOP WITH SURFACE MOUNT SINKS AND ROLLED EDGES. INCLUDE 4" HIGH ROLLED

BACKSPLASH & SIDESPALSH. SEALANT TOP OF BACKSPLASH TO

MATCH COUNTERTOP. C. PROVIDE NEW 30" WIDE VENTLESS RANGE HOOD IN

STAINLESS STEEL FINISH. INSTALL 2 FIRESTOP CANISTERS UNDER HOOD. C1. PROVIDE ACCESSIBLE RANGE HOOD SWITCH ON FACE OF WORKSTATION IN ALL ACCESSIBLE UNITS D. PROVIDE NEW ENERGY STAR REFRIGERATOR IN STAINLESS STEEL FINISH. E. PROVIDE NEW 30" WIDE ELECTRIC RANGE WITH ANTI-TIP BRACKETS W/ BLACK/ WHITE FINISH. F. REMOVE EXIST. GREASE SHIELD AT RANGES AND PROVIDE NEW STAINLESS STEEL GREASE SHIELDS ON BOTH SIDES OF RANGES (BACK & SIDE WALL). G. PROVIDE NEW CABINETS WITH ANSI/KCMA A161.1 CERTIFIED

G1. PROVIDE LOOP HANDLES. G2. PROVIDE 33"W WORKSTATIO NEXT TO RANGE AT ALL ACCESSIBLE UNITS H. PROVIDE NEW TOP-MOUNT SINGLE-BOWL STAINLESS STEEL I. PROVIDE NEW LEVER STYLE KITCHEN FAUCET (<2.2 GPM). PROVIDE ANTI-SCALD FAUCET. J. PROVIDE BLOCKING AT KITCHEN CABINETS AS INDICATED BY MANUFACTURER.

<u>BATHROOM:</u>
A. REPLACE FLOORING WITH NEW CERAMIC TILE FLOOR & CORDINATING TILE WALL BASE.

A1. SEAL / CAULK PERIMETER OF FLOORING ALONG ENTIRE PERIMETER PRIOR TO INSTALLING BASE. A2. PROVIDE FLOOR DRAIN IN CENTER OF BATHROOM. B. PROVIDE NEW COMFORT HEIGHT (ADA COMPLIANT) 1.28 LOW-FLOW TOILETS. INSTALL TO INCLUDE NEW WAX RING. CAULK PERIMETER OF TOILET AT FLOOR. C. TUB/ SHOWER

C1. PROVIDE NEW ROLL-IN SHOWER, INCLUDING SHOWER PAN. REFER TO ENLARGED UNIT PLANS C2. PROVIDE NEW <2.0 GPM & WATERSENSE LABEL SHOWERHEAD & HANDSHOWER. C3. INSTALL NEW PRESSURE-BALANCED LEVER FAUCET, STAINLESS COVER PANEL, AND MIXING

D. PROVIDE NEW LEVER STYLE WATER-SENSE FAUCET WITH <1.5 GPM AT SINKS. PROVIDE PRESSURE BALANCED FAUCET WITH ANTI-SCALD. E. PROVIDE NEW CABINETS WITH ANSI/KCMA A161.1 CERTIFIED

CABINETS & CULTURED MARBLE INTEGRAL OVAL SINK WITH ROLLED EDGES AND 4" BACKSPLASH & SIDESPLASH. E1. PROVIDE LOOP HANDLES. E2. SEALANT TOP OF BACKSPLASH TO MATCH COUNTERTOP.

E3. PROVIDE ADA PANEL TO MATCH ADJACENT CABINET FINISH AT ALL ACCESSIBLE VANITY SINKS F. PROVIDE NEW LED VANITY LIGHT. CENTER ON SINK, COST TO INCLUDE CUTTING AND RUNNING OF NEW WIRE. G. PROVIDE NEW ENERGY STAR EXHAUST FAN. PROVIDE NEW WIRING SO LIGHTING AND FAN ARE ON SEPARATE SWITCH. CLEANOUT EXIST.DUCTS H. PROVIDE NEW MIRROR, 18" TOWEL BAR, TOWEL RING, AND TOILET PAPER HOLDER, CHROME FINISH. H1. REFER TO ANSI DIAGRAMS, INTERIOR ELEVATIONS, & SCHEDULE SHEET . PROVIDE BLOCKING IN BATHROOM WALLS TO ALLOW FOR

INSTALLATION OF GRAB PERS. A. UNIT ENTRY DOORS:

A1. EXIST. FIRE-RATED ENTRY DOORS & FRAMES TO REMAIN (REFER TO A3) A2. REPLACE HANDLES WITH NEW HARDWARE INTERCONNECTED LEVER STYLE HANDLE A3. PROVIDE REPLACEMENT OF ENTRY DOORS AS NOTED ON MATRIX. (FRAMES TO REMAIN) A4. PROVIDE BRUSHED DOOR SWEEPS AT ALL DOORS. BASIS OF DESIGN: PEMKO 18100_NB DOOR BOTTOM SWEEP, CLEAR ANODIZED ALUMIMUM FINISH. A5. PAINT EXIST. DOOR FRAMES (BOTH SIDES); REFER TO FINISH SCHEDULE. A6. SAND, CLEAN, STAIN, AND PROVIDE 1 COAT OF POLYURETHANE (BOTH SIDES) AT EXIST. WOOD A7. ENTRY DOORS TO BE EQUIPPED WITH A VIEWER AND

BELL/ BUZZER. 3. BEDROOM & BATHROOM DOORS: B1. EXIST. DOORS AND HARDWARE TO BE REPLACED. B2. PRIME/ PAINT EXIST. DOOR FRAME (BOTH SIDES) B3. REPLACE DAMAGED DOORS WITH NEW PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED;

REFER TO MATRIX. C. CLOSET DOORS: C1. EXIST. DOORS TO REMAIN. C2. REPLACE DAMAGED DOORS WITH PRE-HUNG SIX-PANEL HOLLOW-CORE DOORS AS NEEDED; REFER TO C3. PROVIDE NEW HARDWARE TO ALL DOORS.

C4. PRIME/ PAINT EXIST. DOOR FRAME (BOTH SIDES).



The Offices at the Agora 5000 Euclid Avenue, Suite 104 Cleveland, OH 44103 LDAarchitecture.com 216.932.1890

REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

01.04 DASHED LINE REPRESENTS CABINET/COUNTERTOP BELOW.

06.02 PROVIDE WOOD BLOCKING FOR INSTALLATION OF GRAB BARS TO FULLY COMPLY WITH ANSI A1171.1. 06.03 PROVIDE WOOD BLOCKING FOR BATHROOM

FIXTURE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. 06.05 PROVIDE BLOCKING FOR SHOWER SEAT 09.03 PROVIDE AND INSTALL CONTINUOUS 4"H BACKSPLASH AND SIDESPLASH AT

ADJACENT WALLS. SEE FINISH SCHEDULE FOR SPECIFICATIONS. PROVIDE ADA PANEL FINISHED TO MATCH ADJACENT CABINET AND TO MEET ANSI TYPE A REQUIREMENTS. WALL BASE, WALL COLOR, AND FLOORING ARE TO BE

CONTINUED UNDER PANEL INSTANCES. ACCESSIBLE SINK MUST HAVE PIPES WRAPPED WITH INSULATION. G.C. TO FINISH WALL AND BASE AT ADA

PANEL. -TYP. 09.06 G.C. TO FINISH WALL AND BASE BEHIND RANGE AND REFRIGERATOR, TYP. ALL UNITS AND COMMON AREA KITCHEN.

09.08 PROVIDE 9" CABINET TOE KICK TO MATCH CABINETRY FINISH IN ANSI TYPE A UNITS ONLY. CUT TO LENGTH IF NEEDED. 09.09 PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND BACKSPLASH TILE. COLOR TO MATCH

COUNTERTOP COLOR. 09.10 FINISH CABINET SIDE PANEL 09.11 IN-WALL BRACKETS PROVIDED AND INSTALLED FOR SUPPORT OF COUNTERTOP OVERHANG PER COUNTERTOP

MANUFACTURER. 09.12 WORKSTATION APRON TO MATCH CABINET 09.14 INSTALL WALL-MOUNTED COUNTERTOP SUPPORTS AT FLOATING COUNTERTOP.

INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B. 09.16 ALIGN NEW CEILING WITH EXISTING WALL AND CEILING HEIGHT. PAINT PT-1. INSTALL 2"X8" CERAMIC TILE AT

KITCHENS. STACK HORIZONTALLY AND ALIGN GROUT JOINTS. INCLUDE SCHLUTER JOLLY TRANSITION, CHROME FINISH, AT EXPOSED EDGE AND TOP.

BACKSPLASH AND SIDEWALL OF ALL UNIT

10.02 PROVIDE 2" VINLY BLINDS AT ALL UNIT WINDOWS. REFER TO FINISH SCHEDULE FOR SPECIFICATION WB-1. 10.03 CLOSET SHELVING AT ACCESSIBLE UNITS

TO BE 48" MAX. A.F.F. PROVIDE ADJUSTABLE TENSION ROD AT ALL CLOSETS. WEIGHTED CURTAIN TO BE

PROVIDED BY OWNER. 10.05 PROVIDE DOUBLE DRAPERY ROD AT ALL UNIT WINDOWS. REFER TO ACCESSORY

SCHEDULE. CURTAIN PROVIDED BY 21.01 PROVIDE AND INSTALL (2) FIRE CANISTERS AT EACH RANGEHOOD. PROVIDE FLOOR DRAIN IN ALL UNITS. MIN.

SLOPE 1/4" PER FOOT. SEE PLUMBING 23.02 LOCATION OF EXISTING KITCHEN VENTILATION. PROVIDE NEW DUCTWORK

AND CONNECT TO NEW KITCHEN RANGE HOOD. REFER TO MECHANICAL DRAWINGS. 23.03 LOCATION OF EXISTING BATHROOM VENTILATION. PROVIDE NEW DUCTWORK AND CONNECT TO NEW BATHROOM EXHAUST FAN. REFER TO MECHANICAL

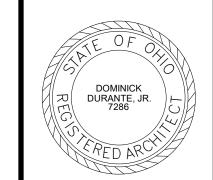
PROVIDE SWITCHED OUTLET IN BEDROOMS AND LIVING ROOM WHERE NO OVERHEAD LIGHT IS LOCATED, TYPICAL ALL UNITS. 26.04 CENTER FIXTURE ON VANITY.

26.05 ACCESSIBLE HOOD SWITCH TO BE INCLUDED AT FACE OF WORKSTATION IN ALL ACCESSIBLE UNITS. 26.06 ACCESSIBLE SWITCH TO UNDERCABINET LIGHT TO BE INSTALLATED AT FACE OF ADA

PANEL AT ALL ACCESSIBLE UNITS. 26.08 CENTER FIXTURE ON KITCHEN SINK. 26.09 CENTER FIXTURE ON SHOWER. 26.10 CENTER FIXTURE ON DOOR/OPENING.

26.11 CENTER FIXTURE ON WATER CLOSET. 26.12 PROVIDE NEW LIGHT SWITCH OUTSIDE OF WALK-IN CLOSET IN ACCESSIBLE UNIT. INSTALL AT ACCESSIBLE HEIGHT.

REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.



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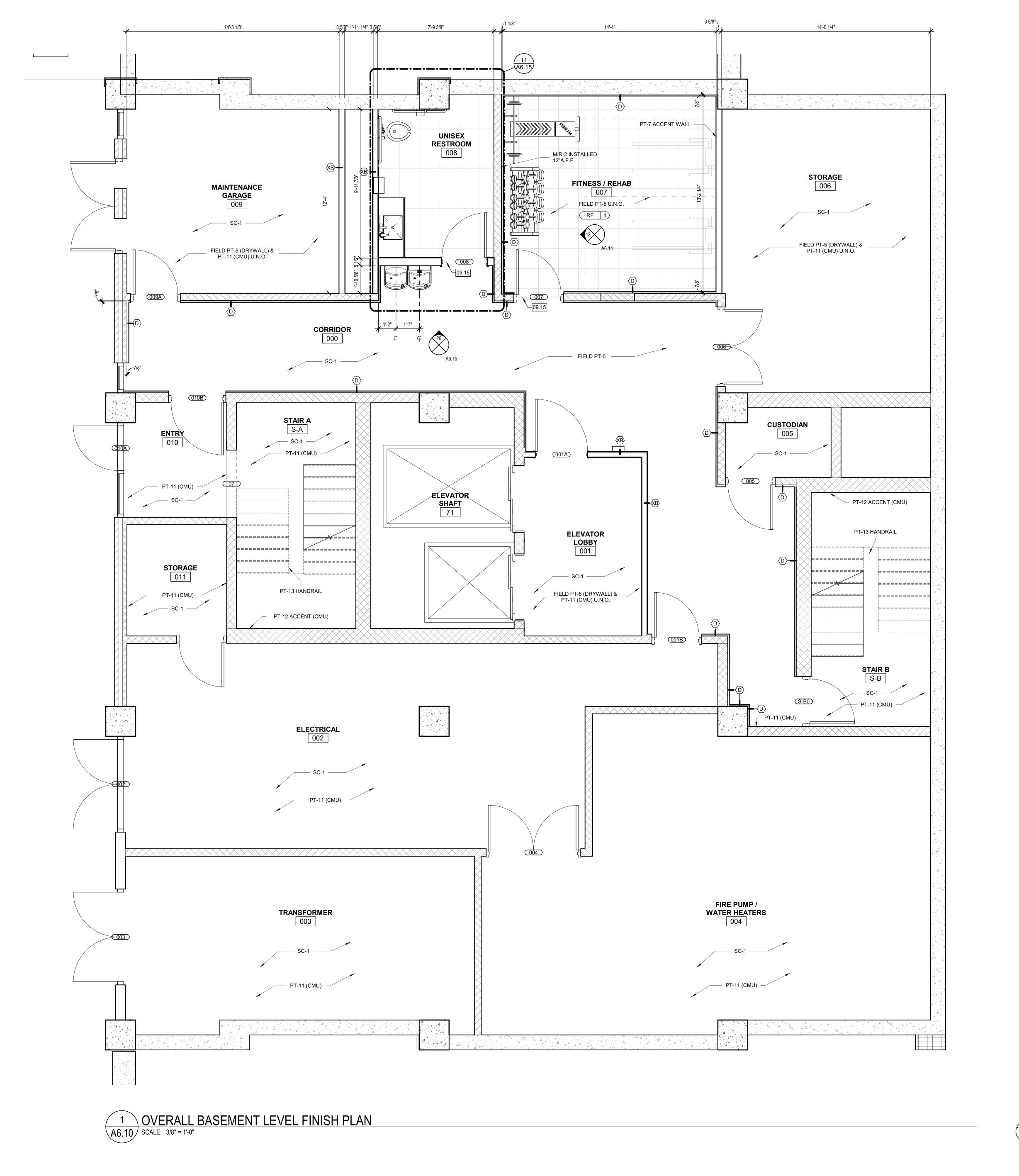
Marquette Manor - Interior and Exterior Improvements

Cincinnati Metropolitan Housing Authority 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

ENLARGED UNIT PLAN - 1C

A6.03







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Cleveland, OH 44103
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EV	DATE	DESCRIPTION
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	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
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FLOOR PLAN LEGEND

EXISTING WALL TO BE DEMOLISHED

EXISTING WALL TO REMAIN.

NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.

ACCESSIBLE PATH.

ACCESSIBLE UNIT LOCATION.

AUDIO / VISUAL UNIT LOCATION.

GENERAL NOTES: COMMON AREA

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES.

1A. REFER TO A1.00 SERIES FOR SCOPE OF WORK PER FLOOR.

2. SEE A7.00 SERIES FOR INTERIOR SCHEDULES AND A6.00 SERIES FOR INTERIOR DETAILS.3. ALL FURNITURE & BUILT-IN SEATING IS FOR REFERENCE ONLY. TO BE PROVIDED BY OWNER.

4. PROVIDE TRANSITION STRIP WHERE FLOOR OR WALL FINISH MATERIAL CHANGES. REFER TO TRANSITION DETAILS AX.XX.

5. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.

6. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING FINISH.7. REFER TO FLOOR PLANS, FINISH PLANS, & INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE

KEYED NOTES SPECIFIC TO THIS SHEET
REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B.



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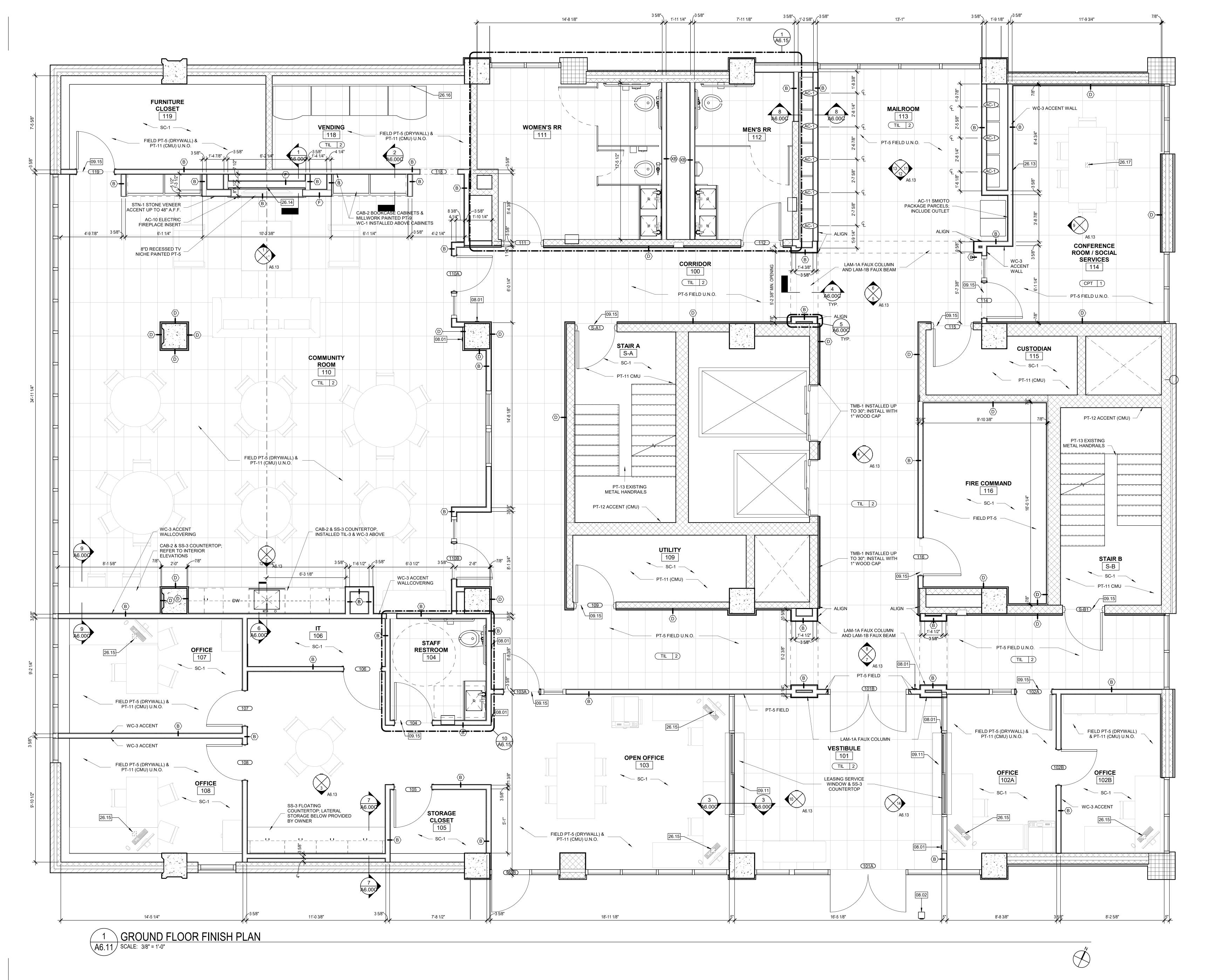
Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing

Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

BASEMENT FINISH PLAN

Δ6 10





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REV DATE DESCRIPTION

2023.12.18 DRAFT DESIGN DEVELOPMENT

2024.01.05 DESIGN DEVELOPMENT

2024.01.15 DRAFT 80%- OHFA APP.

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4. PROVIDE TRANSITION STRIP WHERE FLOOR OR WALL FINISH MATERIAL CHANGES. REFER TO TRANSITION DETAILS AX.XX.

5. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR REVIEW.

TO MATCH ADJACENT WALL/CEILING FINISH.

7. REFER TO FLOOR PLANS, FINISH PLANS, & INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE

6. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED

KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

08.01 AUTOMATIC DOOR OPERATOR PUSH PLATE.
REFER TO SPECIFICATIONS.

08.02 POLE MOUNTED AUTOMATIC DOOR OPERATOR PUSH PLATE, REFER TO

OPERATOR PUSH PLATE. REFER TO SPECIFICATIONS.

IN-WALL BRACKETS PROVIDED AND

INSTALLED FOR SUPPORT OF COUNTERTOP OVERHANG PER COUNTERTOP MANUFACTURER.

09.15 INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B.

26.13 PROVIDE POWER & SUPPORT FOR CONFERENE ROOM TV LOCATION. VERIFY TV

SIZE WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.

26.14 PROVIDE POWER & SUPPORT IN RECESSED

NICHE FOR COMMUNITY ROOM TV LOCATION. VERIFY TV SIZE WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.

PROVIDE FLOOR & WALL OUTLETS FOR

OFFICE FURNITURE. COORDINATE LOCATIONS & QUANTITY WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.

6 PROVIDE OUTLET FOR FUTURE VENDING. COORDINATE WITH OWNERSHIP. REFER TO

ELECTRICAL PLANS.

6.17 PROVIDE FLOOR OUTLET AT CENTER OF CONFERENCE ROOM TABLE. REFER TO ELECTRICAL PLANS.



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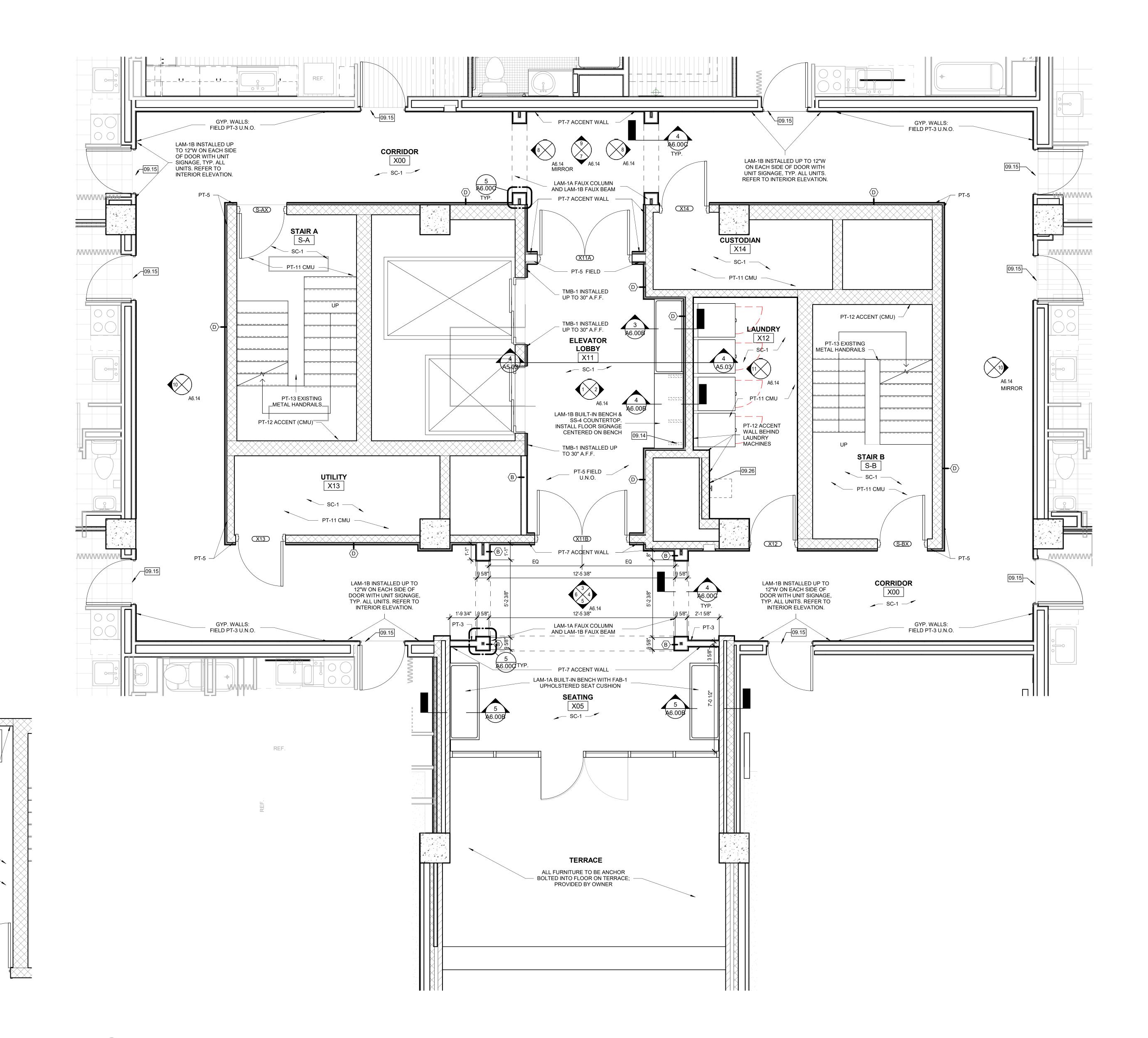
Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing

Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

GROUND FLOOR FINISH PLAN

A6.11



REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

FLOOR PLAN LEGEND

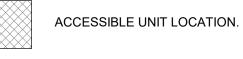
EXISTING WALL TO BE DEMOLISHED

EXISTING WALL TO REMAIN.

NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.



ACCESSIBLE PATH.



AUDIO / VISUAL UNIT LOCATION.

GENERAL NOTES: COMMON AREA

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES. 1A. REFER TO A1.00 SERIES FOR SCOPE OF WORK PER

2. SEE A7.00 SERIES FOR INTERIOR SCHEDULES AND A6.00 SERIES FOR INTERIOR DETAILS.

3. ALL FURNITURE & BUILT-IN SEATING IS FOR REFERENCE ONLY. TO BE PROVIDED BY OWNER.

4. PROVIDE TRANSITION STRIP WHERE FLOOR OR WALL FINISH MATERIAL CHANGES. REFER TO TRANSITION DETAILS AX.XX.

5. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR

6. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING FINISH. 7. REFER TO FLOOR PLANS, FINISH PLANS, & INTERIOR

KEYED NOTES SPECIFIC TO THIS SHEET

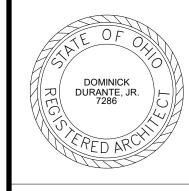
ELEVATIONS FOR ADDITIONAL SCOPE

REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

> 09.14 INSTALL WALL-MOUNTED COUNTERTOP SUPPORTS AT FLOATING COUNTERTOP.

INSTALL FLOOR TRANSITION STRIP. REFER TO TRANSITION DETAILS ON A6.00B.

09.26 PAINT TRASH CHUTE COVER TO MATCH ADJACENT WALL COVER.



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2ND - 15TH FLOOR FINISH

PT-12 ACCENT WALL BEHIND LAUNDRY MACHINES

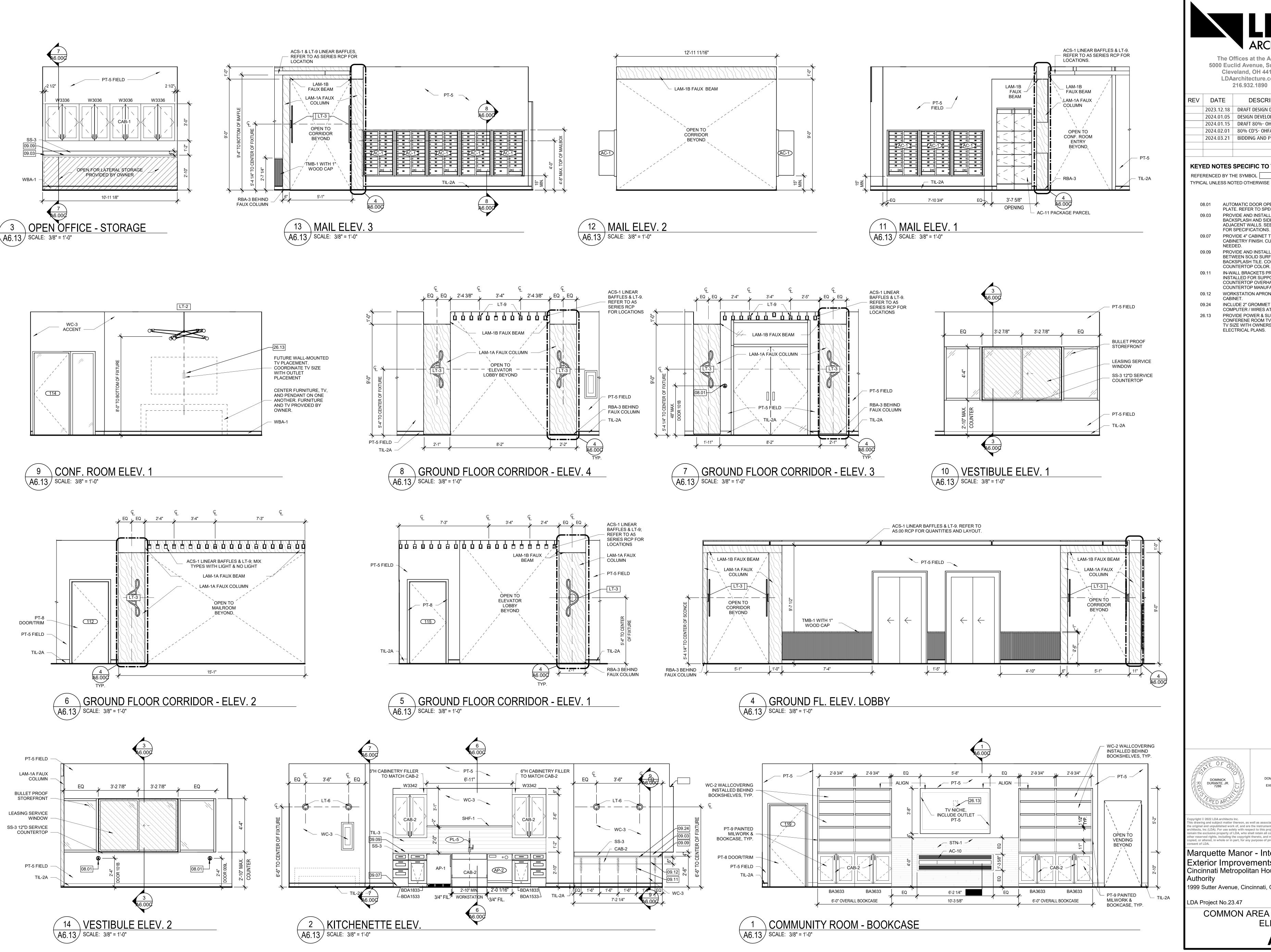
> **LAUNDRY** 015

FIELD PT-5

(DRYWALL) &

PT-11 (CMÚ)

U.N.O.





REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

KEYED NOTES SPECIFIC TO THIS SHEET REFERENCED BY THE SYMBOL

AUTOMATIC DOOR OPERATOR PUSH PLATE. REFER TO SPECIFICATIONS.

PROVIDE AND INSTALL CONTINUOUS 4"H BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS. SEE FINISH SCHEDULE

PROVIDE 4" CABINET TOE KICK TO MATCH CABINETRY FINISH. CUT TO LENGTH IF

FOR SPECIFICATIONS.

PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND BACKSPLASH TILE. COLOR TO MATCH

COUNTERTOP COLOR. IN-WALL BRACKETS PROVIDED AND INSTALLED FOR SUPPORT OF COUNTERTOP OVERHANG PER

COUNTERTOP MANUFACTURER. WORKSTATION APRON TO MATCH

INCLUDE 2" GROMMET FOR FUTURE COMPUTER / WIRES AT WORKSTATION.

PROVIDE POWER & SUPPORT FOR CONFERENE ROOM TV LOCATION. VERIFY TV SIZE WITH OWNERSHIP. REFER TO ELECTRICAL PLANS.



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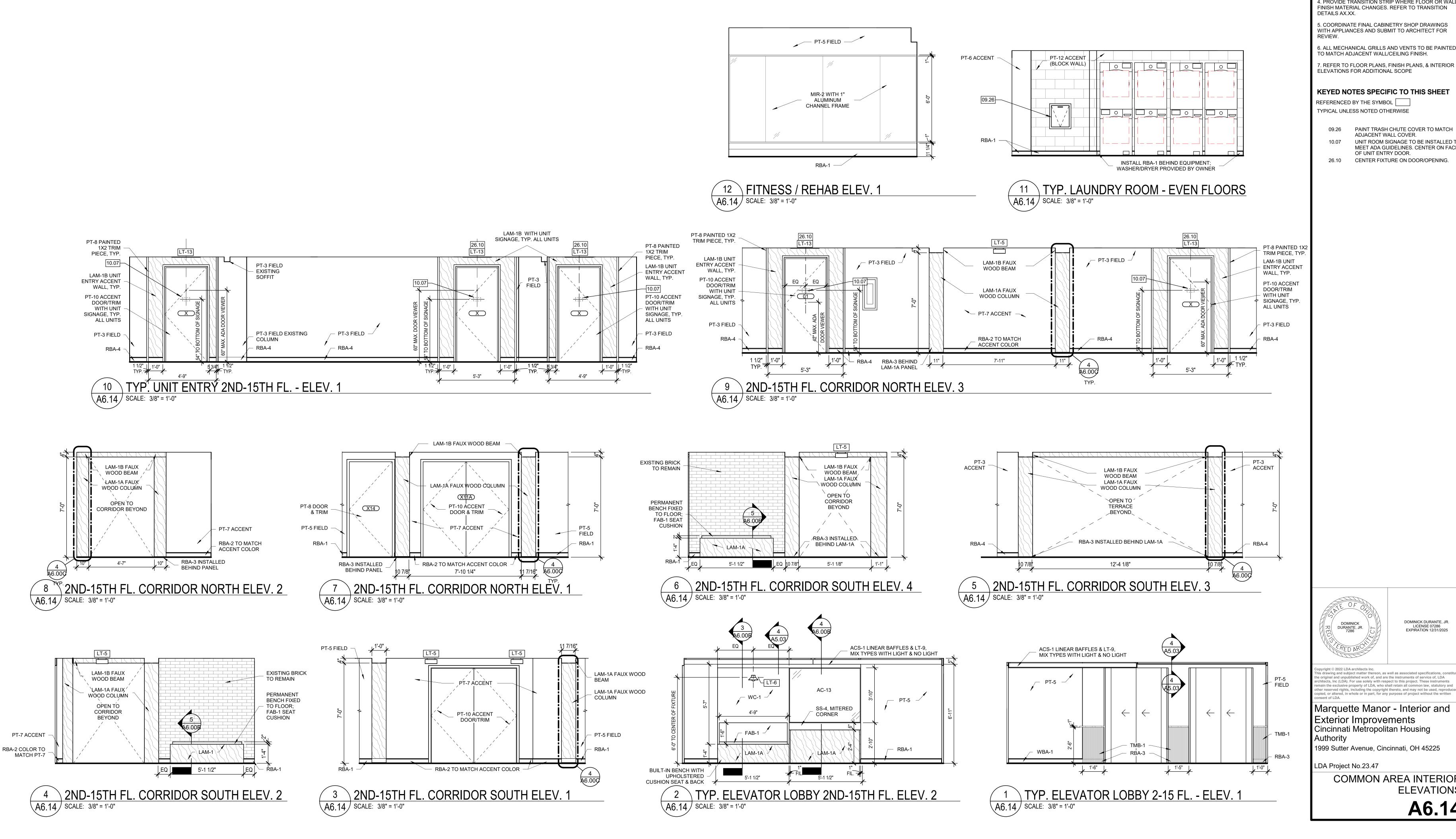
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Cincinnati Metropolitan Housing

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LDA Project No.23.47 COMMON AREA INTERIOR

ELEVATIONS A6.13





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	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

GENERAL NOTES: COMMON AREA

FLOOR.

1. REFER TO G0.01 FOR ALL TYPICAL FLOOR PLAN AND DEMOLITION GENERAL NOTES. 1A. REFER TO A1.00 SERIES FOR SCOPE OF WORK PER

2. SEE A7.00 SERIES FOR INTERIOR SCHEDULES AND A6.00 SERIES FOR INTERIOR DETAILS.

3. ALL FURNITURE & BUILT-IN SEATING IS FOR REFERENCE ONLY. TO BE PROVIDED BY OWNER. 4. PROVIDE TRANSITION STRIP WHERE FLOOR OR WALL FINISH MATERIAL CHANGES. REFER TO TRANSITION DETAILS AX.XX.

5. COORDINATE FINAL CABINETRY SHOP DRAWINGS WITH APPLIANCES AND SUBMIT TO ARCHITECT FOR

6. ALL MECHANICAL GRILLS AND VENTS TO BE PAINTED TO MATCH ADJACENT WALL/CEILING FINISH. 7. REFER TO FLOOR PLANS, FINISH PLANS, & INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE

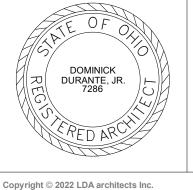
KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL TYPICAL UNLESS NOTED OTHERWISE

PAINT TRASH CHUTE COVER TO MATCH ADJACENT WALL COVER.

UNIT ROOM SIGNAGE TO BE INSTALLED TO MEET ADA GUIDELINES. CENTER ON FACE OF UNIT ENTRY DOOR.

26.10 CENTER FIXTURE ON DOOR/OPENING.



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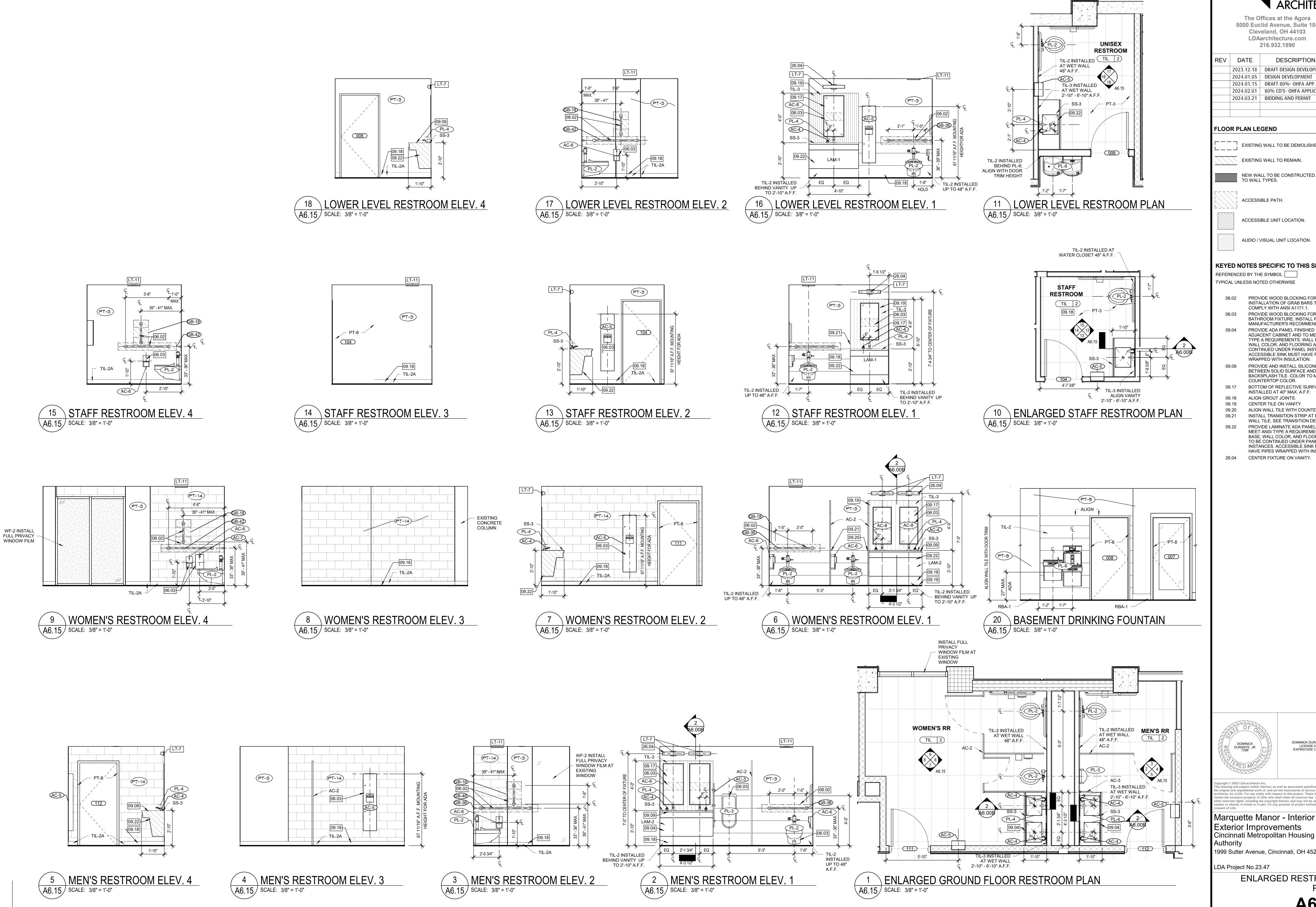
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LDA Project No.23.47

COMMON AREA INTERIOR ELEVATIONS

A6.14





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		2024.01.15	DRAFT 80%- OHFA APP.
		2024.02.01	80% CD'S- OHFA APPLICATION
ı		2024.03.21	BIDDING AND PERMIT

FLOOR PLAN LEGEND

EXISTING WALL TO BE DEMOLISHED

EXISTING WALL TO REMAIN.

NEW WALL TO BE CONSTRUCTED. REFER TO WALL TYPES.

ACCESSIBLE PATH.

ACCESSIBLE UNIT LOCATION.

AUDIO / VISUAL UNIT LOCATION.

KEYED NOTES SPECIFIC TO THIS SHEET

06.02 PROVIDE WOOD BLOCKING FOR

INSTALLATION OF GRAB BARS TO FULLY COMPLY WITH ANSI A1171.1. PROVIDE WOOD BLOCKING FOR

BATHROOM FIXTURE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS PROVIDE ADA PANEL FINISHED TO MATCH ADJACENT CABINET AND TO MEET ANSI TYPE A REQUIREMENTS. WALL BASE,

CONTINUED UNDER PANEL INSTANCES. ACCESSIBLE SINK MUST HAVE PIPES WRAPPED WITH INSULATION.

WALL COLOR, AND FLOORING ARE TO BE

PROVIDE AND INSTALL SILICONE JOINT BETWEEN SOLID SURFACE AND BACKSPLASH TILE. COLOR TO MATCH COUNTERTOP COLOR.

BOTTOM OF REFLECTIVE SURFACE TO BE INSTALLED AT 40" MAX. A.F.F.

ALIGN GROUT JOINTS. CENTER TILE ON VANITY. ALIGN WALL TILE WITH COUNTERTOP.

INSTALL TRANSITION STRIP AT EDGE OF WALL TILE. SEE TRANSITION DETAILS.

PROVIDE LAMINATE ADA PANEL AND TO MEET ANSI TYPE A REQUIREMENTS. WALL BASE, WALL COLOR, AND FLOORING ARE

TO BE CONTINUED UNDER PANEL INSTANCES. ACCESSIBLE SINK MUST HAVE PIPES WRAPPED WITH INSULATION.

26.04 CENTER FIXTURE ON VANITY.

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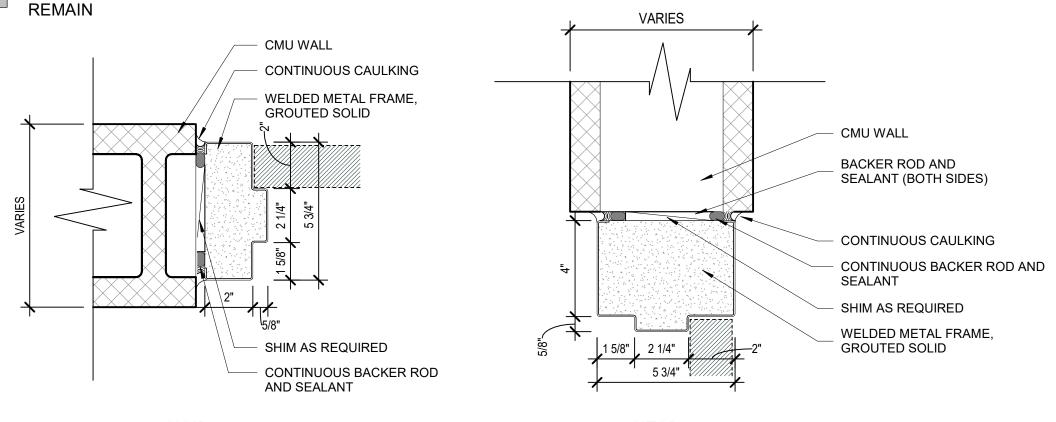
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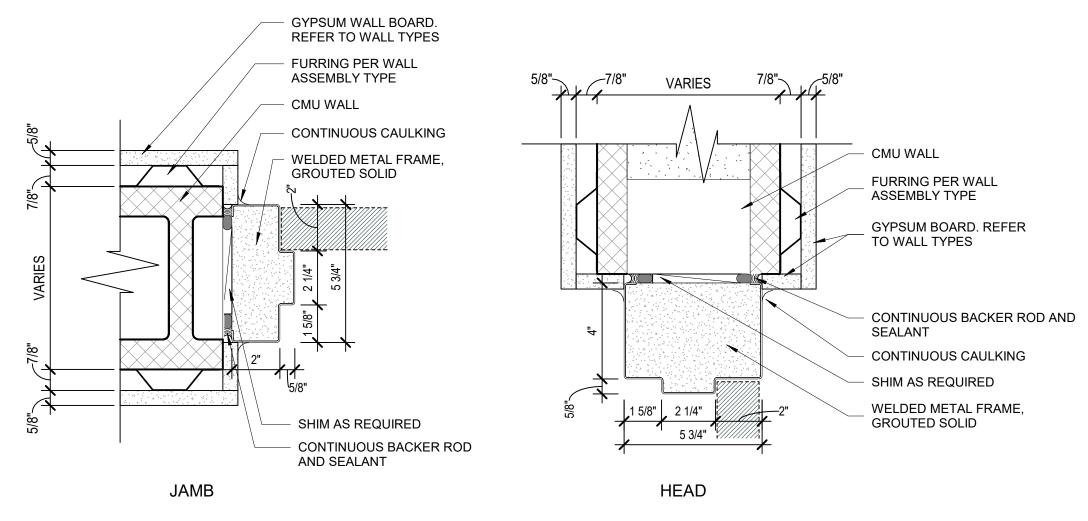
ENLARGED RESTROOM PLANS A6.15

FRAME DETAILS - CMU MASONRY OPENINGS

- ACOUSTICAL SOUND BATT MAY OCCUR, REFER TO WALL TYPES
- REFER TO G0.02 CONSTRUCTION TYPES & ASSEMBLIES FOR ADDITIONAL INFORMATION. REFER TO GO.03 ACCESSIBILITY DIAGRAMS FOR ADDITIONAL INFORMATION REGARDING
- THRESHOLD REQUIREMENTS. SEE FLOOR PLANS FOR DOOR SWING DIRECTION.
- REFER TO DOOR SCHEDULE FOR FRAME THROAT SIZE AND DOOR SLAB THICKNESS
- HATCH INDICATES DOOR SLAB PER DOOR SCHEDULE
- HATCH INDICATES EXISTING CONSTRUCTION TO REMAIN



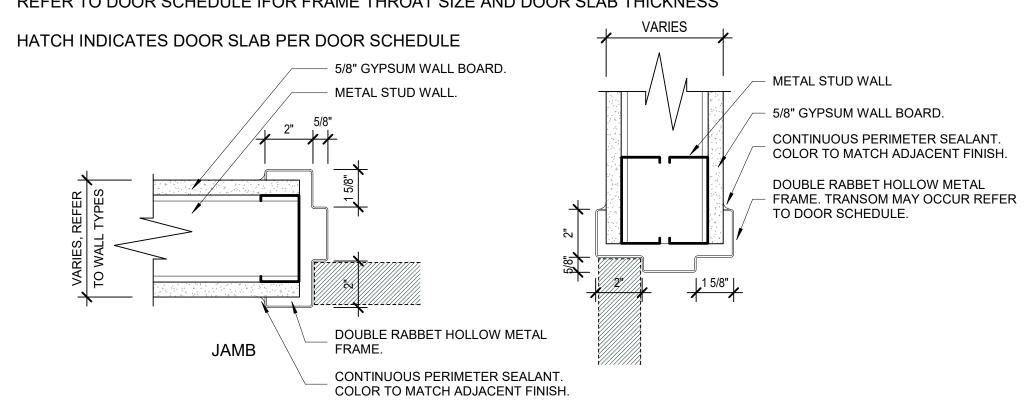
FRAME TYPE A1 - CMU OPENING 1-3/4" DOOR SLAB SHOWN - REFER TO SCHEDULE



FRAME TYPE A2 - CMU OPENING, GYP. BD. BOTH SIDES 1-3/4" DOOR SLAB SHOWN - REFER TO SCHEDULE

FRAME DETAILS - METAL STUD OPENINGS

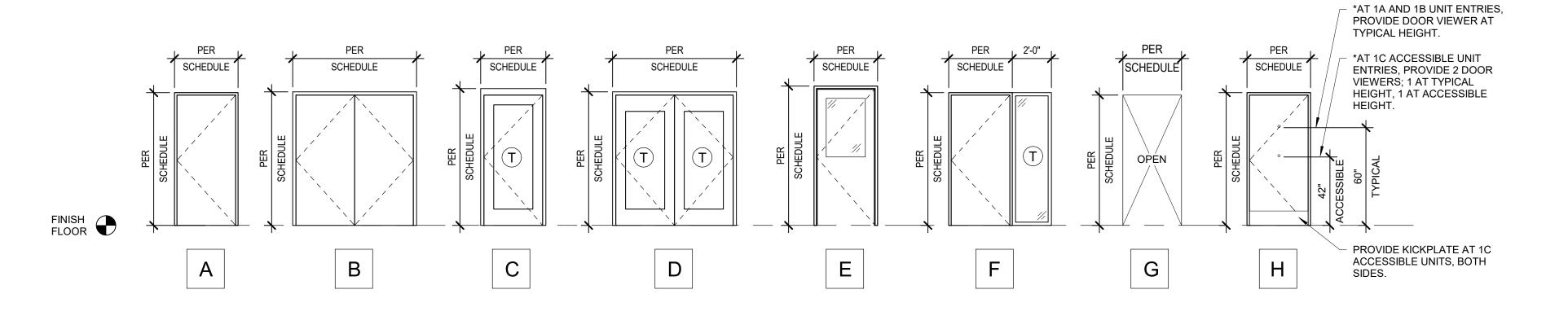
- ACOUSTICAL SOUND BATT MAY OCCUR, REFER TO WALL TYPES
- REFER TO GO.O2 CONSTRUCTION TYPES & ASSEMBLIES FOR ADDITIONAL INFORMATION. REFER TO G0.03 ACCESSIBILITY DIAGRAMS FOR ADDITIONAL INFORMATION REGARDING
- THRESHOLD REQUIREMENTS. SEE FLOOR PLANS FOR DOOR SWING DIRECTION.
- REFER TO DOOR SCHEDULE IFOR FRAME THROAT SIZE AND DOOR SLAB THICKNESS



HEAD

FRAME TYPE B - METAL STUD OPENINGS 1-3/4" DOOR SLAB SHOWN - REFER TO SCHEDULE

			1					OOR SCHEDULE			T				
	LOCATION			DOOR			SIZE		FF	RAME 		THRESHOLD	HARDWARI	FIRE E RATING	
UMBER	ROOM N	IAME	TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE	MATERIAL	FINISH	TYPE MATE		(MIN.)	REMARKS
WER LE\	/EL														
	ELEVATOR LOBBY		А	IHM	PT-8	6' - 8"	3' - 6"	1 3/4"	В		PT-8		001		
	ELECTRICAL		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2		PT-8		002		
	ELECTRICAL TRANSFORMER		В В	ETR ETR	PT-8 PT-8	7' - 0" 11' - 4"	6' - 0" 6' - 0"		<u>-</u>	ETR ETR	PT-8 PT-8		003		
	FIRE PUMP / WATER	HEATERS	В	IHM	PT-8	6' - 8"	6' - 0"	1 3/4"	A1		PT-8		004		
	CUSTODIAN		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	HM	PT-8		005		
	STORAGE		В	IHM	PT-8	6' - 8"	5' - 0"	1 3/4"	A2	HM	PT-8		006		
	FITNESS / REHAB CORRIDOR		E	IHM IHM	PT-8 PT-8	6' - 8" 6' - 8"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	A2 B	HM HM	PT-8		007		
	MAINTENANCE GAR	AGE	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2		PT-8		008		
009B	MAINTENANCE GAR	AGE	В	IHM	PT-8	6' - 8"	6' - 0"	1 3/4"	A1		PT-8		009		
	ENTRY		C	ETR	PT-8	7' - 0"	3' - 0"	4.0/4!!	-		PT-8		010		
	ENTRY STORAGE		A A	IHM IHM	PT-8 PT-8	7' - 0" 6' - 8"	3' - 6" 3' - 0"	1 3/4" 1 3/4"	A2 A1	HM HM	PT-8		011		
	STAIR B		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2		PT-8		013	90	
ROUND FI	1														
	VESTIBULE		D	AL/TG	PF	7' - 0"	6' - 0"		-	AL	PF DE		014		
101B 102A	VESTIBULE CORRIDOR		D F	AL/TG IHM	PF PT-8	7' - 2" 6' - 8"	6' - 0" 2' - 10"	1 3/4"	- В	AL HM	PF PT-8		015 016		
	OFFICE		A	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	В		PT-8		017		
	OPEN OFFICE		F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	В		PT-8		018		
	OPEN OFFICE		C	AL/TG	PF PT 0	7' - 0"	3' - 0"	4.0/4"	- D	AL	PF o		019		
	STAFF RESTROOM STORAGE CLOSET		A	IHM IHM	PT-8 PT-8	6' - 8" 6' - 8"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	<u>В</u> В	HM HM	PT-8		020 021		
106	IT		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	В		PT-8		022		
107	OFFICE		A	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	В	НМ	PT-8		023		
	OFFICE		A	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	В		PT-8		023		
	UTILITY COMMUNITY ROOM		A F	HM IHM	PT-8 PT-8	6' - 8" 6' - 8"	3' - 0" 2' - 10"	1 3/4" 1 3/4"	A2 B		PT-8 PT-8		024 025		
	COMMUNITY ROOM		F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	В		PT-8		026		
111	WOMEN'S RR		А	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	ETR	PT-8		007		
	MEN'S RR	4 / 000141	A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2		PT-8		007		
	CONFERENCE ROOF SERVICES	M / SOCIAL	F	IHM	PT-8	6' - 8"	2' - 10"	1 3/4"	В	HM	PT-8		027		
	CUSTODIAN		А	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2	НМ	PT-8		024		
	FIRE COMMAND		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	В	HM	PT-8		028	45	
	VENDING FURNITURE CLOSET	-	G A	- IHM	- PT-8	0' - 0" 6' - 8"	0' - 0" 3' - 0"	1 3/4"	<u>-</u> В	- HM	- PT-8		029 028		
	STAIR A		A	IHM	PT-8	7' - 0"	3' - 0"	1 3/4"	B		PT-8		013	90	
	STAIR B		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2		PT-8		030	90	
ND -F15TH					DT 0		01 01	4.0/48			DT 0		0.40		
	STAIR A STAIR B		A	IHM IHM	PT-8 PT-8	6' - 8" 6' - 8"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	A2 A2		PT-8 PT-8		013 013	90	
	TERRACE		C	AL/TG	PF	7' - 0"	2' - 10"	1 0/4	-	AL	PF		031		
	ELEVATOR LOBBY		В	IHM	PT-8	6' - 8"	6' - 0"	1 3/4"	A2	НМ	PT-8		032	45	
	ELEVATOR LOBBY		В	IHM	PT-8	6' - 8"	6' - 0"	1 3/4"	A2		PT-8		033	45	
	LAUNDRY UTILITY		A A	IHM IHM	PT-8 PT-8	6' - 8" 6' - 8"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	A2 A2		PT-8 PT-8		034 035	45 45	
	CUSTODIAN		A	IHM	PT-8	6' - 8"	3' - 0"	1 3/4"	A2		PT-8		035		
PENTHOUS															
	STAIR B		A	IHM	PT-8	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	A1		PT-8		024	90	
S-BP	STAIR B		A	IHM	PT-8	7 - 0	3 - 0		A1		PT-8		036	90	
OCATIO::		550				0175		DOOR SCHED	ULE - UNI		UDEOUS' E		FIDE		
OCATION			CRIPTION	-		SIZE		FRAME			HRESHOLD	HARDWARE			
NUMBER	ROOM NAME	TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE MATER	RIAL FIN	ISH TYF	PE MATE		(MIN.)		REMARKS
01	UNIT ENTRY	Н	IHM	PT-10	6' - 8"	3' - 0"	1 3/4"	В НМ	PT-10			TU-01.1	20		
	BATHROOM	Α	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	B HM				TU-02.1			
03	BEDROOM	Α	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	В НМ	PT-2			TU-02.1			
								DOOR SCHED	ULE - UNIT	1B					
OCATION		DES	CRIPTION			SIZE		FRAME		Th	HRESHOLD		FIRE		
NUMBER	ROOM NAME	TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE MATER	IAL FINI	SH TYP	E MATE	HARDWARE SET	RATING (MIN.)		REMARKS
								IVII VI LIV	1 11 11	1111		· ·	,,		
	UNIT ENTRY	Н	IHM	PT-10	6' - 8"	3' - 0"	1 3/4"	В НМ				TU-01.2	20		
	BEDROOM	A	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	B HM				TU-02.1			
03	BATHROOM	Α	SCW	PT-2	6' - 8"	2' - 10"	1 3/4"	B HM		10		TU-02.1			
00471011		550	DIDTION			0175	ı	DOOR SCHED	ULE - UNIT		LIDEOUS: -		FIDE		
OCATION	_	DESC	CRIPTION	_		SIZE		FRAME		T	HRESHOLD	HARDWARE	FIRE RATING		
NUMBER	ROOM NAME	TYPE	MATERIAL	FINISH	HEIGHT	WIDTH	THICKNESS	TYPE MATER	RIAL FIN	ISH TYF	PE MATE	l l	(MIN.)		REMARKS
01	UNIT ENTRY	Н	IHM	PT-10	6' - 8"	3' - 0"	1 3/4"	В НМ	PT-10			TU-01.1	20		
	BATHROOM	A	SCW	PT-10 PT-2	6' - 8"	3' - 0"	1 3/4"	В НМ				TU-01.1			
	BEDROOM	A	SCW	PT-2	6' - 8"	3' - 0"	1 3/4"	В НМ	PT-2			TU-02.1			
	CLOSET	Α	SCW	PT-2	6' - 8"	3' - 0"	1 3/4"	B HM	PT-2			TU-03			





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DOOR SCHEDULE LEGEND

ABBREVIATIONS - MATERIALS: AL ALUMINUM EXISTING TO REMAIN **HOLLOW METAL** INSULATED HOLLOW METAL PRE-FINISHED SOLID CORE WOOD TEMPERED GLASS

TEMPERED GLASS

DOOR SCHEDULE GENERAL NOTES 1. ALL EXISTING DOORS, FRAMES AND HARDWARE ARE TO BE REPLACED UNLESS NOTED OTHERWISE. REFER

TO DOOR SCHEDULE. 2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DOOR OPENING DIMENSIONS IN FIELD WHERE NEW DOORS AND FRAMES ARE BEING PROVIDED AT EXISTING OPENINGS. NOTIFY ARCHITECT OF ANY DISCREPENCIES.

3. ALL DOORS AND FRAMES ARE TO HAVE A PAINTED FINISH UNLESS NOTED OTHERWISE. REFER TO FINISH SCHEDULE.



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Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225 LDA Project No.23.47

DOOR SCHEDULES AND

		201.75	001		OMMON AREA FINISH SCHEDULE		
KEY LOCATION	MANUFACTURER	COLLECTION/STYLE	COLORWAY	FINISH	DIMENSIONS	COMMENTS	CONTACT
CS ACOUSTICS CS-1 COMMUNITY ROOM & ELEVATOR LOBBIES -	- SOELBERG	MUTO - BLOX BAFFLES	LAMBS EAR	N/A	LENGTH: TBD, DEPTH: 4"	CLASS A - ASTM-E84; REFER TO A5.00 SERIES; INSTALL 8" O.C.; INCLUDE COUPLER HARDWARE	MELANIE PROULX, INDIGO SPEC GROUP;
ALL FLOORS CCS-1 COMMUNITY ROOM & ELEVATOR LOBBIES - ALL FLOORS	- TURF						MPROULX@INDIGOSPECGROUP.COM JENNA FARLEY, INTERIOR SUPPLY; JFARLEY@INTERIORSUPPLYINC.COM
CT ACOUSTIC CEILING TILE CT-1 THROUGHOUT	USG	ORION 75 FLB #62155	WHITE		24" X 48"	INSTALL WITH GRID OPTION 'E' DXT, WHITE; ANTI-MOLD AND MILDEW RESISTANT	MORGAN (MINGUS) KIKO, MMINGUS@USG.COM; USG
AB CABINETS			GRIGIO	NI/A			
	MASTER WOODCRAFT	ROMA SQUARE		N/A	SEE A6.00 SERIES	INCLUDE TOEKICK TO MATCH CABINET FINISH; HARDWARE: BERENSON CONTEMPORARY ADVANTAGE ONE 128MM CC PULL, FINISH: CHROME	LEO.DUCKSTEIN@CABINETWORKSGROUP.COM
AB-2 CARRET THE	CUSTOM	SHAKER STYLE, FULL-OVERLAY	PAINTED PT-9	SATIN	SEE A6.00 SERIES	INCLUDE TOEKICK TO MATCH CABINET FINISH; HARDWARE: BERENSON CONTEMPORARY ADVANTAGE ONE 128MM CC PULL, FINISH: CHROME	DAVID HERZBERG, BENNET SUPPLY / ROBERT@TOPCRAFTCASEWORK.C
PT CARPET TILE PT-1 CONFERENCE ROOM / SOCIAL SERVICE OFFICE	MILLIKEN	COASTLINE - LANDSCAPE LND153-144	PAMPAS GRASS		50CM X 50CM	INSTALL: MONOLITHIC; STAIN AND SOIL RESISTANT	DEBBIE FILING, MILIKEN; DEBBIE.FILING@MILLIKEN.COM
AB FABRIC AB-1 UPHOLSTERED BENCH	MOMENTUM	CARSON CV	ROAST	PROTECTIVE OVERCOAT	54"W; NO REPEAT	100% CLEAN VINYL/PHTHALATE FREE; POLYESTER BACKING	COURTNEY BELL, MOMENTUM; CBELL@MOMTEX.COM
RP FIBER REINFORCED PLASTIC RP-1 UTILITY SPACES	MARLITE	SMOOTH	WHITE	4' X 8' SHEET		INCLUDE CORNER AND EDGE TRIM IN WHITE	GREG LEARY, MARLITE; GLEARY@MARLITE.COM
R GROUT R-1 ALL TILE	TEC		WHITE		1/8" GROUT JOINT	1/8" GROUT JOINTS; ALIGN FLOOR, WALL, AND BASE TILE GROUT JOINTS	ERIN CLARK, ERIN.CLARK@DALTILE.COM
M LAMINATE M-1A COMMON AREAS & RESIDENT CORRIDORS	WILSONART	COMPACT LAMINATE	PHANTOM ECRU 8212	VELVET MATTE	48" X 96" SHEET	VERTICAL GRAIN; INSTALL WITH L-CHANNEL AT EDGES, CHROME FINISH; INSTALL WITH Z-CLIPS AT WALL	DAVID HERZBERG, BENNET SUPPLY / ROBERT@TOPCRAFTCASEWORK.C
2-15 - WALL AM-1B COMMON AREAS & RESIDENT CORRIDORS	WILSONART	PREMIUM LAMINATE	PHANTOM ECRU 8212K-28	GLOSS LINE FINISH	48" X 96" SHEET	AEON SCRATCH RESISTANTS; INSTALL WITH CHROME L-CHANNEL & 3MM WILSONART PVC EDGEBAND	DAVID HERZBERG, BENNET SUPPLY / ROBERT@TOPCRAFTCASEWORK.C
2-15 - CEILING & UNIT ENTRY AM-2 PUBLIC RESTROOM - VANITY APRON	WILSONART	PREMIUM LAMINATE	SLATE GREY D91-60	MATTE FINISH	48" X 96" SHEET		DAVID HERZBERG, BENNET SUPPLY / ROBERT@TOPCRAFTCASEWORK.C
T LUXURY VINYL TILE T-1 UNITS THROUGHOUT (EXCEPT ANSI TYPE A BATHROOMS)	A MILLIKEN	THE MAGIC HOUR - HORIZON	LIGHT		9.84" X 59.06"	22MIL WEAR LAYER, 5MM THICKNESS; GLUE DOWN, INSTALLATION: RANDOM	DEBBIE FILING, MILIKEN; DEBBIE.FILING@MILLIKEN.COM
R MIRROR R-1 ELEVATOR LOBBIES - 2ND - 15TH FLOOR	-	FLAT PLATE MIRROR WITH 1" WOOD TRIM	TRIM: STAINED TO MATCH	N/A			
IR-2 FITNESS CENTER / REHAB & FLEX AMENITY	/ -	FLAT PLATE MIRROR WITH 1" ALUMINUM	LAM-1 N/A	N/A	4' X 8'	WALL-MOUNTED;	
PAINT		FRAME					
CEILINGS - THROUGHOUT DOOR/TRIM - UNITS	SHERWIN WILLIAMS SHERWIN WILLIAMS	PROMAR 200 PROMAR 200	SW7004 SNOWBOUND SW7004 SNOWBOUND	FLAT SATIN	N/A N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM
T-3 WALLS - FIELD - UNITS & COMMON AREA	SHERWIN WILLIAMS	PROMAR 200	SW7004 SNOWBOUND	EGGSHELL	N/A N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM
T-5 WALLS - FIELD - COMMON AREA	SHERWIN WILLIAMS SHERWIN WILLIAMS	PROMAR 200 PROMAR 200	SW7016 MINDFUL GRAY SW7029 AGREEABLE GRAY	EGGSHELL EGGSHELL	N/A N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM
T-6 (NOT - SED)	-	-	-	-	-	-	-
T-7 WALLS - ACCENT - COMMON AREA T-8 DOOR/TRIM - COMMON AREA	SHERWIN WILLIAMS SHERWIN WILLIAMS	PROMAR 200 PROMAR 200	SW7660 EARL GREY SW7004 SNOWBOUND	EGGSHELL SATIN	N/A N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM
T-9 BOOKCASE & MILWORK - COMMUNITY ROOM	SHERWIN WILLIAMS	PROMAR 200	SW7660 EARL GREY	SATIN	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM
DOOR/TRIM - RESIDENT CORRIDOR (CORRIDOR SIDE)	SHERWIN WILLIAMS	PROMAR 200	SW7660 EARL GREY	SATIN	N/A		ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM
-11 WALLS - FIELD - COMMON AREA BLOCK WALLS	SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED CATALYZED EPOXY GLOSS B73 SERIES	SW7029 AGREEABLE GRAY	WIPEABLE/GLOSS	N/A	1 COAT PRIMER; SW HEAVY DUTY BLOCK FILLER; 2 COAT FINISH AS SPECIFIED	ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM
-12 WALLS - ACCENT - CORRIDORS FLOOR 2-15 BLOCK WALLS	5 SHERWIN WILLIAMS	PRO INDUSTRIAL WATER BASED CATALYZED EPOXY GLOSS B73 SERIES	SW7642 PAVESTONE	WIPEABLE/GLOSS	N/A	1 COAT PRIMER; SW HEAVY DUTY BLOCK FILLER; 2 COAT FINISH AS SPECIFIED	ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM
-13 METAL HANDRAILS - STAIRWELLS -14 WALLS - FIELD - PUBLIC RESTROOMS BLOCK WALLS	SHERWIN WILLIAMS SHERWIN WILLIAMS	DIRECT-TO-METAL ALKYD ENAMEL PRO INDUSTRIAL WATER BASED CATALYZED EPOXY GLOSS B73 SERIES	SW7642 PAVESTONE SW7004 SNOWBOUND	SATIN WIPEABLE/GLOSS	N/A N/A	1 COAT PRIMER; SW HEAVY DUTY BLOCK FILLER; 2 COAT FINISH AS SPECIFIED	ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM ROGER HALL, SHERWIN WILLIAMS; ROGER.HALL@SHERWIN.COM
BA RUBBER BASE BA-1 RESIDENT CORRIDOR - 2ND -15TH FLOOR & BASEMENT	JOHNSONITE	REVEAL BASE	COTTON	N/A	6"H	INSTALL WITH FIELD PAINT PT-5	LAURIE BAATZ; JOHNSONITE; LAURIE.BAATZ@TARKETT.COM
RESIDENT CORRIDOR - 2ND -15TH FLOOR BA-3 UTILITY SPACES	JOHNSONITE JOHNSONITE	REVEAL BASE TRADITIONAL COVE BASE	TBD COTTON	N/A N/A	6"H 4"H	INSTALL WITH ACCENT PAINT PT-7 INSTALL IN UTILITY SPACES & BEHIND LAM-1A	LAURIE BAATZ; JOHNSONITE; LAURIE.BAATZ@TARKETT.COM LAURIE BAATZ; JOHNSONITE; LAURIE.BAATZ@TARKETT.COM
RESIDENT CORRIDOR - 2ND -15TH FLOOR RESILIENT FLOORING	JOHNSONITE	REVEAL BASE	WHITE	N/A	6"H	INSTALL WITH FIELD PAINT PT-3	LAURIE BAATZ; JOHNSONITE; LAURIE.BAATZ@TARKETT.COM
FITNESS CENTER / REHAB	ECORE PATCRAFT	ECOFIT ADMIX I347V	MOONROCK 812	N/A	24" X 24" TILE	DRY BACK GLUE DOWN INSTALLATION WITH SQUARED EDGE; PRICE OUT AS ALTERNATE TO SC-1 IN	CLAYTON MOORE, ECORE INTL; CCMOORE@ECOREINTL.COM
F-2 (ALT. COMMON AREA FLOORING D SC-1) F-3 (ALT ACCESSIBLE UNITS - GENERAL FLOORING		BOUCLE 400606-033M	SAND DOLLAR 00510 NATURAL	N/A	36" X 36" TILE 72"W ROLL	COMMON AREA INSTALL WITH BIOFELT BACKING	BETSY HAMLIN; BETSY.HAMLIN@PATCRAFT.COM MELANIE PROULX, INDIGO SPEC GROUP;
OR ÀCC. NITS)	CHILLWICH	BOOCLE 400000-033IVI	NATOKAL	IN/A	72 W NOLL	INSTALL WITT BIOFELT BACKING	MPROULX@INDIGOSPECGROUP.COM
C SEALED CONCRETE C-1 COMMON AREA FLOORING	DECOCRETE	AMOUR DYE	BUFF	MATTE, SLIP RESISTANT, SCRATCH RESISTANT	N/A	GROUND CONCRETE TO REMOVE GLUE AND PREP FOR COLOR. OVER COLORED DYE, ADD ONE COAT ROCKHARD URETHANE TOP COAT FOR GLOSS FINISH. ADD THIN COAT OF ROCK HARD WITH ALUMINUM OXIDE FOR SLIP RESISTANCE.	JOE GINGERICH, JOE@DECO-CRETESUPPLY.COM; DECOCRETE
HF SHELF HF-1 COMMUNITY ROOM KITCHENETTE S SOLID SURFACE	-	FLOATING SHELF	PAINTED PT-9	SATIN	SEE A6.13		
S-1 UNIT KITCHEN	CORIAN	25"D COUNTERTOP	STONIQUE	N/A	SEE UNIT PLANS A6.01-A6.03	INCLUDE 4"H BUTTED BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS; SILICONE SEALANT TO MATCH COUNTERTOP; RADIUS EDGE	KAREN CAHILL, KCAHILL@PARKSITE.COM
S-2 UNIT BATHROOM	CORIAN	INTEGRAL SINK, OVAL	GLACIER WHITE	N/A	SEE UNIT PLANS A6.01-A6.03	INCLUDE 4"H BUTTED BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS; SILICONE SEALANT TO MATCH COUNTERTOP; RADIUS EDGE	KAREN CAHILL, KCAHILL@PARKSITE.COM
S-3 COMMON AREA - GROUND FLOOR & RESTROOMS	CORIAN	25"D COUNTERTOP	GLACIER WHITE	N/A	3CM	INCLUDE 4"H BUTTED BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS; SILICONE SEALANT TO MATCH COUNTERTOP; RADIUS EDGE	ERIN CLARK, ERIN.CLARK@DALTILE.COM
S-4 ELEVATOR LOBBIES 2ND-15TH FLOORS	CORIAN	25"D COUNTERTOP	DEEP CLOUD	N/A	3CM	MITER EDGE TO CREATE 6"D COUNTERTOP; INCLUDE 4"H BUTTED BACKSPLASH AND SIDESPLASH AT ADJACENT WALLS; SILICONE SEALANT TO MATCH COUNTERTOP; RADIUS EDGE	ERIN CLARK, ERIN.CLARK@DALTILE.COM
TN STONE TN-1 COMMUNITY ROOM - FIREPLACE WALL	REALSTONE SYSTEMS	LEDGESTONE PANEL WSP-CC-L	CITY CREME	HONED	6"x24"	SEE A6.13 FOR INTERIOR ELEVATION; INCLUDE CITY CREME LEDGESTONE EDGE TIRM	JESSICA GESSNER, JGESSNER@THOMASBRICK.COM
L-1 UNIT BATHROOM - FLOOR TILE	DALTILE	PRIME	WHITE KC01	MATTE	2" X 2" MOSAIC (12" X 24" SHEET	T) DOT MOUNTED	ERIN CLARK, ERIN.CLARK@DALTILE.COM
IL-1A UNIT BATHROOM - COVE BASE IL-2 COMMON AREA GROUND FLOOR - FLOOR TILE	DALTILE DALTILE	PRIME COVE BASE P43C9 STEPWISE - CALCARY	WHITE KC01 LEGACY CG40	MATTE MATTE	3" X 12" 12" X 24"	INSTALLATION: STACKED	ERIN CLARK, ERIN.CLARK@DALTILE.COM ERIN CLARK, ERIN.CLARK@DALTILE.COM
L-2A COMMON AREA GROUND FLOOR - WALL BASE	DALTILE	CALGARY COVE BASE P63C9	LEGACY CG40	MATTE	6" X 24"	ALIGN WITH GROUT JOINTS WITH FLOOR TILE	ERIN CLARK, ERIN.CLARK@DALTILE.COM
L-3 ALL PUBLIC RESTROOMS - WALL TILE	DALTILE	COLOR WHEEL - LINEAR	ARCTIC WHITE 0190	SEMI-GLOSS	2" X 8"	ALIGN WITH WIDTH OF COUNTERTOP; TRIM EDGES WITH SCHLUTER: RENO TRANSITION STRIP, CHROME FINISH; INSTALLATION: VERTICAL STACKED	ERIN CLARK, ERIN.CLARK@DALTILE.COM
L-4 UNIT KITCHENS - BACKSPLASH MB TAMBOUR	DALTILE	COLOR WHEEL - LINEAR	ARCTIC WHITE 0190	SEMI-GLOSS	2" X 8"	INSTALLATION: HORIZONTAL STACKED; TRIM EXPOSED EDGES WITH SCHLUTER RENO TRANSITION STRIP, CHROME FINISH	ERIN CLARK, ERIN.CLARK@DALTILE.COM
MB-1 ELEVATOR LOBBIES - ALL FLOORS B WINDOW BLINDS	CUSTOM CUT FROM 1" X 2"	WOOD SLAT ACCENT WALL WITH 1" WOOD CAP	WHITE OAK - STAINED TO MATCH LAM-1A	STAINED	1-1/2" WIDE X 3/4" THICKNESS NOMINAL	LEAVE 1/4 LEAVE 1/4" SPACE BETWEEN FLOOR AND BOTTOM OF SLAT	ROBERT CUCKLER, ROBERT@TOPCRAFTCASEWORK.COM; TOP CRAFT
/B-1 UNITS - WINDOWS /B-2 COMMON AREA - WINDOWS	SWF CONTRACT SWF CONTRACT	CROWN VINYL BLINDS SHADE CLOTH - COMPASS 3% OPEN Y300	SATIN WHITE STONE/WHITE C2032	N/A	2" 126"W	INSTALL AT ALL UNIT WINDOWS INSTALL AT ALL COMMON AREA WINDOWS; 78% PVC / 22% POLYESTER	NATASHA CATLIN, KMA ASSOCIATES; NCATLIN@KMA.BZ NATASHA CATLIN, KMA ASSOCIATES; NCATLIN@KMA.BZ
/BA WOOD BASE				DAINTED DT 0			
/BA-1 COMMON AREA - GROUND FLOOR /BA-2 UNITS	METRIE METRIE	PRIMED MDF BASEBOARD - 1496366 PRIMED MDF BASEBOARD - 1521912	PRIMED PRIMED	PAINTED PT-8 PAINTED PT-2	1/2" X 5-1/2" X 16' 1/2" X 4-1/4" X 16'	INSTALL WITH QUARTER ROUND	
VBA-3 COMMON AREA - AT ACCENT WALL VBA-4 ELEVATOR LOBBIES - ALL FLOORS	METRIE TBD	PRIMED MDF BASEBOARD - 1496366 TBD	PRIMED STAINED	PAINTED PT-9 MATCH TMB-1	1/2" X 5-1/2" X 16' 1/2" X 5-1/2" X 16'		
/C WALLCOVERING /C-1 ELEVATOR LOBBIES 2ND-15TH FLOOR	KOROSEAL	DIGITAL COLLECTION - HERON SCENIQUE KDE-HRS-02	DAWN	SILK SUBSTRATE DS0109 - VINY		CLASS A, ASTM E-84	CHRISTINE MATHIES, KOROSEAL; CMATHIES@KOROSEAL.COM
VC-2 COMMUNITY ROOM - BOOKCASE	KOROSEAL	DIGITAL COLLECTION - IN FULL VIEW KDE-NFV-02	DAWN	SILK SUBSTRATE DS0109 - VINY		CLASS A, ASTM E-84	CHRISTINE MATHIES, KOROSEAL; CMATHIES@KOROSEAL.COM
VC-3 LEASING OFFICE & CONFERENCE ROOM - ACCENT WALL VF WINDOW FILM	KOROSEAL	INSIGHT 6322-41	PURLESQUE	VINYL TYPE II	52" - 54" ROLL WIDTH	CLASS A - ASTM-E84; RANDOM MATCH, REVERSE HANG; NO REPEAT; WOVEN BACKING	CHRISTINE MATHIES, KOROSEAL; CMATHIES@KOROSEAL.COM
F-1 (NOT - SED)	-	-	-	-	-	-	-
WOMEN'S RESTROOM - EXISTING WINDOW	KOROSEAL	TBD	TBD	TBD	TBD	TBD	CHRISTINE MATHIES, KOROSEAL; CMATHIES@KOROSEAL.COM



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EV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT



DOMINICK DURANTE, JR. LICENSE 07286 EXPIRATION 12/31/2025

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Marquette Manor - Interior and

Exterior Improvements
Cincinnati Metropolitan Housing
Authority 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

INTERIOR SCHEDULES

A7.01A

					UNIT & COMMON	I AREA LIGHTING	G SCHEDULE							UNIT & COMMON A	AREA ACCESSORY SCH	EDULE		
KEY NO.	DESCRIPTION	N	MANUF	ACTURER	MODEL NO).	FINISH	COLOR TEMP.	CRI	COMMENTS	KEY	DESCRIPTION	MANUFACTURE	R COLLECTION	MODEL#	FINISH	COMMENTS	
COMMON			\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.\.					22211			COMMON AC-1	RECESSED MAILBOX	FLORENCE	4C RECESSED MOUNTED	4C12D-20	WHITE		
LT-1	6" RECESSED DOWNLICE 37" DIAMETER CHANDE		ADVANTAGE ALORA		AIC6VOFLEDES-U- W6060-ZDM ALONSO CH320837			3000K 3000K	90	ENERGY-STAR LISTED, DIMMABLE ENERGY-STAR LISTED, DIMMABLE	AC-2	MOUNTED OVERHEAD-BRACED R	RESTROOM BRADLEY	MAILBOX PHENOLIC PRIVACY PARTITIONS	SERIES 400 SENTINEL	SLATE GRAY	ADA COMPLIANT	
LT-3	23"H WALL SCONCE - A		ALORA		WV348222	BRONZ	ZE/ALABASTER	3000K	90	ENERGY-STAR LISTED, DIMMABLE	AC-3	WALL-HUNG URINAL SCREEN WIT STIRRUP BRACKETS	TH BRADLEY	PHENOLIC PRIVACY PARTITIONS	N/A	SLATE GRAY		The 5000 E CI
LT-4	CERTIFIED TAPE LIGHT - UNDER C		KLUS		TBD		ΓED RIBBED GLASS	3000K	90	ENERGY-STAR LISTED, DIMMABLE	AC-4	DECK-MOUNTED SENSOR SOAP [DISPENSER MOEN	M-POWER ELECTRONIC SOAP DISPENSER	8558	CHROME	ADA COMPLIANT	LD
LT-5 LT-6	17" FLUSH MOUNT ALONSO 8" WALL SCON	NCE	KUZCO ALORA		BRUNSWICK FM43 DAHLIA WV346006	UBAR URBAN	V	3000K 3000K	90 90	ENERGY-STAR LISTED, DIMMABLE; ADA	AC-5	RECESSED WASTE RECEPTACLE TOWEL DISPENSER		TRIMLINE SERIES	B-380349	STAINLESS STEEL	INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS	REV DATE
LT-7	24" VANITY WALL SCON	NCE	ALORA		ALONSO WV32032	3UB URBAN	ZE/ALABASTER N BRONZE/OPAL	3000K	90	CERTIFIED DIMMABLE, CENTER ON LAVATORY & MIRROR	AC-6	SURFACE MOUNTED TOILET TISS DISPENSER & UTILITY SHELF		CUBICLE COLLECTION	B-540	STAINLESS STEEL	INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS	2023.12.13 2024.01.03
LT-8	24" X 48" RECESSED PA	ANEL	LEDALITE		SHINE 3324D1STL9			3000K	90	ENERGY-STAR LISTED, DIMMABLE	AC-7	SURFACE MOUNTED SANITARY N DISPOSAL	IAPKIN BOBRICK MDC	SIMONE CAPSULE MIRROR	B-35139 MHE8720	STAINLESS STEEL	INSTALL PER ADA INSTALLATION GUIDANCE INSTRUCTIONS; WOMEN'S & UNISEX RESTROOM L INSTALL CENTER OF EACH LAVATORY & 40" A.F.F. MAX. TO	2024.01.15
LT-9	LINEAR SUSPENDED	-	ALW		SUPERPLANE 2.5 SP2.5S-S8-MED-90			3000K	90	ENERGY-STAR LISTED, DIMMABLE; 8' LENGTH	AC-9	WALL MIRROR 20" X 40" SURFACE MOUNTED COUNTERTO		SURFACE MOUNTED	EH-1818	POLISHED STAINLESS STEE UNFINISHED	BOTTOM OF REFLECTIVE SURFACE INSTALLED AT COUNTERTOPS OVER 24"D AT AN EXISTING	2024.03.2
LT-10 LT-11	12" X 48" UTILITY LIGHT EXHAUST FAN		DAYBRITE BROAN		NWL WRAPAROUN QTXE110150DC	WHITE		3000K N/A	90 N/A	ENERGY-STAR LISTED ENERGY-STAR LISTED	AC-10	BRACKETS 72" ELECTRIC RECESSED FIREPLA		BRACKET ALLUSION PLATINUM	72 SF-ALLP72-BK	BLACK	WALL 15 AMP, 120V/60 Hz, 5000 BTU	
LT-12 LT-13	2" MINI RECESSED DOV		CSL PMC LIGHTIN	<u></u>	ACROBAT A2 - ROUND/STANDARI NELIO ES14	O TRIM WHITE		3000K 3000K	90	ENERGY-STAR LISTED, DIMMABLE INSTALL IN T-GRID; DIMMABLE	AC-11	PACKAGE PARCEL	SMIOTA	ELECTRIC FIREPLACE STANDARD INTERIO	TBD	TBD	TBD	-
LT-14	24" LINEAR RECESSED UNIT ENTRY 11" SURFACE MOUNT -			G	NELIO ES 14	WHITE	:	3000K	90	ENERGY-STAR LISTED, DIMMABLE	GB-18	GRAB BAR 18"	BOBRICK	RLOCKER FINO	9806X18	STAINLESS STEEL	INSTALL PER ADA INSTALLATION GUIDANCE	_
UNITS	RATED						•	000011		ENERGY GIVAR EIGTEB, BIWINABEE	GB-36	GRAB BAR 36"	BOBRICK	FINO	9806X36	STAINLESS STEEL	INSTRUCTIONS INSTALL PER ADA INSTALLATION GUIDANCE	-
LT-A	11" SURFACE MOUNT P	PUCK	LUMENCIA		LL43501-11-WH-30	K WHITE		3000K	90	ENERGY-STAR LISTED, DIMMABLE	GB-48	GRAB BAR 42"	BOBRICK	FINO	9806X42	STAINLESS STEEL	INSTRUCTIONS INSTALL PER ADA INSTALLATION GUIDANCE	-
LT-B	7" SURFACE MOUNT PU - WET RATED	JCK LIGHT	LUMENCIA		LL62-1710-7R-LED- H	5MCT-W WHITE		3000K	90	CENTER ON SHOWER / TUB; ENERGY-STAR LISTED, DIMMABLE	UNITS						INSTRUCTIONS	
LT-C	10" ISLAND PENDANT		CDS LIGHTIN	G	PEARL-H-10-3CCC	T-USV WHITE		3000K	90	CENTER ON ISLAND; INSTALL ONLY IN ANSI TYPE A UNITS	AC-A AC-B	24" TOWEL BAR TOWEL RING	CFG CFG	SUMMIT SUMMIT	YB6324CH YB6386CH	CHROME CHROME		
LT-D	24"W VANITY WALL SCO	ONCE	KUZCO		LATITUDE VL47225	5-CH CHRON	ME	3000K	90	CENTER ON VANITY & MIRROR; ENERGY-STAR, DIMMABLE	AC-C AC-D	TOILET PAPER HOLDER ROBE HOOK	CFG CFG	SUMMIT SUMMIT	YB6309CH YB6303CH	CHROME CHROME		
LT-E LT-F	BATHROOM EXHAUST I		BROAN KLUS		QTXE110150DC TBD	WHITE WHITE		N/A 3000K	N/A 90	CENTER IN ROOM; ENERGY STAR ENERGY-STAR LISTED; DIMMABLE	AC-E1 AC-E2	30" X 45" MIRROR 24" X 36" MIRROR	KOHLER KOHLER	ESSENTIAL ESSENTIAL	K-31365-CPL K-31364-CPL	CHROME CHROME	CENTER ON LAVATORY AND SCONCE; UNIT 1A CENTER ON LAVATORY AND SCONCE; UNIT 1B	
					UNIT & COMMON						AC-F	ADJUSTABLE SHOWER CURTAIN	ROD MOEN	LOW-PROFILE CURVED SHOWER ROD	CSR2145	CHROME	1" DIAMETER ROD; ADJUSTABLE FROM 5' TO 6'	
KEY		RIPTION		MANUFACTU	RER MODEL	# [DIMENSIONS	FINISH	Н	COMMENTS	AC-G AC-H	ADJUSTABLE CLOSET CURTAIN R GRAB BAR 18"	ROD MOEN MOEN	TENSION ROD ALIGN 18" DESIGNER GRAB	TR1002CH 3 YG0418CH	CHROME CHROME	.88" DIAMETER; ADJUSTABLE 44" TO 72" SUPPORTS UP TO 500LBS; INSTALL PER ADA INSTALLATION	N
COMMON AP-1	AREA 24" BEVERAGE COOLER	₹		SUMMIT	AL57G	H: 32", W	V: 23.63", D: 22.63"	STAINLESS	STEEL	ADA COMPLIANT	AC-J	GRAB BAR 36"	MOEN	BAR ALIGN 36" DESIGNER GRAB	3 YG0436CH	CHROME	GUIDANCE INSTRUCTIONS SUPPORTS UP TO 500LBS; INSTALL PER ADA INSTALLATION	
AP-2 UNITS	24" DISHWASHER		F	RIGIDAIRE	FFBD2420US	H: 32 2/8	3, W: 24", D: 24"	STAINLESS	STEEL	ADA COMPLIANT; ENERGY-STAR	AC-K	GRAB BAR 42"	MOEN	BAR ALIGN 42" DESIGNER GRAB	3 YG0442CH	CHROME	GUIDANCE INSTRUCTIONS SUPPORTS UP TO 500LBS; INSTALL PER ADA INSTALLATION	N
AP-A AP-B	30" TOP-FREEZER REFF	RIGERATO	R - 20 CU. FT. F	RIGIDAIRE	FPHT2097VF	H: 66 3/8	3", W: 30", D: 34 3/4"	STAINLESS -	STEEL	ADA COMPLIANT; ENERGY-STAR	AC-L	ADJUSTABLE 66"-120" DOUBLE CU		METAL DOUBLOURTAIN ROLL	DD N/A	SILVER	GUIDANCE INSTRUCTIONS INSTALL AT EXISTING WINDOWS, INCLUDE (3) BRACKETS	-
AP-C1	30" ELECTRIC RANGE 30" ADA ELECTRIC RAN	IGE WITH F		RIGIDAIRE	FCRE3062AS FCFE3062AS		4", W: 30", D: 28 1/2" 3", W: 30", D: 28 1/2"			ADA COMPLIANT; INSTALL AT UNIT 1C ONLY	AC-M	ROD SURFACE MOUNTED MEDICINE C.	FASHIONS ABINET KOHLER	WITH CYLINDER FINIALS VEDERA	K-99000-NA	ANODIZED ALUMINUM	ADA UNIT ONLY; INSTALL WITH KOHLER MIRROR KIT WHEN	1—
AP-D	CONTROLS 30" VENTLESS RANGE H			RIGIDAIRE	FCVW3052AS		16", W: 30", D: 19 3/4"			,	AC-N	PHENOLIC ADA SHOWER SEAT W	TITH LEGS BOBRICK	REVERSIBLE SEAT WITH SWING DOWN REGIMMON A	B-51815 AREA PLUMBING SCHEI	WHITE	SURFACE MOOUNTED ADA COMPLIANT; SUPPORTS UP TO 360 LBS.; 17"-19" MAX. SEAT HEIGHT; OR OTHER APPROVED BY ARCHITECT	
AP-D1	30" ADA VENTLESS RAN	NGE HOOD	(SE APPLIANCES	S JVX5305SJSS	H: 5 1/2"	', W:30", D: 20"D	STAINLESS		ADA COMPLIANT; INSTALL AT UNIT 1C ONLY. INCLUDE SWITCH AT WORKSTATION APRON	KEY	LOCATION	DESCRIPTION	MANUFACTUR			COMMENTS	
					ROOM FINISH S						COMMON	I AREA						
ROOM NO.		FLOOR	WALL BASE	DOOR/TRIM	WALLS A	CCENT WALL	CASEWORK	CEILING		COMMENTS	PL-1 PL-1	STAFF RESTROOM	DECORUM WALL-HUNG EVE SINK WITH CENTER HOLE O		RAD 9024001EC.02	0 WHITE	ADA COMPLIANT; INCLUDE CONCEALED SUPPORT BY OTHERS	
0-BASEME 000	NT CORRIDOR	SC-1	RBA-1	PT-8	PT-5 / PT-11	N/A	N/A	ACT-1			PL-1	STAFF RESTROOM	ALIGN SINGLE-HANDLE HIGH BATHROOM FAUCET		6190	CHROME	ADA COMPLIANT	1
001 002	ELEVATOR LOBBY ELECTRICAL	SC-1 SC-1	RBA-1 RBA-3	PT-8 PT-8	PT-5 / PT-11 PT-11	N/A N/A	N/A N/A	ACT-1 ACT-1			PL-2	ALL DECEDOOMS		ONIOATED MANIOEIELD	1010	VA/LUTE		7
003 004	TRANSFORMER FIRE PUMP / WATER	SC-1	RBA-3 RBA-3	PT-8 PT-8	PT-11 PT-11	N/A N/A	N/A N/A	N/A N/A			PL-2	ALL RESTROOMS ALL RESTROOMS	ADRIATIC SMART HEIGHT EIFRONT TOILET ROYAL MANUAL WATERCLO		1319	WHITE	ADA COMPLIANT; INCLUDE 1311295.000 ELONGATED SEAT COVER ADA COMPLIANT; WATERSENSE (OR EQUIVALENT	-
005	HEATERS CUSTODIAN	SC-1	RBA-3	PT-8	PT-5 / PT-11	N/A	N/A	ACT-1			PL-2 PL-3	ALL RESTROOMS	FLUSHOMETER	SET SLOAN	111-1.20	CHROWE	APPROVED BY ARCHITECT/DESIGNER)	
006 007	STORAGE FITNESS / REHAB	SC-1 RF-1	RBA-3 RBA-1	PT-8 PT-8	PT-5 / PT-11 PT-11	N/A PT-7	N/A N/A	ACT-1 ACT-1			PL-3 PL-3	MEN'S RESTROOM MEN'S RESTROOM	CASCADE WALL-HUNG URIN	AL MANSFIELD SLOAN	410HUE 186-0.5	WHITE CHROME	ADA COMPLIANT; WATERSENSE (OR EQUIVALENT	4
800	UNISEX RESTROOM	TIL-2	TIL-2A	PT-8	PT-3 / PT-14	TIL-2 / TIL-3	SS-3 / LAM-2	ACT-1		R TO A6.16 ENLARGED RESTROOM PLANS & RIOR ELEVATIONS	PI -4	WEN 3 RESTROOM	FLUSHOMETER	SLOAN	100-0.5	CHINOME	APPROVED BY ARCHITECT/DESIGNER)	
009	GARAGE	SC-1	RBA-3	PT-8	PT-5 / PT-11	N/A	N/A	N/A			PL-4	ALL RESTROOMS ALL RESTROOMS	CAXTON 17" OVAL UNDERMO		K-2209-0 6190	WHITE CHROME	ADA COMPLIANT ADA COMPLIANT	4
010 011	STORAGE	SC-1	RBA-1 RBA-3	PT-8 PT-8	PT-11 PT-11	N/A N/A	N/A N/A	ACT-1 ACT-1			PL-5	/ LET KESTI KOSMIS	BATHROOM FAUCET	in o	0.00	O' III TO III E]
1-FIRST FL	OOR CORRIDOR	TIL-2	TIL-2A	PT-8	PT-5	TMB-1	LAM-1A / LAM-1B	ACT-1		R TO A6.00 SERIES FOR FINISH PLAN & INTERIOR	PL-5	COMMUNITY ROOM	THE PREP SERIES 24" UNDE SINGLE-BOWL SINK	RMOUNT MOEN	GS20167B	STAINLESS STE	EL ADA COMPLIANT; MIN. CAB SIZE 27"	
101	VESTIBULE	TIL-2	TIL-2A	STOREFRON		N/A	LAM-1A	ACT-1	SEE A	ATIONS 6.15	PL-5	COMMUNITY ROOM	ALIGN SINGLE-HANDLE HIGH PULLDOWN BAR FAUCET	H ARC MOEN	5965	CHROME	ADA COMPLIANT	
102A 102B	OFFICE OFFICE	SC-1	WBA-1 WBA-1	PT-8 PT-8	PT-5 / PT-11 PT-5 / PT-11	N/A WC-3	N/A N/A	ACT-1 ACT-1			PL-6	BASEMENT	BOTTLE FILLING & VERSATII	E ELKAY	LZSTL8WSSP-	PF STAINLESS STE	EL]
103 104	OPEN OFFICE STAFF RESTROOM	SC-1 TIL-2	WBA-1 TIL-2A	PT-8 PT-8	PT-5 PT-14	N/A TIL-2 / TIL-3	SS-3/CAB-1 SS-3 / LAM-2	ACT-1 ACT-1	REFE	R TO A6.16 ENLARGED RESTROOM PLANS &	UNITS		BI-LEVEL ADA DRINKING FO	JNTAIN				
105	STORAGE CLOSET	SC-1	RBA-3	PT-8	PT-5	N/A	N/A	ACT-1	INTER	RIOR ELEVATIONS	PL-A	KITCHEN	PREP UNDERMOUNT 30" SIN	IGLE BOWL MOEN	GS18155	STAINLESS STE	EL	1
106 107	IT CLOSET OFFICE	SC-1	RBA-3 WBA-1	PT-8 PT-8	PT-5 PT-5 / PT-11	N/A WC-3	N/A N/A	ACT-1 ACT-1			PL-A	KITCHEN	SINK EDGESTONE ONE-HANDLE F	PULLDOWN CLEVELAND FAUCE	ET 46200	CHROME		+
108 109	OFFICE UTILITY	SC-1	WBA-1 RBA-3	PT-8 PT-8	PT-5 / PT-11 PT-11	WC-3 N/A	N/A N/A	ACT-1 N/A			PL-A1		KITCHEN FAUCET	GROUP				1
110		TIL-2	TIL-2A	PT-8		-	SS-3 / CAB-2 / PT-9	ACT-1 / ACS-1; SEE		ELECTRIC FIREPLACE INSERT; REFER TO A6.00 ES FOR FINISH PLAN & INTERIOR ELEVATIONS	PL-A1	ANSI TYPE A KITCHEN	PREP UNDERMOUNT 30" SINK		GS18156B		EL ADA COMPLIANT	
111	WOMEN'S RESTROOM	TIL-2	TIL-2A	PT-8	PT-14	TIL-2 / TIL-3 /	SS-3 / LAM-2	A5.02 ACT-1	REFER	R TO A6.16 ENLARGED RESTROOM PLANS &	PL-A1	ANSI TYPE A KITCHEN	EDGESTONE ONE-HANDLE F KITCHEN FAUCET	PULLDOWN CLEVELAND FAUCE GROUP	ET A6200	CHROME	ADA COMPLIANT	
112	MEN'S RESTROOM	TIL-2	TIL-2A	PT-8		WF-2 TIL-2 / TIL-3	SS-3 / LAM-2	ACT-1	REFER	RIOR ELEVATIONS R TO A6.16 ENLARGED RESTROOM PLANS &	PL-B PL-B	BATHROOM	SLATE ONE-HANDLE LOW A		ET 40051	CHROME	ADA COMPLIANT; WATERSENSE	
113	MAILROOM	TIL-2	TIL-2A	STOREFRON	T PT-5 / PT-11	N/A	LAM-1A / LAM-1B	ACT-1	AC-11	PACKAGE PARCELS; REFER TO A6.00 SERIES	PL-C1		BATHROOM FAUCET	GROUP				
114		CPT-1	WBA-1	PT-8	PT-5	WC-3	N/A	ACT-1	REFER	R TO A6.00 SERIES FOR FINISH PLAN & INTERIOR	PL-C1	UNIT 1C - ANSI TYPE A BATHROOM	SLATE PRESSURE-BALANCI SHOWER ONLY CONTROLS	GROUP		CHROME	ADA COMPLIANT; WATERSENSE	1
115	SOCIAL SERVICES CUSTODIAN	SC-1	RBA-3	PT-8	PT-11	N/A	N/A	N/A	ELEVA	ATIONS	PL-C1	UNIT 1C - ANSI TYPE A BATHROOM	CAPSTONE HAND SHOWER	CLEVELAND FAUCE GROUP	ET 40124	CHROME	ADA COMPLIANT; WATERSENSE	
116 117	FIRE COMMAND ELEVATOR LOBBY	SC-1 TIL-2	RBA-3 TIL-2A	PT-8 N/A	PT-5 PT-5	N/A TMB-1	N/A LAM-1A / LAM-1B	1		R TO A6.00 SERIES FOR FINISH PLAN & INTERIOR	PL-D PL-D	BATHROOM	VURSA ONE-PIECE TUB/SHC	OWER OASIS	TS-6032	WHITE		TARE O
118	VENDING	TIL-2	TIL-2A	N/A	PT-5 / PT-11	N/A	N/A	A5.01 ACT-1	REFER	ATIONS R TO A6.00 SERIES FOR FINISH PLAN & INTERIOR	PL-D	BATHROOM	60"X32" SLATE PRESSURE-BALANCI		ET 46301CGR	CHROME	INCLUDE SHUT OFF VALVE; WATERSENSE	DOMINIC DURANTE 7286
119	FURNITURE CLOSET	SC-1	RBA-3	PT-8	PT-5 / PT-11	N/A	N/A	ACT-1	ELEVA	ATIONS	PL-E	DATUDOOM	TUB/SHOWER CONTROLS	GROUP	0007777	TANK DA VAN UTT	WATERSENIOE	I WO ERED !
2-2ND-15TI 200-1500	H FLOOR CORRIDOR	SC-1	RBA-1 / RBA-2 /	PT-8 / PT-10	I I	PT-7 / PT-3 /	LAM-1A / LAM-1B	ACT-1		R TO A6.00 SERIES FOR FINISH PLAN & INTERIOR	PL-E PL-E	BATHROOM BATHROOM	PLASTIC ELONGATED SLOW		S33TBE12/S33 S33-MTC0704I	STANK-R/L WHITE B-WH WHITE	WATERSENSE WATERSENSE	Copyright © 2022 LDA at
205-1505	SEATING	SC-1	RBA-4 RBA-1	UNIT ENTRY STOREFRON		LAM-1B LAM-1	FAB-1	ACT-1	REFER	ATIONS R TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ATIONS	PL-E1		TOILET SEAT	ADA C=======		A (COOTANIC D 1	ADA COMPLIANT WATER CONTRACTOR	This drawing and subjecthe original and unpublis architects, Inc (LDA). Foremain the exclusive proother reserved rights, in
		E.T.R.	N/A	N/A	N/A	N/A	N/A	N/A			PL-E1	ANSI TYPE A BATHROOM	ELONGATED 12" ROUGH-IN A 2-PIECE TOILET		/L	A/S33TANK-R WHITE	ADA COMPLIANT: WATERSENSE	other reserved rights, in copied, or altered, in who consent of LDA.
	ELEVATOR LOBBY	SC-1	RBA-1	PT-8	PT-5	WC-2	SS-4 / FAB-1 / LAM-1A	A5.03	ELEVA	R TO A6.00 SERIES FOR FINISH PLAN & INTERIOR ATIONS	PL-E1	ANSI TYPE A BATHROOM	PLASTIC ELONGATED SLOW TOILET SEAT		S33-MTC0704I		ADA COMPLIANT; WATERSENSE	Marquett Exterior
∠12-1512	LAUNDRY	SC-1	RBA-3	PT-8	PT-11	PT-12	N/A	ACT-1		AUNDRY LOCATED ON ODD FLOORS ONLY. R TO A6.00 SERIES	ROOM			ROOM FINISH SCH	HEDULE - TYPICAL UNIT	-S		Cincinnati Authority
212 4540		SC-1	RBA-3 RBA-3	PT-8 PT-8	PT-11 PT-11	N/A N/A	N/A N/A	ACT-1			NAME		DOOR/TRIM WALLS	ACCENT WALL	CASEWORI	CEILING	COMMENTS	1999 Sutter A
214-1514							NI/A	N/A			UNIT 1A	LVT-1 / TIL-1 WBA-2 / TIL-1A	PT-2 PT-3	PT-4 (LIVING ROOM - SEE A6.0	01); CAB-1 & SS-1 (KITC		I/TIL-1A INSTALLED IN BATHROOM ONLY; NEW AND	LDA Project N
	JSE	E.T.R.	RBA-3	PT-8	PT-11	N/A	N/A	IN/A			-			TIL-4 KITCHEN BACKSPI ASH	CAB-1 & SS-2 (RAT	HROOM) FYIC	STING SOFFITS PAINTED PT-1	
214-1514 3-PENTHO P1 S-STAIRS S-A	JSE	SC-1 SC-1	RBA-3 RBA-3 RBA-3	PT-8 PT-8 PT-8	PT-11 PT-11	N/A PT-12 PT-12	N/A N/A N/A			RAILS PT-13 RAILS PT-13	UNIT 1B	LVT-1 / TIL-1 WBA-2 / TIL-1A	PT-2 PT-3	TIL-4 KITCHEN BACKSPLASH PT-4 (LIVING ROOM - SEE A6.0 TIL-4 KITCHEN BACKSPLASH	01); CAB-1 & SS-1 (KITC	HEN), PT-1 TIL-	STING SOFFITS PAINTED PT-1 I/TIL-1A INSTALLED IN BATHROOM ONLY; NEW AND STING SOFFITS PAINTED PT-1	11



REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT



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Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing
Authority

1999 Sutter Avenue, Cincinnati, OH 45225

INTERIOR SCHEDULES





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	2024.01.15	DRAFT 80%- OHFA APP.
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GENERAL NOTES - INTERIOR SIGNAGE

1. REFER TO G1.01 FOR SIGNAGE MOUNTING HEIGHTS. 2. THE SIGN SHALL BE INSTALLED ON WALL ADJACENT TO LATCH SIDE OF DOOR, OR IF NO WALL SPACE IS AVAILABLE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL.

3. ALL TEXT SHOULD BE RAISED 1/32"

4. CONFIRM QUANTITY AND LOCATION OF FIRE EVACUATION MAPS WITH FIRE MARSHALL.

5. ALL SIGNAGE SHALL COMPLY WITH THE PROVISIONS SET FORTH IN THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). TOPS OF ALL SIGNS SHALL BE MOUNTED AT A HEIGHT BETWEEN 48 INCHES AND 60 INCHES ABOVE FINISH FLOOR UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR AUTHORITY HAVING JURISDICTION.

6. FOR FURTHER INFORMATION CONTACT BLINK SIGNS.

7. FINAL LABELING AND APARTMENT NUMBER DESIGNATIONS TO BE COORDINATED WITH PROPERTY OWNER FOR THEIR APPROVAL PRIOR TO ORDERING SIGNAGE.

SIGNAGE SPECIFICATION:

MANUFACTURER: TAKEFORM
SALES REP NAME: ROBYNN SPONG
EMAIL: ROBYNN.SPONG@KI.COM
PHONE NUMBER: 216.401.7044
COLLECTION: FUSION 61
FINISH: STANDARD WOOD LAMINATE OUTERBANKS &
SOLID TRANQUILITY C0302

SOLID TRANQUILITY C0302

TEXT: WHITE

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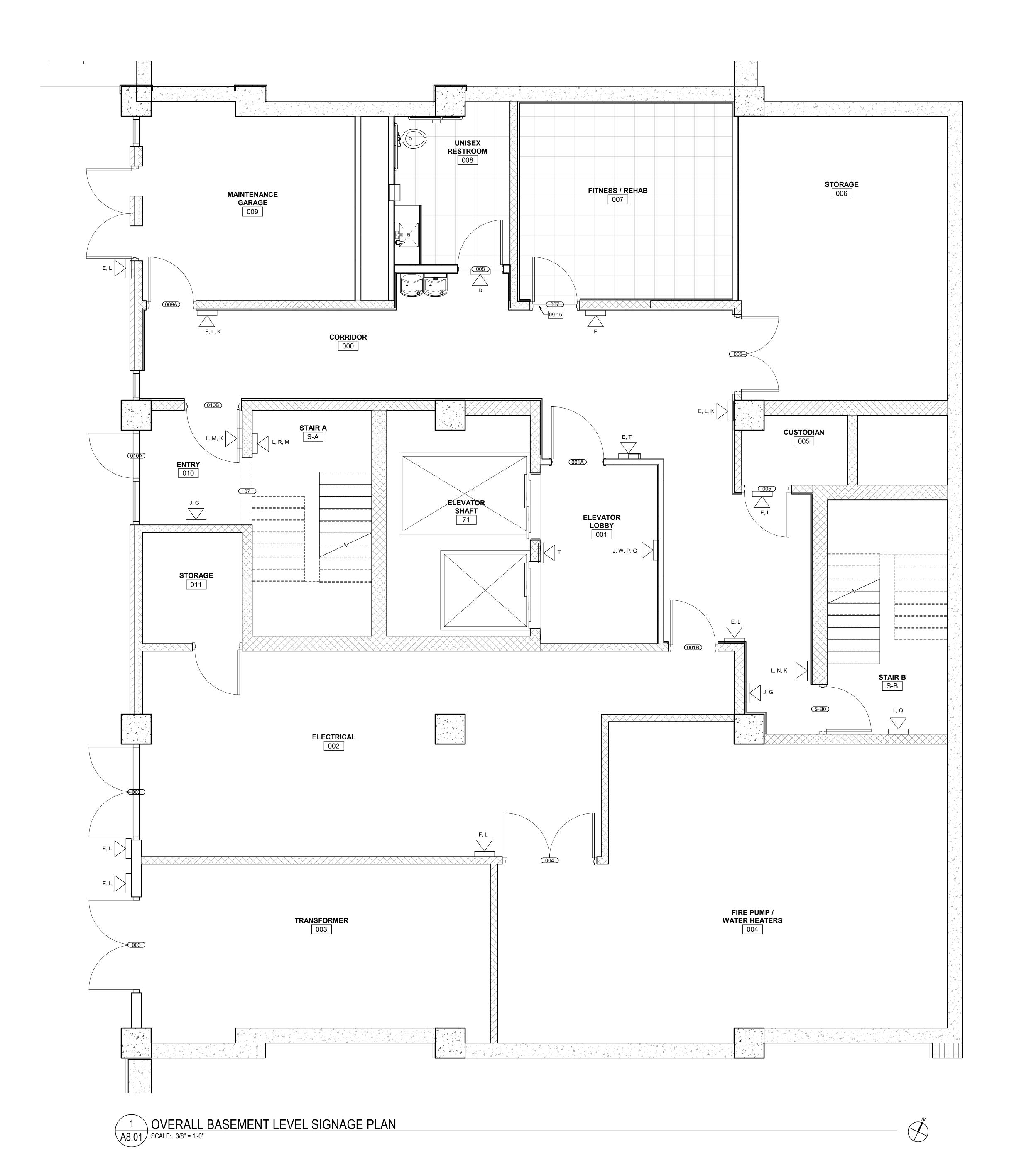
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Marquette Manor - Interior and Exterior Improvements
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Authority 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

SIGNAGE DETAILS





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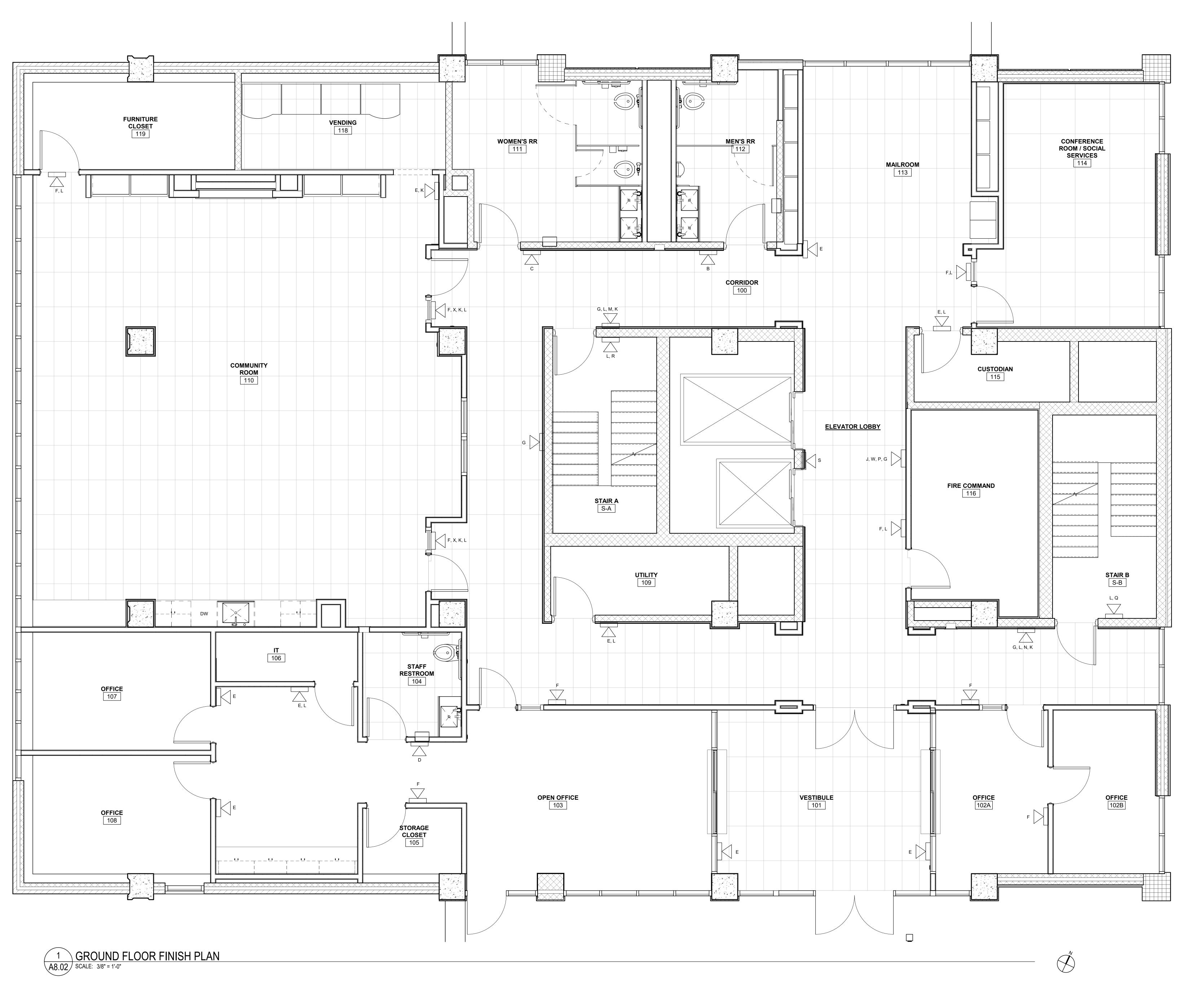
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Cincinnati Metropolitan Housing

Authority 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

BASEMENT SIGNAGE PLAN

A8.01





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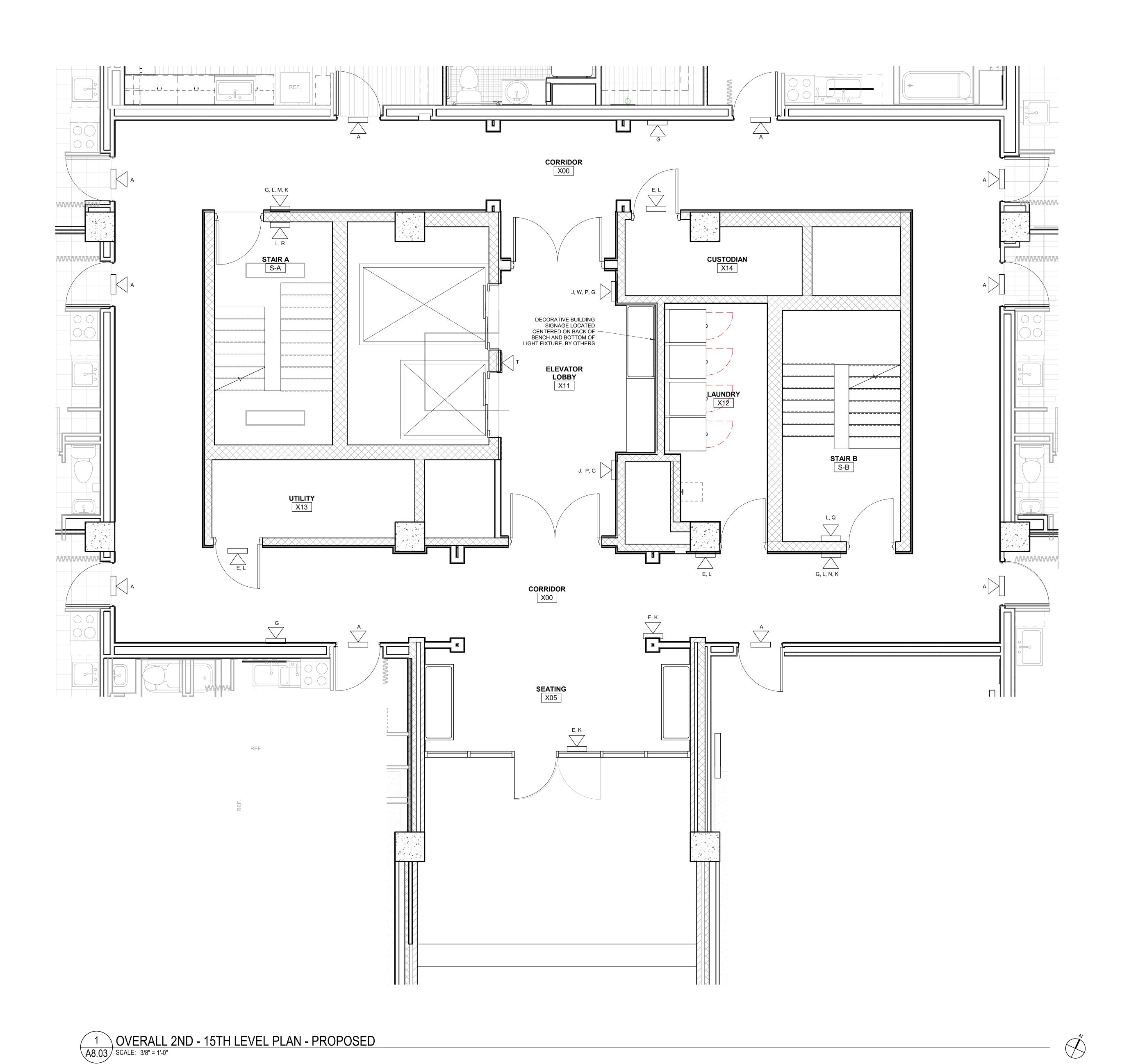
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing

Authority 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

FIRST FLOOR SIGNAGE PLAN

A8.02



REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
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	2024.02.01	80% CD'S- OHFA APPLICATION
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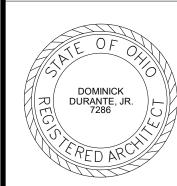
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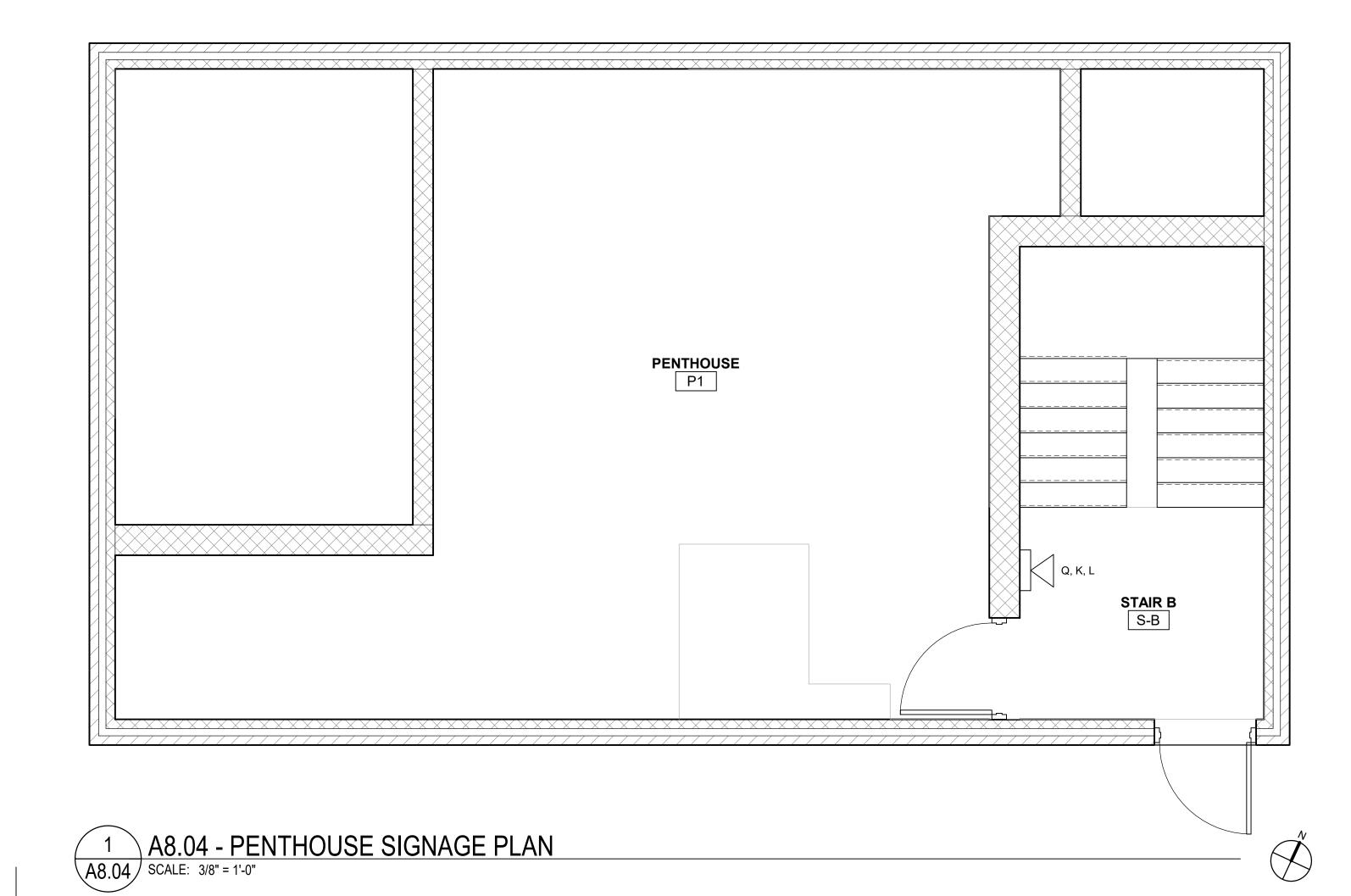
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Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47 2ND - 15TH FLOOR SIGNAGE

			SIGNAGE SCHEDULE
ROOM NAME	SIGN TYPE 1	FLOOR LEVEL	NOTES
OND 45TH			
2ND - 15TH	0	OND 45TH	
CORRIDOR	G	2ND - 15TH	E. HOLICTODIANII
CUSTODIAN	E	2ND - 15TH	E: "CUSTODIAN"
ELEVATOR LOBBY	J, S, W, P, G, T	2ND - 15TH	E. III ALINDOWI
LAUNDRY	E	2ND - 15TH	E: "LAUNDRY"
SEATING	E	2ND - 15TH	E: "SEATING"
TERRACE	E, K	2ND - 15TH	E: "TERRACE"
UTILITY	E, L	2ND - 15TH	E: "UTILITY"
ALL			
STAIR A	G, L, R, M, K	ALL	SIGN R ON INSIDE OF STAIR NEXT TO LATCH SIDE OF DOOR
STAIR B	G, L, Q, N, K	ALL	SIGN R ON INSIDE OF STAIR NEXT TO LATCH SIDE OF DOOR
UNIT TYPE A	A	ALL	'#' AND BRAILLE; ROOM NUMBERS TO BE CONFIRMED BY ARCHITECT
UNIT TYPE B	A	ALL	'#' AND BRAILLE; ROOM NUMBERS TO BE CONFIRMED BY ARCHITECT
UNIT TYPE C	A	ALL	'#' AND BRAILLE; ROOM NUMBERS TO BE CONFIRMED BY ARCHITECT
BASEMENT			
CORRIDOR	G	BASEMENT	
CUSTODIAN	E, L	BASEMENT	E: "CUSTODIAN"
ELECTRICAL	E, L	BASEMENT	E: "CUSTODIAN"
ELEVATOR LOBBY	J, S, W, P, G, S	BASEMENT	
ENTRY	J, G	BASEMENT	
FIRE PUMP / WATER HEATERS	F, L	BASEMENT	F: "FIRE PUMP / WATER HEATER"
FITNESS / REHAB	F	BASEMENT	F: "FITNESS / REHAB"
MAINTENANCE GARAGE	F, L	BASEMENT	F: "MAINTENANCE GARAGE"
SERVICE GARAGE	F, L	BASEMENT	F: "SERVICE GARAGE"
STORAGE	E, L, K	BASEMENT	F: "STORAGE"
TRANSFORMER	E, L	BASEMENT	F: "TRANSFORMER"
UNISEX RESTROOM	D	BASEMENT	D: "ALL ACCESS RESTROOM"
FIRST FLOOR			
COMMUNITY ROOM	F, X, K, L	FIRST FLOOR	F: "COMMUNITY ROOM"
CONFERENCE / SOCIAL SERVICES	F, L	FIRST FLOOR	F: "CONFERENCE ROOM / SOCIAL SERVICES"
CORRIDOR	G	FIRST FLOOR	
ELEVATOR LOBBY	J, S, W, P, G	FIRST FLOOR	
FIRE COMMAND	F, L	FIRST FLOOR	F: "FIRE COMMAND"
FURNITURE STORAGE	F, L	FIRST FLOOR	F: "STORAGE"
IT	E	FIRST FLOOR	E: "IT"
MAILROOM	E	FIRST FLOOR	E: "MAILROOM"
MEN'S RESTROOM	В	FIRST FLOOR	F: "MEN'S RESTROOM"
OFFICE	E	FIRST FLOOR	F:"OFFICE"
OPEN OFFICE	F	FIRST FLOOR	F: "LEASING OFFICE"
STAFF RESTROOM	D	FIRST FLOOR	D: "ALL ACCESS RESTROOM"
STORAGE CLOSET	F	FIRST FLOOR	F: "STORAGE CLOSET"
	•		E: "UTILITY"
UTILITY	E, L E	FIRST FLOOR	
VENDING		FIRST FLOOR	E: "VENDING"
VESTIBULE	E, J	FIRST FLOOR	SIGNAGE FOR LEASING OFFICE SERVICE WINDOW
WOMEN'S RESTROOM	С	FIRST FLOOR	"WOMEN'S RESTROOM"
PENTHOUSE		DENTUQUE	
PENTHOUSE		PENTHOUSE	



REV	DATE	DESCRIPTION
	2023.12.18	DRAFT DESIGN DEVELOPMENT
	2024.01.05	DESIGN DEVELOPMENT
	2024.01.15	DRAFT 80%- OHFA APP.
	2024.02.01	80% CD'S- OHFA APPLICATION
	2024.03.21	BIDDING AND PERMIT

GENERAL NOTES - INTERIOR SIGNAGE

1. REFER TO G1.01 FOR SIGNAGE MOUNTING HEIGHTS. 2. THE SIGN SHALL BE INSTALLED ON WALL ADJACENT TO LATCH SIDE OF DOOR, OR IF NO WALL SPACE IS AVAILABLE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL.

3. ALL TEXT SHOULD BE RAISED 1/32"

4. CONFIRM QUANTITY AND LOCATION OF FIRE EVACUATION MAPS WITH FIRE MARSHALL.

5. ALL SIGNAGE SHALL COMPLY WITH THE PROVISIONS SET FORTH IN THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). TOPS OF ALL SIGNS SHALL BE MOUNTED ÀT A HEIGHT BETWEEN 48 INCHES AND 60 INCHES ABOVE FINISH FLOOR UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR AUTHORITY HAVING JURISDICTION.

6. FOR FURTHER INFORMATION CONTACT BLINK SIGNS.

7. FINAL LABELING AND APARTMENT NUMBER DESIGNATIONS TO BE COORDINATED WITH PROPERTY OWNER FOR THEIR APPROVAL PRIOR TO ORDERING SIGNAGE.

SIGNAGE SPECIFICATION:

MANUFACTURER: TAKEFORM
SALES REP NAME: ROBYNN SPONG
EMAIL: ROBYNN.SPONG@KI.COM
PHONE NUMBER: 216.401.7044
COLLECTION: FUSION 61
FINISH: STANDARD WOOD LAMINATE OUTERBANKS &
SOLID TRANQUILITY C0302
TEXT: WHITE



DOMINICK DURANTE, JR. LICENSE 07286 EXPIRATION 12/31/2025

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Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing
Authority

1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

PENTHOUSE SIGNAGNE & SIGNAGE DETAILS

A8.04

STRUCTURAL NOTES

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GOVERNING CODE

2017 OHIO BUILDING CODE (REFERENCES IBC 2021 & ASCE 7-16).

DESIGN LOADS

١.	ROC	OF LOAD.		
	A.	MINIMUM COMBINATION OF WIND LOAD, LIVE LOAD		
		RAIN LOAD, OR SNOW LOAD (P_f OR P_m)	20	PSF
	B.	ROOF MEMBRANE & INSULATION	3	PSF
	C.	5/8" WOOD PANEL SHEATHING	2	PSF
	D.	JOIST FRAMING LOAD	2	PSF
	E.	CEILING	3	PSF
	F.	DUCTS, LIGHTS, MISC. MECHANICAL	_ 2	PSF
		TOTAL LOAD ON JOISTS	32	PSF
		MIN		
	G	REAM/IOIST CIPDED LOAD	2	DSE

*FLAT ROOF SNOW LOAD, P_F = 22 PSF GROUND SNOW, Pa = 20 PSF SNOW LOAD IMPORTANCE FACTOR: Is = 1.0 SNOW EXPOSURE FACTOR C. = 1.0 SNOW LOAD THERMAL FACTOR, $C_t = 1.2$ MINIMUM SNOW LOAD, $P_m = 20 PSF$

TOTAL ON BEAMS / JOIST GIRDERS

SEE SNOW DRIFT PLAN FOR DRIFT LOADS (Pd). SPECIFIED DRIFT LOADS (Pd) SHALL BE COMBINED 12. FINISHED GRADE SHALL SLOPE AWAY FROM THE PERIMETER FOUNDATION WITH FLAT ROOF SNOW LOAD (Pt) OR SLOPED ROOF SNOW LOAD (Ps) FOR TOTAL SNOW LOADING

SECONDARY ROOF DRAINAGE VIA SCUPPERS OR OVERFLOW DRAINS SHALL BE PROVIDED IN ACCORDANCE WITH THE APPLICABLE PLUMBING CODE AND ASCE 7. SECONDARY ROOF DRAINAGE SHALL BE DESIGNED BY OTHERS TO LIMIT THE TOTAL DEPTH OF WATER (STATIC HEAD + HYDRAULIC HEAD OVER SECONDARY ROOF DRAINS) TO 4" MAXIMUM ABOVE THE ROOF MEMBRANE AT THE PRIMARY ROOF DRAIN.

- 2. WIND LOAD (PER ASCE 7): BASIC DESIGN WIND SPEED, V= 106 MPH
- ALLOWABLE STRESS DESIGN WIND SPEED, V_{ASD} = 83 MPH RISK CATEGORY = II WIND EXPOSURE = B (ALL WIND DIRECTIONS)

INTERNAL PRESSURE COEFFICIENT, GCpi = 0.00

SEISMIC LOAD

A.	SEISMIC RISK CATEGORY	=
B.	SEISMIC IMPORTANCE FACTOR, I _e	= 1.00
C.	MAPPED SPECTRAL RESPONSE ACCELERATION	
	FACTOR AT SHORT PERIOD, S _S	= 0.146
D.	MAPPED SPECTRAL RESPONSE ACCELERATION	
	FACTOR AT 1 SECOND PERIOD, S ₁	= 0.077
E.	SITE CLASS	= D
F.	DESIGN SPECTRAL RESPONSE ACCELERATION	
	FACTOR AT SHORT PERIODS, S _{DS}	= 0.155
G.	DESIGN SPECTRAL RESPONSE ACCELERATION	
	FACTOR AT 1 SECOND PERIOD, S _{D1}	= 0.124
H.	SEISMIC DESIGN CATEGORY	= B

- BASIC SEISMIC FORCE RESISTING SYSTEM = STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE RESPONSE MODIFICATION COFFEIGIENT, R SEISMIC RESPONSE COEFFICIENT, CS
- 4. CONCENTRATED LOADS: 300 POUNDS OVER 2.5 FEET SQUARE

ANALYSIS PROCEDURE USED

CONSTRUCTION AND SAFETY

1. DOMESTIC STEEL USE REQUIREMENTS AS SPECIFIED IN SECTION 153.011 OF THE REVISED CODE APPLY TO THIS PROJECT. COPIES OF SECTION 153.011 OF THE REVISED CODE CAN BE OBTAINED FROM ANY OF THE OFFICES OF THE OHIO DEPARTMENT OF ADMINISTRATIVE SERVICES. THE FIRST SHEET OF STEEL SHOP DRAWINGS SHALL BEAR A SIGNED CERTIFICATION BY THE FABRICATOR INDICATING THAT NO FOREIGN STEEL IS BEING USED. THE FIRST SHEET OF STEEL SHOP DRAWINGS SHALL ALSO BEAR A SIGNED CERTIFICATION BY THE CONTRACTOR AND FABRICATOR INDICATING THAT NO FOREIGN STEEL IS BEING USED.

= ELFP

- ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES R PROCEDURES OF CONSTRUCTION SELECTED BY CONTRACTOR
- 3. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ENGINEER IS RESPONSIBLE FOR HIS/HER OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS

INTENDED MINIMUM COMPRESSIVE DESIGN STRENGTH OR SUFFICIENT STRENGTH TO SUPPORT

- 4. PRIOR TO COMMENCEMENT OF STEEL ERECTION, CONTRACTOR MUST PROVIDE THE STEEL ERECTOR WRITTEN NOTIFICATION THAT THE CONCRETE IN THE FOOTINGS, PIERS AND WALLS OR THE MORTAR IN THE MASONRY PIERS AND WALLS HAS ATTAINED EITHER 75 PERCENT OF THE
- ANCHOR RODS AND FOUNDATION DOWELS SHALL NOT BE REPAIRED, REPLACED OR FIELD-MODIFIED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.

THE LOADS IMPOSED DURING STEEL ERECTION.

- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCY BE FOUND, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF
- 7. CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED DURING DEMOLITION AND CONSTRUCTION TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE AND FUNCTIONING

LATERAL LOAD RESISTING SYSTEM

PSI AND 150 PSI.

AS THE DESIGNED UNIT.

THE CONDITION.

- 1. THE LATERAL LOAD RESISTING SYSTEM CONSISTS OF THE FOLLOWING ELEMENTS:
- A. MAGNESIUM OXIDE STRUCTURAL PANEL SHEATHING DIAPHRAGM THROUGHOUT B. STEEL MOMENT FRAMES NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE

- PER CLIENT'S REQUEST, THE FOUNDATION DESIGN AND GENERAL FOUNDATION NOTES ARE BASED ON THE ASSUMPTION OF FAVORABLE SOIL CONDITIONS. THE CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEER TO VERIFY DESIGN ASSUMPTIONS PRIOR TO FOUNDATION INSTALLATION THE COST FOR THE GEOTECHNICAL ENGINEER SHALL BE LISTED AS A SEPARATE ITEM ON THE CONTRACTOR'S BID. THE CONTRACTOR SHALL SUBMIT COPIES OF THE GEOTECHNICAL ENGINEER'S REPORT TO SCHAEFER. ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL OR APPROVED ENGINEERED FILL. IN ALIGNMENT WITH BUIDING ORIGINAL CONSTRUCTION DOCUMENTS, FOUNDATIONS HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 2000 PSF BELOW STRIP FOOTINGS AND 2000 PSF BELOW ISOLATED COLUMN FOOTINGS.
- 2. ALL AREAS WITHIN THE FOOTPRINT OF THE BUILDING, INCLUDING UTILITY TRENCHES, MUST BE FREE OF ANY WET AND/OR SOFT AREAS PRIOR TO PLACEMENT OF FILL MATERIAL OR SLAB.
- 3. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
- 4. FILL MATERIALS: ALL FILL MATERIALS SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER, INCLUDING THE SUITABILITY OF ALL EXCAVATED ON-SITE SOILS FOR RE-USE. MATERIAL SHALL NOT BE PLACED ON FROZEN GROUND
- A. CONTROLLED LOW STRENGTH MATERIAL (CLSM): SELF LEVELING AND SELF COMPACTING CEMENTITIOUS MATERIAL WITH AN UNCONFINED COMPRESSIVE STRENGTH BETWEEN 50
- B. WELL GRADED GRANULAR MATERIAL: WELL GRADED MIXTURE OF CRUSHED GRAVEL, CRUSHED STONE, AND SAND PER ASTM D294 WITH AT LEAST 95 PERCENT PASSING A 1 ½" SIEVE AND NOT MORE THAN 8 PERCENT PASSING A NO. 200 SIEVE.

- C. FREE DRAINING GRANULAR FILL: NARROWLY GRADED MIXTURE OF CRUSHED STONE PER 3. PERFORMANCE ASTM D448 WITH COARSE AGGREGATE GRADING SIZE 67 WITH 100 PERCENT PASSING A 1 INCH SIEVE AND NO MORE THAN 5 PERCENT PASSING A NO. 4 SIEVE.
- D. IMPERVIOUS FILL: LEAN CLAYEY GRAVEL AND SAND MIXTURE CAPABLE OF COMPACTING
- FOUNDATION ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES AND MAY VARY TO SUIT SUB-SURFACE SOIL CONDITION. ELEVATION AND BEARING STRATA SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE. PROVIDE ENGINEERED FILL OR CLSM UNDER FOUNDATIONS AT SOFT SPOTS AND FOR EXTENDING EXCAVATION TO ADEQUATE BEARING MATERIAL. INSTALL FOUNDATIONS AT DESIGNED ELEVATIONS
- 6. FROST DEPTH IS 30 INCHES BELOW GRADE. BOTTOM OF FOOTINGS, MAT FOUNDATIONS AND GRADE BEAMS THAT ARE NOT PART OF AN INSULATED FROST PROTECTED FOUNDATION SYSTEM AND ARE NOT WITHIN CONDITIONED SPACE MUST BE BELOW SPECIFIED MINIMUM FROST DEPTH AS MEASURED FROM EXTERIOR GRADE. MAINTAIN SPECIFIED T/FDN ELEVATIONS AND THICKEN FOOTING OR PLACE ON CLSM AS REQUIRED.
- 7. FOUNDATIONS MAY BE PLACED WITHOUT SIDE FORMS IF EXCAVATED WALLS STAND APPROXIMATELY VERTICAL
- 8. ENGINEERED FILL BENEATH FOOTINGS: MINIMUM COMPACTION 98% STANDARD PROCTOR MAXIMUM DRY DENSITY WITHIN +/- 3% OPTIMUM MOISTURE CONTENT.
- FILL AT UTILITY TRENCHES BELOW FOOTINGS, EXCAVATED PRIOR TO FOOTING CONSTRUCTION.
- A. BACKFILL TRENCHES UNDER FOOTINGS AND WITHIN 18 INCHES OF BOTTOM OF FOOTINGS WITH CLSM TO THE BOTTOM OF FOOTING ELEVATION.
- BACKFILL TRENCHES EXCAVATED UNDER FOOTINGS AND MORE THAN 18 INCHES BELOW BOTTOM OF FOOTINGS WITH CLSM OR OTHER FILL MATERIAL APPROVED BY GEOTECHNICAL ENGINEER.
- 10. FILL AT UTILITY TRENCHES BELOW FOOTINGS, EXCAVATED AFTER FOOTING CONSTRUCTION. A. BACKFILL TRENCHES EXCAVATED UNDER EXISTING FOOTINGS WITH CLSM TO THE BOTTOM OF FOOTING ELEVATION.
- 11. SEAL UTILITY TRENCH AT THE EXTERIOR FOUNDATION WALL BY USING A COMPACTED
- IMPERVIOUS FILL OR CLSM TO CREATE A DAM TO PREVENT ENTRY OF WATER.
- - A. EXCAVATIONS IN THE VICINITY OF EXISTING FOUNDATIONS SHALL BE PERMITTED WITHOUT ANY SPECIAL MEASURES AS LONG AS THE BOTTOM NEAR EDGE OF THE EXCAVATION IS ABOVE A LINE WITH SLOPE OF 2 HORIZONTAL TO 1 VERTICAL EXTENDING OUTWARD AND DOWNWARD FROM THE NEAREST BOTTOM CORNER OF THE EXISTING FOUNDATION.
- B. EXCAVATIONS IN THE VICINITY OF EXISTING FOUNDATIONS WITH THE BOTTOM NEAR EDGE OF THE EXCAVATION BELOW A LINE WITH SLOPE OF 2 HORIZONTAL TO 1 VERTICAL EXTENDING OUTWARD AND DOWNWARD FROM THE NEAREST BOTTOM CORNER OF THE EXISTING FOUNDATION SHALL BE MADE ONLY WITH THE APPROVAL OF THE STRUCTURAL ENGINEER AND THE PROJECT GEOTECHNICAL ENGINEER. SUCH EXCAVATIONS MAY REQUIRE SPECIAL TEMPORARY EXCAVATION BRACING OR UNDERPINNING OF EXISTING FOUNDATIONS WHICH IS THE RESPONSIBILITY OF THE CONTRACTOR AS PART OF ITS SELECTED MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES. CONTRACTOR SHALL SUBMIT TEMPORARY EXCAVATION BRACING AND UNDERPINNING DETAILS PRIOR TO EXCAVATION. CONTRACTOR SHALL PERFORM THESE EXCAVATIONS WITH CAUTION SO AS NOT TO UNDERMINE ANY EXISTING STRUCTURE FOUNDATIONS, AND EXCAVATIONS SHALL BE MADE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEER'S RECOMMENDATIONS
- 14. UTILITY TRENCHES PARALLEL TO FOOTINGS AND WITH PIPES BELOW THE BOTTOM OF FOOTING ELEVATION MUST BE LOCATED SO THAT THE SLOPE BETWEEN THE PIPE INVERT ELEVATION AND THE NEAREST BOTTOM CORNER OF THE FOOTING IS A MINIMUM OF 2 HORIZONTAL TO 1

CAST-IN-PLACE CONCRETE (03-30-00)

- CONCRETE MIXTURES: REFER TO CONCRETE MIXTURE REQUIREMENTS TABLE FOR CONCRETE MIX INFORMATION
- 2. CONCRETE MATERIALS:

A. CEMENTITIOUS MATERIALS PORTLAND CEMENT: ASTM C150, TYPE I.

- BLENDED HYDRAULIC CEMENT: ASTM C595, TYPE IL, PORTLAND LIMESTONE CEMENT FLY ASH: ASTM C618, CLASS F OR C. FLY ASH SHALL NOT EXCEED 25% OF TOTAL CEMENTITIOUS CONTENT BY MASS iv. GROUND GRANULATED BLAST FURNACE SLAG: ASTM C989, GRADE 100 OR 120. COMBINATION SLAG AND FLY ASH SHALL NOT EXCEED 50% OF TOTAL CEMENTITIOUS
- AGGREGATES: NORMAL WEIGHT AGGREGATES: ASTM C33, COARSE GRADED.
- C. ADMIXTURES: ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.
- PLASTICIZING ADMIXTURE: ASTM C1017 iii AIR ENTRAINING ADMIXTURE: ASTM C260 iv. CORROSION INHIBITOR: NON-SET-ACCELERATING – CORTEC MCI 2005NS

WATER REDUCING ADMIXTURE: ASTM C494

D. WATER: ASTM C94 AND POTABLE

DETAILING REQUIREMENTS

A. CONTRACTION JOINTS IN SLABS ON GROUND SHALL NOT EXCEED A LENGTH TO WIDTH RATIO OF 1.5:1. SEE PLAN FOR MAXIMUM JOINT SPACING.

B. CONSTRUCTION JOINTS IN SLABS ON GROUND MAY BE LOCATED AT ANY CONTRACTION

- JOINT LOCATION. SEE DRAWINGS FOR TYPICAL DETAILS.
- C. PROVIDE 3/4" CHAMFER AT CORNERS OF EXPOSED CONCRETE.
- D. CONDUITS AND PIPES OF ALUMINUM SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE UNLESS EFFECTIVELY COATED TO PREVENT ALUMINUM-CONCRETE REACTION OR ELECTROLYTIC ACTION BETWEEN ALUMINUM AND STEEL.

4. CONCRETE PLACEMENT

A. ROUGHENED SURFACES, WHERE INDICATED, SHALL EITHER BE: ROUGHENED TO A FULL AMPLITUDE OF APPROXIMATELY 1/4" AND BE CLEAN AND FREE OF LAITANCE ii. FORMED BY EXPANDED METAL LEAVE-IN-PLACE MESH. SUBMIT PRODUCT INFORMATION FOR APPROVAL

PERFORMANCE

- A. CONCRETE WORK IN COLD WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 306.1-90 "STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING" AND ACI 306R-16 "GUIDE TO COLD WEATHER CONCRETING"
- B. CONCRETE WORK IN HOT WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 305.1-14 "SPECIFICATION FOR HOT WEATHER CONCRETING" AND ACI 305R-10 "GUIDE TO HOT WEATHER CONCRETING". THE AIR TEMPERATURE, RELATIVE HUMIDITY, CONCRETE TEMPERATURE, AND WIND SPEED SHALL BE ENTERED INTO NOMOGRAPH FIGURE 4.2 IN ACI 305R-10 TO DETERMINE IF PRECAUTIONS AGAINST PLASTIC SHRINKAGE ARE REQUIRED.
- C. TOLERANCES: CONFORM TO ACI 117-10

SUBMITTALS:

MATERIALS

- A. CONCRETE MIX DESIGNS: CONCRETE MIX DESIGNS INCLUDING PRODUCT DATA FOR ALL CONSTITUENTS AND ADMIXTURES SHALL BE SUBMITTED FOR EACH TYPE OF CONCRETE TO THE STRUCTURAL ENGINEER FOR APPROVAL IN ACCORDANCE WITH ACI 301-16 FIELD TEST DATA OR TRIAL MIXTURES. SUBMITTAL DATA MUST INCLUDE FIELD TEST DATA FROM AT LEAST 10 TESTS OR A THREE POINT CURVE GENERATED USING TRIAL MIXTURES.
- B. PRODUCT DATA FOR CURING MATERIALS

CONCRETE REINFORCING (03-20-00)

- A. DEFORMED BARS: ASTM A615, OR ASTM A706, GRADE 60. ASTM A706 DEFORMED BARS ARE REQUIRED FOR ALL WELDED REINFORCING BARS.
- REINFORCING DEVELOPMENT AND LAP SPLICES (UNLESS OTHERWISE NOTED)
- A. SEE REINFORCING BAR DEVELOPMENT TABLES FOR REQUIRED DEVELOPMENT AND LAP SPLICE LENGTHS.

- A. COMPLY WITH CRSI'S "MANUAL OF STANDARD PRACTICE" FOR PLACING AND SUPPORTING
- B. REINFORCING BARS SHALL HAVE CLEAR COVER AS INDICATED ON THE DRAWINGS. WHERE NOT INDICATED, PROVIDE MINIMUM CLEAR COVER PER ACI-318.
- C. REINFORCING BARS SHALL BE FREE OF DIRT AND FORM RELEASE AGENTS.
- A. SHOP DRAWINGS FOR REINFORCING STEEL (COMPLY WITH ACI SP-066):

- 1. MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES" (TMS 602-2016), EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
- COMPRESSIVE STRENGTH SHALL BE DETERMINED FOR EACH TYPE OF MASONRY BY THE UNIT
- A. CONCRETE MASONRY: f'm = 2000 PSI AT 28 DAYS.
- 3. SUBMITTALS SHALL BE MADE FOR THE FOLLOWING:

STRENGTH METHOD.

- A. COLD WEATHER CONSTRUCTION PROCEDURE. B. HOT WEATHER CONSTRUCTION PROCEDURE.
- MANUFACTURERS LITERATURE FOR: HORIZONTAL JOINT REINFORCING
- REINFORCING STEEL POSITIONERS. MOVEMENT JOINT MATERIALS. iv. TIES & ANCHORS.

MASONRY UNIT iii. REINFORCING STEEL

- D. SHOP DRAWINGS SHOWING: i. DETAILS OF STEEL REINFORCING. MANUFACTURERS CERTIFICATE OF COMPLIANCE FOR SPECIFIED:
- E. PROPORTIONS OF MATERIAL IN ACCORDANCE WITH REFERENCED SPECIFICATIONS OF: GROUT.

MATERIALS

- A. CONCRETE MASONRY UNITS: ASTM C90 TYPE I. BELOW GRADE: NORMAL WEIGHT AGGREGATE PER ASTM C33. ABOVE GRADE: LIGHTWEIGHT AGGREGATE PER ASTM C331 OR NORMAL WEIGHT
- B. MORTAR: ASTM C270 ALL MASONRY UNLESS NOTED OTHERWISE: TYPE S
- PORTLAND CEMENT-LIME MORTAR: PORTLAND CEMENT: TYPE I.
- ii. HYDRATED LIME: TYPE S. D. MASONRY CEMENT MORTAR IS PERMITTED.
- GROUT: ASTM C476. SLUMP 8" TO 11". MINIMUM COMPRESSIVE STRENGTH = 2000 PSI AT 28
- F. REINFORCING STEEL: ASTM A615, ASTM A706, OR ASTM A996, 60 KSI YIELD.
- G. HORIZONTAL JOINT REINFORCING FOR SINGLE WYTHE CONCRETE MASONRY: ASTM A951 9 GAGE LADDER TYPE. HOT DIPPED GALVANIZED PER ASTM A153 CLASS B. PLACE HORIZONTAL JOINT REINFORCING AT 16" CENTERS VERTICALLY FOR CONCRETE MASONRY. LAP HORIZONTAL JOINT REINFORCING 6" MINIMUM. HORIZONTAL JOINT REINFORCING SHALL BE DISCONTINUOUS ACROSS MOVEMENT JOINTS.
- H. HORIZONTAL JOINT REINFORCING FOR CONCRETE MASONRY LAID IN STACK BOND: ASTM A951 3/16 LADDER TYPE. HOT DIPPED GALVANIZED PER ASTM A153 CLASS B. PLACE LAP HORIZONTAL JOINT REINFORCING 6" MINIMUM. HORIZONTAL JOINT REINFORCING SHALL BE DISCONTINUOUS ACROSS MOVEMENT JOINTS.
- MORTAR PROPORTIONS MUST BE ACCURATELY MEASURED PRIOR TO MIXING. ADD CEMENT TO MIX IN FULL BAG QUANTITIES. MEASURE SAND IN BOX WITH VOLUME OF ONE CUBIC FOOT AS OFTEN AS NECESSARY TO MAINTAIN CONSISTENT PROPORTIONS AND AT LEAST ONCE DAILY AND EVERY 4 HOURS OF MIXING.
- 6. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND SPECIFICATIONS OF FIRE RATED
- PROVIDE PREFABRICATED "L" AND "T" SHAPED HORIZONTAL JOINT REINFORCING AT WALL

8. KEEP AIR SPACE BEHIND VENEER FREE OF MORTAR DROPPINGS.

- 9. RUNNING BOND PATTERN SHALL BE USED FOR ALL MASONRY WORK UNLESS OTHERWISE
- 10. PROVIDE MOVEMENT (CONTROL AND EXPANSION) JOINTS IN WALLS WHERE INDICATED ON ARCHITECTURAL DRAWINGS. BOND BEAMS SHALL BE DISCONTINUOUS ACROSS MOVEMENT JOINTS UNLESS NOTED OTHERWISE
- A. MOVEMENT JOINTS IN CONCRETE BLOCK: SASH BLOCK UNIT WITH PREFORMED SHEAR KEY. CAULK BOTH FACES. ALTERNATE DETAILS FOR CONTROL JOINTS MAY BE ACCEPTABLE -- SUBMIT DETAILS FOR APPROVAL
- 11. ALL REINFORCING STEEL SHALL BE SUPPORTED AND FASTENED TO APPROVED POSITIONERS LOCATED AT 192 BAR DIAMETERS MAXIMUM SPACING AND WITH A MINIMUM OF TWO POSITIONERS PER GROUT POUR (ONE NEAR THE BOTTOM AND ONE NEAR THE TOP) TO PREVENT DISPLACEMENT DURING THE PLACEMENT OF GROUT.
- GROUT ALL CELLS BELOW GRADE SOLID.
- 13. PROVIDE REINFORCING BAR SPLICES AS SPECIFIED IN THE FOLLOWING TABLE. BAR SPLICE COUPLERS MAY BE CONSIDERED AS A SUBSTITUTE, SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION.

BAR SIZE LAP SPLICE

MATERIALS (UNLESS NOTED OTHERWISE):

- A. L SHAPES: ASTM A572, GRADE 50, Fy = 50 KSI
- B. PLATES AND BARS (THICKNESS ≤ 4 INCHES): ASTM A572, GRADE 50, Fy = 50 KSI
- C. HSS SHAPES: ASTM A500, GRADE C, Fy = 50 KSI D. BOLTS: ASTM F3125, GRADE A325-N, 3/4" DIAMETER (UNLESS NOTED OTHERWISE)
- E. ANCHOR RODS (TYPICAL): ASTM F1554, GRADE 36
- F. THREADED RODS: ASTM A36

PLANT, CATEGORY STD.

- G. WELDS: AWS E70XX, LOW HYDROGEN ELECTRODES.
- NON-SHRINK NON-METALLIC GROUT: CRD-C-621 AND ASTM C1107 FOR INTERIOR AND EXTERIOR APPLICATIONS, FLUID TYPE. . LIMIT GYPSUM CONTENT TO 1.5% MAXIMUM AT EXTERIOR APPLICATIONS.
- ALL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO AISC SPECIFICATIONS FOR 'DESIGN. FABRICATION. AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION FABRICATOR QUALIFICATIONS: STRUCTURAL STEEL FABRICATOR SHALL PARTICIPATE IN THE

AISC QUALITY CERTIFICATION PROGRAM, AND SHALL BE DESIGNATED AS AN AISC-CERTIFIED

4. SUBMITTALS

- A. STRUCTURAL STEEL SHOP DRAWINGS
- MISC. METAL SHOP DRAWINGS (STAIRS, RAILINGS AND LADDERS INCLUDING ATTACHMENT 2. TO THE PRIMARY STRUCTURE), INCLUDING ANALYSIS DATA, SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.
- 5. CONNECTIONS:

6. PAINT AND PROTECTION:

- A. BOLTED CONNECTIONS ARE TO BE INSTALLED SNUG TIGHT UNLESS OTHERWISE NOTED.
- PRETENSIONED BOLTS SHALL USE DIRECT-TENSION INDICATING WASHERS (ASTM F959) OR TENSION-CONTROL, HIGH-STRENGTH BOLT-NUT-WASHER ASSEMBLIES
- B. FIELD CONNECTIONS SHALL BE BOLTED EXCEPT WHERE WELDED CONNECTIONS ARE
- INDICATED ON THE STRUCTURAL DRAWINGS. WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS
- D1.1:2010)
- STEEL SURFACES UNLESS NOTED OTHERWISE: HOT DIP GALVANIZE PER ASTM A123 AFTER
- FABRICATION. COATING WEIGHT PER PARAGRAPH 5.1 OF ASTM A123 AND A153. FABRICATE ASSEMBLIES PER ASTM A143, A384, AND A385. PREPARE SURFACES FOR POWDER COATING PER ASTM D7803. AFTER ERECTION, REPAIR DAMAGED AREAS AND WELDS MADE AFTER GALVANIZING IN ACCORDANCE WITH ASTM A780 WITH ORGANIC ZINC RICH PAINT COMPLYING WITH DOD-P-21035 OR MIL-P-26915, MULTIPLE COATS TO DRY FILM THICKNESS OF 4 MILS. FILL EXPOSED VENT AND DRAIN HOLES, NOT INDICATED AS WEEP HOLES, BY PLUGGING WITH ZINC SOLDER AND FILING OFF SMOOTH. FINISH SURFACES WITH POWDER COAT. FINAL COLOR SELECTION BY ARCHITECT.
- MEMBERS ENCASED IN CONCRETE: PROVIDE 3" MINIMUM CONCRETE COVER FOR ALL

COLD-FORMED METAL FRAMING

STEEL BELOW GRADE

MATERIALS:

- STRUCTURAL FRAMING MEMBERS 54 MILS (16 GAGE) & HEAVIER: ASTM A1003 & C955, Fy
- MINIMUM = 50 KSI, G60 GALVANIZED COATING (TYPICAL UNO). B. STRUCTURAL FRAMING MEMBERS 43 MILS (18 GAGE) & LIGHTER: ASTM A1003 & C955, Fy
- MINIMUM = 33 KSI, G60 GALVANIZED COATING (TYPIĆAL UNO). C. ALL TRACK & BRIDGING: Fy = 33 KSI MINIMUM, ASTM A1003 & C955, G60 GALVANIZED
- D. STRAP BRACING: Fy = 50 KSI MINIMUM. SIZE & GAGE AS INDICATED, ASTM A1003 & C955, G60 GALVANIZED COATING. E. SELF DRILLING SCREWS (SDS):

HEX OR PHILLIPS WASHER HEAD SELF-DRILLING TAPPING SCREWS (ASTM C1513)

MANUFACTURED FROM CARBON STEEL (ASTM A 510, MIN GRADE 1018). ZINC PLATING

SHALL MEET MINIMUM CORROSION RESISTANCE REQUIREMENTS OF ASTM F1941. F. WELDING ELECTRODES: E60XX

- 2. WORK SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS: AMERICAN IRON AND STEEL INSTITUTE (A.I.S.I.) "STANDARD FOR COLD-FORMED STEEL
- FRAMING GENERAL PROVISIONS", LATEST EDITION. AMERICAN WELDING SOCIETY (A.W.S.) D.1.3, 2011 "STRUCTURAL WELDING CODE-SHEET

SUBMITTALS:

AND DISTORTION

PRODUCT DATA: FOR EACH TYPE OF PRODUCT

iii. SIZE AND LOCATION OF ALL BRIDGING AND BRACING.

- CROSS-SECTIONS, PLANS AND/OR ELEVATIONS DEPICTING COMPONENT LAYOUT, SIZE
- CONNECTION DETAILS SHOWING FASTENER TYPES AND LOCATIONS, WELD SIZE, LENGTHS AND LOCATIONS INCLUDING ATTACHMENTS TO ADJOINING WORK.
- CUT ALL FRAMING COMPONENTS SO THEY FIT SQUARELY TOGETHER. STUDS MUST BEAR TIGHT AGAINST TRACK WEB. MEMBERS SHALL BE HELD POSITIVELY IN PLACE UNTIL PROPERLY FASTENED. BRACE WALL COMPONENTS AS REQUIRED DURING ERECTION TO PREVENT RACKING
- ALL FRAMING SHALL BE THE COMPONENTS SPECIFIED ON THE STRUCTURAL DRAWINGS AS MANUFACTURED IN ACCORDANCE WITH THE INDICATED STEEL STUD MANUFACTURERS ASSOCIATION (SSMA) SIZE, STYLE, AND MATERIAL THICKNESS. UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS, ALL FRAMING MEMBERS SHALL BE S-SECTIONS WITH 1-5/8" FLANGE WIDTH, AND ALL TRACK SHALL HAVE 1-1/4" FLANGE WIDTH.
- INTERFERENCE AND CONFLICTS AND COORDINATE LAYOUT AND SUPPORT PROVISIONS FOR

7. ALL WELDED CONNECTIONS SHALL BE MADE BY WELDERS CERTIFIED FOR WELDING MEMBERS

6. PRIOR TO THE START OF INSTALLATION OF COLD-FORMED STEEL FRAMING SYSTEMS, MEET AT

THE PROJECT SITE WITH THE INSTALLERS OF OTHER WORK INCLUDING DOOR AND WINDOW

FRAMES, MECHANICAL, STRUCTURAL AND ELECTRICAL WORK. REVIEW AREAS OF POTENTIAL

- OF GAGE BEING USED PER AWS D.1.3-11. 8. ERECTION TOLERANCES. FABRICATE AND ERECT ASSEMBLIES LEVEL, PLUMB, AND TRUE TO LINE TO A MAXIMUM ALLOWABLE VARIATION OF 1/8 INCH IN 10 FEET AND AS FOLLOWS:
- FROM PLAN LOCATION. CUMULATIVE ERROR SHALL NOT EXCEED MINIMUM FASTENING REQUIREMENTS OF SHEATHING OR OTHER FINISHING MATERIALS.

SPACING: SPACE INDIVIDUAL FRAMING MEMBERS NO MORE THAN PLUS OR MINUS 1/8 INCH

SQUARENESS: FABRICATE EACH COLD-FORMED STEEL FRAMING ASSEMBLY TO A MAXIMUM

OUT-OF-SQUARE TOLERANCE OF 1/8 INCH.

- **POST INSTALLED ANCHORS**
- INSTALLATION: INSTALL ANCHORS PER EVALUATION REPORT AND MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MPII). CONNECTIONS TO EXISTING REINFORCED CONCRETE OR MASONRY: PRIOR TO DRILLING, VERIFY LOCATIONS OF EXISTING REINFORCING BARS USING A REBAR DETECTOR. NOTIFY
- ENGINEER PRIOR TO INSTALLATION IF ANCHOR LOCATIONS CONFLICT WITH EXISTING REINFORCING BARS. DO NOT DRILL THROUGH REINFORCING BARS. TESTING AND INSPECTION: REFER TO EVALUATION REPORTS FOR ADDITIONAL TESTING AND INSPECTION REQUIREMENTS.
- CONSIDERED. SUBMIT EVALUATION REPORT DEMONSTRATING COMPLIANCE WITH GOVERNING CODE AND SPECIFIED ACCEPTANCE CRITERIA PRIOR TO INSTALLATION. 5. ADHESIVE ANCHORS:

4. SUBSTITUTIONS: SUBSTITUTIONS COMPLYING WITH SPECIFIED ACCEPTANCE CRITERIA MAY BE

A. ANCHOR RODS: ASTM F1554, GRADE 36 UNLESS NOTED OTHERWISE. SIZE AND EMBEDMENT AS INDICATED ON DRAWINGS. B. ADHESIVE IN CONCRETE: SIMPSON STRONG-TIE "AT-XP" (EVALUATION REPORT: IAPMO UES

ER-263). SUBSTITUTES COMPLYING WITH ACCEPTANCE CRITERIA ICC-ES AC308 AND ACI

VERIFY THAT THE SHELF LIFE OF THE ADHESIVE HAS NOT BEEN EXCEEDED ON THE DATE OF INSTALLATION.

355.4 FOR USE IN CRACKED CONCRETE MAY BE CONSIDERED.

A. ANCHORAGE TO CONCRETE: SIMPSON STRONG-TIE "STRONG-BOLT 2" 316 STAINLESS STEEL (EVALUATION REPORT: ICC-ES ESR-3037). SUBSTITUTES COMPLYING WITH ACCEPTANCE CRITERIA ICC-ES AC193 AND ACI 355.2 FOR USE IN CRACKED CONCRETE MAY BE CONSIDERED.

POWER-ACTUATED FASTENERS (PAF)

EXPANSION ANCHORS:

SCREW ANCHORS ANCHORAGE TO CONCRETE: SIMPSON STRONG-TIE "MECHANICALLY GALVANIZED TITEN HD" (EVALUATION REPORT: ICC-ES ESR-2713). SUBSTITUTES COMPLYING WITH ACCEPTANCE CRITERIA ICC-ES AC193 AND ACI 355.2 FOR USE IN CRACKED CONCRETE MAY

INSTRUCTIONS (MPII)

SUBSTITUTIONS: SUBSTITUTIONS COMPLYING WITH ICC-ES ACCEPTANCE CRITERIA AC 70, INCLUDING ANNEX A FOR SEISMIC LOADING MAY BE CONSIDERED. SUBMIT EVALUATION REPORT DEMONSTRATING GREATER OR EQUAL CAPACITY, AND COMPLIANCE WITH GOVERNING CODE AND SPECIFIED ACCEPTANCE CRITERIA PRIOR TO INSTALLATION.

INSTALLATION: INSTALL FASTENERS PER EVALUATION REPORT AND MANUFACTURER'S PRINTED

- 3. FASTENING WOOD FRAMING AND COLD FORMED METAL FRAMING TRACKS AND CHANNELS:
- A. FASTENING TO STRUCTURAL STEEL: 0.157" DIAMETER NAIL (TYP UNO): HILTI "X-U" NAIL (ICC-ESR-2269). DETERMINE FASTENER LENGTH IN ACCORDANCE WITH ICC REPORT TO PROVIDE MINIMUM
- REQUIRED PENETRATION THROUGH STEEL ii. 0.177" DIAMETER NAIL: HILTI "X-EDS" NAIL (ICC-ESR-1663). DETERMINE FASTENER LENGTH IN ACCORDANCE WITH ICC REPORT TO PROVIDE MINIMUM REQUIRED PENETRATION THROUGH STEEL.
- B. FASTENING TO CONCRETE (CONCRETE MUST ACHIEVE SPECIFIED DESIGN STRENGTH PRIOR TO FASTENER INSTALLATION): i. 0.157" DIAMETER NAIL: HILTI "X-U" NAIL (ICC-ESR-2269). DETERMINE FASTENER
- ENGTH IN ACCORDANCE WITH ICC REPORT TO PROVIDE A MINIMUM 1 1/4" 0.177" DIAMETER NAIL: HILTI "X-EDS" NAIL (ICC-ESR-1663). DETERMINE FASTENER ENGTH IN ACCORDANCE WITH ICC REPORT TO PROVIDE A MINIMUM 1 1/4".

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS ARE REQUIRED BY SECTION 1704 OF THE REFERENCED BUILDING CODE. THE INTENT OF SPECIAL INSPECTIONS IS TO VERIFY THE COMPLIANCE OF MATERIALS, INSTALLATION, FABRICATION, ERECTION AND/OR PLACEMENT OF COMPONENTS WITH THE COMPLETED SET OF CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS. IT IS THE RESPONSIBILITY OF ALL PARTIES INVOLVED TO BECOME FAMILIAR WITH THE SPECIAL INSPECTION REQUIREMENTS SET FORTH IN CHAPTER 17 OF THE REFERENCED BUILDING CODE. SPECIAL INSPECTIONS SHALL BE PROVIDED BY THE OWNER OR THE OWNER'S AGENT AND SHALL

NOT BE CONSIDERED IN THE SCOPE OF WORK OF THE CONTRACTOR.

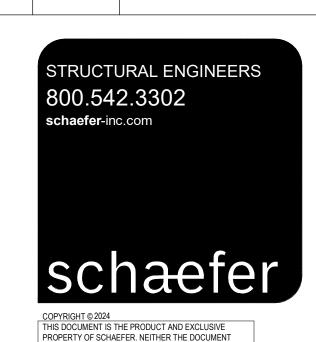
A. THE FOLLOWING SCHEDULE OF SPECIAL INSPECTIONS FOR STRUCTURAL WORK HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 106.1 AND 1704 OF THE REFERENCED BUILDING CODE. SEE OTHERS FOR SPECIAL INSPECTION REQUIREMENTS FOR NON-STRUCTURAL WORK. THE SPECIAL INSPECTOR(S) SHALL COORDINATE WITH THE OWNER, CONTRACTORS, AND DESIGN PROFESSIONALS AND SCHEDULE ALL INSPECTIONS

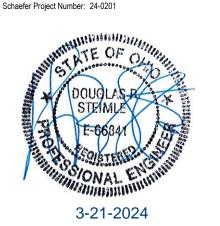


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Athourity 1999 Sutter Avenue, Cincinnati, OH 45225

Cincinnati Metropolitan Housing

| Exterior Improvements

LDA Project No.23.47

GENERAL NOTES

	SCHEDULE OF SPECIAL INSPEC	TION S		- 1705.2		KAL STEEL T
Item	Sub Item / Scope	Observe	Extent Perform	N/A	Agency Qualifications	Comments
n-Plant Special nspections	Fabrication and implementation procedures: In addition to special inspections provided on site, provide special inspections indicated below on the premises of fabricator's shop. Verify that the fabricator maintains detailed fabrication and quality control procedures.		X	X	As Noted Below	Special inspections on the premises of the fabricators shop are not required provided the fabricator is an <i>Approved Fabricator</i> in accordance with section 1704.2. Fabricator is required to submit documentation/certification that they are an <i>Approved Fabricator</i> .
Fabricator and erector documents	Verify reports and certificates as listed in AISC 360, chapter N, paragraph 3.2 for compliance with construction documents		X		Schaefer Submittal Review	
2. Material verification of structural steel	Verify material in shop and field inspection		Х		Testing Agency	
. Embedments	Verify diameter, grade, type, length, embedment. See Table 1705.3 for anchors		Х		Testing Agency	
Verify compliance with construction documents	Verify member locations, braces, stiffeners, and application of joint details at each connection comply with construction documents		x		Testing Agency	
5.4-1. Visual Welding	Welder qualifications records and continuity records. Welding procedure specifications (WPS) available		Х			
asks Before Welding:	Manufacturer certifications for welding consumables		X			
	available. 4. Material Identification (type/grade)	X	X			
	5. Welder identification system (The fabricator or erector, as applicable, shall maintain a system by which a welder who has welded a joint or member can be identified. Stamps, if used, shall be the low-stress type.)	X				
	6. Fit up of Groove Welds (Including Joint Geometry): Inspection shall include Joint preparation, Dimensions (alignment, root opening, roof face, and bevel), Cleanliness (condition of steel surfaces), Tacking (tack weld quality and location), Backing type and fit (if applicable)	Х			Testing Agency AWS - Certified Welding Inspector	
	7. Fit up of CJP Groove Welds of HSS T-, K-, Y-, and K joints (Including Joint Geometry): Inspection shall include Joint preparation, Dimensions (alignment, root opening, roof face, and bevel), Cleanliness (condition of steel surfaces), Tacking (tack weld quality and location), Backing type and fit (if applicable) 8. Configuration and finish of access holes	X	Х			
	9. Fit-up of Fillet Welds: Inspection shall include: Dimensions (alignment, root opening, roof face, and bevel), Cleanliness (condition of steel surfaces), Tacking 10. Check welding equipment.	X				
5.4-2. Visual Welding	Control and Handling of Welding Consumables: Packaging and Exposure control)	Χ				
Tasks During Welding:	No welding over cracked tack welds. Environmental Conditions: Wind speed within limits,	X				
	and Precipitation and temperature. 4. WPS Followed: Observe Settings on welding equipment, Travel speed, Selected welding materials, Shielding gas type/flow rate, Preheat applied, Interpass temperature maintained (min and max), and Proper position (F,V,F,OH)	X			Testing Agency AWS - Certified Welding Inspector	
	5. Welding Techniques: Interpass and final cleaning, Each pass within profile limitations, Each pass meets quality requirements. 6. Placement and installation of steel headed stud	Х				
.4-3. Visual Welding	anchors. 1. Welds Cleaned:	X	Х			
asks After Welding	Size, Length, and Location of Welds: Welds meet visual acceptance criteria: Crack prohibition, Weld/base-metal fusion, Crater cross		X			
	section, Weld profiles, Weld size, Undercut, Porosity. 4. Arc strikes:		X			
	5. k-area6. Weld access holes in rolled heavy shapes and built-		Х		Testing Agency AWS - Certified	
	up heavy shapes 7. Backing Removed and weld tabs removal (if required):		X		Welding Inspector	
	8. Repair Activities:		X			
	Document acceptance or rejection of welded joint or member No prohibited welds have been added without the		X			
.5 Non-destructive	approval of the EOR b. CJP Groove Welds: Ultrasonic testing shall be	Х				Perform NDT for both in field and shop weld:
esting of Welds	performed on 100 percent of CJP groove welds subject to transversely applied tension loading in butt, T- and corner joints, in materials 5/16 in thick or greater. Ultrasonic testing in materials less than 5/16 in thick is not required. Reduction of Rate of Ultrasonic Testing is permitted if the conditions of AISC 360-16 Appendix N.5.e are met.		Х		Testing Agency AWS - Certified Welding Inspector	
	c. Weld Joints Subjected to Fatigue: Welded joints requiring weld soundness to be established by Radiographic or Ultrasonic Inspections. Reduction rate is prohibited.		Х			Perform NDT for both in field and shop weld
.6-1. Inspection of olting: Inspection asks Prior to Bolting	Manufacturer's certifications available for fastener materials. Fasteners marked in accordance with ASTM		Х		Testing Agency	
aono fiiui iu doiling	requirements 3. Proper fasteners selected for the joint detail (grade,	X			Testing Agency	
	type, and bolt length if threads are excluded from shear plane). 4. Proper bolting procedure selected for joint detail.	X			Testing Agency	
	5. Connecting elements: Verify elements are fabricated properly, including the appropriate faying surface condition and hole preparation, if specified, meets the	X			Testing Agency Testing Agency	
	applicable requirements 6. Pre-installation verification testing conducted for fastener assemblies and methods used 7. Proper storage provided for bolts, nuts, washers,	X			Testing Agency	
.6-2. Inspection of	and other fastener components 1. Fastener assemblies, of suitable condition, placed in	X			Testing Agency	
olting: Inspection asks During Bolting	all holes and washers (if required) are properly positioned 2. Joint brought to the snug tight condition prior to the	X			Testing Agency	
	pretensioning operation 3. Fastener component not turned by the wrench	X			Testing Agency Testing Agency	
	prevented from rotating 4. Bolts are pretensioned in accordance with the RCSC specification, progressing systematically from most rigid point toward free edges	X			Testing Agency Testing Agency	
5.6-3. Inspection of Bolting: Inspection	Document accepted and rejected connections:	_	Х	_	Testing Agency	

5.6-3. Inspection of Bolting: Inspection Tasks After Bolting	Document accepted and rejected connections:		X		Testing Agency	
	SCHEDULE OF SPECIAL	_ INSPE	CTION S	ERVICES	S - 1705.6 SOILS	
ltom	Sub Itam / Saana		Extent		Agency	Comments
Item	Sub Item / Scope	Cont.	Periodic	N/A	Qualifications	Comments
Bearing Materials	Verify materials below shallow foundations are adequate to achieve the design bearing capacity.		Х		Testing Agency Under supervision of Licensed Geotechnical Engineer	
2. Excavations	Verify excavations are extended to proper depth and have reached proper material		X		Testing Agency Under supervision of Licensed Geotechnical Engineer	
3. Fill Classification	Perform classification and testing of compacted fill materials		Х		Testing Agency Under supervision of Licensed Geotechnical Engineer	
Placement and Fill Compaction	During fill placement, verify use of proper materials and procedure in accordance with the provisions of the approved geotechnical report. Verify densities and lift thicknesses during placement and compaction of compacted fill	Х			Testing Agency Under supervision of Licensed Geotechnical Engineer	
5. Subgrade	Prior to placement of compacted fill, inspect subgrade and verify that the site has been prepared properly		Х		Testing Agency Under supervision of Licensed Geotechnical Engineer	

	SCHEDULE OF SPECIAL INSPECTION SE		Extent	.0 0011		I
Item	Sub Item / Scope	Cont.	Periodic	N/A	Agency Qualifications	Comments
Inspections (Precast Concrete)	Fabrication and implementation procedures: In addition to special inspections provided on site, provide special inspections indicated below on the premises of fabricator's shop. Verify that the fabricator maintains detailed fabrication and quality control procedures.	COIII.	renouic	X	As Noted Below	Special inspections on the premises of the fabricator's shop are not required provide the fabricator is an <i>Approved Fabricator</i> in accordance with section 1704.2.5.1. Fabricator is required to submit documentation/certification that they are an <i>Approved Fabricator</i> .
	a. Mild Reinforcing Steel: Inspect size, spacing, cover, positioning and grade of reinforcing steel: Verify that reinforcing bars are free of form oil or other deleterious materials. Inspect bar laps and mechanical splices. Verify that bars are adequately tied and supported on chairs or bolsters. Verify welded wire fabric is supported per construction documents. Reference ACI 318: 20, 25.2, 25.3, 26.6-1-26.6-3, and IBC 1908.4.		x		Testing Agency	
	b. Prestress Steel: Inspect size, spacing, cover, and position of prestressing tendons:			Χ	Testing Agency	
Reinforcing Steel	a. Verify weldability of reinforcing bars other than ASTM A706. Reference ACI 318: 26.6.4 and AWS D1.4		Х		Testing Agency	
	b. Inspect single pass fillet welds, maximum 5/16"		X		Testing Agency AWS - Certified	
	c. Inspect all other welds	X			Welding Inspector Testing Agency AWS - Certified Welding Inspector	
3. Cast in Place Anchor Rods	Inspect size, position and embedment of cast in place bolts and anchor rods. Inspect concrete placement and consolidation around		Х		Testing Agency	
4. Post Installed Anchors (Anchors installed in Hardened Concrete)	anchors. Reference ACI 318: 17.8.2 a. Adhesive anchors installed in horizontally or upwardly inclined orientations to resist sustained tension loads. Inspect type and size of anchor, concrete type and compressive strength, hole cleaning procedures, anchor embedment, anchor spacing and edge distances, and tightening torque (where applicable). Reference ACI 318: 17.8.2.4	Х			Testing Agency	Reference evaluation report (identified in project general notes) for additional inspection scope required by manufacturer.
	b. Mechanical anchors and adhesive anchors not defined in 4.a. Inspect type and size of anchor, concrete type and compressive strength, hole cleaning procedures, anchor embedment, anchor spacing and edge distances, and tightening torque (where applicable). Reference ACI 318: 17.8.2		×		Testing Agency	
ū	Prior to concrete placement, fabricate specimens for strength tests, perform slump and air content tests, and determine the temperature of the concrete.		Х		Testing Agency	
6. Sampling and Testing of Concrete	At the time fresh concrete is sampled to fabricate specimens for strength tests, perform slump and air content tests as required by construction documents, and determine the temperature of concrete. Reference ASTM C 172, ASTM C31, ACI 318, 26.4.3, 26.4.4	X			Testing Agency	
7. Concrete and Shotcrete Placement	Inspect concrete and shotcrete placement for proper application techniques. Reference ACl 318: 26.5 and IBC 1908.6, 1908.7, and 1908.8. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.	X			Testing Agency	
Protection	Inspect for maintenance of specified curing temperature and techniques. Inspect cold weather and hot weather protection procedures as applicable. Reference ACI 318: 26.5.3-26.5.5		Х		Testing Agency	
	a. Application of Prestressing Forces: Inspect placement, stressing, grouting and protection of post-tensioning tendons. Verify that tendons are correctly positioned, supported, tied and wrapped. Record tendon elongations. Reference ACI 318: 26.10.2			X	Testing Agency	
	b. Grouting of Bonded Prestressing Tendons in the Seismic- Force Resisting System: Reference ACI 318: 26.10.1			Х	Testing Agency	
Erection	Inspect erection of precast concrete including member configuration, connections, welding and grouting. Reference ACI 318: Ch 26.9			Χ	Testing Agency	
11. Precas tConcrete Diaphragms	For precast concrete diaphragm connections or reinforcement at joints classified as moderate or high deformability elements (MDE or HDE) in structures assigned to Seismic Design Category C, D, E or F, inspect such connections and reinforcement in the field for: (a) installation of the embedded parts			X	Testing Agency	
	(b) Completion of the continuity of reinforcement across joints. (c) Completion of connections in the field.			X	Testing Agency Testing Agency	
12. Precast Concrete Diaphragms	Inspect erection tolerances of precast concrete diaphragm connections for compliance with ACI 550.5			X	resuing Agency	
Situ Concrete Strength	Verify concrete strength prior to the removal of shores and forms from beams and structural slabs and prior to the stressing of tendons in post-tensioned concrete. Reference ACI 318: 26.10.2 & 26.11.11.2		X		Testing Agency	
	Inspect formwork for shape, location and dimensions of the concrete member being formed. Reference ACI 318: 26.11		X		Testing Agency	1

	SYMBOL LEGEND	
SYMBOL	DESCRIPTION	REFERENCE
n	COLUMN LINE DESIGNATION	
n	FACE OF BUILDING	
BPn	BASE PL MARK	
Kn	KEYNOTE MARK	
\rightarrow	ELEVATION INDICATION	
Dn	DECK MARK	

^ <u></u>	DESCRIPTION
AFF =	ABOVE FINISHED FLOOR ELEVATION
ARCH =	ARCHITECT
B/ = BLDG =	BUILDING
BOT =	BOTTOM
BRG =	BEARING
CFS =	COLD-FORMED STEEL
CJ =	CONTRACTION JOINT
CJP =	COMPLETE JOINT PENETRATION
CL =	CENTER LINE
CLR =	CLEAR
CLSM =	CONTROLLED LOW STRENGTH MATERIAL
CMU =	CONCRETE MASONRY UNIT
COL =	COLUMN
CONC =	CONCRETE
CONT =	CONTINUOUS
DEG or ° =	
DIA or ø =	DIAMETER
EA = EF =	EACH FACE
EL =	ELEVATION
EMB =	EMBEDMENT
EOD =	EDGE OF DECK
EOS =	EDGE OF SLAB
EQ =	EQUAL
EXIST =	EXISTING
EXP =	EXPANSION
FDN =	FOUNDATION
FS =	FAR SIDE
FTG =	FOOTING
GA =	GAGE
GALV =	GALVANIZED
GT =	GIRDER TRUSS
HORIZ =	HORIZONTAL
	JOIST BEARING
Ld =	TENSION DEVELOPMENT LENGTH OF
140.41	REINFORCING BAR IN CONCRETE
Ld-CMU =	TENSION DEVELOPMENT LENGTH OF REINFORCING BAR IN GROUTED CMU
Ldc =	COMPRESSION DEVELOPMENT LENGTH OF
Luc -	REINFORCING BAR IN CONCRETE
LDH =	LONG DIMENSION HORIZONTAL
Ldh =	HOOKED BAR TENSION DEVELOPMENT
	LENGTH OF REINFORCING BAR IN CONCRETE
LDV =	LONG DIMENSION VERTICAL
LLH =	LONG LEG HORIZONTAL
LLV =	LONG LEG VERTICAL
Ls =	LAP SPLICE LENGTH OF REINFORCING BAR II
Ls-CMU =	CONCRETE LAP SPLICE LENGTH OF REINFORCING BAR II
F2-01/10 =	GROUTED CMU
Lsc =	COMPRESSION LAP SPLICE LENGTH OF
	REINFORCING BAR IN CONCRETE
LSL =	LAMINATED STRAND LUMBER
LVL =	LAMINATED VENEER LUMBER
MCJ =	MASONRY CONTROL JOINT
MFR =	MANUFACTURER
NS =	NEAR SIDE
oc =	ON CENTER
OPNG =	OPENING
OPP =	OPPOSITE
P/T =	POST-TENSION
PAF =	POWER-ACTUATED FASTENER
PE =	PRE-ENGINEERED
PEMB =	PRE-ENGINEERED METAL BUILDING
PJP =	PARTIAL JOINT PENETRATION
PL =	PLATE
PSL =	PARALLEL STRAND LUMBER
PT =	PRESSURE TREATED
RD =	ROOF DRAIN
REINF = RTU =	REINFORCING ROOF TOP UNIT
SDS =	SELF DRILLING SCREWS
SIM =	SIMILAR
SINI = SL =	STEP LEDGE
SOMD =	SLAB ON METAL DECK
SPA =	SPACE or SPACES
SRD =	SECONDARY ROOF DRAIN
STIFF =	STIFFENER
JIII -	STEEL
STI =	STEP TOP OF WALL
STL =	
STW =	
STW = T/ =	TOP OF
STW = T/ = UNO =	TOP OF UNLESS NOTED OTHERWISE
STW = T/ = UNO = VB =	TOP OF UNLESS NOTED OTHERWISE VERTICAL BRACING
STW = T/ = UNO = VB = VERT =	TOP OF UNLESS NOTED OTHERWISE VERTICAL BRACING VERTICAL
STW = T/ = UNO = VB =	TOP OF UNLESS NOTED OTHERWISE VERTICAL BRACING

ABBREVIATIONS



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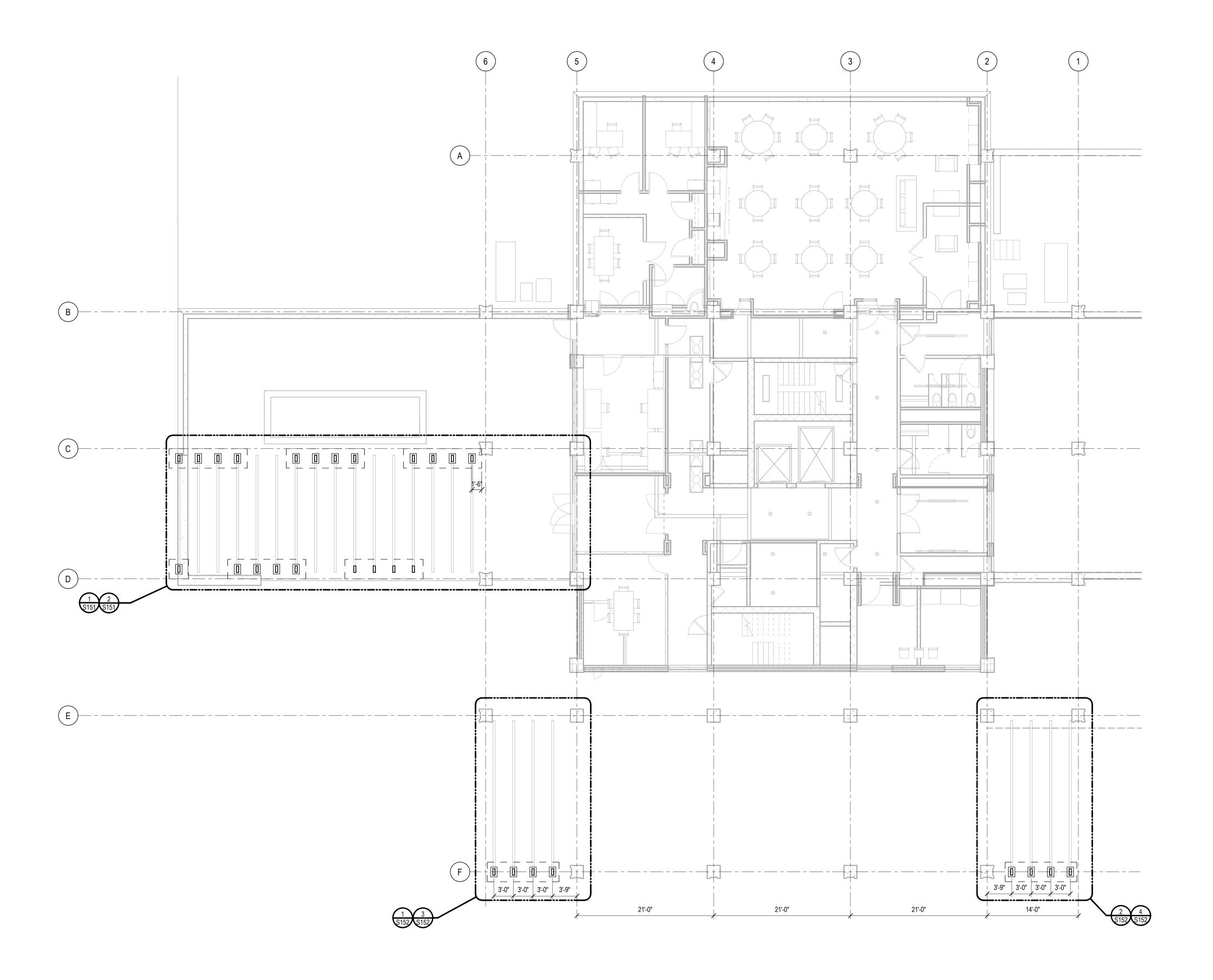
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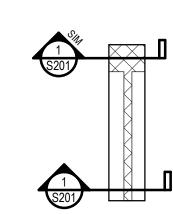
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SPECIAL INSPECTIONS

SUU









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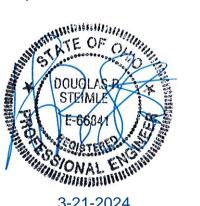
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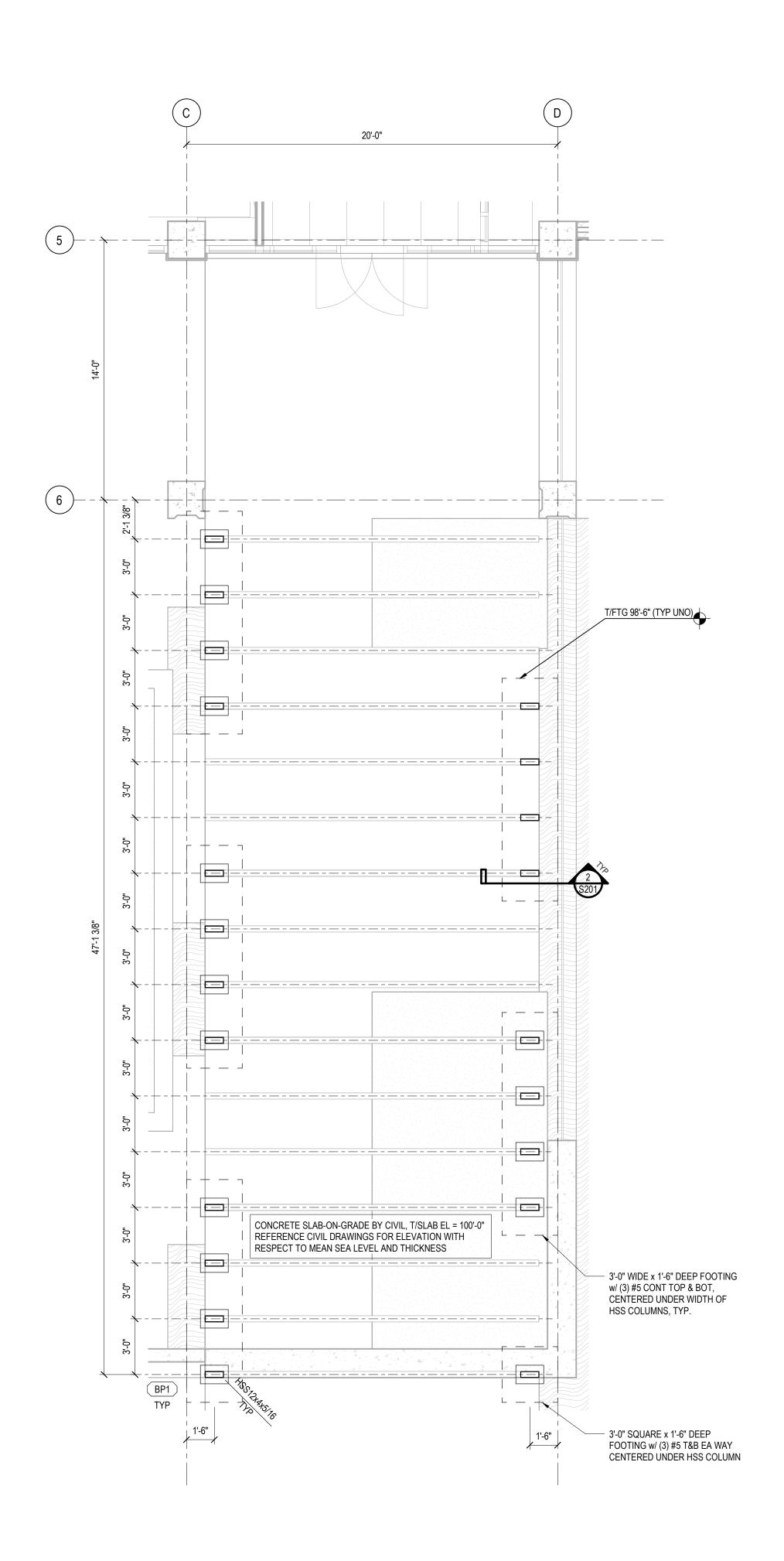
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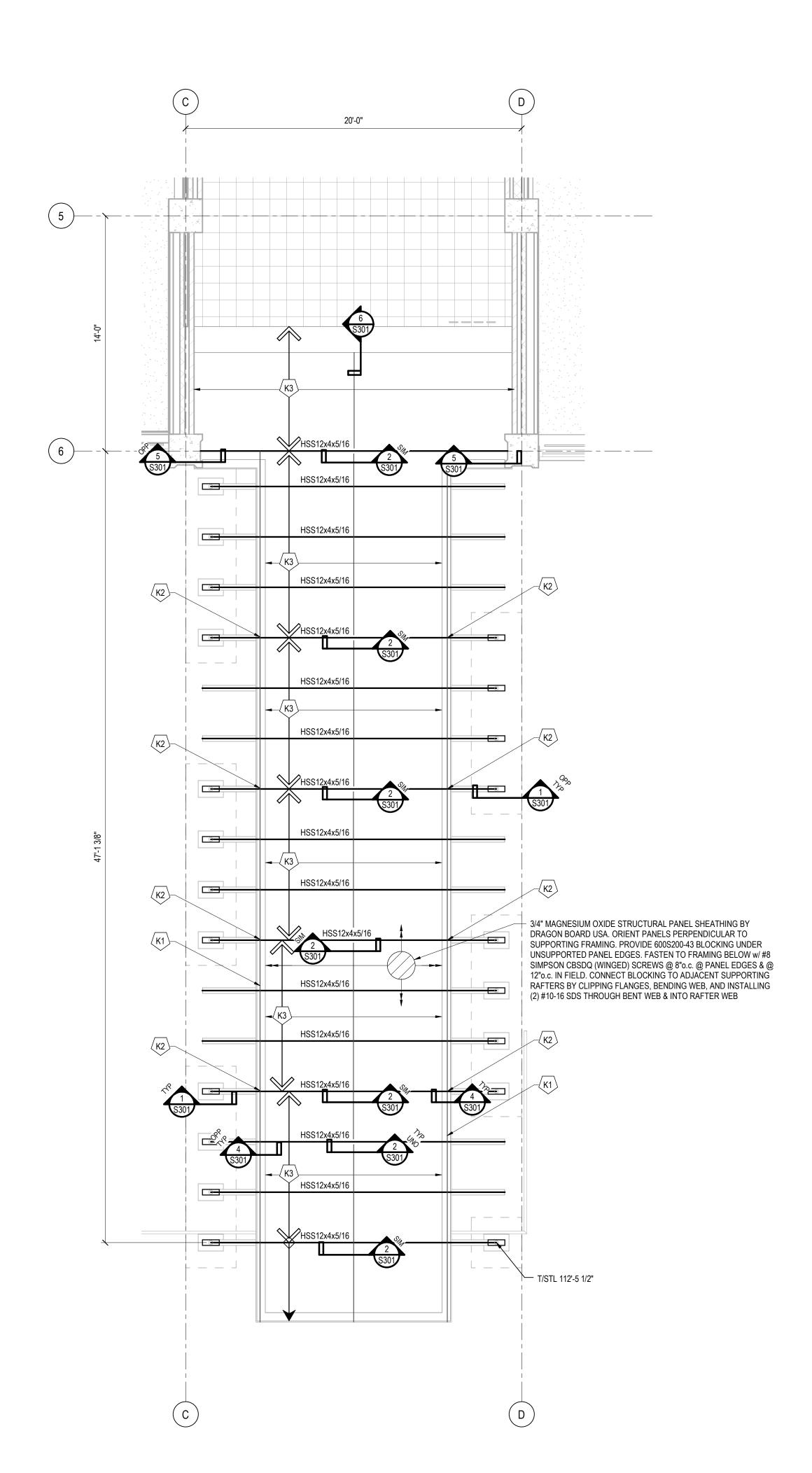
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FOUNDATION PLAN







ENLARGED CANOPY FRAMING PLAN 2
NTS S151



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FRAMING KEYNOTES

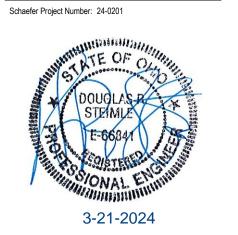
RAFTER SPLICE.
3. 600S200-43 @ 16"o.c.

 (2)600S200-43 TOE-TO-TOE @ EDGE OF ROOF FRAMING CONTINUOUS THROUGHOUT LENGTH OF CANOPY.
 INDICATES ACCEPTABLE LOCATION OF DOUBLE

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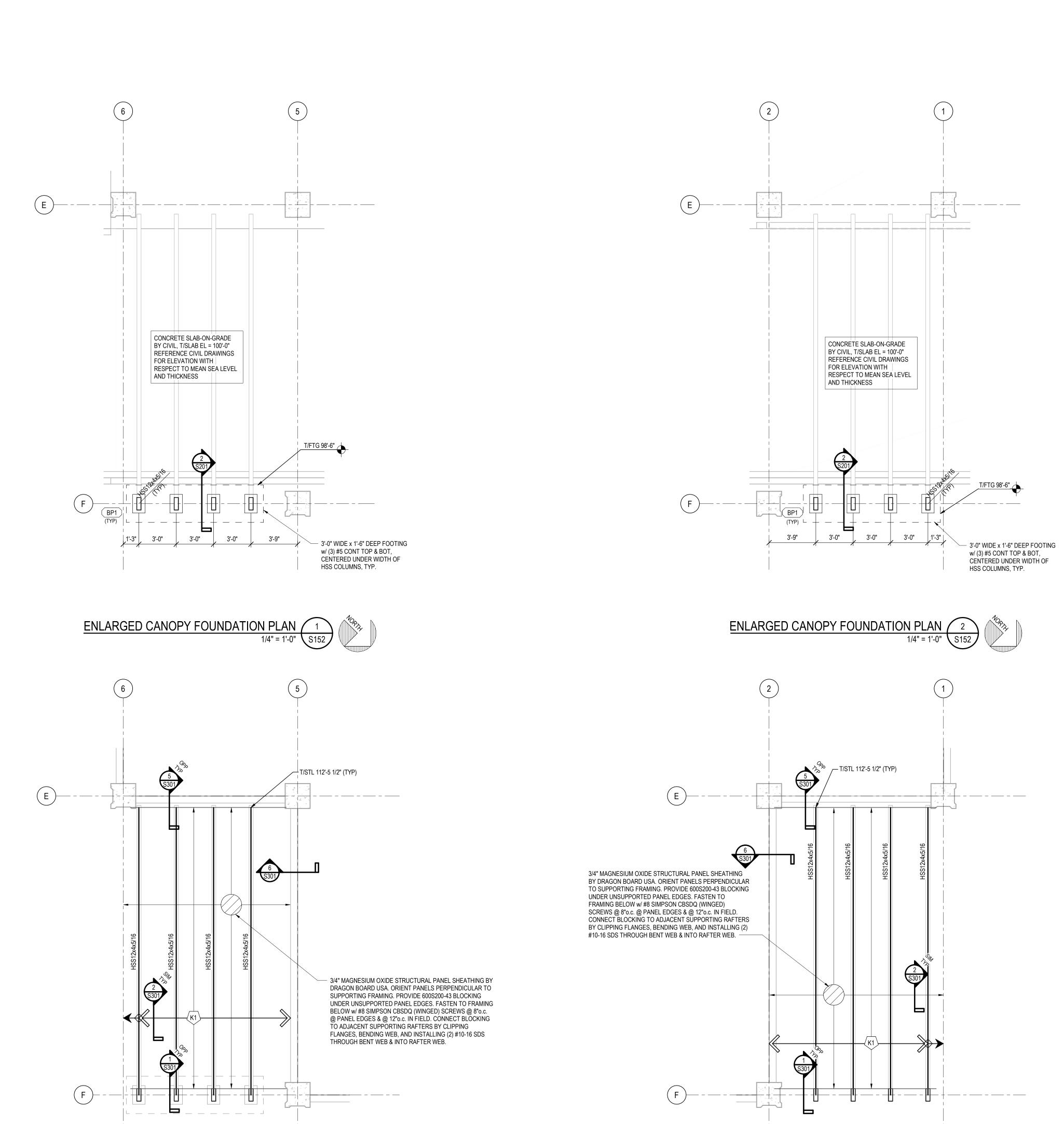
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ENLARGED CANOPY PLANS

S15'



ENLARGED CANOPY ROOF PLAN

1/4" = 1'-0"

(S152)

ENLARGED CANOPY ROOF PLAN

3

1/4" = 1'-0"

S152

ARCHITECTS

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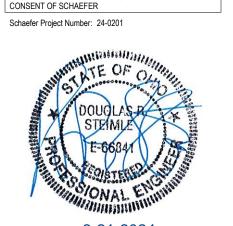
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FRAMING KEYNOTES
1. 600S200-43 @ 16"o.c.

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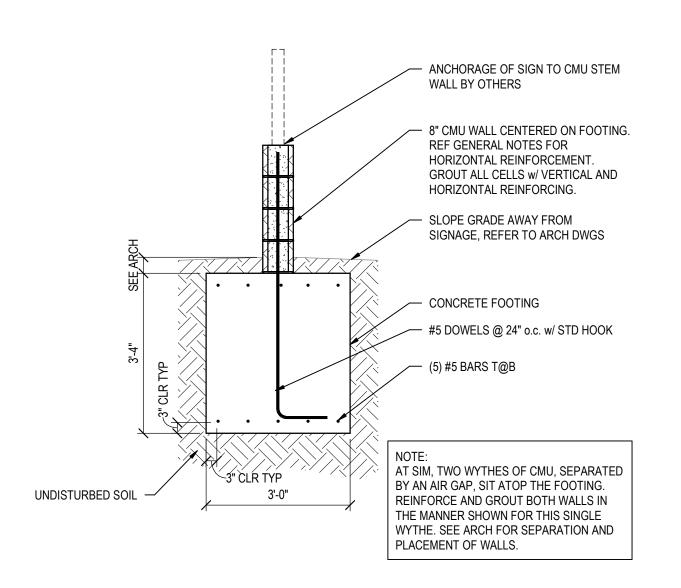
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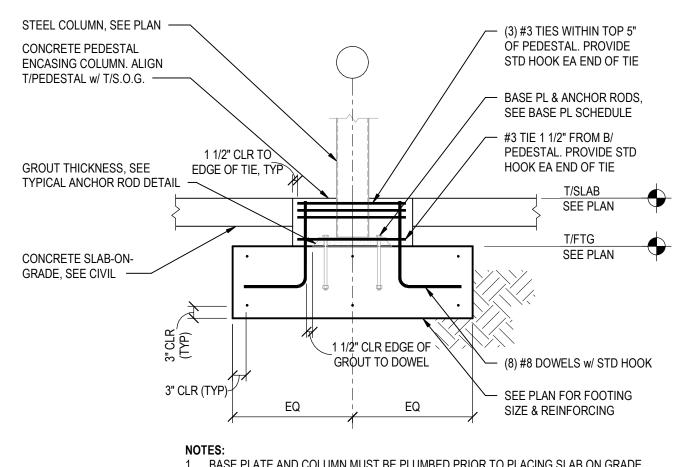
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ENLARGED CANOPY PLANS

S152





1. BASE PLATE AND COLUMN MUST BE PLUMBED PRIOR TO PLACING SLAB ON GRADE

AND ERECTING STEEL FRAMING. 2. AT CONTRACTOR'S OPTION, BITUMINOUS COATING BELOW SLAB MAY BE SUBSTITUTED WITH EITHER FINISH DESCRIBED BELOW FOR B/COLUMN & BASE PLATE:

Output

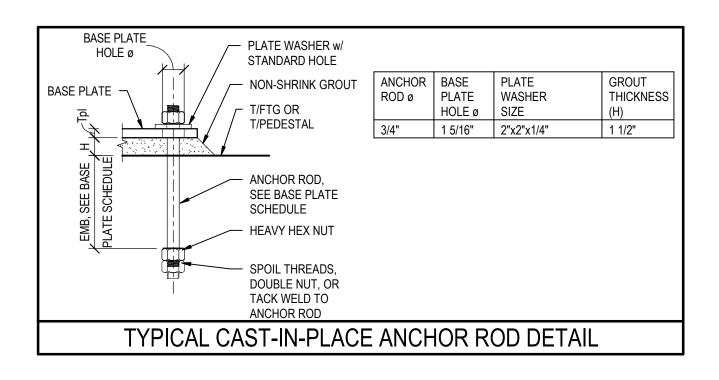
Description:

Output

Descri a. HOT DIPPED GALVANIZED WITH MIN DRY FILM THICKNESS OF 4 MILS. b. CLEANED PER SSPC-SP6, PRIMED WITH ZINC RICH PRIMOR (DRY FILM THICKNESS 2.5 TO 3.5 MILS), & FINISH PAINTED WITH 2 COATS ALIPHATIC

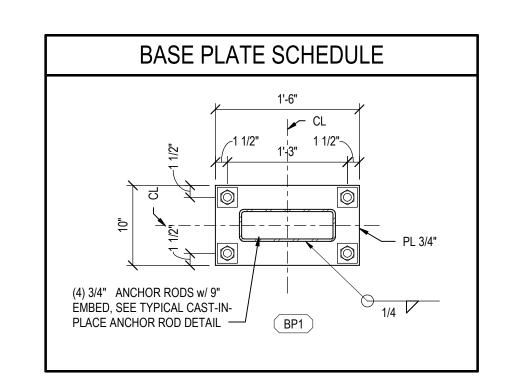






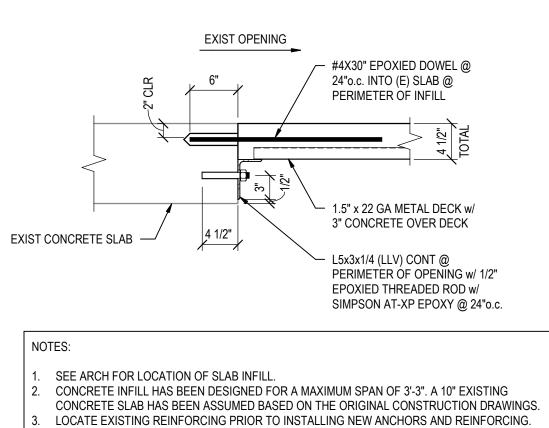
(4) SIDE COVER NORMAL TO PLANE OF HOOK≥ 6db

iii. Ldh SHALL NOT BE LESS THAN THE LARGER OF 8db OR 6" WITH REDUCTIONS APPLIED

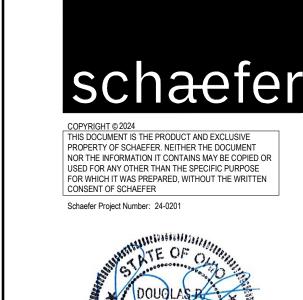


		E>	EXPOSURE CLASS			MINIMUM fc AT 28	MAXIMUM		MINIMUM CEMENTITIOUS	
	DESCRIPTION	F	S	W	С	DAYS (PSI)	w/c RATIO	AIR CONTENT	MATERIAL (LB/CY)	REMARKS
	FOOTINGS AND GRADE BEAMS	F0	S0	W0	C0	3000				
В	PEDESTALS	F2	S0	W0	C1	4500	0.45	6% ±1.5%		1
	IIXTURE NOTES: 1IX DESIGNS IN ACCORDANCE WITH ACI 301-16 FOR SPECIFIED EXPOSURE CL	ASS AND AGGRE	GATE.							

COTINOS (fl	2000BOI\			TILDULL OF TEN	SIOIV DEVELO	OPMENT AND LAP S					
OOTINGS (f'c =				T		PEDESTALS (f'c =					
	Lo		L				L		L		
BAR SIZE	OTHER BARS	TOP BARS	OTHER BARS	TOP BARS	Ldh	BAR SIZE	OTHER BARS	TOP BARS	OTHER BARS	TOP BARS	Ldh
# 0	(in)	(in)	(in)	(in)	(in)	//0	(in)	(in)	(in)	(in)	(in)
#3	17	22	22	28	8	#3	12	12	16	16	7
#4	22	29	29	38	12	#4	12	14	16	19	11
#5	28	36	36	47	16	#5	14	18	18	23	15
#6	33	43	43	56	21	#6	17	21	21	28	20
#7	48	63	63	81	27	#7	24	31	31	40	24
#8 #9	55 62	72	72 81	93 105	32 39	#8 #9	27	35 44	35 44	46	30
		81				** *	34			57	36
#10 #11	70 78	91 101	91 101	118 131	46 54	#10 #11	42 50	54 65	54 65	70 84	42 50
#11 #14	93	121	121	157	71	#14	68	88	88	115	65
	I 93 I OPMENT TABLE CRI		121	157	/ 1		<u>l </u>		00	110	00
i. FOR LIGHT i. FOR LIGHT C. CLEAR COVEF D. MIN 2*db CLEAF FOR BARS THAT #6 AND SMALLEF #7 AND LARGER: FOR TOP BARS M MINIMUM Ld AND	WEIGHT CONCRETE R GREATER THAN db AR SPACING BETWEI DO NOT MEET THE R: Ld = 66 BAR DIAME Ld = 83 BAR DIAME MULTIPLY BY 1.3	E: MULTIPLY Ld, L EN BARS CLEAR COVER C ETERS; Ls = 86 BA TERS; Ls = 107 BA	s, Ldh BY 1.33 OR CLEAR SPACING AR DIAMETERS AR DIAMETERS NS:			B. NORMAL WEIG i. FOR LIGHT C. 2" MIN CLEAR D. 4" MIN CLEAR FOR BARS THAT #6 AND SMALLER	WEIGHT CONCRETE COVER SPACING BETWEEN DO NOT MEET THE THE LICE Ld = 54 BAR DIAME Ld = 68 BAR DIAME MULTIPLY BY 1.3	E: MULTIPLY Ld, L N BARS CLEAR COVER (ETERS; Ls = 70 B/	.s, Ldh BY 1.33 DR CLEAR SPACING AR DIAMETERS	G INDICATED:	
D. Ath = TOTAL A E. Ahs = TOTAL A F. WHERE BARS G. ALL TENSION H. Ldh VALUES F	O-CENTER BAR SPA REA OF TIES OR STI AREA OF HOOKED BA OF DIFFERENT SIZE SPLICES SHALL BE OR #11 BARS AND S Y 0.625 FOR (1) OR (1	IRRUPS CONFINI ARS BEING DEVE S ARE SPLICED, CLASS B, UNLES MALLER MAY BE	LOPED Ls FOR THE LARGE S NOTED OTHERWI	SE							



AVOID DAMAGING ALL (E) REINFORCING DURING DRILLING AND INSTALLATION.



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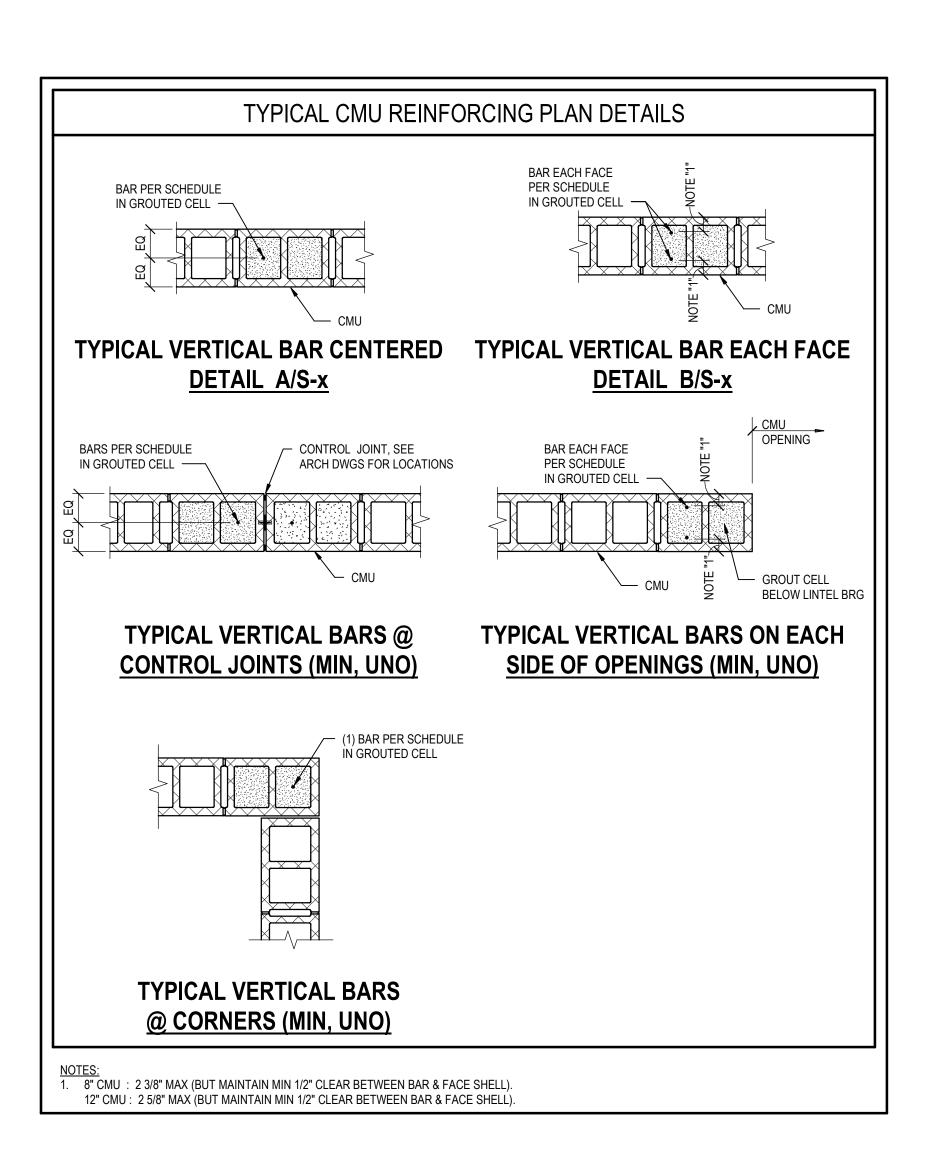
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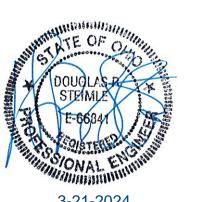
TYPICAL FOUNDATION DETAILS & SECTIONS



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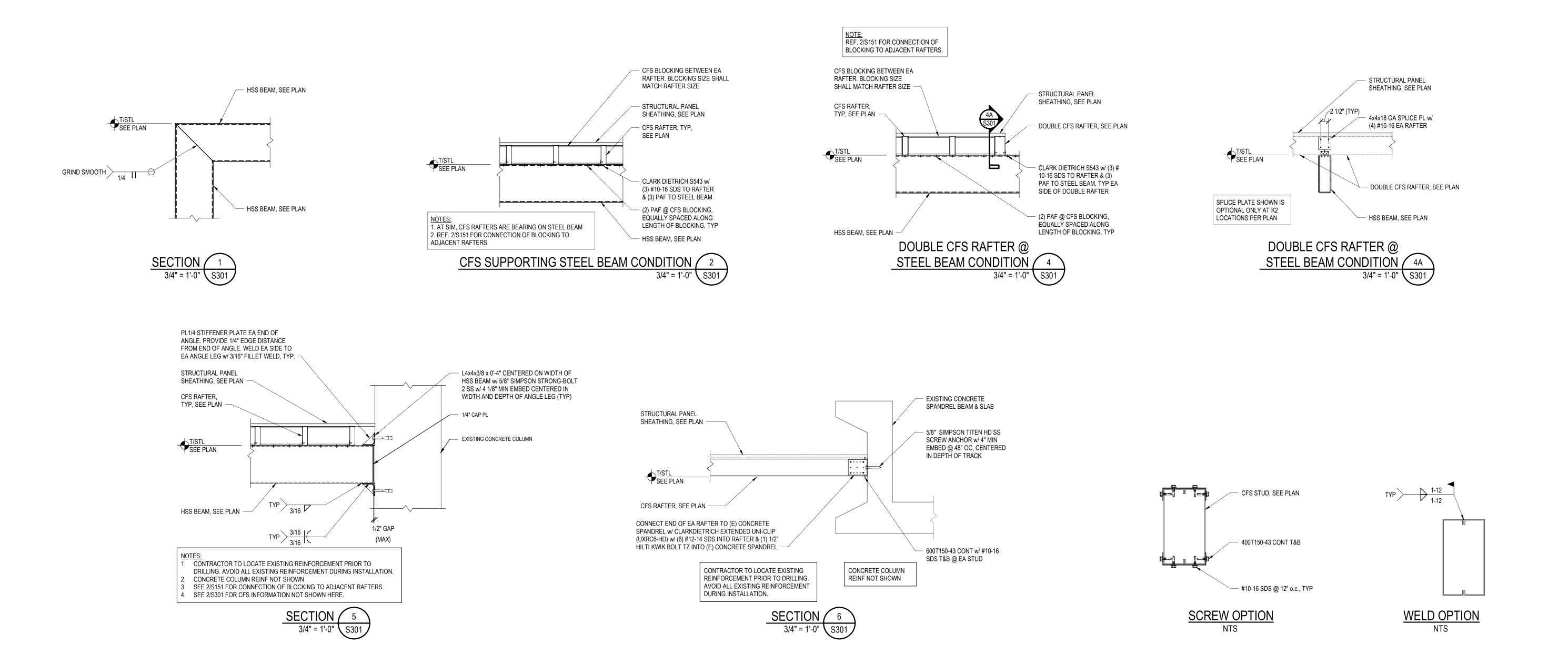
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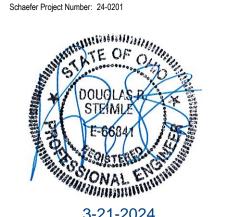


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TYPICAL FRAMING DETAILS & SECTIONS

S30

PLUMBING SPECIFICATIONS

1. GENERAL PROVISIONS

- A. THE PROVISIONS OF THE INSTRUCTIONS TO BIDDERS, GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS, ALTERNATES, ADDENDA'S', AND DIVISION 1 ARE A PART OF THIS SPECIFICATION. CONTRACTORS AND SUBCONTRACTORS SHALL EXAMINE SAME AS WELL AS OTHER DIVISIONS OF THE SPECIFICATIONS WHICH AFFECT
- B. THIS CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, SUPPLIES, SERVICES, AND SHALL PERFORM ALL WORK COMPLETE AND IN STRICT ACCORDANCE WITH THIS SPECIFICATION AND APPLICABLE DRAWINGS. ANY DEVIATIONS
- C. THIS CONTRACTOR IS INSTRUCTED TO READ CAREFULLY THE SPECIFICATIONS FOR ALL PARTS OF THE WORK, WHICH INCLUDE THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION, CIVIL, STRUCTURAL AND ALL OTHER DRAWINGS AS WELL AS THE SPECIFICATIONS FOR ALL THE DIVISIONS THAT ARE PART OF THE CONTRACT DOCUMENTS.

SHALL BE CLEARLY DEFINED AND ITEMIZED IN ACCORDANCE WITH SECTION 10.F OF THIS SPECIFICATION.

- D. ALL ITEMS OF LABOR, MATERIAL AND EQUIPMENT NOT SPECIFICALLY MENTIONED HEREIN OR SHOWN ON PLANS, BUT INCIDENTAL TO, OR REQUIRED FOR THE COMPLETE INSTALLATION AND PROPER OPERATION OF THE WORK, SHALL BE FURNISHED AS IF CALLED FOR IN DETAIL BY THE SPECIFICATIONS OR DRAWINGS.
- E. AS USED IN THIS SPECIFICATION, "PROVIDE" MEANS "FURNISH AND INSTALL". "FURNISH" MEANS "TO PURCHASE AND DELIVER TO THE PROJECT SITE COMPLETE WITH EVERY NECESSARY APPURTENANCE AND SUPPORT," AND "INSTALL" MEANS "TO UNLOAD AT THE DELIVERY POINT AT THE SITE AND PERFORM EVERY OPERATION NECESSARY FOR PROPER INSTALLATION PER CODES AND MANUFACTURERS REQUIREMENTS, TO ESTABLISH SECURE MOUNTING AND CORRECT OPERATION AT THE PROPER LOCATION IN THE PROJECT.

2. PERMITS, CODES, INSPECTIONS, AND TESTS

- A. THE PLUMBING CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR THE PROSECUTION OF PLUMBING WORK. ALL PERMITS AND CERTIFICATES OF INSPECTION AND APPROVAL SIGNED BY THE CONTROLLING BUILDING DEPARTMENT SHALL BECOME PROPERTY OF THE OWNER.
- B. DRAWINGS INDICATE THE MINIMUM DESIGN REQUIREMENTS. NATIONAL, STATE, AND LOCAL CODES SHALL BE FOLLOWED. COMPLY WITH THE LATEST EDITIONS OF THE LOCAL GOVERNING PLUMBING CODE, LOCAL GOVERNING MECHANICAL CODE. AND NFPA STANDARDS. THE CONTRACTOR SHALL INCLUDE THE COST OF SATISFYING SUCH CODES AND STANDARDS IN HIS BID.FOLLOWING COMPLETION OF THE PLUMBING WORK, FURNISH TO THE OWNER,

IN DUPLICATE, CERTIFICATES OF INSPECTION AND APPROVAL BY REGULATORY AGENCIES HAVING JURISDICTION.

- (1) DEMONSTRATE TO THE OWNER'S SATISFACTION THE PROPER OPERATION OF EACH OF THE SYSTEMS COMPRISING THIS CONTRACT BEFORE FINAL PAYMENT.
- (2) IMMEDIATELY CORRECT ANY WORK FOUND AT VARIANCE WITH THESE SPECIFICATIONS, THE NATIONAL, STATE, AND LOCAL CODES, AND REQUIREMENTS OF GOVERNING REGULATORY AGENCIES.
- (3) TEST PIPING FOR LEAKS; REPAIR LEAKS IN COPPER TUBING BY SWEATING OUT JOINTS, THOROUGHLY CLEANING BOTH TUBE AND FITTING, AND RE-SOLDERING OR RE-BRAZING; CORRECT LEAKS IN SCREWED JOINTS BY REPLACING THREAD OR FITTING OR BOTH.
- a. DOMESTIC WATER SHALL BE TESTED WITH WATER AT A PRESSURE OF 125 PSI FOR 6 HOURS.
- b. NATURAL GAS SHALL BE TESTED WITH COMPRESSED AIR AT A PRESSURE OF 1-1/2 TIMES THE PROPOSED MAXIMUM WORKING PRESSURE (BUT NOT LESS THAN 3 PSI) FOR 24 HOURS. TESTING PROCEDURE SHALL CONFORM TO NFPA 54 "NATIONAL FUEL GAS CODE" AND ICC FUEL GAS CODE REQUIREMENTS.
- c. Sanitary drain and vent and storm piping shall be tested with water per governing plumbing CODE AND THE LOCAL AUTHORITY.
- 3. VISIT TO THE SITE A. THE CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND BECOME FAMILIAR WITH ALL CONDITIONS AFFECTING THE WORK. THE SUBMISSION OF A PROPOSAL SHALL PRESUPPOSE KNOWLEDGE OF ALL SUCH CONDITIONS AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED WHERE EXTRA LABOR OR MATERIALS ARE REQUIRED BECAUSE OF IGNORANCE OF THESE CONDITIONS.
- 4. PROTECTION A. THE PLUMBING CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FROM DIRT AND WATER DURING

5. EQUIPMENT AND MATERIALS A. ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND SHALL CONFORM TO UNDERWRITERS' LABORATORIES STANDARDS, WHERE APPLICABLE. WHERE SPECIFICATIONS DESCRIBE, OR PLANS SHOW, MATERIALS OR EQUIPMENT OF HIGHER QUALITY THAN REQUIRED BY CODE AND LOCAL RULING, THE DRAWINGS AND SPECIFICATIONS SHALL

CONSTRUCTION NECESSITATED BY PLUMBING WORK. PROTECTION METHODS ARE SUBJECT TO APPROVAL BY THE

B. THE CONTRACTOR SHALL SUBMIT PROOF, IF REQUESTED BY THE OWNER THAT THE MATERIALS, APPLIANCES EQUIPMENT OR DEVICES FURNISHED AND INSTALLED UNDER THIS CONTRACT, MEET THE REQUIREMENTS OF THE UNDERWRITERS' LABORATORIES. INC., AS REGARDS FIRE AND CASUALTY HAZARDS. THE LABEL OF OR LISTING BY THE UNDERWRITERS' LABORATORIES. INC. WILL BE ACCEPTED AS CONFORMING WITH THIS REQUIREMENT. IN LIEU OF THE LABEL OR LISTING, THE CONTRACTOR MAY SUBMIT INDEPENDENT PROOF SATISFACTORY TO THE ARCHITECT THAT THE MATERIALS, APPLIANCES OR DEVICES CONFORM TO THE PUBLISHED STANDARDS, INCLUDING METHODS OF TEST OF THE UNDERWRITERS' LABORATORIES, INC. UNDERWRITERS' LABORATORIES, INC. AND ITS PUBLICATIONS WILL BE REFERRED TO HEREINAFTER BY THE ABBREVIATION UL, WITH OR WITHOUT ADDITIONAL IDENTIFYING SYMBOLS.

6. GUARANTEE

A. THE PLUMBING CONTRACTOR SHALL GUARANTEE FOR A PERIOD OF ONE YEAR THAT ALL WORK AND EQUIPMENT WILL REMAIN FREE FROM ALL DEFECTS IN WORKMANSHIP AND MATERIALS, AND THAT IT WILL COMPLY WITH ALL THE SPECIFIC REQUIREMENTS OF THE SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS GOVERNING THE WORK. B. ALL WORK FOUND BY THE ENGINEER TO BE DEFECTIVE WILL BE REPLACED WITH NEW WORK MEETING ALL THE REQUIREMENTS OF THE CONTRACT. THE PLUMBING CONTRACTOR WILL BEAR ALL COSTS OF SUPPLYING SUCH

NEW WORK, AND INSTALLING AND FINISHING SAME, AND WILL ASSUME ALL COSTS FOR REPLACING OTHER WORK

DAMAGED BY THE REMOVAL AND REPLACEMENT OF ANY OF THE WORK. THE PLUMBING CONTRACTOR WILL BEAR

ALL COSTS FOR FREIGHT, DRAYAGE AND DEMURRAGE, AND ALL LABOR IN CONNECTION THEREWITH. 7. CUTTING, PATCHING, FIRESTOPPING AND PAINTING

GOVERN THE QUALITY OF THE MATERIAL OR EQUIPMENT.

- A. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING ALL HOLES REQUIRED FOR INSTALLATION OF PLUMBING WORK. HOLES SHALL BE CUT IN A NEAT MANNER SATISFACTORY TO THE ARCHITECT. B. CONTRACTOR SHALL EMPLOY AN BUILDING OWNER APPROVED ROOFING CONTRACTOR FOR ALL ROOF
- C. UNLESS NOTED OTHERWISE, ALL HOLES OR DAMAGE CAUSED BY THE REMOVAL OF EXISTING WORK OR THE INSTALLATION OF NEW WORK SHALL BE PROPERLY PATCHED BY THIS CONTRACTOR. HOLES SHALL BE NEATLY PATCHED AND PAINTED WITH SUITABLE MATERIAL TO MATCH EXISTING SURFACES. HOLES THROUGH FLOORS OR FIRE WALLS SHALL BE SEALED WITH THE APPROPRIATE INTUMESCENT CAULK, PUTTY, STRIP OR SHEET TYPE FIRE BARRIFR PRODUCT
- D. FIRESTOP SYSTEM (REQUIRED FIRESTOPPING MATERIALS) SHALL BE DETERMINED BY THE WALL OR FLOOR/CEILING ASSEMBLY AND PENETRATION TYPE AND SHALL BE UL LISTED AND TESTED IN ACCORDANCE WITH ASTM E814. FIRE RATING OF THE FIRESTOP SYSTEM SHALL BE EQUIVALENT TO THE ASSEMBLY WHICH IS PENETRATED.
- E. ACCEPTABLE FIRE BARRIER PRODUCTS: HILTI "FS-ONE", NELSON "FLAMESEAL" OR APPROVED EQUAL AS MANUFACTURED BY 3M.

8. EXCAVATING, TRENCHING, AND BACKFILLING:

- A. FURNISH MATERIALS, TOOLS, LABOR AND SUPERVISION NECESSARY TO PROVIDE ALL EXCAVATING, TRENCHING AND BACKFILLING REQUIRED FOR THE PROPER INSTALLATION OF EQUIPMENT AND PIPING.
- B. EXACT ROUTING OF TRENCHING SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED, IN ADVANCE, BY THE OWNER.
- C. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES.

PENETRATIONS. ROOF SHALL BE REPAIRED SO AS NOT TO VOID ROOF WARRANTY.

D. WHERE TRENCHES ARE EXCAVATED SUCH THAT THE BOTTOM OF THE TRENCH FORMS THE BED FOR THE PIPE. SOLID AND CONTINUOUS LOAD-BEARING SUPPORT SHALL BE PROVIDED BETWEEN JOINTS. BELL HOLES, HUB HOLES AND COUPLED HOLES SHALL BE PROVIDED AT POINTS WHERE THE PIPE IS JOINED. SUCH PIPE SHALL NOT BE SUPPORTED ON BLOCKS TO GRADE.

9. CLEANING AND PAINTING

- A. CLEAN NEW PIPING AFTER WORK IS COMPLETE TO REMOVE PIPE DOPE, LOOSE MILL SCALE AND OTHER EXTRANEOUS MATERIALS.
- B. TOUCH UP AND REPAIR ANY DAMAGED FACTORY FINISHES ON EQUIPMENT AND MATERIALS FURNISHED. OTHER PAINTING WILL BE DONE UNDER THE PAINTING DIVISION OF THE SPECIFICATIONS.

10. COORDINATION AND CONDUCT OF WORK

- A. PLUMBING CONTRACTOR SHALL COORDINATE ALL NEW (GAS, DOMESTIC WATER, SANITARY) UTILITY CONNECTIONS AND METERING REQUIREMENTS WITH LOCAL UTILITY COMPANY. B. PLUMBING DRAWINGS ARE DIAGRAMMATIC. INDICATING GENERAL ARRANGEMENT. APPROXIMATE SIZES. GENERAL
- LOCATIONS OF EQUIPMENT. AND PIPING. VERIFY DIMENSIONS IN FIELD: ADJUST TO MANUFACTURER'S SHOP DRAWINGS. DO NOT SCALE DRAWINGS. C. ALL REQUESTS FOR INFORMATION SUPPLEMENTAL TO THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED IN

WRITING TO THE ARCHITECT FOR DISTRIBUTION TO THE APPROPRIATE PARTY(S).

- D. DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS SUPPLEMENTING EACH OTHER. WORK SPECIFIED BUT NOT SHOWN, OR SHOWN BUT NOT SPECIFIED, SHALL BE PERFORMED OR FURNISHED AS THOUGH MENTIONED IN BOTH SPECIFICATIONS AND DRAWINGS.
- E. ARCHITECTURAL AND STRUCTURAL DRAWINGS SUPERSEDE PLUMBING DRAWINGS. DETERMINE THAT WORK OF THIS DIVISION CAN BE ACCOMMODATED WITHIN SPACES PROVIDED. NOTIFY ARCHITECT OF ANY INTERFERENCES BEFORE
- F. DETERMINE SIZES. LOCATIONS FOR CHASES AND OPENINGS NECESSARY FOR INSTALLATION OF PLUMBING WORK. COOPERATE WITH OTHER TRADES IN SETTING SLEEVES, INSERTS AND HANGERS.
- G. COORDINATE THIS WORK WITH ALL TRADES. ARRANGE OPERATIONS SO AS NOT TO DELAY INSTALLATION OR COMPLETION OF ANY PARTS OF INTERRELATED WORK SO THAT CONSTRUCTION MAY PROCEED ON SCHEDULE. H. COOPERATE WITH ALL TRADES IN PREPARING INTERFERENCE DRAWINGS FOR AREAS WHERE THERE IS POSSIBLE

CONFLICT BETWEEN TRADES. EXACT LOCATION OF PIPES, AND EQUIPMENT SHALL BE BASED ON FIELD

- MEASUREMENTS WITH FINAL ARRANGEMENT DETERMINED BY INTRA-TRADE AGREEMENTS SUBJECT TO ARCHITECT'S I. ARCHITECT RESERVES THE RIGHT TO MAKE REASONABLE CHANGES IN INDICATED LOCATIONS WITHOUT EXTRA COST
- TO THE OWNER. J. ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER BY FIRST-CLASS MECHANICS. THE
- CONTRACTOR SHALL PROVIDE ADEQUATE AND COMPETENT SUPERVISION OF THE JOB AS REQUIRED. K. PIPING AND EQUIPMENT SHALL BE ARRANGED SUBSTANTIALLY AS INDICATED. ANY CHANGE RESULTING IN A SAVINGS IN LABOR OR MATERIAL SHALL BE MADE ONLY IN ACCORDANCE WITH A CONTRACT CHANGE ORDER. DEVIATIONS SHALL BE MADE ONLY WHERE NECESSARY TO AVOID INTERFERENCES AND ONLY AFTER DRAWINGS
- SHOWING THE PROPOSED DEVIATIONS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ARCHITECT. L. COORDINATE ALL SHUTDOWNS OF THE PLUMBING SYSTEM IN ADVANCE WITH THE OWNER.

11. SUBMITTALS

A. PROVIDE A MINIMUM OF SIX (6) SUBMITTAL DRAWINGS FOR PLUMBING FIXTURES, EQUIPMENT, AND ALL OTHER SPECIFIED COMPONENTS FOR APPROVAL BY THE ARCHITECT AND ENGINEER. B. WHERE ONLY ONE MAKE OF EQUIPMENT IS NAMED, IT SHALL BE PROVIDED AS SPECIFIED.

- C. VERBAL REQUESTS OF APPROVALS FOR ANY SUBSTITUTION WILL NOT BE BINDING ON THE ARCHITECT AND OWNER. D. THIS CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ALL COSTS FOR REDESIGN CHANGES NECESSARY BY ALL
- TRADES TO ACCOMMODATE THE USE OF EQUIPMENT NOT SPECIFIED ON PROJECT DOCUMENTS. E. BIDS SHALL BE BASED UPON THE SPECIFIED PRODUCTS OR LISTED ALTERNATIVES. DRAWINGS AND SPECIFICATIONS ARE BASED ON THE PRODUCTS SPECIFIED BY TYPE, MODEL, AND SIZE AND THUS ESTABLISH MINIMUM QUALITIES, WHICH SUBSTITUTES MUST MEET TO QUALIFY FOR REVIEW
- F. SHOULD THE CONTRACTOR PROPOSE TO FURNISH MATERIALS, EQUIPMENT, AND DEVICES, OTHER THAN THOSE SPECIFIED AND LISTED. THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR SUBSTITUTIONS. TO THE ENGINEER, AT LEAST FOURTEEN (14) CALENDAR DAYS PRIOR TO BID OPENING. THE REQUEST SHALL BE AN ALTERNATE TO THE ORIGINAL BID AND SHALL INCLUDE AND BE ACCOMPANIED WITH COMPLETE SPECIFICATIONS CUT SHEET SUBMITTAL AS OUTLINED IN SECTION 11.A OF THIS SPECIFICATION SECTION, COMPLETE WITH DESCRIPTIVE (MANUFACTURER, BRAND NAME, CATALOG NUMBER, ETC.) AND TECHNICAL DATA FOR ALL ITEMS. INDICATE ANY ADDITIONS OR DEDUCTIONS TO THE CONTRACT PRICE WITH THE SUBSTITUTION SUBMITTAL AND ON THE BID FORM. FAILURE TO PERFORM THESE ACTIONS EQUATES TO ACKNOWLEDGEMENT THAT THE PROJECT HAS BEEN BID WITH STRICT ACCORDANCE TO THIS SPECIFICATION AND APPLICABLE DRAWINGS.
- G. ACCEPTANCE OR REJECTION OF THE PROPOSED SUBSTITUTIONS SHALL BE SUBJECT TO APPROVAL OF THI ARCHITECT AND ENGINEER. IF REQUESTED, THE CONTRACTOR SHALL SUBMIT INSPECTION SAMPLES OF BOTH THE SPECIFIED AND THE PROPOSED SUBSTITUTE ITEMS.
- H. IF ANY SUBSTITUTIONS ARE APPROVED, AN ADDENDUM LISTING THE APPROVED ITEM(S) WILL BE ISSUED TO ALL BIDDING CONTRACTORS PRIOR TO THE BID DATE.
- I. IN ALL CASES WHERE SUBSTITUTIONS ARE PERMITTED, THE CONTRACTOR SHALL BEAR ANY EXTRA COST OF EVALUATING THE EQUALITY OF THE MATERIAL AND EQUIPMENT TO BE INSTALLED. J. WHERE ONLY ONE MAKE IS NAMED IN THE SPECIFICATIONS OR ON THE DRAWINGS, IT SHALL BE PROVIDED.

K. VERBAL REQUESTS OR APPROVALS SHALL NOT BE BINDING ON THE ENGINEER OR OWNER. 12. EQUIPMENT AND PIPING IDENTIFICATION

- A. LABEL ALL PIPING SYSTEMS WITH PIPE MARKERS INSTALLED ADJACENT TO VALVES, WHERE PIPES PASS THROUGH WALLS OR FLOORS, NEAR ALL BRANCHES AND CHANGES OF DIRECTION, AT 20 FEET INTERVALS ON STRAIGHT RUNS OF PIPE, AND AT ACCESS DOOR LOCATIONS. ALL PIPE MARKERS SHALL CONFORM TO ANSI A13.1 "SCHEME FOR THE IDENTIFICATION OF PIPING SYSTEMS".
- B. THE CONTRACTOR SHALL FURNISH AND INSTALL A SYSTEM OF NAMEPLATES DESIGNED TO IDENTIFY EACH PIECE OF EQUIPMENT.
- (1) NAMEPLATE LETTER AND NUMBERS SHALL MATCH EQUIPMENT DESIGNATION AS INDICATED ON THE DRAWINGS. (2) NAMEPLATES SHALL BE LAMINATED PHENOLIC WITH BLACK SURFACE AND WHITE CORE. USE 1/16" THICK MATERIAL FOR PLATES UP TO 2" BY 4". FOR LARGER SIZES USE 1/8" THICK. LETTERS AND NUMBERS SHALL BE A MINIMUM OF 1/2" HIGH.
- (3) FASTEN NAMEPLATES TO ALL EQUIPMENT BY THE USE OF STAINLESS STEEL SHEET METAL SCREWS.

13. AS-BUILT DRAWINGS

- A. AS WORK PROGRESSES, RECORD ON A SET OF "AS-BUILT" PRINTS ANY DEVIATIONS FROM DESIGN DRAWINGS. DELIVER TO THE OWNER BEFORE SUBMITTING REQUEST FOR FINAL PAYMENT. THE "AS-BUILT" PRINTS SHALL BE AN ACCURATE DEPICTION OF THE PROJECT AS COMPLETED. 14. OPERATING AND MAINTENANCE MANUALS
- A. PROVIDE TO OWNER, AT PROJECT TURNOVER, THREE (3) HARDBOUND COPIES OF OPERATING AND MAINTENANCE MANUALS FOR ALL EQUIPMENT AND SYSTEMS INSTALLED. MANUALS SHALL INCLUDE ALL RELEVANT INFORMATION NEEDED FOR DAY-TO-DAY OPERATION AND MANAGEMENT OF EACH SYSTEM, AS WELL AS EQUIPMENT MAINTENANCE INFORMATION REQUIRED TO SUPPORT THE MAINTENANCE PROGRAM.

15. OPERATING INSTRUCTIONS

A. PROVIDE TO OWNER AFTER ALL EQUIPMENT IS IN OPERATION AND AT AN AGREEABLE TIME, INSTRUCTIONS FOR THE PURPOSE OF TRAINING OWNER'S PERSONNEL IN ALL PHASES OF OPERATION AND MAINTENANCE OF EQUIPMENT AND SYSTEMS. SCHEDULE TRAINING WITH OWNER, PROVIDE AT LEAST SEVEN DAYS PRIOR NOTICE PROVIDE THIS TRAINING TO ALL PERSONNEL AND ON ALL SHIFTS.

- A. PROVIDE ALL INSULATION MATERIALS (INSULATION, JACKETS, FITTING COVERS, ADHESIVES, CEMENTS, MASTICS, SEALERS AND FINISHES) WITH A FLAME—SPREAD INDEX OF 25 OR LESS AND SMOKE DEVELOPED INDEX OF 50 OR LESS, AS TESTED UNDER PROCEDURE ASTM E-84 (NFPA 255).
- B. ALL INSULATION SHALL BE INSTALLED OVER CLEAN, DRY SURFACES. INSULATION MUST BE DRY AND IN GOOD CONDITION. WET OR DAMAGED INSULATION IS NOT ACCEPTABLE. NO INSULATION SHALL BE APPLIED PRIOR TO PRESSURE TEST COMPLETION OF THE RESPECTIVE PIPING SYSTEM.
- C. ALL INSULATION SHALL BE CONTINUOUS (INCLUDING VAPOR BARRIER) THROUGH WALL AND CEILING OPENINGS, SLEEVES, AND PIPE HANGER LOCATIONS.
- D. ALL INSULATION PRODUCTS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. THE WORKMANSHIP SHALL BE FIRST CLASS AND ALL JOINTS SHALL BE MADE TIGHT.
- E. INSULATE VALVE BONNETS AND UNIONS ON DOMESTIC WATER PIPING WITH INSULATION MATCHING PIPE INSULATION.
- F. INSULATE DOMESTIC COLD WATER PIPING AND FITTINGS WITH OWENS-CORNING ONE-PIECE FIBERGLASS PIPE INSULATION WITH ALL SERVICE JACKET, 1/2" THICKNESS FOR PIPING LESS THAN OR EQUAL TO 1.5", 1" THICKNESS FOR PIPES LARGER THAN 1.5". INSULATE DOMESTIC HOT WATER PIPING AND FITTINGS WITH THE SAME INSULATION, 1" THICKNESS FOR PIPING LESS THAN OR EQUAL TO 1.5", 2" THICKNESS FOR PIPING LARGER THAN 1.5". INSULATE DOMESTIC HOT WATER RETURN PIPING AND FITTINGS WITH MINIMUM 1" THICKNESS.
- G. INSULATE HORIZONTAL STORM PIPING AND ROOF DRAIN SUMPS WITH OWENS-CORNING ONE PIECE FIBERGLASS PIPE INSULATION WITH ALL SERVICE JACKET, 1/2" THICKNESS.
- H. INSULATE ELECTRIC WATER COOLER TRAP AND WASTE PIPING WITHIN CABINET WITH 1/2" THICK ARMAFLEX AP PIPING INSULATION.
- I. REPAIR EXISTING INSULATION WHERE REMOVED FOR NEW CONNECTION. INSULATION SHALL BE THE SAME AS SPECIFIED FOR NEW SERVICE.
- K. ALL INSULATION USED AS PLENUM WRAP COVERING FOR COMBUSTIBLE MATERIALS IN A PLENUM SPACE SHALL BE 3M PLENUM PROTECTION SYSTEM (PP-100-P), ONE LAYER OF 3M FIRE BARRIER DUCT WRAP 5A, IN ACCORDANCE WITH UL910 & UL1887.

17. MATERIALS

** SANITARY **

A. PIPE AND FITTINGS

- (1) DOMESTIC WATER SHALL BE TYPE "L" COPPER, CPVC, OR PEX.
- (2) DOMESTIC WATER BELOW FLOOR SHALL BE TYPE "K" SOFT COPPER.
- (3) NATURAL GAS SHALL BE SCHEDULE 40 BLACK STEEL
- (4) SANITARY DRAIN AND VENT SHALL BE SCHEDULE 40 PVC PLASTIC PIPE (TYPE DWV) WHERE POSSIBLE.
- (5) Sanitary drain and vent piping located in Plenum Return or Rated Walls Shall be Service Weight NO HUB CAST IRON PIPE, ALL CAST IRON PIPE AND FITTINGS SHALL COMPLY WITH ASTM A 888 (OR A 74) AND BE MARKED WITH THE COLLECTIVE TRADEMARK OF THE CAST IRON SOIL PIPE INSTITUTE (CISPI) AND BE LISTED BY THE NSF INTERNATIONAL.
- (6) FITTINGS FOR COPPER PIPE SHALL BE WROUGHT COPPER SOLDER JOINT TYPE. ONLY LEAD FREE SOLDER IS
- (7) FITTINGS FOR BLACK STEEL PIPE 2" AND SMALLER SHALL BE 150 PSIG SWP MALLEABLE IRON SCREWED FITTINGS. FOR 2-1/2" AND LARGER. FITTINGS SHALL BE FACTORY FORMED WELDING FITTINGS.
- (8) FITTINGS FOR STORM DRAIN, SANITARY DRAIN AND VENT PIPING SHALL BE SCHEDULE 40 PVC PLASTIC PIPE (TYPE DWV) WITH SOLVENT CEMENT PVC (DWV) FACTORY FORMED FITTINGS.
- (9) FITTINGS FOR STORM DRAIN, SANITARY DRAIN AND VENT PIPING LOCATED IN PLENUM RETURN OR RATED WALLS SHALL BE SERVICE WEIGHT NO HUB CAST IRON PIPE WITH STAINLESS STEEL MECHANICAL JOINT COUPLINGS. COUPLINGS SHALL COMPLY WITH "CISPI 310". THE ELASTOMERIC SEALING SLEEVE SHALL CONFORM TO "ASTM C 564" AND SHALL BE PROVIDED WITH A CENTER STOP. MECHANICAL JOINT COUPLINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

B. DOMESTIC WATER VALVES

- (1) DOMESTIC WATER SHUT-OFF VALVES SHALL BE BRONZE BODY, TWO PIECE, FULL PORT, LEVER HANDLE BALL VALVES WITH TEFLON SEATS, CHROME PLATED BRASS BALL, BRASS STEM AND SOLDER ENDS. 600 PSI WOG. ACCEPTABLE MANUFACTURERS: MILWAUKEE, HAMMOND, APOLLO
- (2) HORIZONTAL CHECK VALVES SHALL BE BRONZE BODY, SWING TYPE DESIGN, BRONZE DISC, STAINLESS STEEL LEVER WITH SOLDER ENDS. 200 PSI WOG. ACCEPTABLE MANUFACTURERS: MILWAUKEE, HAMMOND, APOLLO

(3) MANUAL BALANCING VALVES SHALL BE BRONZE BODY, COMBINATION VENTURI AND BALL VALVE WITH TWO PRESSURE/TEMPERATURE TEST PORTS, MEMORY STOP, INLET UNION CONNECTION AND THREADED ENDS, 400 PSI AT 250°F. ACCEPTABLE MANUFACTURERS: FLOW DESIGN INC. "FLOWSET".

C. NATURAL GAS VALVES

- (1) 2" AND SMALLER WRENCH-OPERATED, RECTANGULAR PORT, CYLINDRICAL LUBRICATED PLUG VALVES WITH CAST IRON BODY, PLUG AND BASEPLATE, TFE GASKET, STAINLESS STEEL BASEPLATE SPRING, STEEL SEALANT SCREW AND THREADED ENDS. 200 PSI WOG. U.L. LISTED.
- (2) 2-1/2" AND LARGER WRENCH-OPERATED, RECTANGULAR PORT, CYLINDRICAL LUBRICATED PLUG VALVES WITH CAST IRON BODY, PLUG AND BASEPLATE, TFE GASKET, STAINLESS STEEL BASEPLATE SPRING, STEEL SEALANT SCREW AND FLANGED ENDS. 200 PSI WOG. U.L. LISTED.
- (3) PROVIDE ALL VALVES WITH A REMOVABLE WRENCH TO MATCH OPERATOR SQUARE HEAD SIZE. WRENCHES SHALL BE LOCKED IN PLACE WITH A SET SCREW.

18. PIPING INSTALLATION

- A. PROVIDE MACHINE CUT STEEL PIPE SLEEVE 1" LARGER THAN OUTSIDE DIAMETER OF PIPE. WHERE FLOORS ARE CORE DRILLED, STEEL SLEEVES ARE NOT REQUIRED. SEAL OPENINGS TO MAINTAIN THE INTEGRITY OF THE FIRE
- B. PROVIDE ALL INSERTS. FASTENERS AND SUPPORTS TO PROPERLY SUPPORT AND RETAIN PIPING: TO CONTROL EXPANSION, CONTRACTION, ANCHORAGE, DRAINAGE, AND PREVENT SWAY AND VIBRATION. PIPING SHALL BE SO SUPPORTED AS NOT TO PLACE A STRAIN ON VALVES, FIXTURES OR EQUIPMENT.
- C. THE DRAWINGS INDICATE THE GENERAL LOCATION AND ARRANGEMENT OF THE PIPING SYSTEMS. SO FAR AS PRACTICAL, INSTALL PIPING AS INDICATED MAKING CONNECTIONS TO ALL EQUIPMENT AND FIXTURES. INSTALL PIPING AS DIRECT AS POSSIBLE AVOIDING UNNECESSARY OFFSETS. HOWEVER, IF OFFSETS ARE REQUIRED IN ORDER TO OBTAIN MAXIMUM HEADROOM OR TO AVOID CONFLICT WITH OTHER WORK, THEY SHALL BE MADE AS REQUIRED OR AS REQUESTED BY THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER. THE ARCHITECT RESERVES THE RIGHT TO MAKE MINOR CHANGES IN THE LOCATION OF PIPING AND EQUIPMENT DURING THE ROUGHING-IN, WITHOUT ADDITIONAL COST TO THE OWNER. ALL CHANGES PROPOSED BY OTHERS SHALL BE APPROVED BY THE ARCHITECT.

D. INSTALL PIPING FREE OF SAGS OR BENDS

- E. ALL PIPING SYSTEMS MUST BE INSTALLED SO THEY CAN BE COMPLETELY DRAINED. PROVIDE TEE FITTING, BALL VALVE WITH HOSE THREAD FITTING AND CAP AT ALL LOW POINTS, TRAPPED SECTIONS, BASES OF RISERS, AND ON EQUIPMENT SIDE OF SHUT OFF VALVES TO PERMIT DRAINING. PROVIDE BALL VALVES AT ALL HIGH POINTS TO ALLOW VENTING. ALL DRAIN VALVES AND VENTS SHALL BE ACCESSIBLE
- F. TERMINATE PLUMBING VENT PIPES AT LEAST 12 INCHES ABOVE ROOF.
- G. BUILDING DRAINS SHALL BE PITCHED A MINIMUM SLOPE OF 1/4 INCH PER FOOT FOR PIPES UP TO 2-1/2 INCH AND 1/8 INCH PER FOOT FOR PIPES GREATER THAN 2-1/2 INCHES.
- H. PROVIDE WATER HAMMER ARRESTERS WHERE QUICK-CLOSING VALVES ARE UTILIZED, AND INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- J. PROVIDE CHECK VALVES WHERE BACKFLOW PROTECTION IS REQUIRED. AND INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. PROVIDE AT FIXTURES SUCH AS. BUT NOT LIMITED TO: DISHWASHERS. COFFEE MAKERS, ICE MACHINES, BEVERAGE DISPENSERS, REFRIGERATORS. PROVIDE WATTS 007 OR EQUIVALENT.
- K. PROVIDE DIELECTRIC UNIONS AT COUPLING OF DISSIMILAR METALS

19. DISINFECTION

A. CHLORINATE ALL DOMESTIC WATER SYSTEMS AS FOLLOWS. FIRST FLUSH SYSTEM WITH CLEAN POTABLE WATER UNTIL DIRTY WATER DOES NOT APPEAR AT OUTLETS. THEN FILL WITH A WATER/CHLORINE SOLUTION (50PPM CHLORINE) AND ALLOW TO STAND FOR 24 HOURS. FOLLOWING STANDING TIME, FLUSH THE SYSTEM WITH CLEAN POTABLE WATER UNTIL CHLORINE IS PURGED FROM THE SYSTEM. REPEAT CHLORINATION, IF NECESSARY, UNTIL NO BACTERIOLOGICAL CONTAMINATION IS PRESENT IN THE SYSTEM. PROCEDURE SHALL CONFORM TO AWWA C651 AND BE ACCEPTED BY THE LOCAL HEALTH DEPARTMENT.

20. PLUMBING FIXTURES AND EQUIPMENT

A. GENERAL

- (1) provide fixtures of type. Style and material as scheduled on the drawings. include all trim, CARRIERS, SEATS, ETC. AS INDICATED OR RECOMMENDED BY MANUFACTURER AS REQUIRED FOR A COMPLETE INSTALLATION.
- (2) PROVIDE VACUUM BREAKERS AS PART OF THE FIXTURE OR EQUIPMENT TRIM WHEREVER THERE IS A POSSIBILITY OF BACK SIPHONING.
- (3) PROVIDE DOUBLE CHECK VALVES FOR PLUMBING FIXTURE OR SPECIAL EQUIPMENT WHERE BACKFLOW PROTECTION IS REQUIRED. AND INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, USE WATTS SERIES 7 BRONZE DUAL CHECK VALVE.
- (4) PROVIDE FIXTURES CONSTRUCTED OF VITREOUS CHINA WITH ALL VISIBLE SURFACES GLAZED. FURNISH ENAMELED CAST IRON FIXTURES CONSTRUCTED WITH NON-STAINING. ACID RESISTANT. PORCELAIN ENAMELED COAT THOROUGHLY FUSED ON THE SURFACES. FURNISH STAINLESS STEEL SINKS WITH SATIN FINISH, UNLESS NOTED OTHERWISE.
- (5) PROVIDE ALL STOPS, SUPPLIES, TRAPS AND ESCUTCHEONS NECESSARY FOR A COMPLETE INSTALLATION. ALL COMPONENTS SHALL BE CHROME PLATED BRASS.
- (6) STOPS SHALL BE STRAIGHT OR ANGLE TYPE AS REQUIRED BY THE INSTALLATION, WITH LOOSE KEY, METAL STEM AND WASHER CUP WITH SET SCREW WASHER RETAINER.
- (7) SUPPLIES SHALL BE FLEXIBLE CHROME PLATED COPPER.
- (8) TRAPS SHALL BE 17 GAUGE CHROME PLATED BRASS WITH CLEAN-OUT PLUG. FURNISH WITH SLIP NUTS, WALL BEND AND ESCUTCHEON.
- (9) Provide Carriers and Supports as required for proper fixture installation. Type shall permit FIELD ADJUSTMENT TO FIT VARIATIONS IN CONSTRUCTION. UNLESS NOTED OTHERWISE, SUPPORT ALL WALL MOUNTED PLUMBING FIXTURES ON CONCEALED CHAIR CARRIERS WITH FOOT SUPPORT.
- (10) PROVIDE FAUCET AERATORS AND OUTLETS OF TYPES APPROVED BY THE LOCAL HEALTH DEPARTMENT AND LOCAL PLUMBING CODE, REFER TO IPC TABLE 604.4.
- (11) INSULATE ALL EXPOSED WATER SUPPLIES AND TRAPS WHERE FIXTURES ARE INDICATED TO COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. INSULATION KITS SHALL BE 3/16" THICK MOLDED CLOSED CELL VINYL CONSTRUCTION WITH PVC SATIN WHITE COVER.

<u>FIELD VERIFY ALL CONDITIONS</u>

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE ARCHITECT, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE ARCHITECT, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING. THE CONTRACTOR SHALL ALERT ARCHITECT. ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.

BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND

ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK

PLUMBING LEGEND SYMBOL **EXISTING PIPING** _______ *+++++++++* EXISTING PIPING TO BE REMOVED **EQUIPMENT DRAWINGS.** —— SAN —— SANITARY WASTE 3. DISABLED ACCESS FIXTURES: SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND SANITARY SEWER (UNDERFLOOR) -- SAN --— — GSAN — — GREASE SANITARY (UNDERFLOOR) WHERE INDICATED AND AS REQUIRED BY CODE. THE CONTRACTOR SHALL COORDINATE ALL CLEAN OUTS LOCATIONS WITH EQUIPMENT, CABINETS, ETC., AND PRIMARY STORM LEADER SECONDARY STORM LEADER _____SSL____ PRIMARY STORM SEWER ____ST____ 7. FULL SIZE: ALL VALVES, UNIONS. ETC. TO BE SAME SIZE AS LINE SIZE UNLESS _____SST____ SECONDARY STORM SEWER COLD WATER ____ CW ____ 8. LATERAL SUPPORT: ALL EQUIPMENT SHALL BE LATERALLY SUPPORTED IN ALL DIRECTIONS TO RESIST A MIN. OF 50% OF THE EQUIPMENT'S OPERATING WEIGHT. ——HW —— HOT WATER ------ RHW ------RECIRCULATING HOT WATER _____THW _____ TEMPERED HOT WATER APPLICABLE TO THIS PROJECT: 140° HOT WATER OHIO BUILDING CODE. <u>____140 ____</u> OHIO MECHANICAL CODE OHIO PLUMBING CODE. ——140° RHW —— 140° RETURN HOT WATER _____G____

GLOBE VALVE REDUCER FLOOR SINK WITH HALF GRATE FLOOR DRAIN PIPE UP OR DOWN $\overline{}$ PLUG VALVE RELIEF VALVE PRESSURE REGULATING VALVE **──**♦₩── SHUT-OFF VALVE IN RISER

SHUT-OFF VALVE

BALANCING VALVE

CHECK VALVE

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CAP ON END OF PIPE ---- \bigcirc -- \parallel CLEANOUT DOUBLE CHECK VALVE ASSEMBLY REDUCED PRESSURE BACKFLOW PREVENTER SOLENOID VALVE **───⋉**── THRUST BLOCK

FLOW SWITCH ______ FS **ABBREVIATIONS**

HB HOSE BIBB

INL INLET

- AD AREA DRAIN AFF ABOVE FINISHED FLOOR BT BATHTUB CB CATCH BASIN CLG CEILING CI CAST IRON DF DRINKING FOUNTAIN DV DRAIN VALVE EC ELECTRICAL CONTRACTOR
 - INV INVERT LAV LAVATORY LT LAUNDRY TRAY MC MECHANICAL CONTRACTOR MH MANHOLF P-1 FIXTURE DESIGNATION PC PLUMBING CONTRACTOR EL ELEVATION PIV POST INDICATOR VALVE ETR EXISTING TO REMAIN
 - RD ROOF DRAIN EWC ELECTRIC WATER COOLER SD SHOWER DRAIN SS SERVICE SINK FD FLOOR DRAIN FEC FIRE EXTINGUISHER CABINET UR URINAL FHC FIRE HOSE CABINET VT VITREOUS TILE FPHB FROSTPROOF HOSE BIBB VTR VENT THRU ROOF GC GENERAL CONTRACTOR WC WATER CLOSET

GENERAL PLUMBING NOTES

- CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL UTILITIES TO BE USED FOR POINTS OF CONNECTION PRIOR TO SUBMITTING BID AND START OF WORK, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- . Fixture: exact locations. Mounting heights and colors of plumbing FIXTURES SHALL BE OBTAINED FROM THE ARCHITECTURAL AND KITCHEN
- MOUNTING HEIGHTS, INSTALLATION SHALL COMPLY WITH A.D.A. REQUIREMENTS. INTERFERENCE: ALL PLUMBING WORK SHALL BE INSTALLED SO AS TO AVOID
- STRUCTURAL FRAMING, MECHANICAL AND ELECTRICAL EQUIPMENT. 5. Cleanouts: all cleanouts shall be installed where readily accessible
- THE ARCHITECT PRIOR TO ANY INSTALLATION. . VENT TERMINATION: ALL PLUMBING FIXTURE VENTS TO TERMINATE A MIN. OF 12 INCHES FROM ANY VERTICAL SURFACE AND 10 FEET FROM OR TERMINATED 3'-0"
- ABOVE ANY OUTSIDE AIR INTAKES.
- OTHERWISE INDICATED ON DRAWINGS.
- 9. CODE COMPLIANCE: ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE INSPECTING AUTHORITY. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR OTHERS
 - NATIONAL ELECTRICAL CODE.
 - SMACNA GUIDELINES
- 10. FIELD VERIFICATION: BEFORE FABRICATION OR INSTALLATION. THIS CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT AND EQUIPMENT PROVIDED UNDER ANOTHER SECTION OF SPECIFICATIONS. EXACT ROUGH-IN LOCATIONS AND REQUIREMENTS SHALL BE COORDINATED IN FIELD.
- . ISOMETRICS: THE CONTRACTOR SHALL PROVIDE ALL RISER DIAGRAMS OR ISOMETRICS THAT MAYBE REQUIRED BY GOVERNING AUTHORITIES.
- 12. COORDINATION: THE PLUMBING CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS FOR ALL POINTS OF CONNECTION WITH THE GENERAL CONTRACTOR AND OTHER TRADES PRIOR TO BID.
- 13. PIPE SLOPE: ALL WASTE AND VENT PIPING SHALL SLOPE AT 2% UNLESS OTHERWISE INDICATED.

14. ACCESSIBILITY: ALL VALVES, OR OTHER EQUIPMENT SHOWN IN WALLS OR ABOVE

NON-ACCESSIBLE CEILINGS SHALL BE INSTALLED WITHIN 24" OF, AND BEHIND, AN ACCESS PANEL. 15. SPECIFICATION: THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH, AND BE

CONSIDERED TO BE A PART OF THE SPECIFICATIONS.

16. PATCHING: THE CONTRACT SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL AREAS WHICH ARE EXCAVATED AND/OR DAMAGED BY HIS OPERATIONS.

WALLS OR FLOORS SHALL BE DONE USING CORE DRILLING EQUIPMENT.

- 17. EXISTING PIPING DAMAGED: ALL EXISTING PIPING DAMAGED DURING EXCAVATION SHALL BE REPAIRED WITH MATERIALS TO MATCH EXISTING BY THE CONTRACTOR. 18. SAW CUTTING/CORE DRILLING: ALL CUTTING OF EXISTING PAVING, WALKS AND/OR
- 19. INCOMPATIBLE MATERIAL CONNECTION: CONNECTION BETWEEN INCOMPATIBLE MATERIALS ABOVE GRADE AND INSIDE BUILDING SHALL BE MADE WITH 2 DIELECTRIC UNIONS SEPARATED BY A 12" SECTION OF RED BRASS PIPE.

20. Submittals and shop drawings: the plumbing contractor shall submit

SHOP DRAWING ON ALL WORK AND SUBMITTALS ON ALL FIXTURES. EQUIPMENT

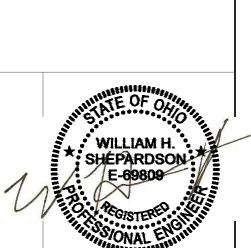
FLOORS SHALL BE BY MACHINE SAW CUTTING. HOLES FOR PIPING IN CONCRETE

- AND ACCESSORIES FOR REVIEW PRIOR TO ORDERING, FABRICATION AND 21. GREASE WASTE PIPING BELOW FLOOR/GRADE SHALL BE HEAT TRACED. CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE U.L. LISTED SYSTEM OF HEATING CABLES. COMPONENTS AND CONTROLS TO PREVENT BLOCKAGE: "RAYCHEM" XL—TRACE #5XL1—CT WITH: #FTC—XC POWER CONNECTION;
- RAY-CLLC-E END SEAL; ETL LABEL; GT-66 TAPE; 100 FT. MAX. LENGTH; 20A CIRCUIT BREAKER; WITH 30MA G.F.I. TRIP LEVEL; 120VAC SUPPLY; 1" MIN. THICKNESS "CORNING" CLOSED-CELL TYPE INSULATION.
- 22. ALL PIPING SYSTEMS-WATER, GAS, ETC. SHALL BE LABELED ACCORDING TO THE REQUIREMENTS OF THE O.P.C. AND LOCAL AUTHORITY. 23. CONTRACTOR SHALL PROVIDE 3" SUCTION AND 1/2" WATER LINE BELOW FLOOR

FROM WATER WALL TO EQUIPMENT PUMP ROOM.

AND LOCAL AUTHORITY PRIOR TO INSTALLATION.

- 24. KITCHEN EQUIPMENT GAS SHUT-OFF VALVE PROVIDED BY MECHANICAL CONTRACTOR, TO BE INSTALLED BY PLUMBING CONTRACTOR. 25. ALL FLOOR PENETRATIONS SHALL BE APPROVED BY METHANE GAS CONSULTANT
- 26. PIPING MATERIAL SHALL BE: WATER-TYPE "L" COPPER W/LEAD FREE SOLDERED FITTINGS; WASTE & VENT-NO-HUB CAST IRON W/STAINLESS STEEL "CLAMP-ALL" BAND FITTINGS; GAS-SCHEDULE 40 BLACK STEEL W/MALLEABLE IRON FITTINGS.



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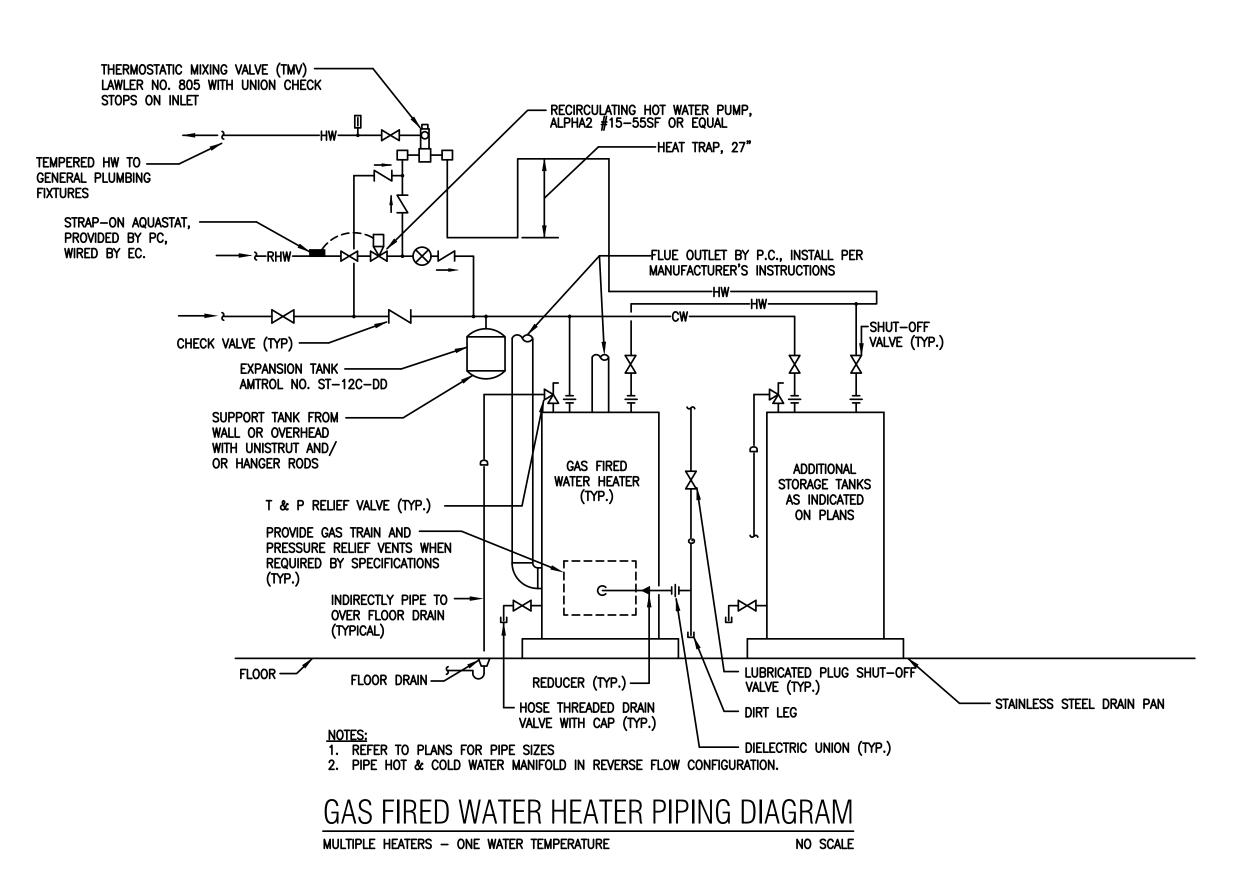
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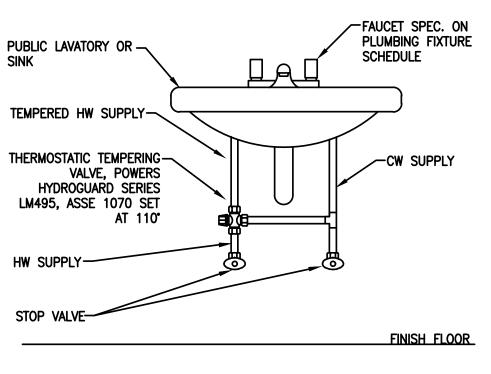
DESCRIPTION

Marguette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing | Authority

1999 Sutter Avenue, Cincinnati, OH 45225

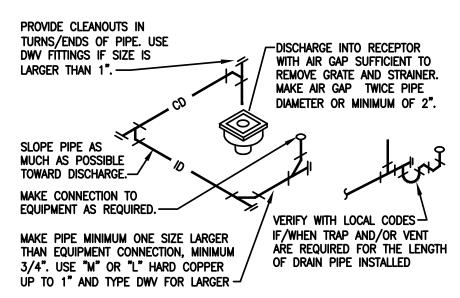
LDA Project No.23.47 PLUMBING SPECIFICATIONS





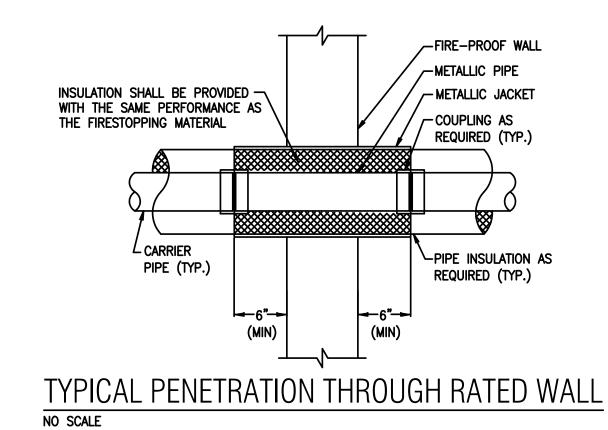
NOTE:
INSULATE ALL EXPOSED WASTE AND SUPPLY PIPING UNDER LAVATORIES WITH THE HANDI-LAV GUARD INSULATION KIT BY TRUEBRO OR EQUAL.

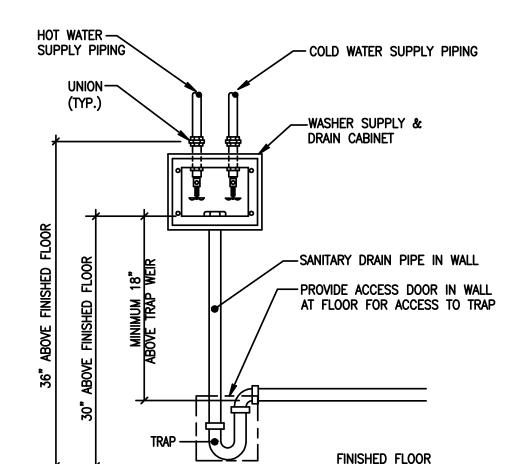
TEMPERING VALVE DETAIL
NO SCALE



ROUTE PIPE INCONSPICULOUSLY AND UNOBTRUSIVELY, SECURED BY MEANS OF CLAMPS OR BRACKETS TO THEIR OWN EQUIPMENT UNIITS AND ROUTED TO THEIR SPECIFIC FLOOR SINKS. THERE SHALL NOT BE ANY LOOSE OR DANGLING WASTE LINES, NOR WASTE LINES LYING ON THE FLOOR. DO NOT INSULATE INDIRECT DRAIN PIPE WHEN INSTALLED EXPOSED IN FOOD SERVICE FACILITY. REFER TO LOCAL CODES FOR FURTHER INFORMATION.

INDIRECT/CONDENSATE DRAIN NO SCALE





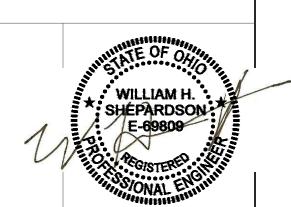
WASHER BOX CONNECTION NO SCALE

PLUMBING FIXTURE CONNECTION SCHEDULE TAG FIXTURE MANUFACTURER MODEL NUMBER HW CW SAN VENT DESCRIPTION ELECTRICATION OF THE OWNER O													
TAG	FIXTURE	MANUFACTURER	MODEL NUMBER	HW	CW	SAN	VENT	DESCRIPTION	ELECTRICAL INFO				
WC-1	ADA WATER CLOSET	AMERICAN STANDARD	"CHAMPION PRO RIGHT HEIGHT" #211AA.104		1/2*	4"	2"	RIGHT HEIGHT TOILET, ELONGATED FRONT, VITREOUS CHINA, TWO PIECE TOILET, LOW CONSUMPTION 1.28 GPF, ADA COMPLIANT, WATERSENSE CERTIFIED. SEAT: AMERICAN STANDARD MODEL #5325.010, ELONGATED CHAMPION SLOW CLOSE SOLID PLASTIC SEAT AND COVER.					
WC-2	ADA WATER CLOSET	AMERICAN STANDARD	"MADERA" #2855.128		1/2"	4"	2*	FLOOR-MOUNTED TOILET, ELONGATED FRONT, VITREOUS CHINA, LOW CONSUMPTION 1.28 GPF, ADA. FLUSH VALVE: SLOAN "OPTIMA" MODEL #8111, INFRARED BATTERY-POWERED FLUSHOMETER, 1.28 GPF, VANDAL-RESISTANT CAP, WATERSENSE CERTIFIED. SEAT: AMERICAN STANDARD MODEL #5901.100.020 HEAVY-DUTY COMMERCIAL, ELONGATED CHAMPION SLOW, OPEN-FRONT PLASTIC SEAT.					
UR-1	URINAL	AMERICAN STANDARD	"WASHBROOK" #6501.511		3/4"	2"	1-1/2"	WALL HUNG URINAL, VITREOUS CHINA, SIPHON JET WITH FLUSHING RIM, TOP SPUD, WALL HANGER, ANGLE STOP, STRAINER, ADA. FLUSH VALVE: AMERICAN STANDARD MODEL #6045.101, MANUAL PISTON—TYPE URINAL FLUSH VALVE, 1.0 GPF, VANDAL—RESISTANT CAP.	-				
LAV-1	ADA LAVATORY	AMERICAN STANDARD	"AQUALYN" #0476.028	1/2"	1/2"	1-1/2"		DROP-IN LAVATORY WITH FRONT OVERFLOW, VITREOUS CHINA, FAUCET HOLES ON 4" CENTERS. FAUCET: MOEN "M-BITION" MODEL #8430, CHROME, 4" CENTERSET, 1/2" CONNECTIONS AND LEVER HANDLE, 1.2 GPM, ADA COMPLIANT, WATERSENSE CERTIFIED. MIXING VALVE: ZURN "AQUA-GUARD" MODEL #ZW3870XLT. FURNISH CHROME STOPS, SUPPLIES AND 1-1/4" WHEELCHAIR LAVATORY DRAIN WITH STAINLESS STEEL GRID AND P-TRAP. PROTECT 17 GAUGE CHROME TRAP AND SUPPLIES WITH A TRAP WRAP KIT 500R AS MANUFACTURED BY BROCAR PRODUCTS INC. LAVATORY MOUNTING HEIGHT SHALL BE AS REQUIRED BY THE A.D.A.					
LAV-2	ADA LAVATORY	AMERICAN STANDARD	"OVALYN" #9482.000	1/2"	1/2"	1-1/2"	1-1/2"	UNDERMOUNT LAVATORY WITH REAR OVERFLOW, VITREOUS CHINA, MOUNTING KIT. FAUCET: MOEN "M-BITION" MODEL #8430F05, CHROME, 4" CENTERSET, 1/2" CONNECTIONS AND LEVER HANDLE, 0.5 GPM, ADA COMPLIANT, WATERSENSE CERTIFIED. MIXING VALVE: ZURN "AQUA-GUARD" MODEL #ZW3870XLT. FURNISH CHROME STOPS, SUPPLIES AND 1-1/4" WHEELCHAIR LAVATORY DRAIN WITH STAINLESS STEEL GRID AND P-TRAP. PROTECT 17 GAUGE CHROME TRAP AND SUPPLIES WITH A TRAP WRAP KIT 500R AS MANUFACTURED BY BROCAR PRODUCTS INC. LAVATORY MOUNTING HEIGHT SHALL BE AS REQUIRED BY THE A.D.A.					
SH-1	ADA SHOWER			1/2"	1/2"	1-1/2"	1-1/2"	ACCESSIBLE SHOWER PAN TO BE SELECTED BY ARCHITECT. PROVIDE SHOWER DRAIN AND SHOWER VALVE. PROVIDE ADA GRAB BAR AND ACCESSORIES. ENCLOSURE WILL BE TILED BY ARCHITECT. TRIM: MOEN MODEL #8346EP15 SINGLE HANDLE PRESSURE BALANCING SHOWER VALVE WITH HAND—HELD SHOWER SYSTEM, 1.5 GPM, ADA COMPLIANT, WATERSENSE CERTIFIED.					
BT-1	BATHTUB			1/2"	1/2"	1-1/2"	1-1/2"	TUB TO BE SELECTED BY ARCHITECT. PROVIDE SHOWER DRAIN AND SHOWER VALVE. ENCLOSURE WILL BE TILED BY ARCHITECT. TRIM: MOEN MODEL #82603 SINGLE HANDLE PRESSURE BALANCING TUB/SHOWER VALVE, 1.75 GPM, ADA COMPLIANT, WATERSENSE CERTIFIED.					
KS-1	KITCHEN SINK	ELKAY	"LUSTERTONE" #LRAD312265PD	1/2"	1/2*	1-1/2"	1-1/2"	ADA DROP-IN SINK WITH PERFECT DRAIN, #18 GAUGE STAINLESS STEEL, MOUNTING CLIPS, DRAIN, 3 HOLE, 4" CENTERS. FAUCET: MOEN "CHATEAU" MODEL #67425, SINGLE HANDLE, 1/2" CONNECTIONS, 9" SPOUT, 1.5 GPM, ADA COMPLIANT.					
KS-2	KITCHEN SINK	ELKAY	"LUSTERTONE" #LRAD312265PD	1/2"	1/2"	1-1/2"	1-1/2"	ADA DROP-IN SINK WITH PERFECT DRAIN, #18 GAUGE STAINLESS STEEL, MOUNTING CLIPS, DRAIN, 3 HOLE, 4" CENTERS. FAUCET: MOEN "CHATEAU" MODEL #67425, SINGLE HANDLE, 1/2" CONNECTIONS, 9" SPOUT, 1.5 GPM, ADA COMPLIANT.					
SS-1	SERVICE SINK	E.L. MUSTEE	19F	1/2"	1/2*	1-1/2"	1-1/2"	20"X24"X14-3/8" FLOOR MOUNTED UTILITY TUB, THERMOPLASTIC. FAUCET: E.L. MUSTEE MODEL #93.600, LEVER HANDLES, 1/2" CONNECTIONS, 7" SWING SPOUT WITH HOSE END.					
DW-1	DISHWASHER	BY ARCHITECT	BY ARCHTECT	HOSE		HOSE		DISHWASHER SHALL BE PROTECTED FROM BACKFLOW.					
WB-1	WASHING MACHINE BOX	OATEY	38541	1/2"	1/2"	2"	1-1/2"	OATEY 38541 OR EQUAL FOR INSTALLATIONS IN NON-RATED WALLS. PROVIDE OATEY 38471 OR EQUAL FIRE RATED WASHING MACHINE BOX FOR INSTALLATIONS IN RATED WALLS.					
DF-1	DRINKING FOUNTAIN	ELKAY	ezstl8lc		1/2"	1-1/2"	1-1/2"	BARRIER FREE BI-LEVEL DRINKING FOUNTAIN. PROVIDE CANE GUARD.					
WH-1	GAS WATER HEATER	A.O. SMITH	BTH-500	3/4"	3/4"			120 GALLON CAPACITY, 500 MBH INPUT, 576 GPH RECOVERY RATE © 100°F RISE. PROVIDE COMPLETE WITH T&P RELIEF VALVE, VACUUM RELIEF VALVE, DRAIN VALVE, AND SAFETY DRAIN PAN. PROVIDE WITH 100 GALLON STORAGE TANK. PROVIDE COMPLETE WITH HOT WATER RECIRCULATION PUMP, GRUNDFOS #UP15-29SU, 1/25 HP, 115V, AND AQUASTAT. INSTALL PER MANUFACTURER'S INSTRUCTIONS.	120V—1ø				
FD-1	FLOOR DRAIN	SIOUX CHIEF	863-425NR			3"		MEDIUM DUTY, NICKEL-BRONZE, HEEL-PROOF NICKEL RING AND STRAINER. PVC HOUSING AND FLASHING. INSTALL WITH RECTORSEAL "SURESEAL" TRAP SEALER.					
CO-1	FLOOR CLEANOUT	ZURN	CO2450			3"		GENERAL PURPOSE CLEANOUT.					
CO-2	EXTERIOR CLEANOUT	ZURN	Z1402-HD			3"		HEAVY-DUTY TUF-TOP NON-ADJUSTABLE FLOOR CLEANOUT WITH DURA-COATED CAST IRON BODY, WITH GAS AND WATERTIGHT ABS TAPERED THREAD PLUG, ROUND SCORIATED SECURED COVER & FRAME.					
		71 DN	Z1441			3"		WALL CLEANOUT WITH SMOOTH ACCESS COVER. PROVIDE WITH NO-HUB					
CO-3	WALL CLEANOUT	ZURN	21441					COUPLING FOR FINAL CONNECTION. COUNTERSUNK CLEANOUT PLUG, PVC TAPER THREAD, COUNTERSUNK					

REMARKS:

1) THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL ALL HARDWARE AND APPURTENANCES FOR A COMPLETE INSTALLATION OF PLUMBING FIXTURES/EQUIPMENT PER APPLICABLE CODES AND MANUFACTURER.

2) ALL PLUMBING FIXTURES ARE TO BE WATERSENSE CERTIFIED WHERE APPLICABLE.



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DESCRIPTION

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing
Authority

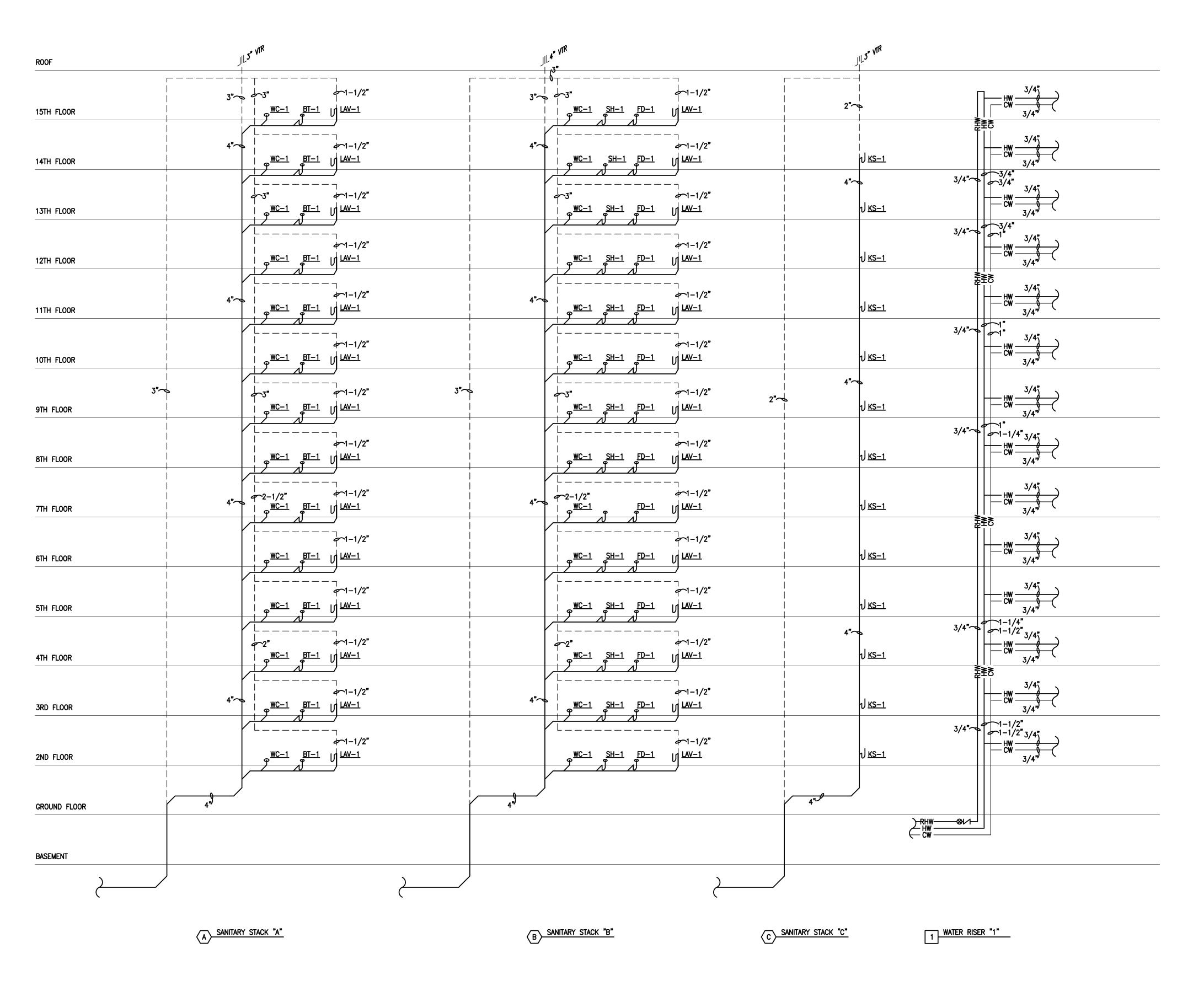
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LDA Project No.23.47

PLUMBING SCHEDULES &

1999 Sutter Avenue, Cincinnati, OH 45225

P0.02



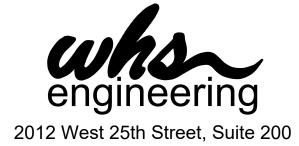
TYPICAL SANITARY STACKS AND WATER RISERS SCALE: NONE



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WILLIAM H. SHÉPARDSON E-69809

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PLUMBING STACK AND
RISER DIAGRAMS

P0.03

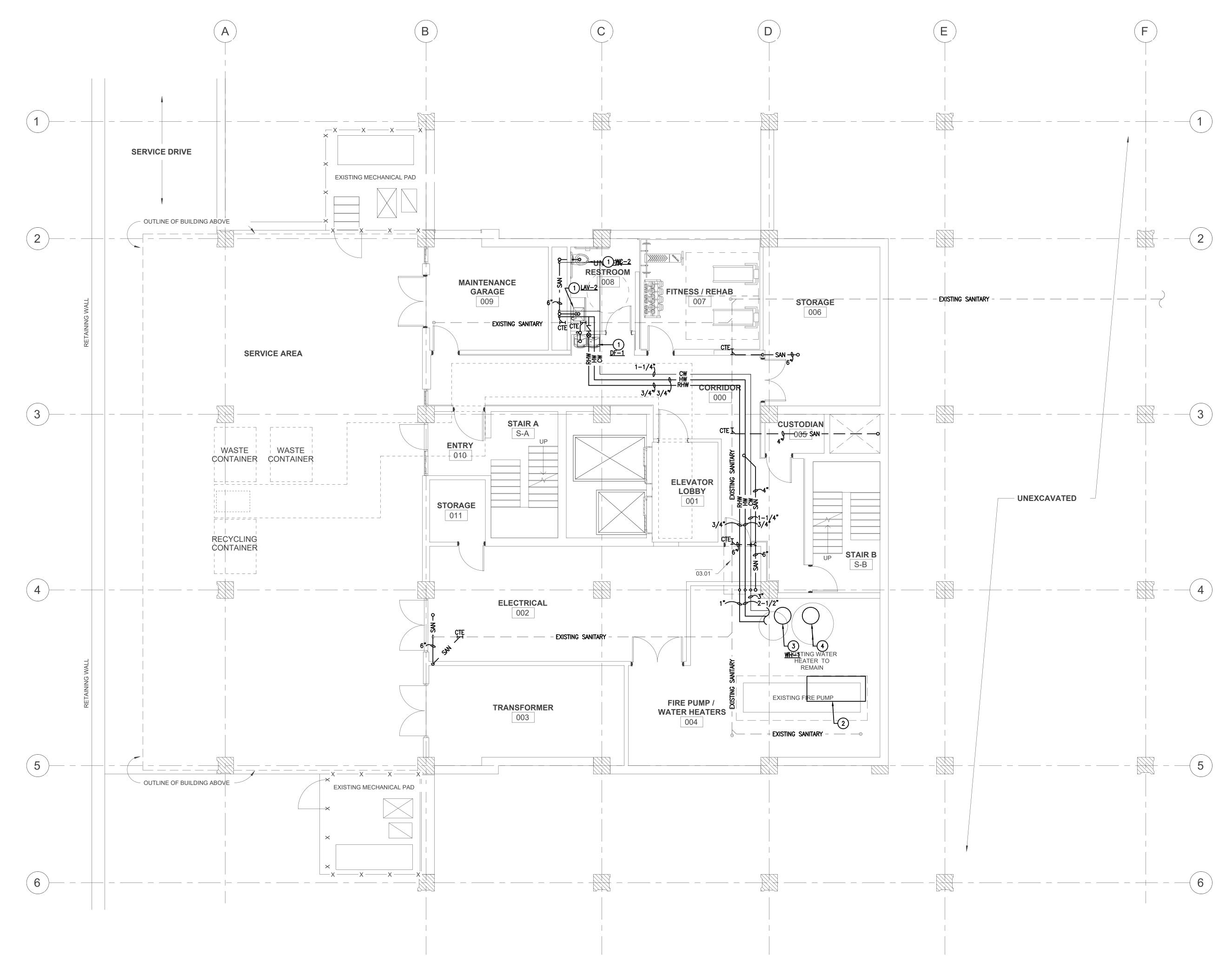
CODED NOTES:

1 EXISTING PLUMBING FIXTURE TO BE REMOVED AND REPLACED WITH NEW.

2 EXISTING FIRE PUMP TO REMAIN.

3 EXISTING WATER HEATER TO BE REMOVED AND REPLACED WITH NEW. ALL EXISTING PIPING TO BE REMOVED AND REPLACED WITH NEW.

4 EXISTING STORAGE TANK TO BE REMOVED AND REPLACED WITH NEW.







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BASEMENT PLUMBING PLAN

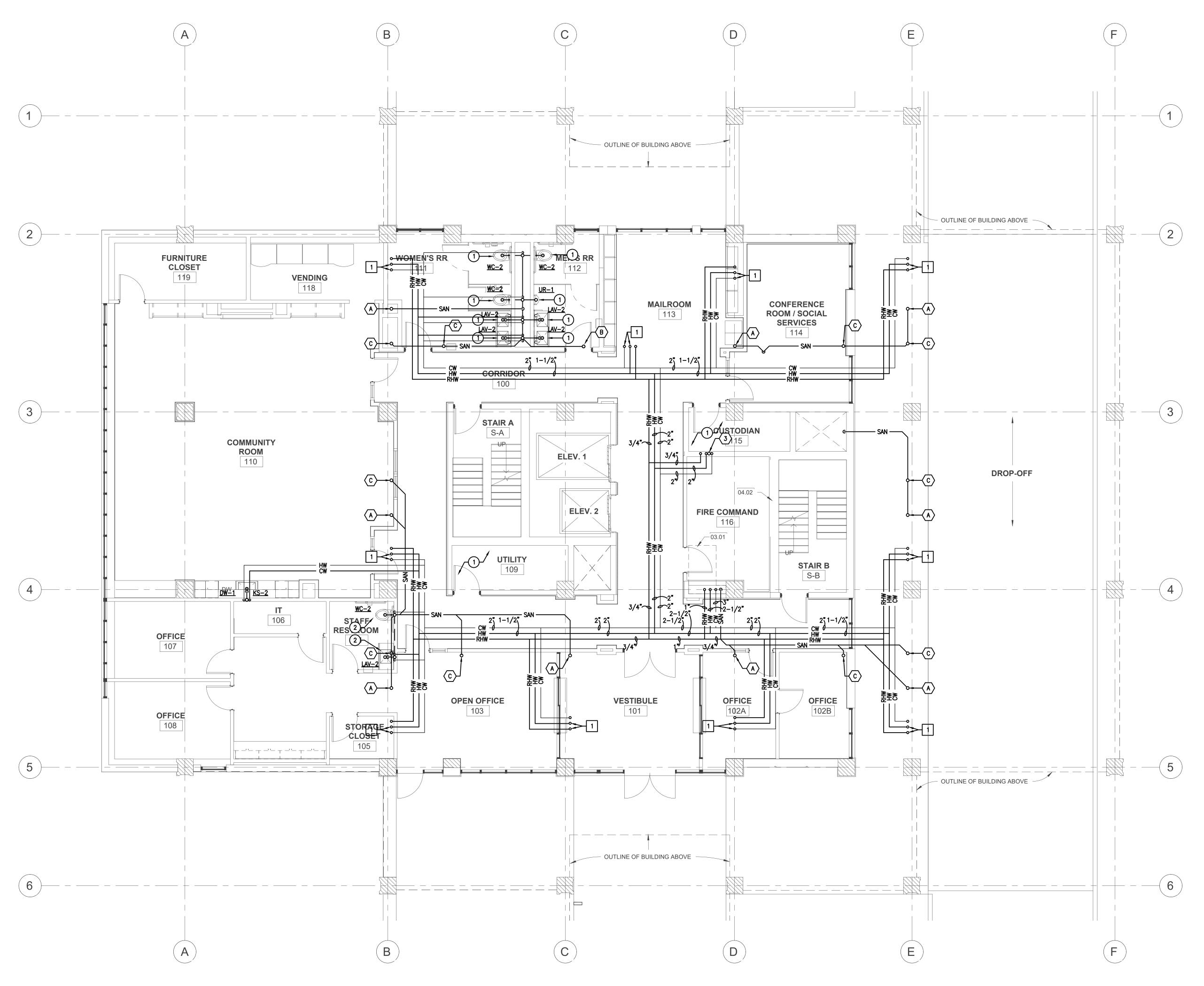
P1 01

GENERAL PLUMBING NOTE:

ALL PIPING LOCATED OUTSIDE OF THE THERMAL ENVELOPE SHALL BE HEAT TRACED OR INSULATED.

CODED NOTES:

1 EXISTING PLUMBING FIXTURE TO BE REMOVED AND REPLACED WITH NEW.
2 INSTALL NEW PLUMBING FIXTURE PER MANUFACTURER'S INSTRUCTIONS. PROVIDE WITH ALL NECESSARY ACCOUTREMENTS FOR A COMPLETE INSTALLATION. EXTEND NEW HOT WATER, COLD WATER, SANITARY AND VENT PIPING TO NEAREST RESPECTIVE MAIN, STACK OR RISER.







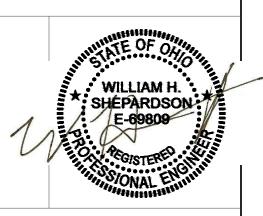
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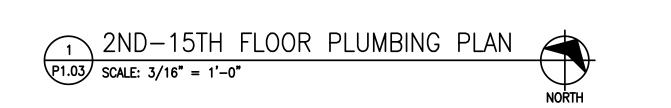
GROUND FLOOR PLUMBING
PLAN

P1.02

CODED NOTES:

1 EXISTING PLUMBING FIXTURE TO BE REMOVED AND REPLACED WITH NEW.
2 EXISTING LAUNDRY HOOKUPS TO BE REMOVED AND REPLACED WITH NEW.

D T _____ UNIT 1B **MIRRORED** UNIT 1C X06 X05 ACCESSIBLE UNITS: #205, #305, #405, #505 #605, #705, #805, #905 1 #1005, #1005, #1205, #1305, #1405, #1505 UNIT 1A MIRRORED L_© X07 UNIT 1A X04 STAIR A ELEVATOR LOBBY X11 UP ROOF UNIT 1A MIRRORED X03 STAIR B (C) UNIT 1A MIRRORED X02 AUDIO VISUAL UNITS: #309, #709, #1509 UNIT 1B MIRRORED X01 TERRACE X06



D

B



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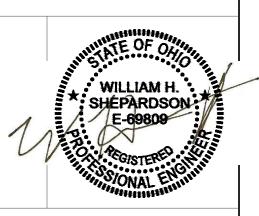
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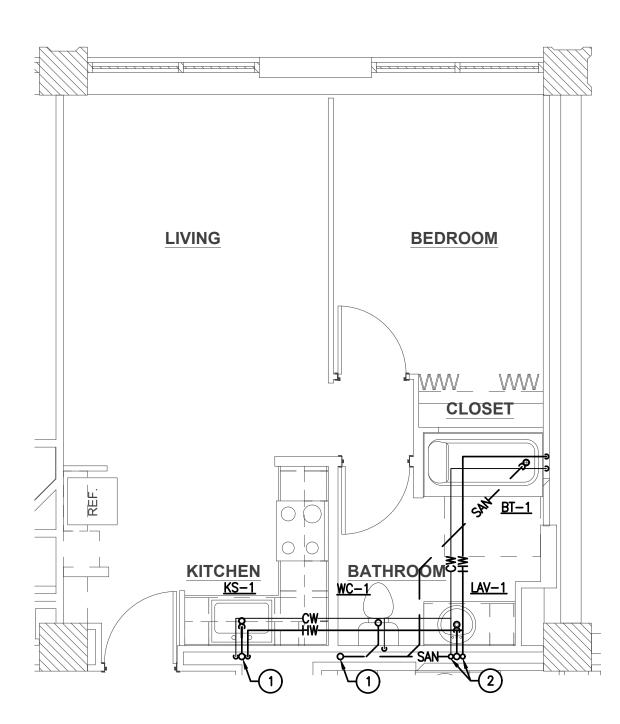
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TYPICAL FLOORS 2-15
PLUMBING PLAN

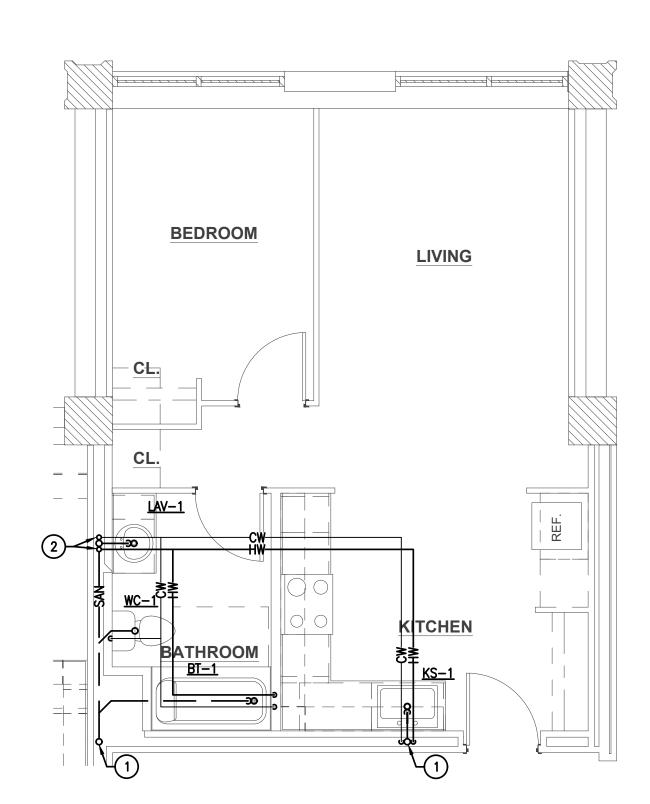
P1.03



UNIT TYPE 1A PLUMBING PLAN
P2.01 SCALE: NONE

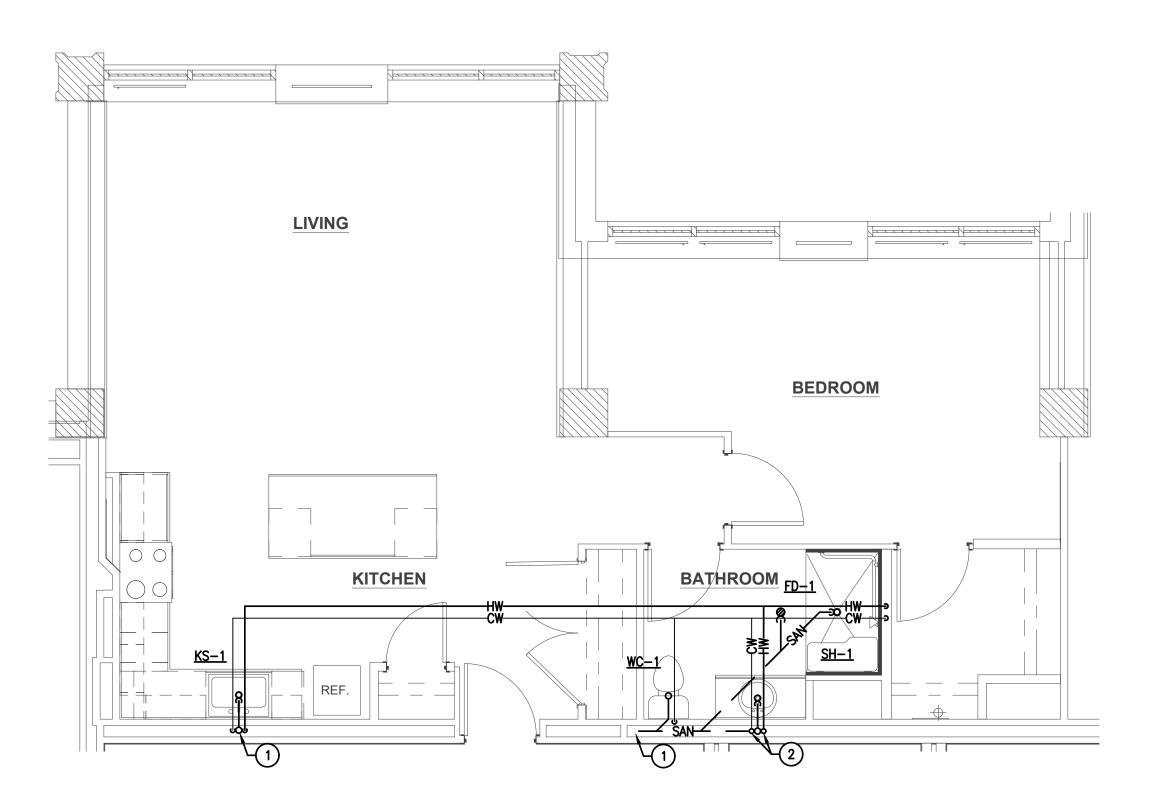
CODED NOTES:

1) PROVIDE NEW SANITARY STACK. SEE OVERALL PLANS FOR CONTINUATION. 2 PROVIDE NEW HOT WATER AND COLD WATER RISERS. SEE OVERALL PLANS FOR CONTINUATION. EXTEND 3/4" HOT WATER AND COLD WATER BRANCHES INTO APARTMENT.



UNIT TYPE 1B PLUMBING PLAN
P2.01 SCALE: NONE

CODED NOTES: 1) PROVIDE NEW SANITARY STACK. SEE OVERALL PLANS FOR CONTINUATION. 2 PROVIDE NEW HOT WATER AND COLD WATER RISERS. SEE OVERALL PLANS FOR CONTINUATION. EXTEND 3/4" HOT WATER AND COLD WATER BRANCHES INTO APARTMENT.

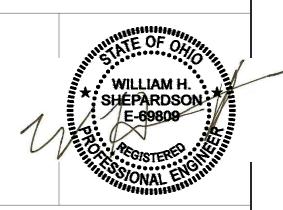


UNIT TYPE 1C PLUMBING PLAN
P2.01 SCALE: NONE

CODED NOTES:

1) PROVIDE NEW SANITARY STACK. SEE OVERALL PLANS FOR CONTINUATION.

2 PROVIDE NEW HOT WATER AND COLD WATER RISERS. SEE OVERALL PLANS FOR CONTINUATION. EXTEND 3/4" HOT WATER AND COLD WATER BRANCHES INTO APARTMENT.



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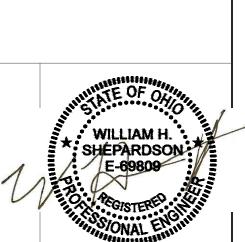
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DESCRIPTION

Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47 TYPICAL UNIT PLUMBING



MECHANICAL SPECIFICATIONS

1. GENERAL PROVISIONS

- A. THE PROVISIONS OF THE INSTRUCTIONS TO BIDDERS, GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS, ALTERNATES ADDENDA'S', AND DIVISION 1 ARE A PART OF THIS SPECIFICATION. CONTRACTORS AND SUBCONTRACTORS SHALL EXAMINE SAME AS WELL AS OTHER DIVISIONS OF THE SPECIFICATIONS WHICH AFFECT WORK UNDER THIS DIVISION.
- B. THIS CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, SUPPLIES, SERVICES, AND SHALL PERFORM ALL WORK COMPLETE AND IN STRICT ACCORDANCE WITH THIS SPECIFICATION AND APPLICABLE DRAWINGS. ANY DEVIATIONS SHALL BE CLEARLY DEFINED AND ITEMIZED IN ACCORDANCE WITH SECTION 10.F OF THIS SPECIFICATION.
- C. THIS CONTRACTOR IS INSTRUCTED TO READ CAREFULLY THE SPECIFICATIONS FOR ALL PARTS OF THE WORK, WHICH INCLUDE THE ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION, CIVIL, STRUCTURAL AND ALL OTHER DRAWINGS AS WELL AS THE SPECIFICATIONS FOR ALL THE DIVISIONS THAT ARE PART OF THE CONTRACT
- D. ALL ITEMS OF LABOR, MATERIAL, AND EQUIPMENT NOT SPECIFICALLY MENTIONED HEREIN OR SHOWN ON PLAN, BUT INCIDENTAL TO, OR REQUIRED FOR THE COMPLETE INSTALLATION AND PROPER OPERATION OF THE WORK, SHALL BE FURNISHED AS IF CALLED FOR IN DETAIL BY THE SPECIFICATIONS OR DRAWINGS
- E. AS USED IN THIS SPECIFICATION, "PROVIDE" MEANS "FURNISH AND INSTALL". "FURNISH" MEANS "TO PURCHASE AND DELIVER TO THE PROJECT SITE COMPLETE WITH EVERY NECESSARY APPURTENANCE AND SUPPORT," AND "INSTALL" MEANS "TO UNLOAD AT THE DELIVERY POINT AT THE SITE AND PERFORM EVERY OPERATION NECESSARY FOR PROPER INSTALLATION PER CODES AND MANUFACTURERS REQUIREMENTS, TO ESTABLISH SECURE MOUNTING AND CORRECT OPERATION AT THE PROPER LOCATION IN THE PROJECT."

2. PERMITS, CODES, INSPECTIONS AND TESTS.

- a. The HVAC contractor shall secure and pay for all permits and inspections required for the PROSECUTION OF HVAC WORK. ALL PERMITS AND CERTIFICATES OF INSPECTION AND APPROVAL SIGNED BY THE CONTROLLING BUILDING DEPARTMENT SHALL BECOME PROPERTY OF THE OWNER
- B. DRAWINGS INDICATE THE MINIMUM DESIGN REQUIREMENTS. NATIONAL, STATE, AND LOCAL CODES SHALL BE FOLLOWED, COMPLY WITH THE LATEST EDITIONS OF THE STATE MECHANICAL CODE, NFPA, SMACNA, AND ASHRAE STANDARDS. THE CONTRACTOR SHALL INCLUDE THE COST OF SATISFYING SUCH CODES AND STANDARDS IN THE BID.
- AND APPROVAL BY REGULATORY AGENCIES HAVING JURISDICTION. (1) DEMONSTRATE TO THE OWNER'S SATISFACTION THE PROPER OPERATION OF EACH OF THE SYSTEMS COMPRISING

C. FOLLOWING COMPLETION OF THE HVAC WORK, FURNISH TO THE OWNER, IN DUPLICATE, CERTIFICATES OF INSPECTION

- THIS CONTRACT BEFORE FINAL PAYMENT. (2) IMMEDIATELY CORRECT ANY WORK FOUND AT VARIANCE WITH THESE SPECIFICATIONS, THE NATIONAL, STATE, AND
- LOCAL CODES, AND REQUIREMENTS OF GOVERNING REGULATORY AGENCIES. (3) TEST PIPING FOR LEAKS: REPAIR LEAKS IN COPPER TUBING BY SWEATING OUT JOINT; THOROUGHLY CLEANING BOTH TUBE AND FITTING, AND RESOLDERING. CORRECT LEAKS IN SCREWED JOINT BY REPLACING THREAD OR
- (4) PROVIDE SERVICES OF A CERTIFIED A.A.B.C. OR N.E.E.B. TEST AGENCY. CONDUCT ALL TESTS IN ACCORDANCE WITH ASSOCIATED AIR BALANCE COUNCIL STANDARDS. TEST AND ADJUST AIR HANDLING SYSTEM TO WITHIN 5% OF DESIGN REQUIREMENTS.
- 3. VISIT TO THE SITE A. THE CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND BECOME FAMILIAR WITH ALL CONDITIONS AFFECTING THE WORK. THE SUBMISSION OF A PROPOSAL SHALL PRESUPPOSE KNOWLEDGE OF ALL SUCH CONDITIONS AND NO
- ADDITIONAL COMPENSATION SHALL BE ALLOWED WHERE EXTRA LABOR OR MATERIALS ARE REQUIRED BECAUSE OF IGNORANCE OF THESE CONDITIONS.
- A. THE HVAC CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FROM DIRT AND WATER DURING CONSTRUCTION NECESSITATED BY HVAC WORK. PROTECTION METHODS ARE SUBJECT TO APPROVAL BY THE ARCHITECT. 5. EQUIPMENT AND MATERIALS
- A. ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND SHALL CONFORM TO UNDERWRITERS' LABORATORIES STANDARDS WHERE APPLICABLE. WHERE SPECIFICATIONS DESCRIBE, OR PLANS SHOW, MATERIALS OR EQUIPMENT OF HIGHER QUALITY THAN REQUIRED BY CODE AND LOCAL RULING, THE DRAWINGS AND SPECIFICATIONS SHALL GOVERN THE QUALITY OF THE MATERIAL OR EQUIPMENT. <u>USED EQUIPMENT OR MATERIALS ARE PROHIBITED UNLESS NOTED</u>
- B. NEW OR EXISTING TO REMAIN EQUIPMENT SHALL NOT BE OPERATED DURING CONSTRUCTION. HVAC CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND PROVIDE TEMPORARY SPACE CONDITIONING IN ORDER TO MAINTAIN TEMPERATURES AND HUMIDITY LEVELS AS REQUIRED FOR GENERAL CONSTRUCTION.
- C. THE CONTRACTOR SHALL SUBMIT PROOF, IF REQUESTED BY THE OWNER, THAT THE MATERIALS, APPLIANCES EQUIPMENT OR DEVICES FURNISHED AND INSTALLED UNDER THIS CONTRACT MEET THE REQUIREMENTS OF THE UNDERWRITERS' LABORATORIES, INC. IN REGARDS TO FIRE AND CASUALTY HAZARDS. THE LABEL OF OR LISTING BY . UNDERWRITERS' LABORATORIES, INC. WILL BE ACCEPTED AS CONFORMING TO THIS REQUIREMENT. IN LIEU OF LABEL OR LISTING, THE CONTRACTOR MAY SUBMIT INDEPENDENT PROOF SATISFACTORY TO THE ARCHITECT THAT THE MATERIAL, APPLIANCES OR DEVICES CONFORM TO THE PUBLISHED STANDARDS, INCLUDING METHODS OF TEST FOR THE underwriters' laboratories incorporated. Underwriters laboratories. Inc. and its publications will be REFERRED TO HEREINAFTER BY THE ABBREVIATION UL. WITH OR WITHOUT ADDITIONAL IDENTIFYING SYMBOLS.

- A. THE HVAC CONTRACTOR SHALL GUARANTEE FOR A PERIOD OF ONE YEAR THAT ALL WORK AND EQUIPMENT WILL REMAIN FREE FROM ALL DEFECTS IN WORKMANSHIP AND MATERIALS, AND THAT IT WILL COMPLY WITH ALL THE SPECIFIC REQUIREMENTS OF THE SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS GOVERNING THE WORK.
- B. ALL WORK FOUND BY THE ENGINEER TO BE DEFECTIVE WILL BE REPLACED WITH NEW WORK MEETING ALL THE REQUIREMENTS OF THE CONTRACT. THE HVAC CONTRACTOR WILL BEAR ALL COSTS OF SUPPLYING SUCH NEW, AND INSTALLING AND FINISHING SAME, AND WILL ASSUME ALL COSTS FOR REPLACING OTHER WORK DAMAGED BY THE REMOVAL AND REPLACEMENT OF ANY OF THE WORK. THE HVAC CONTRACTOR WILL BEAR ALL COSTS FOR FREIGHT, DRAYAGE AND DEMURRAGE, AND ALL LABOR IN CONNECTION THEREWITH.

7. CUTTING, PATCHING, FIRESTOPPING AND PAINTING

- A. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING ALL HOLES REQUIRED FOR INSTALLATION OF HVAC WORK. HOLES SHALL BE CUT IN A NEAT MANNER SATISFACTORY TO THE ARCHITECT.
- B. CONTRACTOR SHALL EMPLOY AN BUILDING OWNER APPROVED ROOFING CONTRACTOR FOR ALL ROOF PENETRATIONS ROOF SHALL BE REPAIRED SO AS NOT TO VOID ROOF WARRANTY
- C. UNLESS NOTED OTHERWISE, ALL HOLES OR DAMAGE CAUSED BY THE REMOVAL OF EXISTING WORK OR THE INSTALLATION OF NEW WORK SHALL BE PROPERLY PATCHED BY THIS CONTRACTOR. HOLES SHALL BE NEATLY PATCHED AND PAINTED WITH SUITABLE MATERIAL TO MATCH EXISTING SURFACES. HOLES THROUGH FLOORS OR FIRE WALLS SHALL BE SEALED WITH THE APPROPRIATE INTUMESCENT CAULK, PUTTY, STRIP OR SHEET FIRE BARRIER
- D. FIRESTOP SYSTEM (REQUIRED FIRESTOPPING MATERIALS) SHALL BE DETERMINED BY THE WALL OR FLOOR/CEILING ASSEMBLY AND PENETRATION TYPE AND SHALL BE UL LISTED AND TESTED IN ACCORDANCE WITH ASTM E814, FIRE RATING OF THE FIRESTOP SYSTEM SHALL BE EQUIVALENT TO THE ASSEMBLY WHICH IS PENETRATED.
- E. ACCEPTABLE FIRE BARRIER PRODUCTS: HILTI "FS-ONE" NELSON FLAMESEAL" OR APPROVED EQUAL AS MANUFACTURED

8. CLEANING AND PAINTING

- A. CLEAN NEW PIPING AFTER WORK IS COMPLETE TO REMOVE PIPE DOPE. LOOSE MILL SCALE, AND OTHER EXTRANEOUS
- B. TOUCH UP AND REPAIR ANY DAMAGED FACTORY FINISHES ON EQUIPMENT AND MATERIALS FURNISHED. OTHER PAINTING WILL BE DONE UNDER THE PAINTING DIVISION OF THE SPECIFICATIONS.

9. COORDINATION AND CONDUCT OF WORK

- A. HVAC DRAWINGS ARE DIAGRAMMATIC, INDICATING GENERAL ARRANGEMENT, APPROXIMATE SIZES, GENERAL LOCATIONS OF EQUIPMENT AND PIPING. VERIFY DIMENSIONS IN FIELD; ADJUST TO MANUFACTURER'S SHOP DRAWINGS. DO NOT
- B. ALL REQUESTS FOR INFORMATION SUPPLEMENTAL TO THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR DISTRIBUTION TO THE APPROPRIATE PARTY(S)
- C. DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS SUPPLEMENTING EACH OTHER. WORK SPECIFIED BUT NOT SHOWN, OR SHOWN BUT NOT SPECIFIED, SHALL BE PERFORMED OR FURNISHED AS THOUGH MENTIONED IN BOTH
- D. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER.
- E. ARCHITECTURAL AND STRUCTURAL DRAWINGS SUPERSEDE HVAC DRAWINGS. DETERMINE THAT WORK OF THIS DIVISION CAN BE ACCOMMODATED WITHIN SPACES PROVIDED. NOTIFY ARCHITECT OF ANY INTERFERENCE BEFORE STARTING
- F. DETERMINE SIZES, LOCATIONS FOR CHASES AND OPENINGS NECESSARY FOR INSTALLATION OF HVAC WORK, COOPERATE WITH OTHER TRADES IN PROVIDING SLEEVES, INSERTS AND HANGERS.
- G. COORDINATE THIS WORK WITH ALL TRADES. ARRANGE OPERATIONS SO AS NOT TO DELAY COMPLETION OF INSTALLATION OF ANY PARTS OF INTERRELATED WORK SO THAT CONSTRUCTION MAY PROCEED ON SCHEDULE.
- H. COOPERATE WITH ALL TRADES IN PREPARING INTERFERENCE DRAWINGS FOR AREAS WHERE THERE IS POSSIBLE CONFLICT BETWEEN TRADES. EXACT LOCATION OF PIPES, DUCTS AND EQUIPMENT SHALL BE BASED ON FIELD MEASUREMENT WITH FINAL ARRANGEMENT DETERMINED BY INTRA—TRADE AGREEMENTS SUBJECT TO ARCHITECT'S
- I. ARCHITECT RESERVES THE RIGHT TO MAKE REASONABLE CHANGES IN INDICATED LOCATIONS WITHOUT EXTRA COST TO
- J. ALL WORK SHALL BE INSTALLED IN NEAT AND WORKMANLIKE MANNER BY FIRST—CLASS MECHANICS. THE CONTRACTOR SHALL PROVIDE ADEQUATE AND COMPETENT SUPERVISION OF THE JOB AS REQUIRED
- K. DUCTWORK. PIPING AND EQUIPMENT SHALL BE ARRANGED SUBSTANTIALLY AS INDICATED. ANY CHANGE RESULTING IN A SAVINGS IN LABOR OR MATERIAL SHALL BE MADE ONLY IN ACCORDANCE WITH A CONTRACT CHANGE ORDER. DEVIATIONS SHALL BE MADE ONLY WHERE NECESSARY TO AVOID INTERFERENCES AND ONLY AFTER DRAWINGS SHOWING
- THE PROPOSED DEVIATIONS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ARCHITECT. L. COORDINATE ALL SHUTDOWNS OF ANY HVAC SYSTEM IN ADVANCE WITH THE OWNER.

10. SUBMITTALS

- A. PROVIDE A MINIMUM OF SIX (6) SETS OF SHOP DRAWINGS/SUBMITTALS FOR ALL SCHEDULED AND/OR SPECIFIED EQUIPMENT FOR APPROVAL BY THE ARCHITECT AND ENGINEER. INFORMATION SHALL INCLUDE, BUT IS NOT LIMITED TO; CFM, HP, GPM, MBH, EER, COP, %EFF, VOLTAGE/PHASE, MCA, CONNECTION SIZES, WEIGHT, DIMENSIONS, SCHEDULED EQUIPMENT, DIFFUSERS, DAMPERS, LISTED ACCESSORIES, ETC. AND OTHER COMPONENTS REQUIRED FOR A COMPLETE INSTALLATION.
- B. WHERE ONLY ONE MAKE OF EQUIPMENT IS NAMED, IT SHALL BE PROVIDE AS SPECIFIED.
- C. VERBAL REQUESTS OF APPROVALS FOR ANY SUBSTITUTION WILL NOT BE BINDING ON THE ARCHITECT, ENGINEER AND D. THIS CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ALL COSTS FOR REDESIGN AND CHANGES NECESSARY BY ALL
- TRADES TO ACCOMMODATE THE USE OF EQUIPMENT NOT SPECIFIED ON PROJECT DOCUMENTS. E. BIDS SHALL BE BASED UPON THE SPECIFIED PRODUCTS OR LISTED ALTERNATIVES. DRAWINGS AND SPECIFICATIONS
- ARE BASED ON THE PRODUCTS SPECIFIED BY TYPE, MODEL, AND SIZE, AND THUS ESTABLISH MINIMUM QUALITIES, WHICH SUBSTITUTES MUST MEET TO QUALIFY FOR REVIEW.
- F. SHOULD THE CONTRACTOR PROPOSE TO FURNISH MATERIALS, EQUIPMENT, AND DEVICES, OTHER THAN THOSE SPECIFIED AND LISTED. THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR SUBSTITUTIONS TO THE ENGINEER AT LEAST FOURTEEN (14) CALENDAR DAYS PRIOR TO BID OPENING. THE REQUEST SHALL BE AN ALTERNATE TO THE ORIGINAL BID AND SHALL INCLUDE AND BE ACCOMPANIED WITH COMPLETE SPECIFICATION CUT SHEET SUBMITTALS AS OUTLINED IN SECTION 10.A OF THIS SPECIFICATION SECTION, COMPLETE WITH DESCRIPTIVE (MANUFACTURER, BRAND NAME. CATALOG NUMBER, ETC) AND TECHNICAL DATA FOR ALL ITEMS. INDICATE ANY ADDITIONS OR DEDUCTIONS TO THE CONTRACT PRICE ON BOTH THE SUBSTITUTION SUBMITTAL AND THE BID FORM. FAILURE TO PERFORM THESE ACTIONS EQUATES TO ACKNOWLEDGEMENT THAT THE PROJECT HAS BEEN BID WITH STRICT ACCORDANCE TO THIS SPECIFICATION AND APPLICABLE DRAWINGS.

- G. ACCEPTANCE OR REJECTION OF THE PROPOSED SUBSTITUTIONS SHALL BE SUBJECT TO APPROVAL OF THE ARCHITECT AND ENGINEER. IF REQUESTED, THE CONTRACTOR SHALL SUBMIT INSPECTION SAMPLES OF BOTH THE SPECIFIED AND THE PROPOSED SUBSTITUTE ITEMS.
- H. IF ANY SUBSTITUTIONS ARE APPROVED, AN ADDENDUM LISTING THE APPROVED ITEMS(S) WILL BE ISSUED TO ALL BIDDING CONTRACTORS PRIOR TO THE BID DATE.
- I. IN ALL CASES WHERE SUBSTITUTIONS ARE PERMITTED, THE CONTRACTOR SHALL BEAR ANY EXTRA COST OF EVALUATING THE EQUALITY OF THE MATERIAL AND EQUIPMENT TO BE INSTALLED.
- 11. EQUIPMENT IDENTIFICATION
- A. THE CONTRACTOR SHALL FURNISH AND INSTALL A SYSTEM OF NAMEPLATES DESIGNED TO IDENTIFY EACH PIECE OF
- (1) NAMEPLATE LETTERS AND NUMBERS SHALL MATCH EQUIPMENT DESIGNATION AS INDICATED ON THE DRAWINGS. (2) NAMEPLATES SHALL BE LAMINATED PHENOLIC WITH BLACK SURFACE AND WHITE CORE. USE 1/16" THICK MATERIAL FOR PLATES UP TO 2" BY 4". FOR LARGER SIZES USE 1/8" THICK. LETTERS AND NUMBERS SHALL BE A MINIMUM OF 1/2" HIGH.
- (3) FASTEN NAMEPLATES TO ALL EQUIPMENT BY THE USE OF STAINLESS STEEL SHEET METAL SCREWS. 12. AS-BUILT DRAWINGS
- A. AS WORK PROGRESSES, RECORD ON A SET OF "AS-BUILT" PRINTS ANY DEVIATIONS FROM DESIGN DRAWINGS. DELIVER THIS SET TO THE OWNER BEFORE SUBMITTING REQUEST FOR FINAL PAYMENT. THE "AS-BUILT" PRINTS SHALL BE AN ACCURATE DEPICTION OF THE PROJECT AS COMPLETED.
- 13. OPERATING AND MAINTENANCE MANUALS A. PROVIDE TO OWNER AT PROJECT TURNOVER, THREE (3) HARDBOUND COPIES OF OPERATING AND MAINTENANCE MANUALS FOR ALL EQUIPMENT AND SYSTEMS INSTALLED.
- B. MANUALS SHALL INCLUDE ALL RELEVANT INFORMATION NEEDED FOR DAY-TO-DAY OPERATION AND MANAGEMENT OF EACH SYSTEM AND EQUIPMENT MAINTENANCE INFORMATION REQUIRED TO SUPPORT THE MAINTENANCE PROGRAM. C. MANUALS SHALL INCLUDE THE SEQUENCE OF OPERATION FOR EACH SYSTEM WHICH DESCRIBES THE CONTROL

- A. PROVIDE ALL INSULATION MATERIALS (INSULATION, JACKETS, FITTING COVERS, ADHESIVES, CEMENTS, MASTICS, SEALERS AND FINISHES) WITH A FLAME-SPREAD INDEX OF 25 OR LESS AND SMOKE DEVELOPED INDEX OF 50 OR LESS. AS TESTED UNDER PROCEDURE ASTM E-84 (NFPA 255)
- B. ALL INSULATION SHALL BE INSTALLED OVER CLEAN, DRY SURFACES. INSULATION MUST BE DRY AND IN GOOD CONDITION. <u>WET OR DAMAGED INSULATION IS NOT ACCEPTABLE.</u> NO INSULATION SHALL BE APPLIED PRIOR TO PRESSURE TEST COMPLETION OF THE RESPECTIVE SYSTEM.
- SLEEVES. OVERLAP AT SEAMS PER MANUFACTURER'S RECOMMENDATIONS. D. ALL INSULATION PRODUCTS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATION.

C. ALL INSULATION SHALL BE CONTINUOUS (INCLUDING VAPOR BARRIER) THROUGH WALL AND CEILING OPENINGS AND

THE WORKMANSHIP SHALL BE FIRST CLASS AND ALL JOINTS SHALL BE MADE TIGHT. E. INSULATION R-VALUES MUST MEET ADOPTED ASHRAE 90.1 OR IECC STANDARDS.

COMPONENTS AND HOW THE SYSTEM WILL START, STOP AND OPERATE.

- E. INTERNAL DUCT INSULATION SHALL BE USED ON EXPOSED DUCTWORK
- F. REPAIR EXISTING INSULATION WHERE REMOVED FOR NEW CONNECTIONS OR INSULATION DAMAGED DURING CONSTRUCTION. INSULATION SHALL BE THE SAME AS SPECIFIED FOR NEW SERVICE.
- G. ALL INSULATION USED AS PLENUM WRAP COVERING FOR COMBUSTIBLE MATERIALS IN A PLENUM SPACE SHALL BE 3M PLENUM PROTECTION SYSTEM (PP-100-P), ONE LAYER OF 3M FIRE BARRIER DUCT WRAP 5A, IN ACCORDANCE WITH
- H. ALL SUPPLY, RETURN AND FRESH AIR DUCTWORK TO BE INSULATED OR LINED, UNLESS OTHERWISE NOTED.
- I. ACOUSTICAL DUCT LINING: (1) INTERNALLY LINE FIRST TEN FEET OF DUCTWORK FROM AIR HANDLERS AND TERMINAL UNITS AND WHERE
- (2) FIBROUS GLASS, COMPLYING WITH THERMAL INSULATION MANUFACTURERS ASSOCIATION (TIMA) AHC-101.
- (3) ASTM C 1071, TYPE II, WITH COATED SURFACE EXPOSED TO AIRSTREAM TO PREVENT EROSION OF GLASS FIBERS 1" THICK. 1- ½ LB. DENSITY. COATING MATERIAL SHALL BE ANTI-MICROBIAL AND COMPLY WITH NFPA 90A AND
- (4) K-FACTOR" EQUAL TO 0.28 OR BETTER, AT MEAN TEMPERATURE OF 75 DEG. F. (5) FLAME SPREAD INDEX SHALL BE 25 OR LESS AND SMOKE DEVELOPED INDEX SHALL BE 50 OR LESS, AS TESTED IN ACCORDANCE WITH ASTM C 411.
- (6) DUCT LINING ADHESIVE SHALL COMPLY WITH ASTM C 916 SPECIFICATIONS FOR ADHESIVES FOR "DUCT THERMAI INSULATION". DUCT LINING FASTENERS ALL COMPLY WITH SMACNA DUCT CONSTRUCTION STANDARDS, ARTICLE
- (7) ALTERNATE DUCT LINING MATERIAL ARMACELL AP ARMAFLEX SA BLACK DUCT LINER, 3/4" THICK, MICROBAN ANTI-MICROBIAL PROTECTION.
- 15. METAL DUCTWORK A. HVAC CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO FABRICATION OF DUCTWORK. ANY CONFLICTS
- OR INTERFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. B. GALVANIZED DUCTWORK SHALL BE FABRICATED OF NO.1 PRIME GALVANIZED SHEET METAL OF LOCK FORMING QUALITY. C. SEALING MATERIALS SHALL BE SUITABLE FOR; USE WITH AIR DISTRIBUTION DUCTWORK. ACCEPTABLE MANUFACTURERS
- ARE MONOCO INDUSTRIES, 3M. OR UNITED SHEET METAL. D. PROVIDE ALL DUCTWORK AS INDICATED ON THE DRAWINGS, MAKING ALL NECESSARY OFFSETS (WHETHER OR NOT
- SPECIFICALLY INDICTED) AS REQUIRED TO MEET THE VARIOUS BUILDING CONDITIONS. DUCTWORK INSTALLATION SHALL NOT CONFLICT WITH EQUIPMENT OR PIPING. E. EXPOSED DUCTWORK SHALL BE PRIMED AND PAINTED. COORDINATE WITH ARCHITECTURAL PLANS FOR COLOR
- F. ALL CHANGES IN CROSS SECTION SHALL BE MADE WITHOUT REDUCING THE DESIGN AREA OF THE DUCT OR RAISING THE PRESSURE DROP PER 100 FEET OF DUCT SHOWN ON DOCUMENTS.
- G. NO PIPE OR OTHER OBSTRUCTIONS SHALL PASS THROUGH AIR DUCTS, UNLESS SPECIFICALLY SHOWN ON PLANS. H. CAP ALL OPEN ENDS TO DUCTWORK DURING CONSTRUCTION TO PREVENT ENTRANCE OF DUST, DEBRIS, MOISTURE

I. INSTALL DUCTWORK RUN ABOVE CEILING AS HIGH AS POSSIBLE SO AS TO MAINTAIN DESIGN CEILING HEIGHTS.

- EXPOSED DUCTWORK SHALL BE INSTALLED TO PROVIDE MAXIMUM HEADROOM OR AT HEIGHT SPECIFIED ON PLANS. J. DUCTWORK SHALL NOT BE HUNG FROM EQUIPMENT, PIPING, CONDUIT, ROOF DECKING OR OTHER DUCTWORK K. ALL DUCTWORK JOINTS AND SEAMS SHALL BE AIR-TIGHT PER SMACNA TABLE 1.1. POORLY MADE JOINTS, SPLITS,
- VISIBLE HOLES AT CORNERS, ETC SHALL BE REWORKED AND REPAIRED. WHERE EXCESSIVE PULSATING OF DUCTWORK IS FOUND, ADDITIONAL STIFFENERS SHALL BE ADDED. ANY CRACKING IN THE SEALANT THAT IS APPARENT UPON INSPECTION SHALL BE SUFFICIENT TO WARRANT REJECTION. L. IF THE INTERIOR OF SHEET METAL IS EXPOSED TO VIEW THROUGH AIR DISTRIBUTION DEVICES IN FINISHED AREAS OF
- THE BUILDING, IT SHALL BE COATED WITH PRIMER AND A FLAT BLACK FINISH COAT. M. ALL DUCTWORK SHALL BE SUPPORTED PER SMACNA REQUIREMENTS.

N. RECTANGULAR DUCTWORK FITTINGS.

- (1) BRANCH CONNECTIONS SHALL BE 45 DEGREES ENTRY. STRAIGHT TAPS ARE NOT PERMITTED.
- (2) CHANGES IN DIRECTION SHALL BE MADE WITH FULL RADIUS ELBOWS WITH RADIUS EQUAL TO 1-1/2 TIMES THE HORIZONTAL WIDTH OF THE DUCT OR WITH SQUARE ELBOWS WITH TURNING VANES. TURNING VANES SHALL BE DOUBLE THICKNESS TYPE CONSTRUCTED OF THE SAME MATERIAL AS THE SURROUNDING DUCTWORK, PER SMACNA
- O. ROUND DUCTWORK FITTINGS:
- (1) BRANCH CONNECTIONS SHALL BE MADE WITH 45 DEGREE ENTRY TEES.
- (2) CHANGE IN DIRECTION SHALL BE MADE WITH FULL RADIUS ELBOWS WITH RADIUS EQUAL TO 1-1/2 TIMES THE DIAMETER OF THE DUCT.
- P. LOW PRESSURE DUCTWORK SHALL BE CONSTRUCTED PER SMACNA "HVAC DUCT CONSTRUCTION STANDARDS" FOR 2 INCH STATIC PRESSURE, SEAL CLASS "B". Q. HANGERS AND SUPPORTS
- (1) PROVIDE GALVANIZED STEEL STRAPS, ALL-THREAD ROD AND HORIZONTAL ANGLE SUPPORTS SIZED PER SMACNA REQUIREMENTS.
- (2) DUCT ATTACHMENTS SHALL BE MADE USING SHEET METAL SCREWS COMPATIBLE WITH DUCT MATERIALS. (3) BUILDING ATTACHMENTS SHALL BE CONCRETE INSERTS OR STRUCTURAL STEEL FASTENERS APPROPRIATE FOR THE BUILDING MATERIALS. DO NOT USE POWER ACTIVATE CONCRETE FASTENERS. "C TYPE MALLEABLE IRON BEAM
- CLAMPS ARE ACCEPTABLE ONLY IF USED WITH CARBON STEEL RETAINER STRAP. 16. KITCHEN HOOD EXHAUST AIR DUCTWORK (TYPE 1 GREASE EXHAUST)
- A. DUCTWORK SHALL BE 16 GA. (STAINLESS STEEL, BLACK IRON) WITH RADIUS WELDED STAINLESS STEEL ELBOWS PER INTERNATIONAL MECHANICAL CODE OR LOCAL CODE FOR GREASE DUCT STANDARDS. A.A. ALTERNATE - UL LISTED MANUFACTURED GREASE DUCT SYSTEM. APPROVAL PENDING REVIEW OF ENGINEER AND
- B. GREASE DUCTWORK SHALL SLOPE BACK TO HOOD AT 1/2" PER FOOT.
- C. EXHAUST HOOD MAKE-UP AIR SYSTEM

LOCAL AUTHORITY HAVING JURISDICTION.

- (1) SYSTEM SHALL CONFORM TO THE LOCAL STATE MECHANICAL CODE.
- D. INSULATION: GREASE DUCT FIRE WRAP SHALL BE 2" THICK 3M FOIL WRAPPED FIRE DUCT WRAP 20A IN ACCORDANCE WITH ASTM E2336. IT MUST BE INSTALLED AROUND ALL GREASE DUCT FOR ZERO CLEARANCE INSTALLATION. 17. FLEXIBLE DUCTWORK
- A. TESTED AND CLASSIFIED BY UNDERWRITERS LABORATORIES, INC. AS CLASS I AIR DUCT AND LABELED IN ACCORDANCE WITH U.L. 181, STANDARD FOR AIR DUCTS". THE FLAME SPREAD RATING SHALL BE 25 OR LESS AND THE SMOKE DEVELOPED RATING SHALL BE 50 OR LESS.
- B. LINER SHALL BE CONSTRUCTED OF ALUMINUM FOIL, FIBERGLASS AND ALUMINIZED POLYESTER, MECHANICALLY LOCKED WITHOUT ADHESIVES, HELIX SHALL BE GALVANIZED STEEL, FORMED AND MECHANICALLY LOCKED TO FABRIC.

C. WHERE DUCTWORK IS TO BE INSULATED, FLEXIBLE DUCTWORK LINER SHALL BE COVERED BY A FACTORY WRAPPED,

- 1-1/2" THICK, 3/4 POUND DENSITY FIBERGLASS INSULATION BLANKET WITH A FIRE RETARDANT REINFORCED ALUMINUM OUTER JACKET. D. INSTALL FLEXIBLE DUCTWORK FULLY EXTENDED, FREE OF SAGS AND KINKS. MAXIMUM LENGTH OF FLEXIBLE
- DUCTWORK SHALL BE 3'-0". FASTEN FLEXIBLE DUCTWORK TO RIGID DUCTWORK AND DEVICES WITH SELF-LOCKING 100 PERCENT NYLON, ADJUSTABLE DIAMETER CLAMPS. E. ACCEPTABLE MANUFACTURERS ARE THERMAFLEX, FLEXMASTER U.S.A. INC. AND CLEVAFLEX.
- 18. BALANCING DAMPERS
- A. PROVIDE BALANCING DAMPERS FOR ALL AIR TERMINAL DEVICES (SUCH AS BUT NOT LIMITED TO. DIFFUSERS. REGISTERS, GRILLES, ETC.) AND BRANCH DUCTWORK REQUIRED FOR PROPER BALANCING OF SYSTEM.
- B. ROUND DAMPERS SHALL BE SINGLE BLADE TYPE CONSTRUCTION, MINIMUM 18 GAUGE GALVANIZED STEEL. PIVOT ROD SHAFT SHALL BE CONTINUOUS.

- C. RECTANGULAR DAMPERS SHALL BE SINGLE BLADE OR MULTIPLE (OPPOSED BLADE) TYPE CONSTRUCTION. MAXIMUM BLADE WIDTH IS 8 INCHES.
- D. ALL BALANCING DAMPERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SMACNA "HVAC DUCT CONSTRUCTION
- E. FURNISH ALL BALANCING DAMPERS WITH YOUNG REGULATOR COMPANY VALCALOX REGULATORS WITH HANDLE PERMANENTLY ATTACHED. DAMPER HANDLE POSITION SHALL BE SECURELY LOCKED IN PLACE BY TIGHTENING OF A LOCK NUT. WHERE DUCTWORK IS EXTERNALLY INSULATED, REGULATOR BASE HEIGHT SHALL ACCOMMODATE
- F. PROVIDE ALL MANUAL BALANCING DAMPERS WHERE INDICATED ON THE DRAWINGS AND WHERE NECESSARY TO PROPERLY DISTRIBUTE AND BALANCE THE AIR.
- 19. REGISTERS, GRILLES AND DIFFUSERS A. PROVIDE REGISTERS, GRILLS AND DIFFUSERS WHERE SHOWN ON THE DRAWINGS, OF SIZE TYPE, AND MATERIAL AS
- INDICATED AND AS REQUIRED FOR A COMPLETE INSTALLATION. B. BORDER TYPES SHALL BE COMPATIBLE WITH THE CEILINGS WHERE THE GRILLES AND DIFFUSERS ARE TO BE
- C. ALL GRILLES AND DIFFUSERS SHALL BE FINISHED WITH A FACTORY APPLIED OFF-WHITE FINISH UNLESS NOTED
- D. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF GRILLES AND DIFFUSERS.
- 20. VIBRATION ISOLATION A. PROVIDE ADEQUATE VIBRATION ISOLATION FOR EACH PIECE OF EQUIPMENT.
- B. PROVIDE FLEXIBLE CONNECTIONS WITH 1" SLACK BETWEEN DUCTS AND FANS AS MANUFACTURED BY DURO-DYNE, OR
- C. PROVIDE FLEXIBLE FITTING ON PIPING CONNECTIONS TO EQUIPMENT.
- 21. REFRIGERATION AND AIR CONDITIONING CONDENSATE PIPING SYSTEMS A. USE TYPE DWV COPPER PIPING WITH BRAZED DRAINAGE FITTINGS FOR CONDENSATE PIPING.
- B. USE TYPE ACR COPPER PIPING WITH BRAZED WROUGHT COPPER FITTINGS FOR ALL REFRIGERATION PIPING.
- C. PITCH PUMPED AND GRAVITY CONDENSATE PIPING AT 1/8 INCH PER FOOT IN DIRECTION OF FLOW. D. INSULATE ALL INTERIOR CONDENSATE PIPING AND REFRIGERATION SUCTION PIPING WITH 3/4 INCH ARMACELL CLOSED CELL SELF SEALING ARMAFLEX INSULATION.

22. EXHAUST FANS

- A. CEILING MOUNTED DIRECT DRIVE CENTRIFUGAL EXHAUST VENTILATOR. FANS SHALL BE UL LISTED AND BEAR THE
- AMCA CERTIFIED RATING SEAL FOR SOUND AND AIR PERFORMANCE B. ALL FASTENERS SHALL BE CORROSION RESISTANT. ALUMINUM BASE SHALL HAVE CONTINUOUSLY WELDED CURB CAP CORNERS. MOTOR, BEARINGS AND DRIVE SHALL BE MOUNTED ON A STEEL ASSEMBLY, ISOLATED FROM THE FAN STRUCTURE WITH RUBBER VIBRATION ISOLATORS.
- C. WHEEL SHALL BE CENTRIFUGAL BACKWARD INCLINED TYPE, CONSTRUCTED OF ALUMINUM, WITH A MACHINED CAST ALUMINUM HUB. D. MOTOR SHALL BE HEAVY DUTY TYPE WITH PERMANENTLY LUBRICATED SEALED BALL BEARINGS.
- E. FAN BEARINGS SHALL BE HEAVY DUTY REGREASABLE BALL TYPE WITH A CAST IRON HOUSING, RATED IN EXCESS OF 200,000 HOURS AT MAXIMUM CATALOGED OPERATING SPEED. F. BELTS SHALL BE OIL AND HEAT RESISTANT, NON-STATIC TYPE. DRIVES SHALL BE MACHINED CAST IRON, KEYED AND
- SECURELY ATTACHED TO WHEEL AND MOTOR SHAFTS AND SIZED FOR 150 PERCENT OF THE INSTALLED MOTOR
- G. ACCEPTABLE MANUFACTURERS: BROAN, PENN VENTILATOR, COOK GREENHECK AND ACME. 23. EXTERIOR LOUVERS
- A. EXTRUDED ALUMINUM ALLOY FRAME AND DRAINABLE BLADES. ALUMINUM BIRD SCREEN. MILL FINISH B. ACCEPTABLE MANUFACTURERS: RUSKIN, GREENHECK

- 24. MOTOR OPERATED DAMPERS A. GALVANIZED STEEL, LOW LEAKAGE CONTROL DAMPERS WITH 16 GAUGE REINFORCED GALVANIZED STEEL HAT CHANNEL
- FRAME. BLADES SHALL BE 16 GAUGE REINFORCED SINGLE SKIN GALVANIZED STEEL. B. EDGE SEALS SHALL BE PVC COATED POLYESTER FABRIC MECHANICALLY LOCKED INTO THE BLADE EDGE. ADHESIVE OR CLIP-ON STYLES ARE NOT ACCEPTABLE.
- C. JAMB SEALS SHALL BE FLEXIBLE METAL, COMPRESSION TYPE TO PREVENT LEAKAGE BETWEEN BLADE END AND DAMPER FRAME. <u>BLADE END OVERLAPPING FRAME IS UNACCEPTABLE.</u> D. BEARINGS SHALL BE CORROSION RESISTANT. AXLES SHALL BE SQUARE OR HEXAGONAL POSITIVELY LOCKED INTO THE
- DAMPER BLADE. LINKAGE SHALL BE OUT OF THE AIRSTREAM. E. DAMPER ACTUATORS SHALL BE FURNISHED AND INSTALLED BY THE TEMPERATURE CONTROL CONTRACTOR.

F. ACCEPTABLE MANUFACTURERS: RUSKIN, GREENHECK

- 25. TEMPERATURE CONTROLS
- A. PROVIDE A BUILDING MANAGEMENT TEMPERATURE CONTROL SYSTEM. B. ALL TEMPERATURE CONTROL COMPONENTS, WIRING AND CONDUIT SHALL BE THE RESPONSIBILITY OF THE HVAC
- C. WIRING AND CONDUIT (1) ALL 24 VOLT WIRING SHALL BE INSTALLED IN CONDUIT, IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE.
- (2) ALL OUTDOOR 24 VOLT WIRING SHALL BE INSTALLED IN CONDUIT, IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE.

D. HVAC CONTRACTOR SHALL USE OWNER APPROVED TEMPERATURE CONTROL CONTRACTOR AND MANUFACTURER.

26. PROJECT COMPLETION:

A. UPON COMPLETION OF PROJECT THIS CONTRACTOR SHALL PROVIDE NEW FILTERS WITHIN ALL FAN POWERED

B. ALL FAN POWERED EQUIPMENT SHALL HAVE THEIR EXTERIOR CLEANED WITH A MILD SOAP AND WATER SOLUTION AND

THOROUGHLY DRIED. C. PROVIDE 3 COPIES OF FINAL TEST AND BALANCE REPORT TO OWNER/ARCHITECT.

MECHANICAL LEGEND SYMBOL ON DWGS DESCRIPTION SYMBOL DESCRIPTION — EXISTING DUCTWORK TO REMAIN THERMOSTAT S TEMPERATURE SENSOR — FIRE DAMPER CONNECT TO EXISTING - MANUAL VOLUME DAMPER UCD UNDERCUT DOOR - DUCTWORK LOOKING AWAY FROM VIEWER SHEET NOTE REFERENCE GENERAL ABBREVIATIONS ---- EXHAUST AIR ACCESS DOOR ABOVE FINISHED FLOOR ARCHITECTURAL — FLEXIBLE CONNECTION — ONNECT TO EXISTING - ROUND ELBOW CONTRACTOR REMAIN — SQUARE ELBOW — — RISE IN DUCTWORK -, CEI PER MINUTE GENERAL CONTRACTOR HORSEPOWER VILOWATT — Drop in Ductwork THOUSAND BTU MECHANICAL CONTRACTOR (RECTANGULAR TO RECTANGULAR) IN CONTRACT TO SCALE (RECTANGULAR TO ROUND) PHASE (ELECTRICAL) SUPPLY AIR STATIC PRESSURE SUPPLY REGISTER TRANSFER AIR TYPICAL UNDERCUT DOOR NOTE: NOT ALL SYMBOLS ARE INDICATED IN PLANS

GENERAL MECHANICAL NOTES

- 1. GENERAL NOTES SHALL APPLY TO ALL HVAC DRAWINGS.
- 2. ALL KEY NOTES INDICATED ON THE DRAWINGS AS "TYPICAL" ARE TO BE CONSIDERED AS SHOWN AT ALL OTHER SIMILAR CONDITIONS WHETHER NOTED OR NOT. 3. ALL HVAC WORK SHALL BE COMPLETE AND READY FOR SATISFACTORY SERVICE.
- 4. THE CONTRACT DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY THE GENERAL ARRANGEMENT OF THE WORK.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, AND WORK SCHEDULING ASSOCIATED WITH THE INSTALLATION OF THE HVAC SYSTEMS.
- 6. EXAMINE THE SITE AND OBSERVE THE CONDITIONS UNDER WHICH THE WORK WILL BE INSTALLED. NO ALLOWANCES WILL BE MADE FOR ERRORS OR OMISSIONS RESULTING FROM THE FAILURE TO COMPLETELY EXAMINE THE SITE.
- 7. VERIFY SIZE AND LOCATIONS OF ALL EXISTING SERVICES. NOTIFY THE ENGINEER OF ALL DISCREPANCIES THAT EXIST BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING SERVICES BEFORE MAKING ANY CONNECTIONS TO THE EXISTING SERVICES.
- 8. COORDINATE THE SIZE AND LOCATION OF ROOF PENETRATIONS AND FLASHING REQUIREMENTS WITH THE WORK OF OTHER TRADES.
- 9. ROUTE PIPING AND DUCT SYSTEMS PARALLEL AND PERPENDICULAR TO THE BUILDING LINES. MOUNT AS CLOSE AS POSSIBLE TO THE UNDERSIDE OF THE BUILDING
- 10. COORDINATE THE INSTALLATION OF HVAC SYSTEMS WITH THE WORK OF OTHER TRADES. PROVIDE OFFSETS IN PIPING AND DUCTWORK AS REQUIRED AT NO ADDITIONAL
- 11. MOUNT ROOM SENSORS AND SWITCHES AT 4'-0". ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- 12. SUPPORT ALL EQUIPMENT FROM THE BUILDING STRUCTURE TO PROVIDE A VIBRATION-FREE INSTALLATION.

13. DUCTWORK DIMENSIONS SHOWN ON THE DRAWINGS ARE INTERNAL AIRFLOW

COST TO AVOID OBSTRUCTIONS.

DIMENSIONS. INCREASE THE SHEET METAL DUCTWORK DIMENSIONS BY 2 IN. TO ACCOMMODATE 1-IN. DUCT LINER WHERE REQUIRED.

14. PROVIDE FLEXIBLE DUCT CONNECTORS ON ALL DUCTWORK CONNECTIONS TO FANS

- OR AIR HANDLING UNITS. 15. PROVIDE 1/2-IN. MESH ALUMINUM SCREEN OVER THE OPENING OF ALL OPEN-ENDED
- 16. ENSURE THAT ADEQUATE CLEARANCE EXISTS FOR THE INSTALLATION AND MAINTENANCE OF ALL WORK SHOWN ON THE DRAWINGS AND DESCRIBED IN THE 17. PROVIDE ACCESS PANELS (INSTALLED IN WALLS OR CEILINGS) AND/OR ACCESS
- DOORS (INSTALLED IN DUCTWORK) THAT ARE INDICATED OR REQUIRED FOR ACCESS TO CONCEALED HVAC DEVICES THAT MAY REQUIRE FUTURE INSPECTION, REPAIR, OR 18. IDENTIFY ALL HVAC EQUIPMENT WITH ENGRAVED, COLOR-CODED LAMINATED PLASTIC
- ON THE DRAWINGS AS CLOSELY AS POSSIBLE FOR EQUIPMENT DESIGNATIONS. 19. PROVIDE SLEEVES AND CAULK ALL PIPING PENETRATIONS THROUGH WALLS AND FLOORS AND PATCH TO MATCH THE ADJACENT CONSTRUCTION. PROVIDE CHROME-PLATED

ESCUTCHEONS ON ALL PIPING PENETRATIONS IN EXPOSED LOCATIONS.

MARKERS WITH CONTACT-TYPE, PERMANENT ADHESIVE. MATCH EQUIPMENT SCHEDULES

- 20. PROVIDE SLEEVES AND PATCH ALL DUCT PENETRATIONS THROUGH WALLS AND FLOORS TO MATCH THE EXISTING CONSTRUCTION. SLEEVE DIMENSIONS SHALL BE 1 IN LARGER THAN INSULATED DUCT DIMENSIONS. THE SPACE BETWEEN THE DUCT AND THE SLEEVE SHALL BE PACKED WITH MINERAL FIBER AND CAULKED.
- 21. FIRESTOP ALL PENETRATIONS THROUGH FIRE—RESISTANCE—RATED WALLS. FLOORS. OR ASSEMBLIES IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS. 22. SEAL ALL PENETRATIONS THROUGH WATERPROOF CONSTRUCTION IN ACCORDANCE WITH THE WATERPROOFING MANUFACTURER'S INSTRUCTIONS. ALL WORK SHALL BE

PERFORMED BY APPROVED CONTACTORS IF REQUIRED BY THE MANUFACTURER TO

MAINTAIN THE WARRANTY ON THE MATERIAL

- 23. PROVIDE ALL LOW PRESSURE DUCTWORK SIZED EQUAL TO OR LESS THAN 0.1" W.G./100' (TYP.) UNLESS SCHEDULED OTHERWISE. INDICATE ALL DUCT SIZES ON SHOP DRAWINGS.
- 24. PROVIDE MINIMUM DUCT RADIUS ON ELBOWS AT 1-1/2 TIMES DUCT SIZE. 25. ALL DUCTS SHALL BE FREE FROM CONTACT WITH ALL: PIPING, WALLS, ELECTRICAL CONDUITS, CEILING SUSPENSION SYSTEMS, ETC.

26. PROVIDE THROAT WITH PROPORTIONAL SPLIT AND TURNING VANES ON TEE

- TRANSITIONS. (BULLHEAD TEE'S WILL NOT BE PERMITTED. 27. ALL PIPING AND DUCTWORK SHALL FREELY PASS THROUGH ALL WALLS AND FLOORS WITHOUT RIGID CONNECTIONS. PENETRATION POINTS SHALL BE SLEEVED TO ALLOW PASSAGE OF PIPING OR DUCTWORK AND MAINTAIN 3/4" TO 1-1/4" CLEARANCE AROUND
- THE OUTSIDE SURFACES. THIS CLEARANCE SHALL BE TIGHTLY PACKED WITH ONE POUND DENSITY GLASS FIBER, AND CAULKED AIR TIGHT WITH NON-HARDENING SEALANT AFTER INSTALLATION OF PIPING OR DUCTWORK.
- 28. PROVIDE FIRE DAMPERS WITH ACCESS IN ALL RATED WALLS IN ACCORDANCE WITH LOCAL CODES. 29. FABRICATE, INSTALL, SEAL, AND INSULATE ALL DUCTWORK IN STRICT CONFORMANCE
- 30. ALL EQUIPMENT, MATERIALS AND WORK SHALL CONFORM TO THE APPLICABLE CODES OF THE STATE BUILDING, FIRE, MECHANICAL, AND NATIONAL ELECTRICAL CODES AS ADOPTED BY THE CITY AND ALL OTHER CODES, SAFETY ORDERS AND REGULATIONS AS

ENFORCED BY THE STATE AND CITY FIRE MARSHALL'S PERTAINING TO THIS PROJECT.

WITH THE REQUIREMENTS OF THE STATE MECHANICAL CODE AND ASME STANDARDS.

31. PROTECTIVE BARRIERS SHALL BE INSTALLED IN FRONT OF EQUIPMENT WHERE EQUIPMENT IS SUBJECT TO MECHANICAL DAMAGE.

32. SUITABLE OPENINGS WITH TIGHTLY FITTED COVERS SHALL BE PROVIDED TO MAKE

34. SPECIFICATION: THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH, AND BE

35. PATCHING: THE CONTRACT SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING

ALL AREAS WHICH ARE EXCAVATED AND/OR DAMAGED BY HIS OPERATIONS.

FIRE DAMPERS ACCESSIBLE FOR INSPECTION. 33. ACCESSIBILITY: ALL EQUIPMENT SHOWN IN WALLS OR ABOVE NON-ACCESSIBLE CEILINGS SHALL BE INSTALLED WITHIN 24" OF, AND BEHIND, AN ACCESS PANEL.

CONSIDERED TO BE A PART OF THE SPECIFICATIONS.

MODIFICATIONS DUE TO EXISTING CONDITIONS.

- FIELD VERIFY ALL CONDITIONS • DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD
- THE CONTRACTOR SHALL CONTACT THE ARCHITECT, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE II HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE ARCHITECT, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.

• BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND

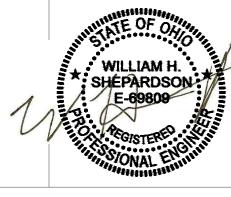
ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES. THE PLANS AND SPECIFICATIONS NOT WITHSTANDING. THE CONTRACTOR SHALL ALERT ARCHITECT. ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.

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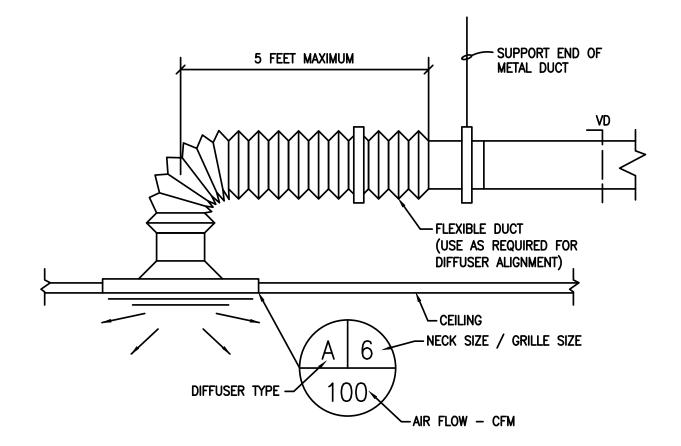
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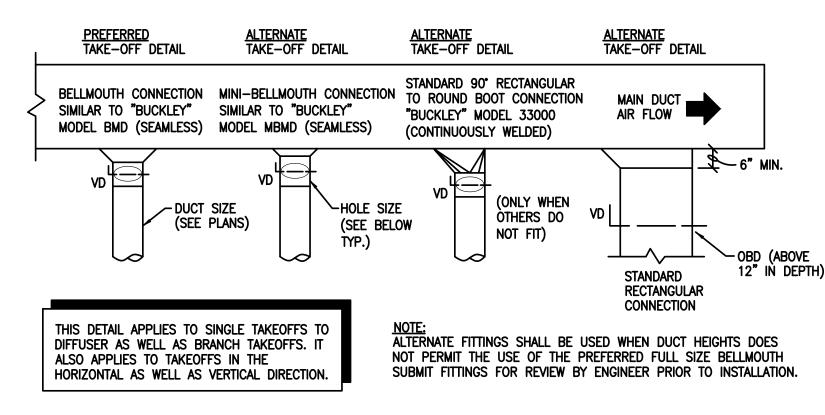
Marguette Manor - Interior and

LDA Project No.23.47 MECHANICAL

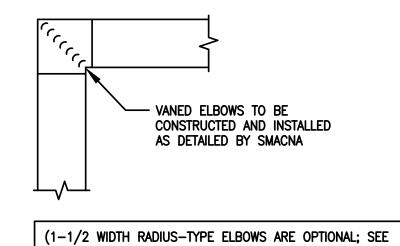
SPECIFICATIONS



CEILING DIFFUSER BRANCH DUCTS W/ FLEX CONNECTION NO SCALE



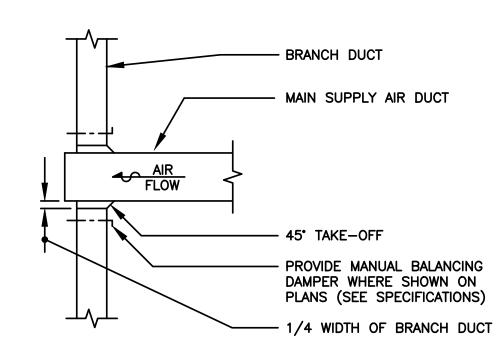
DUCT TAKEOFFS



MECHANICAL SPECIFICATIONS)

NO SCALE

LOW PRESSURE DUCT ELBOW DETAIL



LOW PRESSURE END OF SUPPLY AIR DUCT DETAIL NO SCALE

			EXH	IAUST FA	AN SCHE	DULE		
NO.	SERVICE	CFM	S.P.	SOUND (SONES)	POWER	ELECT.	MANUF. & MODEL NO.	REMARKS
EF-1	UNITS 1A & 1B TRANSFER FANS	110	.1	<0.3	9.9 W	120V – 1ø	PANASONIC FV-0511VK2	1–5
EF-2	APARTMENT KITCHEN EXHAUST	12600	1	-	7.5 HP	480V - 3ø	COOK 300 CPS	1,2,6,7,8,9
EF-3	APARTMENT TOILET EXHAUST	7700	1	-	7.5 HP	480V – 3ø	COOK 210 CPS	1,2,6,7,8,9
EF-4	LAUNDRY EXHAUST	4775	0.5	-	3.0 HP	480V – 3ø	COOK 180 CPS	1,2,6,7,8,9
EF-5	COMMUNITY ROOM/IT EXHAUST	700	0.375	11.8	1/3 HP	480V - 3ø	COOK 120C OR81	1,2,6,7,8,9
EF-6	UTILITY ROOM EXHAUST	2250	0.5	10.6	1/2 HP	480V-3ø	COOK 165C5B	1,2,6,7,8,9
EF-7	PENTHOUSE EXHAUST	1550	0.25	9.6	1/3 HP	480V - 3ø	COOK 135C4B	1,2,6,7,8,9

REMARKS:

1. BACKDRAFT DAMPER
2. DISCONNECT SWITCH
3. CONTROLLED VIA WALL SWITCH
4. ENERGY STAR RATED
5. PROVIDE WITH RADIATION DAMPER, PANASONIC MODEL #PC-RD05C5
6. VARIABLE FREQUENCY DRIVE
7. ROOF CURB
8. VIBRATION ISOLATORS
9. CONTINUOUS OPERATION

		STAIRW	ELL PI	RESSUR	IZATION	FAN SCH	EDULE					
NO. SERVICE CFM S.P. SOUND (SONES) POWER ELECT. MANUF. & MODEL NO. REMAR												
SF-1	STAIR B	4000	.4	25.0	1.5 HP	240V - 1ø	COOK 24EPS416D17	1-4				
SF-2	STAIR A	4000	.4	27.0	1.5 HP	240V - 1ø	COOK 30AQ11D	1,2,3,5				

REMARKS:

1. BACKDRAFT DAMPER
2. DISCONNECT SWITCH
3. CONTINUOUS OPERATION

4. THRU-WALL FAN 5. ROOF CURB

			THRU-	-WALL AC	UNIT SCHI	EDULE						
SUPPLY COOLING CAPACITY MANUFACTURE OF MANUFACTURE												
	MARK	CFM	FAN H.P.	VOLTAGE	MCA/MOCP	TOTAL	E.E.R.	& MODEL NO.				
	AC-1	265	1/8	208V-1ø	5.4/15	12.0	10.6	FRIEDRICH UCT12A30A				

REMARKS:
1. WALL SLEEVE
2. CYCLE PROTECTOR
3. R-410A REFRIGERANT 4. RETURN AIR FILTERS

 ENERGY STAR COMPLIANT
 7-DAY PROGRAMMABLE THERMOSTAT
 5-YEAR COMPRESSOR WARRANTY 8. CORD AND PLUG

	ELEC1	TRIC	BA	SEB	OARD H	EAT	ER SCHED	ULE	
MARK	SERVICE	LENGTH (FT.)	МВН	KW	VOLTAGE	AMPS	MANUFACTURER & MODEL NO.	WEIGHT (LBS)	REMARKS
BBH-1	APARTMENTS	8	8.53	2.5	208V-1ø	12.0	QMARK 250008NW	18.5	1-4
BBH-2	APARTMENTS	8	6.82	2.0	208V-1ø	9.7	QMARK 2508W	18.0	1-4
BBH-3	APARTMENTS	5	4.27	1.25	208V-1ø	6.0	QMARK 2505NW	11.5	1-4
BBH-4	APARTMENTS	2.5	1.71	0.5	120V-1ø	4.2	QMARK 25126NW	6.3	1-4
BBH-5	COMMON AREAS	8	6.82	2.0	208V-1ø	9.7	QMARK 2508W	18.0	1-4
BBH-6	COMMON AREAS	3.0	2.56	0.75	208V-1ø	3.6	QMARK 2503NW	7.5	1-4

REMARKS:

1. DISCONNECT SWITCH

2. BUILT—IN THERMOSTAT

3. BASEBOARD MOUNTING

4. FILLER SECTIONS & JOINER STRIPS

			GRILLE 8	DIF	FUSE	R SCHEDULE				
MARK	MANUFACTURER & MODEL NO.	DAMPER NUMBER	FRAME/BORDER	CFM	MODULE SIZE	PATTERN	FINISH	TYPE	REMARKS	
A	A TITUS OBD SURFACE AS NOTED DOUBLE DEFLECTION WHITE SUPPLY -									
В	TITUS 50F	ı	SURFACE	AS NOTED	AS NOTED	EGGCRATE	WHITE	RETURN/ EXHAUST	ı	
С	TITUS OMN	OBD	LAY-IN	AS NOTED	24"X24"	4-WAY	WHITE	SUPPLY	-	

NOTES:

A. EQUIVALENT DIFFUSER SHALL HAVE MAXIMUM NC RATING OF 30 FOR CFM LISTED ON PLAN.

B. SUBMITTALS MUST IDENTIFY DIFFUSER LOCATION BY ROOM NUMBER, TYPE AND CEILING CONSTRUCTION. C. ALL FRAME TYPES SHALL BE COMPATIBLE WITH ADJACENT CONSTRUCTION. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS. D. PAINT INTERIOR OF DUCTWORK BEHIND GRILLES AND DIFFUSERS FLAT BACK IF VISIBLE THROUGH DEVICE. E. PROVIDE SQUARE TO ROUND NECK TRANSITIONS WHERE ROUND DUCT SERVE SQUARE NECK DIFFUSERS OR GRILLES.

	EL	EC1	TRIC	UN	IT HEAT	ER S	CHEDULE	•					
MARK	SERVICE	CFM	МВН	KW	VOLTAGE	AMPS	MANUFACTURER & MODEL NO.	WEIGHT (LBS)	REMARKS				
EUH-1	EUH-1 2ND-15TH FLOOR SEATING 1000 68.24 20.0 480V-3ø 26.0 QMARK CU978 300 1-5												

REMARKS:

1. DISCONNECT SWITCH

2. BUILT—IN THERMOSTAT

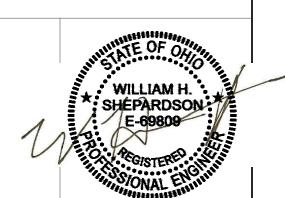
3. CABINET UNIT HEATER

4. FRESH AIR DUCT INLET

5. SECURITY FRONT COVER

	DUCTLESS AIR HANDLER & HEAT PUMP SCHEDULE																	
MA	RK						OUTDOOR UNIT				INDOOR UNIT							
OUTDOOR	INDOOR	SERVING	MANUF.	MODEL NUMBER	VOLTAGE	MCA/MOCP	COOLING CAPACITY (MBH)	HEATING CAPACITY 47°F (MBH)	HEATING CAPACITY 5°F (MBH)	SEER2/HSPF2	MANUF.	MODEL NUMBER	TYPE	CFM (H/M/L)	VOLTAGE	AMPS	COOLING CAPACITY (MBH)	HEATING CAPACITY (MBH)
HP-A	AC-A	FITNESS	LG	LUU090HV	208/230V-1ø	11.9/15	9.0	11.0	10.1	20.20/10.55	LG	LCN098HV4	4-WAY CASSETTE	300/265/230	208/230V-1ø	0.25	9.0	10.4
HP-B	AC-B	MAIL ROOM	LG	LUU090HV	208/230V-1ø	11.9/15	9.0	11.0	10.1	20.20/10.55	LG	LCN098HV4	4-WAY CASSETTE	300/265/230	208/230V-1ø	0.25	9.0	10.4
UD C	AC-C1	CONFERENCE	10	1 1 1 1 1 0 7 1 1 1 1	208/230V 14	15.8/20	19.0	22.0	17.7	22.5/0.6	LG	LMCN078HV	4-WAY CASSETTE	265/212/177	208/230V-1ø	0.25	7.0	8.1
HP-C AC-C2 C	CONFERENCE LG	LMU183HV	208/230V-1ø	13.0/20	18.0	22.0	17.7	22.5/9.6	LG	LMCN078HV	4-WAY CASSETTE	265/212/177	208/230V-1ø	0.25	7.0	8.1		

1. PROVIDE ALL ACCESSORIES FOR A COMPLETE INSTALLATION (OUTDOOR HEAT PUMP PLATFORM, FORTRESS LINESET COVER, LOW AMBIENT HEAT KIT, DRAIN PAN HEATER, CONDENSATE PUMP, LINESETS, WIRED THERMOSTAT, ETC.) AND INSTALL PER MANUFACTURER'S DIAGRAMS.
2. EQUIPMENT SHALL HAVE HIGH HEAT CAPACITY AT LOW AMBIENT TEMPERATURE.



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DESCRIPTION

| Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225 LDA Project No.23.47

MECHANICAL SCHEDULES & **DETAILS**



1) EXISTING GRADE-MOUNTED RTU TO REMAIN. SERVICE AND MAINTAIN AS REQUIRED.

2 EXISTING GENERATOR TO BE REMOVED COMPLETE.

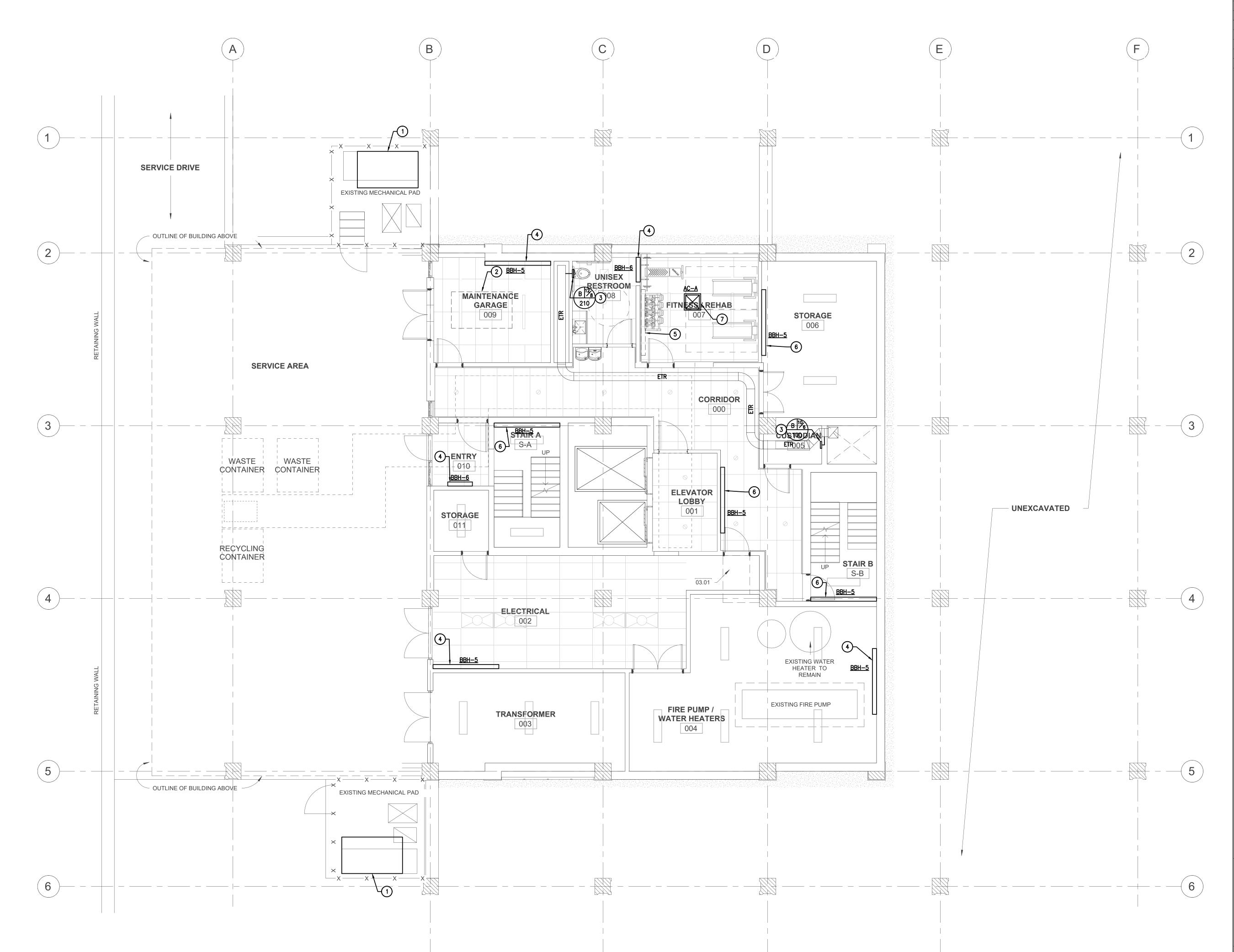
3 EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTOWRK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION..

4 EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.

(5) EXISTING BASEBOARD HEATER TO BE REMOVED COMPLETE.

(6) INSTALL NEW ELECTRIC BASEBOARD HEATER PER MANUFACTURER'S INSTRUCTIONS.

7 INSTALL MINISPLIT CASSETTE UNIT PER MANUFACTURER'S INSTRUCTIONS. ROUTE CONDENSATE TO EXTERIOR AND DAYLIGHT TO LANDSCAPING.







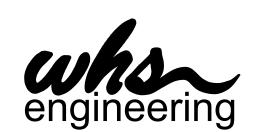
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DESCRIPTION

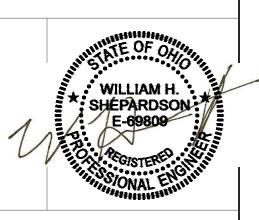
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Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

BASEMENT MECHANICAL PLAN

M1.0

|| <u>NO</u>

ALL EXISTING SUPPLY AND RETURN GRILLES ARE TO BE REMOVED COMPLETE BACK TO THEIR RESPECTIVE MAINS AND REPLACED WITH NEW GRILLES AND BRANCH DUCTS.

CODED NOTES:

1) EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTOWRK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

2 EXTEND NEW BRANCH DUCT TO EXISTING SUPPLY AIR MAIN. COORDINATE EXACT LOCATION IN FIELD.

3 CONNECT NEW RETURN AIR DUCT TO EXISTING MAIN IN AREA. COORDINATE EXACT LOCATION IN FIELD.

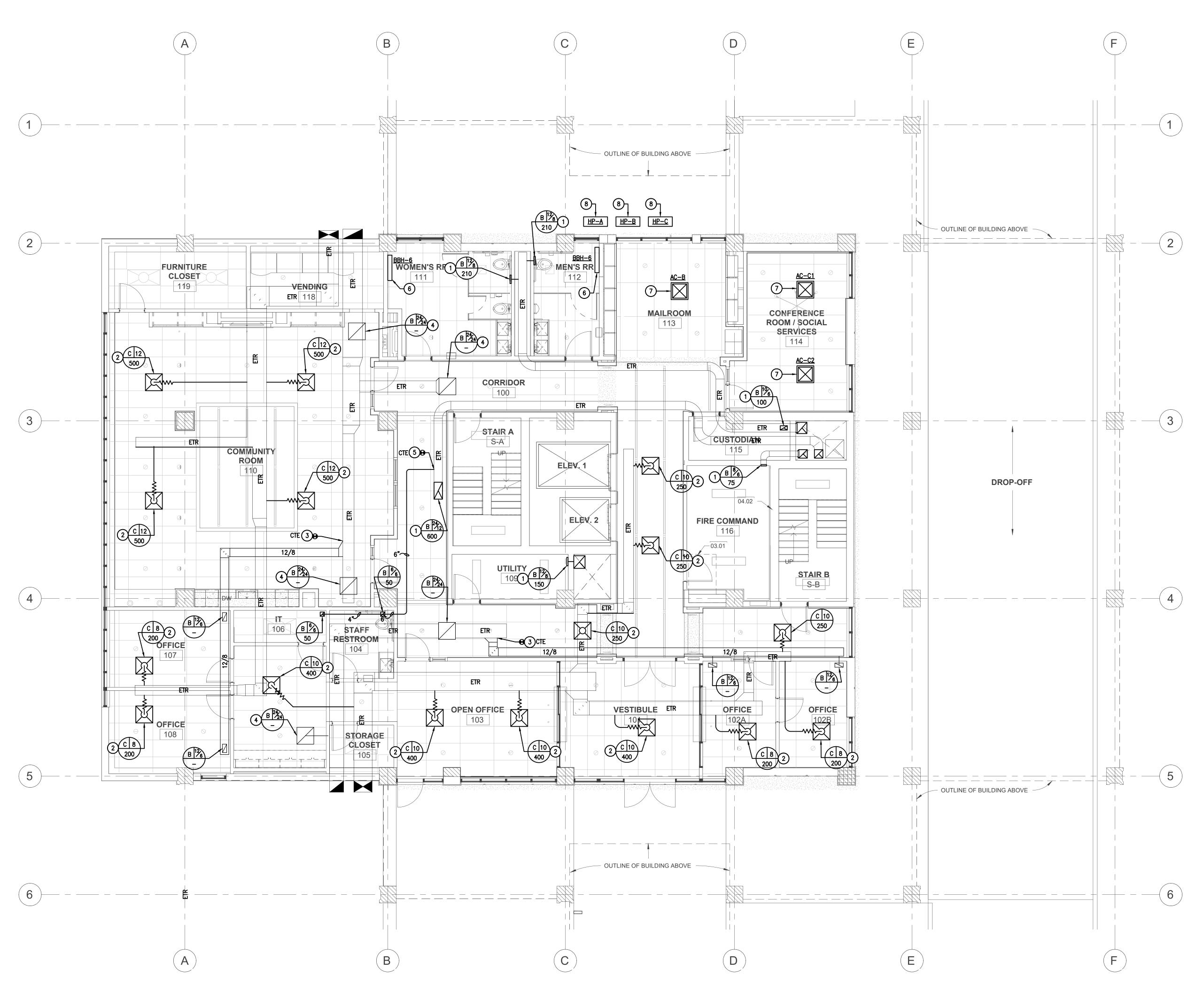
4 EXTEND NEW BRANCH DUCT TO EXISTING RETURN AIR MAIN IN AREA. COORDINATE EXACT LOCATION IN FIELD.

5 CONNECT NEW EXHAUST DUCT TO EXISTING MAIN IN AREA. COORDINATE EXACT LOCATION IN FIELD.

6 EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.

7 INSTALL MINISPLIT CASSETTE UNIT PER MANUFACTURER'S INSTRUCTIONS. ROUTE CONDENSATE TO EXTERIOR AND DAYLIGHT TO LANDSCAPING.

8 INSTALL MINISPLIT OUTDOOR UNIT ON HEAT PUMP RISER OR WALL MOUNT BRACKET PER MANUFACTURER'S INSTRUCTIONS.





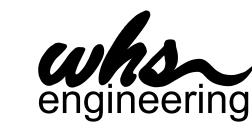


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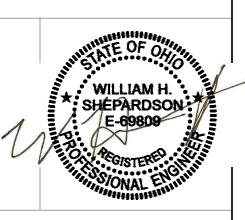
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Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing

Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

GROUND FLOOR MECHANICAL PLAN

M1.0

CODED NOTES:

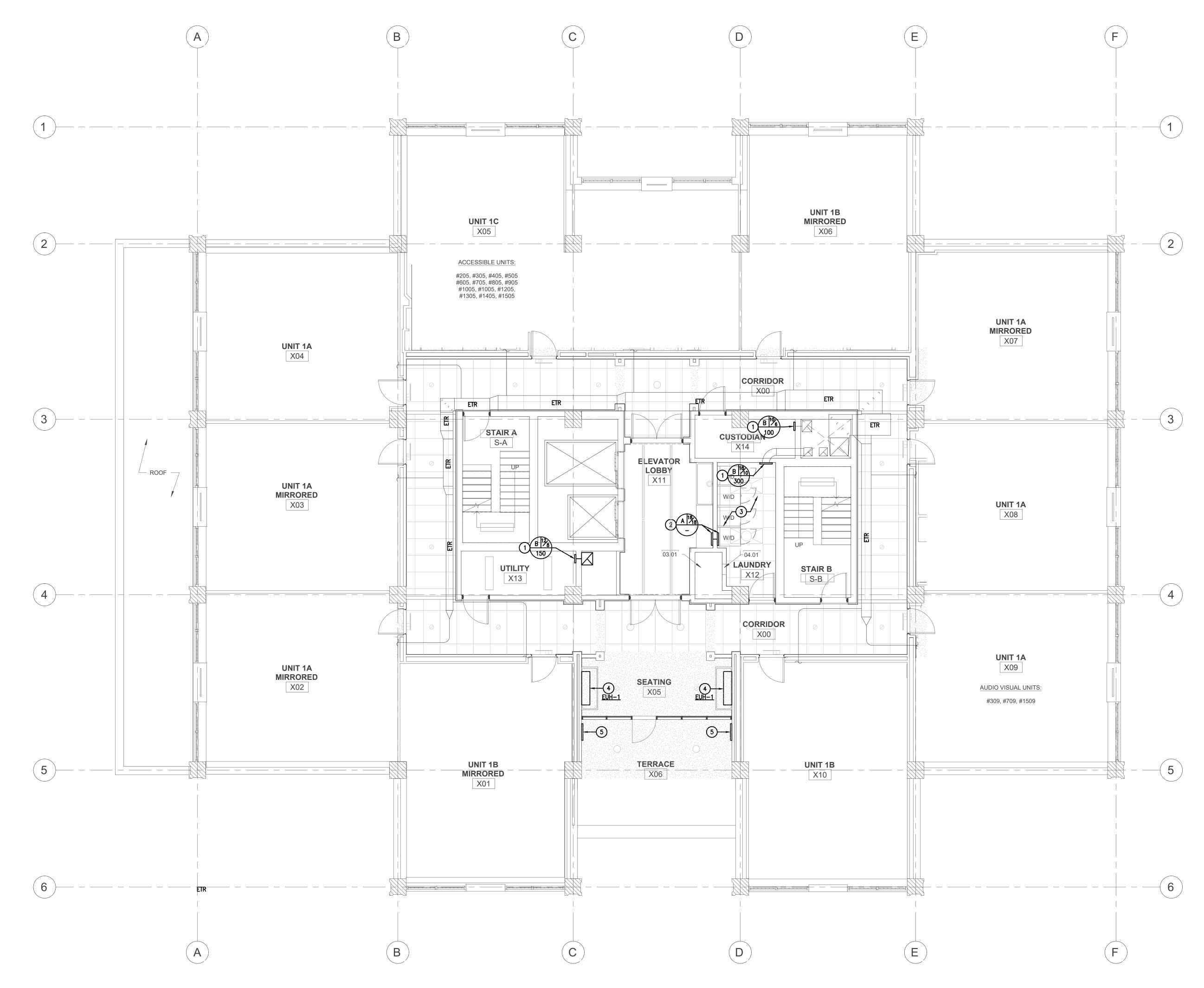
1) EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTOWRK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

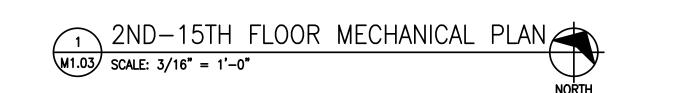
2 EXISTING TRANSFER GRILLE TO BE REMOVED AND REPLACED WITH NEW.

3 EXISTING DRYER EXHAUST SYSTEM TO REMAIN.

4 EXISTING UNIT HEATER TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING FRESH AIR DUCT IN AREA.

(5) EXISTING FRESH AIR INTAKE GRILLE FOR UNIT HEATER TO BE REMOVED AND REPLACED WITH NEW.





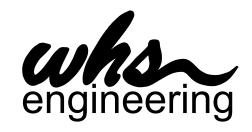


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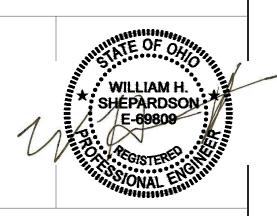
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Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

TYPICAL FLOORS 2-15 MECHANICAL PLAN

CODED NOTES:

1 EXISTING EXHAUST FAN TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING DUCTWORK IN AREA.
2 EXISTING MINISPLIT FOR ELEVATOR MACHINE ROOM COOLING TO REMAIN. SERVICE AND MAINTAIN AS REQUIRED.
3 EXISTING STAIRWELL PRESSURIZATION FAN TO BE REMOVED AND REPLACED WITH NEW.

- NEW ROOF INSTALLED 2023 B





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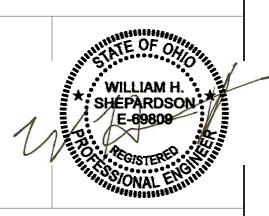
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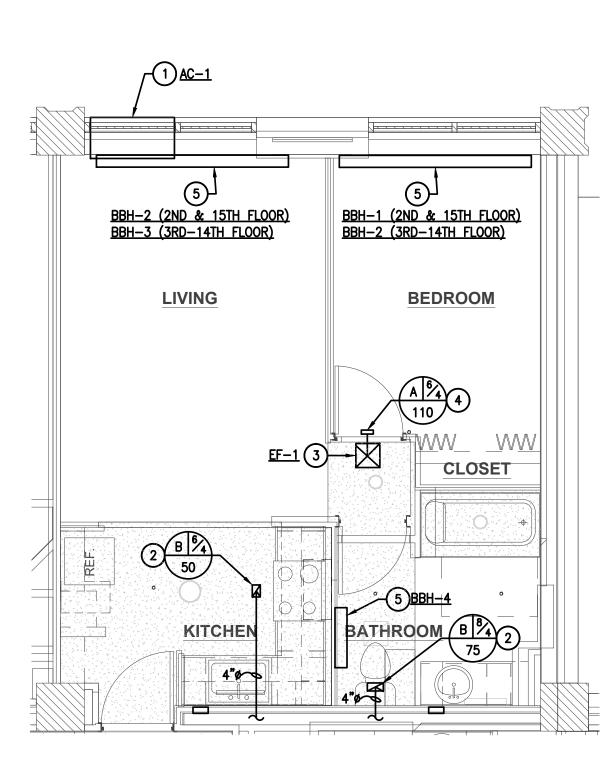
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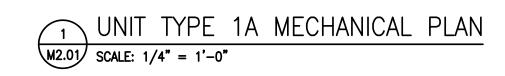
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Cincinnati Metropolitan Housing
Authority

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PENTHOUSE MECHANICAL
PLAN

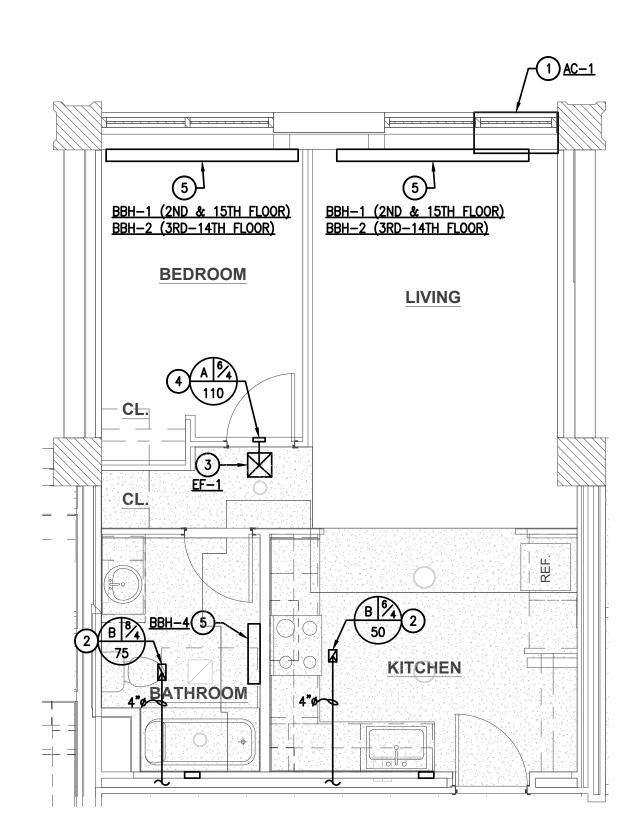
M1_04





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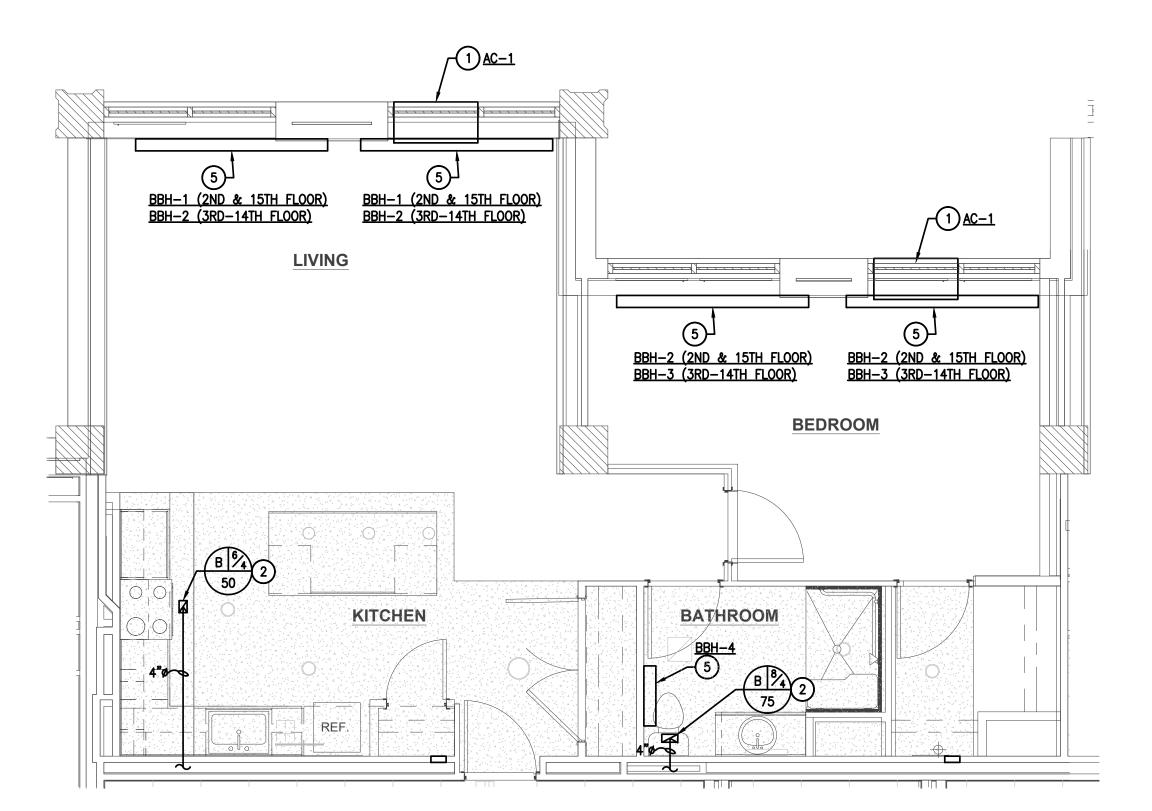
- 1 EXISTING PTAC TO BE REMOVED AND REPLACED WITH NEW. PROVIDE WITH NEW WALL SLEEVE.
 2 EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 3 EXISTING TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING DUCTWORK IN AREA.
- 4 EXISTING SUPPLY GRILLE FROM TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW.
 5 EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.



UNIT TYPE 1B MECHANICAL PLAN
M2.01 SCALE: 1/4" = 1'-0"

CODED NOTES:

- 1 EXISTING PTAC TO BE REMOVED AND REPLACED WITH NEW. PROVIDE WITH NEW WALL SLEEVE.
 2 EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 3 EXISTING TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING DUCTWORK IN AREA.
- 4 EXISTING SUPPLY GRILLE FROM TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW.
 5 EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.

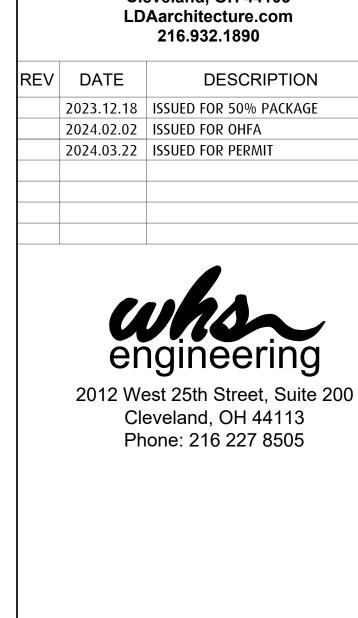


UNIT TYPE 1C MECHANICAL PLAN
M2.01 SCALE: 1/4" = 1'-0"

CODED NOTES:

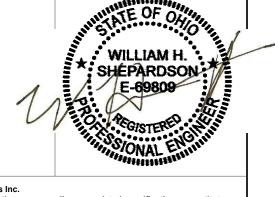
- 1 EXISTING PTAC TO BE REMOVED AND REPLACED WITH NEW. PROVIDE WITH NEW WALL SLEEVE.
 2 EXISTING EXHAUST GRILLE TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING EXHAUST DUCTWORK IN AREA. RELOCATE AND REWORK EXISTING DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 3 EXISTING TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW. CONNECT TO EXISTING DUCTWORK IN AREA.
- 4 EXISTING SUPPLY GRILLE FROM TRANSFER FAN TO BE REMOVED AND REPLACED WITH NEW.

 5 EXISTING BASEBOARD HEATER TO BE REMOVED AND REPLACED WITH NEW.



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Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225

TYPICAL UNIT MECHANICAL PLAN

M2.01

Т				OHE EUMIN	IAIRE SCHEDULE	
TYPE	LAMP	WATTAGE	VOLTAGE	DESCRIPTION	CATALOG NUMBER	REMARKS
LT-E2	LED 3000K 1120L	39	120	LED 8", ROUND TOP BOLLARD.	LITHONIA LIGHTING #KBA8-LED	
LT-E3	LED 30K-50K 1500L	30	120	LED IN-GROUND UPLIGHT WITH SELECTABLE LUMEN OUTPUT AND CCT FOR MONUMENT SIGN.	LITHONIA LIGHTING #ESXF1	TURN PHOTOCELL OFF ON FIXTURE. SELECT COLOR TEMPERATURE AND LUMEN OUTPUT SWITCHES ON FIXTURE TO OWNER'S APPROVAL.
LT-E4	LED 5000K 4500L	52	120	LED EXTERIOR RATED CANOPY LIGHT.	LITHONIA LIGHTING #CNY-LED-P1-50K-MVOLT-DDB	
LT-E6	LED 5000K	100	120	LED EXTERIOR RATED 8'-0" LINEAR FIXTURE.	FIXTURE TO BE SELECTED BY OWNER/ARCHITECT AND PROVIDED AND INSTALLED BY E.C.	

1. VERIFY ALL LUMINAIRE COLORS, TRIMS, LENGTHS, ETC. WITH THE ARCHITECT/OWNER/DEVELOPER/DESIGNER PRIOR TO PLACING FINAL PURCHASE ORDERS. SUBMISSION OF SHOP DRAWINGS WILL BE INTERPRETED AS HAVING BEEN COORDINATED WITH THE AFOREMENTIONED PARTIES.

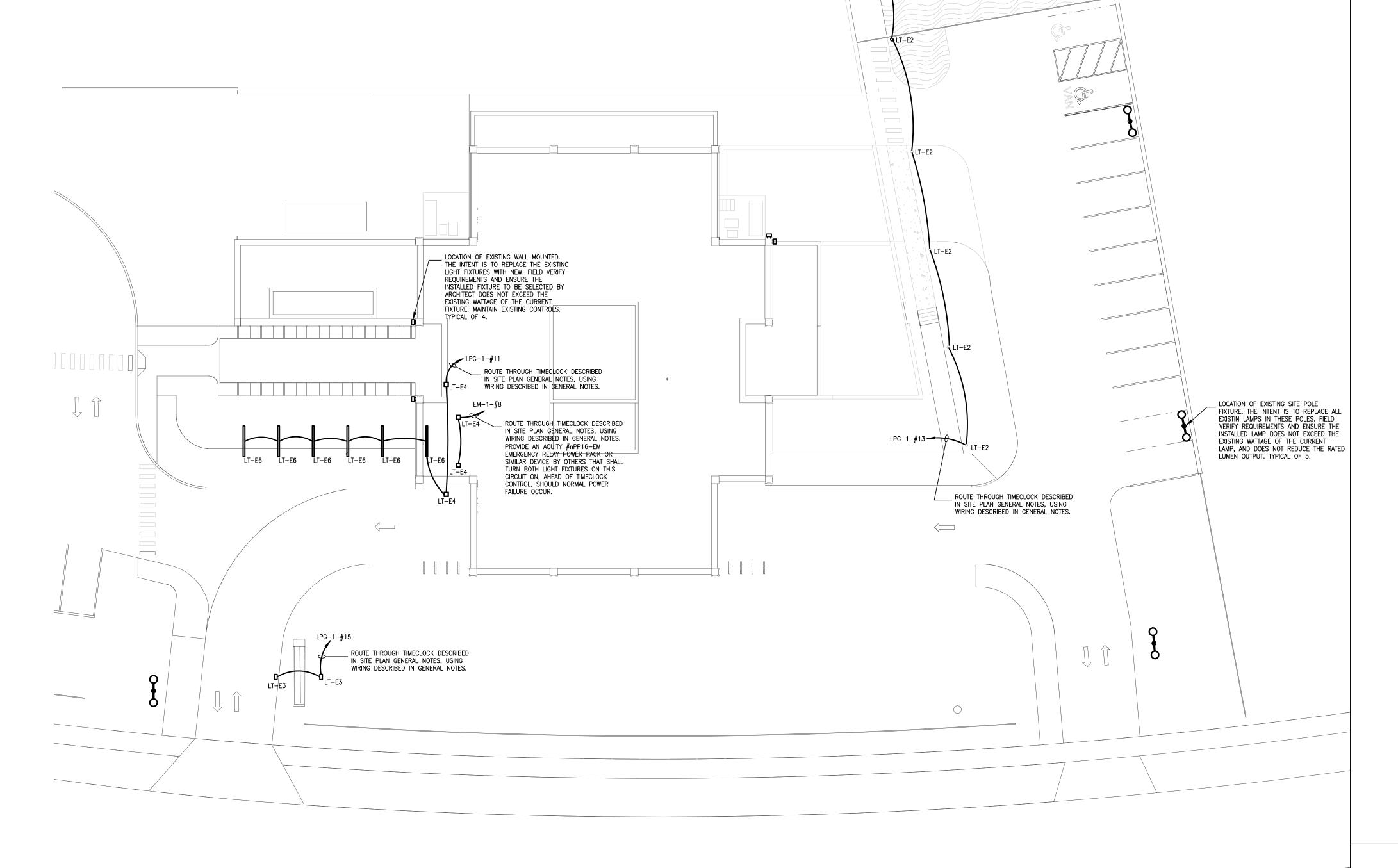
2. PROVIDE ALL LENGTHS, FEEDS, ACCESSORIES, CONNECTORS, WIRING, POWER SUPPLIES, DRIVERS, ETC. FOR A COMPLETE INSTALLATION. VERIFY THE COMPLETE BILL OF MATERIAL WITH MANUFACTURER'S REPRESENTATIVE AND ENSURE ALL EQUIPMENT IS INCLUDED IN BID PRICE. COORDINATE INSTALLATION WITH ARCHITECTURAL DETAILS. 3. NOT USED.

4. VERIFY EXACT MOUNTING HEIGHT AND LOCATIONS OF ALL WALL MOUNTED AND PENDANT MOUNTED LUMINAIRES WITH ARCHITECTURAL PLANS AND ELEVATIONS PRIOR TO ROUGH-IN.

5. ANY PROPOSED ALTERNATE LUMINAIRES SHALL BE APPROVED BY THE **ARCHITECT/OWNER/DEVELOPER/DESIGNER** PRIOR TO FINAL BID PRICING.

6. SHOULD THE CONTRACTOR PROPOSE TO FURNISH MATERIALS, EQUIPMENT, AND DEVICES, OTHER THAN THOSE SPECIFIED AND LISTED, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR SUBSTITUTIONS, TO THE ENGINEER AT LEAST TEN (10) BUSINESS DAYS PRIOR TO BID OPENING. THE REQUEST SHALL BE AN ALTERNATE TO THE ORIGINAL BID AND SHALL INCLUDE A COMPLETE SPECIFICATIONS CUT SHEET SUBMITTAL AS OUTLINED IN THE SPECIFICATIONS, COMPLETE WITH DESCRIPTIVE (MANUFACTURER, BRAND NAME, CATALOG NUMBER, ETC.) AND TECHNICAL DATA FOR ALL ITEMS. INDICATE ANY ADDITIONS OR DEDUCTIONS TO THE CONTRACT PRICE WITH THE SUBSTITUTION SUBMITTAL AND ON THE BID FORM.

7. ANY FINAL SELECTED/INSTALLED LIGHT FIXTURES WITHOUT A SPECIFICATION (OR TO BE SPECIFIED LATER BY ARCHITECT/OWNER/DEVELOPER/DESIGNER) LISTED IN THIS SCHEDULE SHALL NOT EXCEED THE WATTAGE LISTED, SHALL NOT HAVE A LOWERED DELIVERED LUMENS (IF LISTED), AND SHALL MATCH THE COLOR TEMPERATURE (IF LISTED).







- VERIFY EXISTING SITE CONDITIONS, SERVICE REQUIREMENTS, AND EXACT LOCATIONS OF SERVICE FACILITIES BEFORE SUBMITTING BID.
- ALL BUILDING, SIGN, AND SITE LIGHTING BRANCH CIRCUITING SHALL BE 2#8, 1#10(G), IN 1" CONDUIT.
- MINIMUM SITE CONDUIT SIZE SHALL BE 1" U.N.O. PROVIDE PULL-WIRE IN ALL CONDUIT ONLY RUNS. USE RGS WHERE EXPOSED AND SUBJECT TO PHYSICAL ABUSE. PROVIDE SCH-40 PVC BELOW GRADE OR UNDER GROUND. TRANSITION TO RGS PRIOR TO TURNING UP OR ENTERING BUILDING, STRUCTURES OR EQUIPMENT.
- PROVIDE A QUAD CIRCUIT, ASTRONOMIC 7-DAY TIMECLOCK (TYPICALLY INTERMATIC #ET90415C) FOR CONTROL OF NEW EXTERIOR LIGHT FIXTURES. ROUTE ALL NEW BRANCH CIRCUITS THROUGH THIS TIMECLOCK. INSTALL ADJACENT TO PANEL LPG-1 OR IN OTHER LOCATION APPROVED BY OWNER.



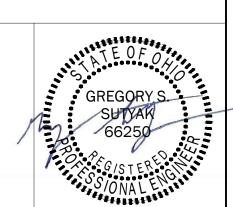
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Marquette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing

Authority 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

ELECTRICAL SITE PLAN

- 1.1 RELATED DOCUMENTS A. THE PROVISIONS OF THE INSTRUCTIONS TO BIDDERS, GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS, ALTERNATES, ADDENDA'S', AND DIVISION 1 ARE A PART OF THIS SPECIFICATION. CONTRACTORS AND SUBCONTRACTORS SHALL EXAMINE SAME AS WELL AS OTHER DIVISIONS OF THE SPECIFICATIONS WHICH AFFECT WORK UNDER THIS DIVISION.
- 1.2 <u>SUMMARY</u> A. THIS SECTION INCLUDES GENERAL ADMINISTRATIVE AND PROCEDURAL REQUIREMENTS FOR ELECTRICAL INSTALLATIONS COMMON TO ALL SECTIONS OF DIVISION 16. THE ADMINISTRATIVE AND PROCEDURAL REQUIREMENTS IN THIS SECTION EXPAND AND SUPPLEMENT THE REQUIREMENTS
- SPECIFIED IN DIVISION 1. 1.3 <u>DESCRIPTION OF WORK</u>
 - ALL OTHER DRAWINGS AS WELL AS THE SPECIFICATIONS FOR ALL THE DIVISIONS ARE A PART OF THE CONTRACT DOCUMENTS. B. DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS SUPPLEMENTING EACH OTHER. WORK

SPECIFIED BUT NOT SHOWN, OR SHOWN BUT NOT SPECIFIED, SHALL BE PERFORMED OR

A. ELECTRICAL, ARCHITECTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, STRUCTURAL. ETC.. AND

- FURNISHED AS THOUGH MENTIONED IN BOTH SPECIFICATIONS AND DRAWINGS. C. VISIT THE SITE OF THE WORK AND BECOME FAMILIAR WITH CONDITIONS AFFECTING THE INSTALLATION. SUBMISSION OF A PROPOSAL SHALL PRESUPPOSE KNOWLEDGE OF SUCH CONDITIONS AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED WHERE EXTRA LABOR OR MATERIALS ARE REQUIRED BECAUSE OF IGNORANCE OF THESE CONDITIONS.
- 1.4 WORK INCLUDES
 - A. INCLUDE ALL LABOR, MATERIAL, EQUIPMENT, SERVICES, AND PERMITS NECESSARY FOR THE PROPER COMPLETION OF ALL ELECTRICAL WORK SHOWN. ITEMS OMITTED, BUT NECESSARY TO MAKE THE ELECTRICAL SYSTEM COMPLETE AND WORKABLE, SHALL BE UNDERSTOOD TO FORM PART OF THE WORK.
 - B. IT IS THE PURPOSE OF THE ELECTRICAL DRAWINGS TO INDICATE THE APPROXIMATE LOCATION OF ALL EQUIPMENT, OUTLETS, ETC. ASCERTAIN EXACT LOCATIONS AND ARRANGE WORK ACCORDINGLY. THE RIGHT IS RESERVED TO EFFECT REASONABLE CHANGES IN THE LOCATION OF OUTLETS UP TO THE TIME OF ROUGHING-IN. WITHOUT ADDITIONAL COST TO THE OWNER. CHANGES IN LOCATION OF OUTLETS OR EQUIPMENT NECESSITATED BY INTERFERENCE WITH THE WORK OF OTHER TRADES SHALL BE MADE ONLY WITH THE CONSENT OF THE ARCHITECT AND ENGINEER OR OWNER'S REPRESENTATIVE, AND AT NO ADDITIONAL COST.
 - C. AS USED IN THIS SPECIFICATION, "PROVIDE" MEANS "FURNISH AND INSTALL" AND "HVAC" MEANS "HEATING, VENTILATING AND AIR CONDITIONING" AND "POS" MEANS "PROVIDED UNDER OTHER SECTIONS". "FURNISH" MEANS "TO PURCHASE AND DELIVER TO THE PROJECT SITE COMPLETE WITH EVERY NECESSARY APPURTENANCE AND SUPPORT," AND "INSTALL" MEANS "TO UNLOAD AT THE DELIVERY POINT AT THE SITE AND PERFORM EVERY OPERATION NECESSARY FOR PROPER INSTALLATION PER CODES AND MANUFACTURERS REQUIREMENTS, TO ESTABLISH SECURE MOUNTING AND CORRECT OPERATION AT THE PROPER LOCATION IN THE PROJECT."
 - D. WORK INCLUDES, BUT IS NOT LIMITED TO: 1. **RE-USE OF AND** NEW PANELBOARDS AND CIRCUIT BREAKERS.
 - 2. FEEDERS AND BRANCH CIRCUIT WIRING.
 - 3. HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS.
 - 4. ELECTRICAL IDENTIFICATION.
 - 5. CONDUCTORS AND CABLES.
 - 6. GROUNDING AND BONDING.
 - 7. RACEWAYS AND BOXES. 8. WIRING DEVICES.
 - LIGHTING CONTROL DEVICES.
 - 10. LUMINAIRES, INCLUDING NEW LAMPS, BALLASTS, AND DRIVERS. 11. REWORKING AND NEW DEVICES TO THE EXISTING FIRE ALARM SYSTEM.
 - 12. FIRE STOPPING. 13. ELECTRICAL CONNECTIONS TO MECHANICAL, HVAC, AND PLUMBING EQUIPMENT.
 - 14. EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEM.
 - 15. METER SOCKETS AND C.T. CABINETS. 16. NAMEPLATES, LABELS, AND TAGS.
 - 17. COORDINATION DRAWINGS.
 - 18. SHOP DRAWINGS.
 - 19. OPERATION AND MAINTENANCE INSTRUCTIONS AND MANUALS. 20. TESTING
- E. THE ELECTRICAL DESIGN IS BASED ON THE CURRENT ADOPTED EDITION NFPA 70 "THE NATIONAL ELECTRICAL CODE". THE CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST OF INSTALLING MATERIALS AND EQUIPMENT NECESSARY TO SATISFY ALL LOCAL, AND/OR STATE CODES.
- A. THE EXACT WIRING REQUIREMENTS SHALL BE AS RECOMMENDED BY THE MANUFACTURER OF THE
- EQUIPMENT AND SHALL BE VERIFIED BY THE ELECTRICAL CONTRACTOR WITH THE EQUIPMENT MANUFACTURER BEFORE SUBMITTING THE BID.
- B. STARTERS SUPPLIED AS AN INTEGRAL PART OF THE EQUIPMENT SHALL BE FURNISHED UNDER THE DIVISION PROVIDING THE EQUIPMENT. POWER WIRING DISCONNECT SHALL BE UNDER DIVISION 16. ALL OTHER STARTERS AND AUXILIARY CONTROL EQUIPMENT SHALL BE SUPPLIED AND WIRED UNDER DIVISION 16, UNLESS OTHERWISE SHOWN.
- 1.6 RELATED WORK SPECIFIED ELSEWHERE A. DIVISION 13 - SPECIAL CONSTRUCTION
- B. DIVISION 15 MECHANICAL
- 1.7 <u>CODES, PERMITS, AND FEES</u> A. INSTALL WORK IN FULL ACCORDANCE WITH RULES AND REGULATIONS OF STATE, COUNTY, AND
 - CITY AUTHORITIES HAVING JURISDICTION (AHJ) OVER PREMISES. THIS SHALL INCLUDE SAFETY REQUIREMENTS OF THE STATE OF OHIO DEPARTMENTS OF COMMERCE AND NATURAL RESOURCES. DO NOT CONSTRUE THIS AS RELIEVING CONTRACTOR FROM COMPLIANCE WITH ANY REQUIREMENTS OF SPECIFICATION WHICH ARE IN EXCESS OF CODE REQUIREMENTS AND NOT IN CONFLICT THEREWITH. WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE NATIONAL ELECTRICAL CODE, AS INTERPRETED BY THE LOCAL AUTHORITY HAVING JURISDICTION, AS WELL AS ANY FURTHER MODIFICATIONS OR REGULATIONS PUBLISHED BY LOCAL OR STATE AUTHORITIES
 - B. GIVE PROPER AUTHORITIES NOTICE AS REQUIRED BY LAW RELATIVE TO THE WORK IN THEIR CHARGE. COMPLY WITH THE REGULATIONS REGARDING TEMPORARY ENCLOSURES, OBSTRUCTIONS, OR EXCAVATIONS AND PAY ALL LEGAL FEES INVOLVED. C. SECURE AND PAY FOR PERMITS AND CERTIFICATES OF INSPECTIONS INCIDENTAL TO THIS WORK
 - AS REQUIRED BY ALL FOREGOING AUTHORITIES. BE RESPONSIBLE FOR PAYMENTS TO ALL PUBLIC UTILITIES FOR WORK PERFORMED BY THEM IN CONNECTION WITH PROVISION OF SERVICE CONNECTIONS REQUIRED UNDER THIS DIVISION OF SPECIFICATIONS. TURN OVER CERTIFICATES OF APPROVAL TO THE CONSTRUCTION MANAGER AND/OR OWNER PROMPTLY WHEN RECEIVED, AND BEFORE PAYMENT IS MADE FOR THE WORK. DELIVER ALL CERTIFICATES TO ARCHITECT IN
 - D. PROVISIONS OF THE LATEST REVISIONS TO THE FOLLOWING CODES AND STANDARDS SHALL BE FOLLOWED WHERE APPLICABLES
 - 1. **OHIO** ADOPTED STATE BUILDING CODES. 2. CITY OF **CINCINNATI** BUILDING CODES.
 - 3. HAMILTON COUNTY BUILDING CODES.
 - 4. NFPA 70 NATIONAL ELECTRICAL CODE (NEC). 5. NFPA 101 – LIFE SAFETY CODE.
 - 6. TIA/EIA 568, 569, AND J—STD—607.
 - 7. AMERICANS WITH DISABILITIES ACT (ADA). 8. FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- 1.8 COORDINATION WITH OTHER TRADES
 - A. PRIOR TO ROUGH-IN, CONSULT THE DRAWINGS, PRODUCT DATA, AND SHOP DRAWING SUBMITTALS COVERING THE WORK FOR OTHER TRADES, THE FIELD LAYOUTS OF THE CONTRACTORS FOR THE OTHER TRADES AND MAKE ADJUSTMENTS ACCORDINGLY IN LAYING OUT AND INSTALLING THE ELECTRICAL WORK.
- B. KEEP FULLY INFORMED OF THE PROGRESS OF THE GENERAL CONSTRUCTION. INSTALL WORK THAT IS TO BE CONCEALED WITHIN THE BUILDING CONSTRUCTION IN SUFFICIENT TIME TO SECURE PROPER LOCATION WITHOUT DELAY TO THE WORK OF OTHER TRADES. ALL CONDUIT AND OUTLET BOXES CONCEALED IN MASONRY CONSTRUCTION SHALL BE INSTALLED DURING WALL CONSTRUCTION. ATTEND TO ELECTRICAL WORK DURING THE PROGRESS OF BUILDING-IN TO
- PREVENT MISALIGNMENTS AND DAMAGES TO THE ELECTRICAL WORK C. EXAMINE THE WORK OF OTHER TRADES WHEN IT COMES IN CONTACT WITH, OR IS COVERED BY WORK IN THIS DIVISION. DO NOT ATTACH TO, COVER UP, OR FINISH AGAINST ANY DEFECTIVE WORK, OR INSTALL WORK IN A MANNER WHICH WILL PREVENT PROPER INSTALLATION OF THE
- D. ALL OUTLETS, SWITCHES, AND RECEPTACLES SHALL BE CENTERED WITH REGARD TO PANELING, WALL COVERINGS, TRIM, EQUIPMENT, ETC., AND SHALL LINE UP WITH EITHER BOTTOM OR TOP OF MASONRY COURSES. CHANGES TO THE SPECIFIED MOUNTING HEIGHTS OF ANY DEVICE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE ROUGH-IN. E. TAKE ALL FIELD MEASUREMENTS NECESSARY AND ASSUME RESPONSIBILITY FOR THEIR ACCURACY
- F. BEFORE BEGINNING CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE TO THE MECHANICAL CONTRACTOR, MARKED-UP PRINTS INDICATING ALL ELECTRICAL ITEMS WHICH AFFECT THE LOCATION OF HEATING, VENTILATING, AIR CONDITIONING, PLUMBING, PIPING, AND DUCTWORK.
- THESE SHALL INCLUDE BUT NOT BE LIMITED TO PULL BOXES, CONDUIT, ETC. 1.9 <u>EQUIPMENT AND MATERIALS</u>

WORK OF OTHER TRADES.

- A. ALL EQUIPMENT, DEVICES, AND MATERIALS USED ON THIS PROJECT SHALL BE NEW AND U.L. LISTED AND LABELED FOR THE APPLICATION.
- B. PROVIDE MATERIAL AND LABOR WHICH IS NEITHER DRAWN NOR SPECIFIED, BUT WHICH IS OBVIOUSLY A COMPONENT PART OF, AND NECESSARY TO COMPLETE WORK AND WHICH IS CUSTOMARILY A PART OF WORK OF SIMILAR CHARACTER.
- C. EQUIPMENT AND MATERIALS FOR THE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PROTECTED BY SAME UNTIL FORMALLY ACCEPTED BY THE OWNER. D. ALL MANUFACTURERS OF ELECTRICAL EQUIPMENT SHALL VERIFY TO THE SATISFACTION OF THE CONTRACTOR AND ENGINEER THAT THEIR EQUIPMENT WILL FUNCTION PROPERLY UNDER THE CONDITIONS OF USE, AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN. DIMENSIONS. WEIGHTS, OPERATING CHARACTERISTICS AND ALL OTHER RELATED APPURTENANCES SHALL BE VERIFIED BEFORE SUBMITTAL OF SHOP DRAWINGS.
- 1.10 MATERIAL SUBSTITUTION A. BIDS SHALL BE BASED UPON THE SPECIFIED PRODUCTS OR LISTED ALTERNATIVES. DRAWINGS

PROVIDED.

- AND SPECIFICATIONS ARE BASED ON THE PRODUCTS SPECIFIED BY TYPE, MODEL, AND SIZE AND THUS ESTABLISH MINIMUM QUALITIES, WHICH SUBSTITUTES MUST MEET TO QUALIFY FOR REVIEW. B. SHOULD THE CONTRACTOR PROPOSE TO FURNISH MATERIALS, EQUIPMENT, AND DEVICES, OTHER THAN THOSE SPECIFIED AND LISTED, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR SUBSTITUTIONS, TO THE ENGINEER AT LEAST TEN (10) BUSINESS DAYS PRIOR TO BID OPENING. THE REQUEST SHALL BE AN ALTERNATE TO THE ORIGINAL BID AND SHALL INCLUDE AND BE ACCOMPANIED WITH COMPLETE SPECIFICATIONS CUT SHEET SUBMITTAL AS OUTLINED IN THIS SPECIFICATION SECTION, COMPLETE WITH DESCRIPTIVE (MANUFACTURER, BRAND NAME, CATALOG NUMBER, ETC.) AND TECHNICAL DATA FOR ALL ITEMS. INDICATE ANY ADDITIONS OR DEDUCTIONS TO THE CONTRACT PRICE WITH THE SUBSTITUTION SUBMITTAL AND ON THE BID FORM.
- APPROVAL OF THE ARCHITECT AND ENGINEER. IF REQUESTED. THE CONTRACTOR SHALL SUBMIT INSPECTION SAMPLES OF BOTH THE SPECIFIED AND THE PROPOSED SUBSTITUTE ITEMS.
- D. IF ANY SUBSTITUTIONS ARE APPROVED. AN ADDENDUM LISTING THE APPROVED ITEM(S) WILL BE
- ISSUED TO ALL BIDDING CONTRACTORS PRIOR TO THE BID DATE. E. IN ALL CASES WHERE SUBSTITUTIONS ARE PERMITTED, THE CONTRACTOR SHALL BEAR ANY EXTRA
- COST OF EVALUATING THE EQUALITY OF THE MATERIAL AND EQUIPMENT TO BE INSTALLED. F. WHERE ONLY ONE MAKE IS NAMED IN THE SPECIFICATIONS OR ON THE DRAWINGS, IT SHALL BE

C. ACCEPTANCE OR REJECTION OF THE PROPOSED SUBSTITUTIONS SHALL BE SUBJECT TO

G. VERBAL REQUESTS OR APPROVALS SHALL NOT BE BINDING ON THE ENGINEER OR OWNER. 1.11 QUALITY ASSURANCE

GENERAL COMPLIANCE AND NOT FOR DIMENSIONS, QUANTITIES, ETC

- A. ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES: UNDERWRITER LABORATORIES, INC. (UL) LISTED AND LABELED AS DEFINED IN NFPA 70, ARTICLE 100, BY A TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, AND MARKED FOR INTENDED USE. 1.12 SUBMITTALS
 - A. SHOP DRAWINGS AND PRODUCT DATA 1. PREPARE SHOP DRAWINGS AND PRODUCT DATA FOR ELECTRICAL EQUIPMENT WITH ADEQUATE DETAILS AND SCALES AS NECESSARY TO CLEARLY SHOW CONSTRUCTION. INDICATE
 - OPERATING CHARACTERISTICS FOR EACH REQUIRED ITEM AND DESIGN CONDITIONS FOR EACH. CLEARLY IDENTIFY EACH ITEM ON THE DRAWINGS AS TO MARK, LOCATION, AND USE. 2. THIS CONTRACTOR SHALL REVIEW, STAMP WITH APPROVAL AND SUBMIT, WITH REASONABLE PROMPTNESS AND IN ORDERLY SEQUENCE SO AS TO CAUSE NO DELAY IN WORK OR IN THE WORK OF ANY OTHER CONTRACTOR, ALL SHOP DRAWINGS AND SAMPLES REQUIRED BY THE CONTRACT DOCUMENTS. SHOP DRAWINGS NOT STAMPED WITH CONTRACTOR APPROVAL WILL BE RETURNED FOR REPROCESSING. THE SUBMITTALS WILL BE REVIEWED ONLY FOR
 - 3. IF THE SUBMITTAL SHOWS VARIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS FOR ANY REASON, THE CONTRACTOR SHALL MAKE MENTION OF SUCH VARIATION IN A LETTER OF TRANSMITTAL. THE CONTRACTOR SHALL NOTE IN RED ON THE SUBMITTAL ANY CHANGE IN DESIGN OR DIMENSION ON THE ITEMS SUBMITTED INCLUDING CHANGES MADE BY THE MANUFACTURER WHICH MAY DIFFER FROM CATALOG INFORMATION. 4. CONTRACTOR FURTHER AGREES THAT IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS
 - BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS IN THE FORM OF DESIGN DRAWING AND SPECIFICATIONS ARE DISCOVERED, EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS, AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED
 - 5. THE SUBMITTALS THAT ARE RETURNED SHALL BE USED FOR PROCUREMENT. THE RESPONSIBILITY OF CORRECT PROCUREMENT REMAINS SOLELY WITH THE CONTRACTOR. THE SUBMITTAL REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS OR OMISSIONS AND DEVIATIONS FROM THE CONTRACT REQUIREMENTS.

6. IN CHECKING SHOP DRAWINGS, THE ARCHITECT AND ENGINEER WILL MAKE EVERY EFFORT

- TO DETECT AND CORRECT ERRORS, OMISSIONS, AND INACCURACIES IN SUCH DRAWINGS. HOWEVER, FAILURE TO DETECT ERRORS, OMISSIONS, AND INACCURACIES SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR THE PROPER AND COMPLETE INSTALLATION IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. 7. CONTRACTOR AGREES THAT SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE
- NOT CHANGE ORDERS; THAT THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN, THAT THEY DEMONSTRATE THEIR UNDERSTANDING BY INDICATING WHICH EQUIPMENT AND MATERIAL THEY INTEND TO FURNISH AND INSTALL, AND BY DETAILING THE FABRICATION AND INSTALLATION METHODS THEY INTEND TO USE.
- 8. SHOP DRAWINGS SHALL CLEARLY INDICATE ALL DIMENSIONAL DATA FOR ALL PARTS OF THE ITEM, TYPES AND MATERIALS FOR ALL CONNECTIONS, FINISHES, THE EXACT RELATION OF THE ITEM TO ADJACENT MATERIALS AND EQUIPMENT IN THE COMPLETED STRUCTURE INCLUDING CLEARANCE, ANY NECESSARY ISOLATION AND FASTENING METHODS AND DEVICES AND MECHANICAL AND ELECTRICAL CONNECTIONS.
- 9. SUBMIT NEWLY PREPARED INFORMATION, DRAWN TO ACCURATE SCALE. HIGHLIGHT, ENCIRCLE, OR OTHERWISE INDICATE DEVIATIONS FROM THE CONTRACT DOCUMENTS. DO NOT REPRODUCE CONTRACT DOCUMENTS OR COPY STANDARD INFORMATION AS THE BASIS OF SHOP DRAWINGS. STANDARD INFORMATION PREPARED WITHOUT SPECIFIC REFERENCE TO THE PROJECT IS NOT CONSIDERED SHOP DRAWINGS AND WILL BE CAUSE FOR REJECTION.
- 10. SHOP DRAWINGS AND PRODUCT DATA SHALL BE SUBMITTED AS FOLLOWS: a. CONFORM TO SUBMITTAL REQUIREMENTS OUTLINED IN DIVISION 1 OF THESE SPECIFICATIONS.
- b. WHERE CONTENTS OF SUBMITTAL LITERATURE INCLUDE DATA NOT PERTINENT TO THE SUBMITTAL, CLEARLY INDICATE WHICH PORTION OF CONTENT IS BEING SUBMITTED FOR
- 11. SHOP DRAWINGS SHALL INCLUDE FABRICATION AND INSTALLATION DRAWINGS, SETTING DIAGRAMS, SCHEDULES, PATTERNS, TEMPLATES AND SIMILAR DRAWINGS. ALSO, INCLUDE THE FOLLOWING INFORMATION: a. DIMENSIONS.
 - b. IDENTIFICATION OF PRODUCTS AND MATERIALS INCLUDED.
 - c. COMPLIANCE WITH SPECIFIED STANDARDS. d. NOTATION OF COORDINATION REQUIREMENTS.
- e. NOTATION OF DIMENSIONS ESTABLISHED BY FIELD MEASUREMENT
- 12. WHERE ADDITIONAL INSTALLATION DRAWINGS, WIRING DIAGRAMS OR OTHER DRAWINGS ARE SPECIFIED AS A PART OF THE SUBMITTAL, THEY SHALL BE SUBMITTED AT THE SAME TIME WITH SHOP DRAWINGS AND PRODUCT DATA. PARTIAL SUBMITTALS ARE NOT ACCEPTABLE. 13. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL MATERIAL ITEMS AS OUTLINED IN THESE
- SPECIFICATIONS. ANY DEVIATIONS FROM CONTRACT REQUIREMENTS MUST BE CLEAR INDICATED ON SHOP DRAWINGS AND JUSTIFICATION FOR THEIR CONSIDERATION MUST BE 14. APPROVAL OF SUBMITTAL ITEMS SHALL NOT PRECLUDE REJECTION OF THOSE ITEMS UPON
- DISCOVERY OF DEFECTS IN THEM PRIOR TO FINAL ACCEPTANCE OF COMPLETE WORK. 15. WHEN TWO OR MORE ITEMS OF THE SAME EQUIPMENT ARE REQUIRED (I.E. - LUMINAIRES,
- WIRING DEVICES, ETC.), EQUIPMENT ITEMS SHALL BE OF THE SAME MANUFACTURER. 16. SUBMIT A MINIMUM OF SIX (6) COPIES OF SHOP DRAWINGS TO THE ARCHITECT. THE
- ARCHITECT AND ENGINEER SHALL EACH RETAIN ONE (1) COPY AND RETURN THE REMAINDER TO THE CONTRACTOR WHO SHALL DISTRIBUTE COPIES AS REQUIRED TO PROPERLY CONDUCT THE WORK, INCLUDING REQUIREMENTS OF THE OPERATING MANUAL.
- 17. SHOP DRAWINGS AND PRODUCT DATA INCLUDES:
- a. POWER DISTRIBUTION EQUIPMENT b. WIRING DEVICES
- c. LIGHTING CONTROL DEVICES d. LUMINAIRES, LAMPS, DRIVERS, AND BALLASTS
- e. FIRE ALARM DEVICES AND SYSTEM MODIFICATION DRAWINGS DESIGNED AND STAMPED BY A STATE CERTIFIED FIRE ALARM SYSTEM DESIGNER, INCLUDING BUT NOT LIMITED TO THE
- i. BATTERY CALCULATIONS ii. FLOOR PLANS INDICATING LOCATION OF ALL FIRE ALARM DEVICES.
- iii. VOLTAGE DROP CALCULATIONS FOR ALL WIRING AND WIRE TYPES.
- iv. MANUFACTURER MODEL NUMBER AND LISTING INFORMATION FOR ALL DEVICES AND WIRING BEING PROVIDED.
- v. LOCATION OF ALL REQUIRED SYNCHRONIZATION UNITS IF REQUIRED.
- vi. POWER EXTENDER PANELS, ADDRESSABLE MODULES, ETC. vii. EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEM
- 1. THE DESIGN DRAWINGS, AS SUBMITTED, ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EXACT LOCATION OF EQUIPMENT, CONDUITS, ETC. UNLESS DIMENSIONS ARE GIVEN. DRAWINGS ARE NOT TO BE SCALED. EQUIPMENT, CONDUIT, ETC. TO BE INSTALLED ALONG THE GENERAL PLANS SHOWN ON THE DRAWINGS, BUT KEEPING IN MIND ACTUAL BUILDING CONDITIONS WHICH MUST BE CONFIRMED WITHIN THE ACTUAL WORK
- 2. IF THIS CONTRACTOR PROPOSES TO INSTALL EQUIPMENT REQUIRING SPACE CONDITIONS OTHER THAN THOSE AS SPECIFIED AND/OR SHOWN ON THE DESIGN DRAWINGS, OR TO REARRANGE THE EQUIPMENT, THEY SHALL ASSUME FULL RESPONSIBILITY FOR THE REARRANGEMENT OF THE SPACE AND SHALL OBTAIN THE FULL APPROVAL OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 1. BEFORE BEGINNING CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE TO THE MECHANICAL CONTRACTOR MARKED UP PRINTS INDICATING ALL ELECTRICAL WORK WHICH AFFECTS LOCATION OF HEATING, VENTILATING, AIR CONDITIONING, PLUMBING PIPING, FIRE PROTECTION, AND DUCTWORK. REFER TO DIVISION 1 AND DIVISION 15 FOR RELATED WORK. 2. COORDINATION DRAWINGS: REFLECTED CEILING PLANS DRAWN TO SCALE AND COORDINATING
- PENETRATIONS AND CEILING-MOUNTED ITEMS. SHOW THE FOLLOWING: a. CEILING SUSPENSION ASSEMBLY MEMBERS. b. METHOD OF ATTACHING HANGERS TO BUILDING STRUCTURE.
- c. CEILING-MOUNTED ITEMS INCLUDING LIGHTING FIXTURES, EXIT SIGNAGE, FIRE ALARM DEVICES, CCTV, SPEAKERS, ACCESS PANELS, ETC. D. ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES: UNDERWRITER LABORATORIES, INC. (UL)
- LISTED AND LABELED AS DEFINED IN NFPA 70, ARTICLE 100, BY A TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, AND MARKED FOR INTENDED USE. 1. EACH CONTRACTOR OR SUBCONTRACTOR FOR ELECTRICAL WORK SHALL KEEP ONE COMPLETE SET OF THE CONTRACT WORKING DRAWINGS ON THE PROJECT SITE ON WHICH
- THEY SHALL RECORD ANY DEVIATIONS OR CHANGES FROM SUCH CONTRACT DRAWINGS MADE DURING CONSTRUCTION. THESE CHANGES SHALL BE ACCURATELY RECORDED IN RED INK ON THE PRINTS. RECORD DRAWINGS SHALL SHOW CHANGES IN: a. SIZE, TYPE, CAPACITY, ETC. OF ANY MATERIAL, DEVICE, OR PIECE OF EQUIPMENT.
- b. LOCATION OF ANY DEVICE OR PIECE OF EQUIPMENT. c. LOCATION OF ANY OUTLET OR DEVICE AND ASSOCIATED WIRING.
- d. ROUTING OF FEEDER CONDUITS.
- e. BRANCH CIRCUIT NUMBER ASSIGNMENTS. 2. RECORD DRAWINGS SHALL BE KEPT CLEAN AND UNDAMAGED. AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN RECORDING DEVIATIONS FROM WORKING DRAWINGS 3. AFTER THE PROJECT IS COMPLETED, RECORD SETS OF DRAWINGS SHALL BE DELIVERED TO THE TENANT AND BUILDING MANAGEMENT IN GOOD CONDITION, AS A PERMANENT RECORD OF THE INSTALLATION AS CONSTRUCTED. ALL COSTS FOR PRODUCTION, PRINTING, ETC.

SHALL BE BORNE BY THE CONTRACTOR AND SHALL BE INCLUDED IN THE BID.

- 4. REFER TO DIVISION 1 SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS RELATED TO RECORD 5. THIS CONTRACTOR SHALL RECORD ALL CHANGES FROM ORIGINAL DESIGN DRAWINGS WHICH WERE THE INSTALLATION OF THE WORK. THESE CHANGES SHALL BE RECORDED IN RED INK
- ON THE PRINTS. CHANGES SHALL BE ACCURATELY DIMENSIONED. 6. THIS CONTRACTOR SHALL KEEP AN UPDATED SET OF PRINTS, INCLUDING CHANGES, ON THE JOB SITE AT ALL TIMES AND SHALL SUBMIT ONE (1) SET OF UPDATED AND LEGIBLE "AS-BUILT" PRINTS TO THE ARCHITECT WHEN THE WORK IS COMPLETE. 7. PREPARE RECORD DOCUMENTS IN ACCORDANCE WITH THE REQUIREMENTS IN DIVISION 1
- SECTION "PROJECT CLOSEOUT". 8. IN ADDITION TO THE REQUIREMENTS SPECIFIED IN DIVISION 1, INDICATE THE FOLLOWING INSTALLED CONDITIONS (ACCURATELY DIMENSIONED): a. CONCEALED EQUIPMENT, UNITS, DEVICES, ETC., REQUIRING PERIODIC MAINTENANCE OR
- 9. APPROVED SUBSTITUTIONS, CONTRACT MODIFICATIONS AND ACTUAL EQUIPMENT AND MATERIALS INSTALLED. EQUIPMENT LOCATIONS (EXPOSED AND CONCEALED), DIMENSIONED FROM PROMINENT BUILDING LINES. 1.13 OPERATING/MAINTENANCE MANUALS
 - A. PREPARE FOUR (4) COMPLETE BOUND SETS OF OPERATING/MAINTENANCE MANUALS IN ACCORDANCE WITH DIVISION 1 SECTION "PROJECT CLOSEOUT". CONTAINING OPERATING AND MAINTENANCE INSTRUCTIONS, AND MANUFACTURER START-UP REPORTS FOR ALL ELECTRICAL EQUIPMENT AND CONTROLS. B. SERVICE MANUALS SHALL BE ASSEMBLED INTO ONE VINYL COVERED THREE RING "D" TYPE
 - BINDER WITH HARD COVER AND WITH WRITTEN INSTRUCTIONS FOR EACH SYSTEM LISTED IN THE

- C. WRITTEN OPERATING INSTRUCTIONS, SUBMITTAL DRAWINGS, WIRING DIAGRAMS, EQUIPMENT CATALOG DATA SHEETS AND MANUFACTURER'S INSTRUCTIONS SHALL BE ACCOMMODATED INTO 8-1/2" X 11" AND/OR 11' X 17' SIZE. EACH SECTION SHALL BE TABULATED AND INDEXED AS FOLLOWS: 1. FIRST PAGE --- TITLE OF PROJECT, OWNER, ADDRESS, DATE OF SUBMITTAL, NAME OF
- CONTRACTOR, AND NAME OF ARCHITECT AND ENGINEER. 2. SECOND PAGE --- INDEX
- 3. FIRST SECTION --- WRITTEN DESCRIPTION OF SYSTEM CONTENTS WHERE ACTUALLY LOCATED IN BUILDING, HOW EACH PART FUNCTIONS INDIVIDUALLY, AND HOW SYSTEM WORKS AS A WHOLE. CONCLUDE WITH A LIST OF ITEMS REQUIRING SERVICE AND EITHER STATE THE SERVICE NEEDED OR REFER TO THE MANUFACTURER'S DATA IN THE BINDER THAT
- DESCRIBES THE PROPER SERVICE. 4. SECOND SECTION --- A COPY OF EACH SUBMITTAL DRAWING WITH AN INDEX AT THE
- BEGINNING OF THE SECTION. 5. THIRD SECTION --- A COPY OF EACH MANUFACTURER'S OPERATING INSTRUCTIONS WITH AN INDEX AT THE BEGINNING OF THE SECTION, AND A COPY OF EACH MANUFACTURER'S START UP REPORT FOR (FIRE ALARM, ETC.)
- 6. FOURTH SECTION --- A COPY OF ALL TEST RESULTS, IN CHART FORM, PERFORMED BY THE CONTRACTOR 7. FIFTH SECTION --- COPIES OF ALL WARRANTIES, APPROVALS, ETC.
- D. SUBMIT ONE (1) COPY TO THE ENGINEER FOR APPROVAL. AFTER APPROVAL, SUBMIT THREE (3) COPIES TO THE ARCHITECT FOR DELIVERY TO THE OWNER. 1.14 PRODUCT DELIVERY, STORAGE, AND HANDLING
 - A. DELIVER PRODUCTS TO THE PROJECT PROPERLY IDENTIFIED WITH NAMES, MODEL NUMBERS, TYPES, COMPLIANCE LABELS AND SIMILAR INFORMATION NEEDED FOR IDENTIFICATION. MATERIALS MUST BE ADEQUATELY PACKAGED OR PROTECTED TO PREVENT DETERIORATION DURING SHIPMENT, STORAGE AND HANDLING. B. THE CONTRACTOR SHALL MAKE PROVISIONS FOR THE DELIVERY AND SAFE STORAGE OF THEIR
 - MATERIALS AND EQUIPMENT IN COORDINATION WITH THE WORK OF OTHERS. MATERIALS AND EQUIPMENT SHALL BE DELIVERED AT SUCH STAGES OF THE WORK AS WILL EXPEDITE THE WORK AS A WHOLE AND SHALL BE MARKED AND STORED IN SUCH A WAY AS TO BE EASILY CHECKED AND INSPECTED. THE ARRIVAL AND PLACING OF LARGE EQUIPMENT ITEMS SHALL BE SCHEDULED EARLY ENOUGH TO PERMIT ENTRY AND SETTING WHEN THERE IS NO RESTRICTION OR PROBLEM
- C. MATERIALS SHALL BE STORED TO PROTECT THEM FROM INJURY PRIOR TO INSTALLATION. MATERIAL SHOULD NOT BE STORED DIRECTLY ON THE GROUND OR FLOOR AND SHALL BE KEPT AS CLEAN AND DRY AS POSSIBLE AND FREE FROM DAMAGE OR DETERIORATING ELEMENTS. D. IN GENERAL, DO NOT DELIVER ITEMS OF ELECTRICAL EQUIPMENT TO THE PROJECT SUBSTANTIALLY BEFORE THE TIME OF INSTALLATION. LIMIT EACH SHIPMENT OF BULK AND MULTIPLE-USE MATERIALS TO THE QUANTITIES NEEDED FOR INSTALLATION WITHIN 3-WEEKS OF
- 1.15 PROTECTION OF WORK AND PROPERTY A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFEGUARDING WORK, PROPERTY, AND FACILITIES AGAINST DAMAGE. BOTH THEIR OWN AS WELL AS OTHERS, WITH WHICH THEY MAY COME INTO

CONTACT IN THE PERFORMANCE OF THERE WORK.

OPENINGS SHALL BE CLOSED WITH CAPS OR PLUGS DURING INSTALLATION. ALL FIXTURES AND EQUIPMENT SHALL BE COVERED AND PROTECTED AGAINST DAMAGE. ANY MATERIALS OR EQUIPMENT DAMAGED AT ANY STAGE IN THE CONSTRUCTION SHALL BE REPLACED OR REPAIRED AND AT THE FINAL COMPLETION, ALL WORK SHALL BE IN A CLEAN, UNBLEMISHED CONDITION. C. FURNISH INFORMATION TO GENERAL CONTRACTOR AS TO SIZE AND LOCATION OF ALL BUILT-IN OPENINGS REQUIRED. DO NOT CUT, REMOVE OR PIERCE: GENERAL OR MECHANICAL INSULATION; FIRE RATED WALLS OR CEILINGS; OR STEEL WORK; WITHOUT PRIOR PERMISSION AND

B. STORED MATERIALS SHALL BE PROTECTED AGAINST DAMAGE FROM WEATHER. PIPE AND DUCT

- 1.16 <u>CUTTING AND PATCHING</u> A. GENERAL: ALL CUTTING AND PATCHING FOR THE INSTALLATION OF THIS BRANCH OF THE WORK SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR. B. PERFORM CUTTING AND PATCHING IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN
 - MATERIALS REQUIRED TO: INSTALL NEW WORK.

INSTRUCTION.

- 2. UNCOVER WORK TO PROVIDE FOR INSTALLATION OF ILL-TIMED WORK. 3. REMOVE AND REPLACE DEFECTIVE WORK.
- 4. REMOVE AND REPLACE WORK NOT CONFORMING TO REQUIREMENTS OF THE CONTRACT

DIVISION 1. PERFORM CUTTING, FITTING AND PATCHING OF MECHANICAL EQUIPMENT AND

- 5. INSTALL EQUIPMENT AND MATERIALS IN EXISTING STRUCTURE. 6. UPON WRITTEN INSTRUCTIONS FROM THE ENGINEER, UNCOVER AND RESTORE WORK TO
- PROVIDE FOR ENGINEER OBSERVATION OF CONCEALED WORK. 7. CUT, REMOVE AND LEGALLY DISPOSE OF SELECTED ELECTRICAL EQUIPMENT, COMPONENTS AND MATERIALS AS INDICATED, INCLUDING BUT NOT LIMITED TO REMOVAL OF CONDUITS AND CONDUCTORS, JUNCTION BOXES, LUMINAIRES AND TRIM, AND OTHER ELECTRICAL ITEMS
- MADE OBSOLETE BY THE NEW WORK. C. PROTECTION OF INSTALLED WORK: DURING CUTTING AND PATCHING OPERATIONS, PROTECT ADJACENT INSTALLATIONS
- D. PROVIDE AND MAINTAIN TEMPORARY PARTITIONS OR DUST BARRIERS ADEQUATE TO PREVENT THE SPREAD OF DUST AND DIRT TO ADJACENT AREAS. E. ALL OPENINGS REQUIRED FOR THIS BRANCH OF WORK SHALL BE ACCOMPLISHED IN TIME TO BE INCORPORATED IN, AND BE COMPATIBLE WITH THE CONSTRUCTION PROGRAM, OTHERWISE THIS
- CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CHANGES MADE NECESSARY FOR THEIR FAILURE TO DO SO. PIPE HOLES IN FLOORS AND WALLS SHALL BE CORE DRILLED F. PATCH EXISTING FINISHED SURFACES AND BUILDING COMPONENTS USING NEW MATERIALS MATCHING EXISTING MATERIALS AND EXPERIENCED INSTALLERS. FOR INSTALLERS' QUALIFICATIONS, REFER TO THE MATERIALS AND METHODS REQUIRED FOR THE SURFACE AND BUILDING COMPONENTS BEING PATCHED.
- 1.17 FIRE STOPPING A. ANY CORE DRILLING OR CUTTING OF FIRE RATED FLOORS, SHAFTS AND WALLS SHALL BE FIRE STOPPED PRIOR TO FINISH PATCHING. ALL FIRE STOPPING MATERIALS SHALL BE U.L. "CLASSIFIED", INTUMESCING COMPOUND, DEVICE, OR SHEET RATED TO FUNCTION FOR THIS PURPOSE. ACCORDING TO INSTRUCTIONS PROVIDED, ALL PENETRATIONS IN 1-HOUR, 2-HOUR. AND 3-HOUR FIRE RATED WALLS, FLOORS OR PARTITION ASSEMBLIES SHALL BE SEALED WITH 3M BRAND FIRE BARRIER CAULK, CP-25, OR COMPOSITE SHEET CS-195, OR EQUIVALENT. ALL PENETRATIONS SHALL BE SEALED IN ACCORDANCE WITH UL FIRE RESISTANCE VOLUME II.
 - INDIVIDUAL CONDUIT AND GYPSUM WALLBOARD WITH A MINIMUM 1/4" DIAMETER BEAD OF CAULK APPLIED TO THE PERIMETER OF CONDUIT (UL SYSTEM WL1001) 2. MULTIPLE CONDUITS SHALL BE CONTAINED WITHIN A 28 GAUGE STEEL SLEEVE. CAULK CP-25 FILL MATERIAL TO A DEPTH OF 1" COMPLETELY AROUND THE STEEL SLEEVE. A NOMINAL 1/4" DIAMETER BEAD SHALL BE APPLIED ON BOTH SIDES OF WALL ASSEMBLE. A MINIMUM 1" THICKNESS OF MINERAL WOOL BATT INSULATION SHALL BE PACKED FIRMLY INTO

1. CAULK P-25 FILL MATERIAL TO COMPLETELY FILL THE ANNULAR SPACE BETWEEN THE

- THE STEEL SLEEVE ON BOTH SIDES OF WALL ASSEMBLY AS A PERMANENT FORM. PACKING MATERIAL SHALL BE RECESSED 5/8" FROM SURFACE OF WALL ON BOTH SIDES OF WALL ASSEMBLY. FILL RECESSED CAVITY WITH 1" OF CP-25 CAULK (UL SYSTEMS WL1016). 3. A MINIMUM 1" THICKNESS OF MINERAL WOOL BATT INSULATION SHALL BE PACKED FIRMLY INTO THE MAXIMUM 2" ANNULAR SPACE AS A PERMANENT FORM. A MINIMUM OF 1" OF CP-25 CAULK SHALL FILL THE RECESSED CAVITY, (FOR WALLS, THIS SHALL BE APPLIED ON
- BOTH SIDES OF THE WALL) (UL SYSTEM CAJ1044). 4. COORDINATE WITH THE ARCHITECT FOR ALL EXACT MATERIAL AND RATINGS AND EXACT DETAILS FOR FIRE STOPPING MATERIALS AND INSTALLATIONS PER ALL NFPA AND UL
- REQUIREMENTS. A. BEFORE INSTALLING ANY WORK, THIS CONTRACTOR SHALL SEE THAT IT DOES NOT INTERFERE WITH CLEARANCE REQUIRED FOR LIGHTS, CONDUIT, AND CEILINGS AND FOR FINISH ON BEAMS COLUMNS, PILASTERS, WALLS OR OTHER STRUCTURAL OR ARCHITECTURAL MEMBERS, AS SHOWN ON CONTRACT DRAWINGS. IF ANY WORK IS SO INSTALLED AND IT LATER DEVELOPS THAT ORIGINAL DESIGN CANNOT BE FOLLOWED, THIS CONTRACTOR SHALL, AT THEIR OWN EXPENSE,
- MAKE SUCH CHANGES IN THEIR WORK AS ARCHITECT MAY DIRECT TO PERMIT COMPLETION OF WORK IN ACCORDANCE WITH PLANS AND SPECIFICATIONS. B. INSTALL ADDITIONAL OFFSETS ON PIPING OR DUCTWORK WHERE REQUIRED TO OBTAIN MAXIMUM HEADROOM OR TO AVOID CONFLICT WITH OTHER WORK WITHOUT ADDITIONAL COST TO OWNER.
- 1.19 INTERRUPTION OF SERVICE A. WHEN WORK PROGRESS MAKES TEMPORARY SHUTDOWN OF SERVICES UNAVOIDABLE, SHUTDOWN SHALL BE COORDINATED WITH AND APPROVED BY OWNER SO AS TO CAUSE MINIMUM DISRUPTION TO ESTABLISHED OPERATING ROUTINE. ARRANGE TO WORK AS NECESSARY TO RE-ESTABLISH SERVICE WITHIN SHORTEST POSSIBLE DOWNTIME. IN THOSE INSTANCES WHERE THE LENGTH OF TIME REQUIRED FOR THE SERVICE INTERRUPTION IS NOT ACCEPTABLE TO THE OWNER, UNLESS OTHERWISE INDICATED, FURNISH AND INSTALL TEMPORARY CONNECTIONS AS REQUIRED TO
- REDUCE THE LENGTH OF TIME OF SERVICE INTERRUPTION TO AN ACCEPTABLE LEVEL. B. REPORT ANY INTERFERENCE BETWEEN WORK UNDER THIS DIVISION AND THAT OF ANY OTHER CONTRACTORS TO ARCHITECT AS SOON AS THEY ARE DISCOVERED. ARCHITECT WILL DETERMINE WHICH EQUIPMENT SHALL BE RELOCATED, REGARDLESS OF WHICH WAS FIRST INSTALLED, AND THEIR DECISION SHALL BE FINAL.
- 1.20 <u>WORKMANSHIP</u> A. WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE AND IN A WORK LIKE MANNER AND SHALL NEAT AND RECTILINEAR TO FINISHES. B. ELECTRICAL WORK SHALL BE INSTALLED BY JOURNEYMEN ELECTRICIANS UNDER THE SUPERVISION OF A COMPETENT FOREMAN.

1.21 <u>DEMONSTRATION OF COMPLETE ELECTRICAL SYSTEM</u>

CARELESSNESS OR IMPROPER USE.

DEBRIS, ETC.

THE CONTRACTOR'S REQUEST FOR FINAL PAYMENT.

A. BEFORE FINAL PAYMENT, DEMONSTRATE TO THE OWNER'S SATISFACTION THE PROPER OPERATION OF EACH OF THE SYSTEMS COMPRISING THIS CONTRACT. B. INSTRUCT THE OWNER'S MAINTENANCE PERSONNEL IN THE OPERATION AND MAINTENANCE OF ALL ELECTRICAL EQUIPMENT AND CONTROLS. C. DELIVER TO THE OWNER ALL SPECIAL TOOLS AND APPURTENANCES FOR PROPER OPERATION

AND MAINTENANCE OF THE EQUIPMENT PROVIDED AND REQUEST RECEIPT FOR SAME. ATTACH TO

- 1.22 <u>CLEANING AND FINISHING</u> A. GENERAL: FOLLOW THE REQUIREMENTS SPECIFIED IN DIVISION 1 SECTION "PROJECT CLOSEOUT." B. IN SO FAR AS THIS DIVISION IS CONCERNED. AT ALL TIMES KEEP PREMISES AND BUILDING IN A NEAT AND ORDERLY CONDITION. FOLLOW EXPLICITLY ANY INSTRUCTIONS OF ARCHITECT AND OWNER IN REGARD TO STORING OF MATERIALS, PROTECTIVE MEASURES, CLEANING-UP OF
- C. UPON COMPLETION OF WORK, THIS CONTRACTOR SHALL THOROUGHLY CLEAN ALL EQUIPMENT LEAVING EVERYTHING IN WORKING ORDER AT THE COMPLETION OF THIS COMPLETED THEIR WORK. CLEAN LUMINAIRES, OUTLET BOX PLATES, PANEL AND CABINET INTERIORS AND EXTERIORS, ETC., OF DIRT, DUST, DEBRIS, PAINT, ETC. 1.23 **GUARANTEE AND WARRANTIES**

A. WARRANT THAT EQUIPMENT AND ALL WORK IS INSTALLED IN ACCORDANCE WITH GOOD

COMPLYING EQUIPMENT WITHOUT COST TO THE OWNER. B. THIS CONTRACTOR SHALL GUARANTEE AGAINST DEFECTS OF ALL MATERIALS, WORKMANSHIP AND THE COMPLETE OPERATION OF ALL EQUIPMENT AND APPARATUS INSTALLED BY THEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE FINAL ACCEPTANCE OF THE ENTIRE WORK AND SHALL GUARANTEE TO REPAIR OR REPLACE AT THEIR OWN EXPENSE ANY PART OF THE APPARATUS WHICH MAY SHOW DEFECT DURING THAT TIME PROVIDED SUCH DEFECT IS, IN THE OPINION OF THE ARCHITECT, DUE TO IMPERFECT MATERIAL OR WORKMANSHIP AND NOT TO

ENGINEERING PRACTICE AND THAT ALL EQUIPMENT WILL MEET REQUIREMENTS SPECIFIED. ANY

EQUIPMENT FAILING TO PERFORM OR FUNCTION AS SPECIFIED SHALL BE REPLACED WITH

A. ELECTRICAL METALLIC TUBING (EMT) SHALL BE ELECTRO-GALVANIZED AND MANUFACTURED IN ACCORDANCE WITH ANSI C80.3.

B. FLEXIBLE METAL CONDUIT (FMC) SHALL CONSIST OF CONTINUOUS LENGTHS OF SPIRALLY WOUND AND INTERLOCKED GALVANIZED STEEL, MANUFACTURED IN ACCORDANCE WITH UL 1. LIQUID TIGHT FLEXIBLE METAL CONDUIT (LFMC) SHALL BE USED IN WET LOCATIONS.

C. CONDUIT EXPANSION FITTINGS SHALL BE THREADED HOT-DIPPED GALVANIZED MALLEABLE IRON

- D. PROVIDE THREADED MALLEABLE IRON OR STEEL CONNECTORS AND COUPLINGS WITH INSULATED THROATS; MANUFACTURED ELBOWS; LOCKNUTS; AND PLASTIC OR BAKELITE BUSHINGS AT TERMINATIONS, AS NECESSARY, COUPLINGS AND CONNECTORS SHALL BE GLAND AND RING COMPRESSION OR STAINLESS STEEL MULTIPLE POINT LOCKING OR STEEL CONCRETE-TIGHT SET SCREW. COMPRESSION COUPLINGS AND CONNECTORS SHALL FORM POSITIVE GROUND. SET-SCREW CONNECTORS AND COUPLINGS SHALL HAVE WALL THICKNESS EQUAL TO CONDUIT CASE-HARDENED, HEX-HEAD SCREWS AND INDIVIDUAL GROUND WIRE. BUSHINGS FOR RIGID STEEL AND CONNECTORS FOR EMT SHALL HAVE INSULATING INSERTS THAT MEET REQUIREMENTS
- OF UL 514 FLAME TEST. E. ACCEPTABLE MANUFACTURER FOR METALLIC RACEWAY SHALL BE AS FOLLOWS:
 - ALFLEX 2. ELECTRI-FLEX
- 3. GRINNEL CO.

WITH INTERNAL BONDING ASSEMBLY.

- 4. O-Z GEDNEY 2.2 <u>OUTLET BOXES</u>
 - A. OUTLET BOXES ON CONCEALED WORK SHALL BE AT LEAST 4" SQUARE OR OCTAGONAL GALVANIZED PRESSED STEEL WITH PLASTER RINGS AS REQUIRED. OUTLET BOXES FOR EXPOSED CONDUIT WORK SHALL BE CAST ALUMINUM ALLOY WITH CAST ALUMINUM ALLOY COVERS. B. WHERE INSTALLED IN PLASTER, BOXES SHALL BE FITTED WITH GALVANIZED STEEL PLASTER
- COVERS OF REQUIRED DEPTH TO FINISH FLUSH WITH FINISHED WALL OR CEILING. C. SWITCH BOXES, RECEPTACLE BOXES AND OTHER OUTLET BOXES SHALL BE STANDARD 4" SQUARE WITH PLASTER RINGS OR GANG COVER AS REQUIRED. D. OUTLET BOXES FOR VARIOUS SYSTEMS AND COMPONENTS SHALL BE AS REQUIRED BY
- EQUIPMENT MANUFACTURER. F. PROVIDE ONLY ENOUGH CONDUIT OPENINGS TO ACCOMMODATE CONDUITS AT INDIVIDUAL LOCATION. EACH BOX SHALL BE LARGE ENOUGH TO ACCOMMODATE NUMBER AND SIZES OF CONDUITS, WIRES AND SPLICES TO MEET NEC REQUIREMENTS, BUT SHALL BE AT LEAST SIZE

SHOWN OR SPECIFIED. NECESSARY VOLUME SHALL BE OBTAINED BY USING BOXES OF PROPER

DIMENSIONS. 2.3 JUNCTION BOXES AND PULL BOXES

2.4 <u>CONDUCTORS AND CABLE</u>

- A. PROVIDE CODE GAUGE GALVANIZED STEEL JUNCTION AND PULL BOXES FOR CONDUIT 1-1/4" TRADE SIZE AND LARGER, WHERE NECESSARY TO FACILITATE INSTALLATION, OF REQUIRED DIMENSIONS, WITH ACCESSIBLE, REMOVABLE SCREW-ON COVERS. PROVIDE JUNCTION AND PULL BOXES IN SPECIAL SIZES AND SHAPES DETERMINED IN FIELD WHERE NECESSARY. B. JUNCTION BOX COVERS SHALL BE ACCESSIBLE. DO NOT INSTALL JUNCTION BOXES ABOVE
- C. PULL BOXES SHALL BE SUPPORTED ADEQUATELY TO MAINTAIN SHAPE. LARGER BOXES SHALL HAVE STRUCTURAL STEEL BRACING WELDED INTO RIGID ASSEMBLY FORMED ADEQUATELY TO MAINTAIN ALIGNMENT IN SHIPMENT AND INSTALLATION. SECURE COVERS WITH CORROSION-RESISTANT SCREWS.

SUSPENDED CEILINGS EXCEPT WHERE CEILING IS REMOVABLE OR WHERE ACCESS PANEL IS

1. PULL BOXES EXPOSED TO RAIN OR IN WET LOCATIONS SHALL BE WEATHERPROOF 2. PROVIDE CLAMPS, GRIDS AND OTHER APPURTENANCES TO SECURE CABLES WITHIN PULL BOX. NO CABLE SHALL BE UNSUPPORTED FOR MORE THAN 30". 3. PULL BOXES CONNECTED TO CONCEALED CONDUITS SHALL BE MOUNTED WITH COVERS

FLUSH WITH FINISHED WALL OR CEILING.

- A. CONDUCTORS SHALL BE NEW, 600V, 90C, TYPE XHHW, THHN, OR THWN INSULATION, COPPER, OF SIZES SPECIFIED AND SCHEDULED ON DRAWINGS, FOR SECONDARY SERVICE, FEEDERS, BRANCH CIRCUITS, UNLESS OTHERWISE SHOWN ON PLANS. B. METAL CLAD CABLE SHALL BE 600 V COPPER WITH FULL-SIZED INSULATED GROUND CONDUCTOR. USE IS RESTRICTED BY REQUIREMENTS OF PARAGRAPH ENTITLED WIRING METHODS
- IN PART 3 OF THIS SECTION. MINIMUM SIZE SHALL BE 12-AWG UNLESS SPECIFIED OTHERWISE. C. CONDUCTORS 10-AWG AND LARGER SHALL BE STRANDED; 12-AWG AND SMALLER SHALL BE
- D. MOTOR CONTROL CIRCUITS AND SIGNAL WIRING MAY BE 14-AWG IF NEC REQUIREMENTS ARE MET. BRANCH CIRCUITS LONGER THAN 75' FOR 120 V AND 175' FOR 277 V SHALL BE AT LEAST 10-AWG FROM PANEL TO LAST OUTLET. E. WIRING WITHIN LUMINAIRES AND OTHER HIGH-TEMPERATURE EQUIPMENT SHALL HAVE 150°C INSULATION AS REQUIRED BY NEC.
- F. MAKE SPLICES IN BRANCH CIRCUIT WIRING WITH UL-LISTED, SOLDERLESS CONNECTORS RATED 600 V. OF SIZES AND TYPES REQUIRED BY MANUFACTURER'S RECOMMENDATIONS WITH TEMPERATURE RATINGS EQUAL TO THOSE OF WIRES. SPLICE CONNECTORS SHALL BE SCREW-ON. INSULATE SPLICES WITH INTEGRAL COVERS OR WITH PLASTIC OR RUBBER FRICTION TAPE TO PRESERVE CHARACTERISTICS OF WIRE AND CABLE INSULATION. G. MAKE TERMINATIONS AND SPLICES FOR CONDUCTORS 6-AWG AND LARGER WITH
- CONNECTORS FOR CABLES 250 KCMIL AND LARGER SHALL HAVE TWO CLAMPING ELEMENTS OR COMPRESSION INDENTS. TERMINALS FOR BUS CONNECTIONS SHALL HAVE TWO BOLT HOLES. H. AMPACITY OF SPLICES AND CONNECTORS SHALL BE EQUAL TO THOSE OF ASSOCIATED WIRES AND CABLES. I. ARMORED (TYPE AC) CABLE, METAL CLAD (TYPE MC) CABLE MAY BE USED IN LIEU OF BRANCH CIRCUIT CONDUIT. NONMETALLIC (TYPE NM/NMC) CABLE MAY BE UTILIZED IN ALL DWELLING UNITS. THE INSTALLATION OF THESE CABLE ASSEMBLIES SHALL COMPLY WITH ARTICLE 320, 330

CORROSION-RESISTANT, HIGH-CONDUCTIVITY PRESSURE INDENT, HEX SCREW OR BOLT-CLAMP

CONNECTORS, WITH OR WITHOUT TONGUES, DESIGNED SPECIFICALLY FOR INTENDED SERVICE.

AND 334 OF THE NATIONAL ELECTRICAL CODE RESPECTIVELY. THE USE OF AC. MC OR NM/NMC CABLE SHALL NOT BE USED IN EXPOSED LOCATIONS. TYPE OF WIRING SHALL BE AS SPECIFIED ELSEWHERE IN THIS SECTION. A GREEN EQUIPMENT GROUNDING CONDUCTOR SHALL BE PROVIDED IN ALL MC CABLE, AC CABLE AND NM/NMC CABLES ASSEMBLIES. 2.4 COLOR CODING

A. SECONDARY SERVICE, FEEDERS AND BRANCH CIRCUIT CONDUCTORS COLORS SHALL BE AS

480Y/277 VOLT:

- PHASE A: BLACK BROWN ORANGE PHASE B: RED PHASE C: BLUE YELLOW NEUTRAL: WHITE
- ISOLATED GROUND: GREEN WITH YELLOW STRIPE GREEN WITH YELLOW STRIPE B. BRANCH CIRCUIT CONDUCTORS 12-AWG AND 10-AWG SHALL HAVE SOLID COLOR COMPOUND, SOLID COLOR COATING. NEUTRALS AND EQUIPMENT GROUNDS SHALL HAVE SOLID COMPOUND OR SOLID COLOR COATING (WHITE, GRAY AND GREEN).

C. ACCEPTABLE MANUFACTURER FOR WIRE AND CABLE SHALL BE AS FOLLOWS:

1. AMERICAN INSULATED WIRE CORP.; A LEVITON COMPANY 2. SENATOR WIRE & CABLE COMPANY

3. SOUTHWIRE COMPANY

GROUND: GREEN

FOLLOWS:

- 2.6 <u>WIRE PULLING EQUIPMENT</u> A. PROVIDE POLYETHYLENE ROPES FOR PULLING WIRE.
- B. PROVIDE FISH WIRES IN TELEPHONE CONDUITS AND OTHER EMPTY CONDUIT SYSTEMS REQUIRED, WITHOUT SPLICES AND WITH AMPLE EXPOSED LENGTHS AT EACH END. C. PROVIDE WIRE PULLING LUBRICANTS THAT MEET APPLICABLE UL REQUIREMENTS AS NECESSARY. 2.7 WIRING DEVICES

NEMA WD 1, NEMA WD 6 CONFIGURATION 5-20R, AND UL 498.

- A. RECEPTACLES 1. STRAIGHT BLADE CONVENIENCE RECEPTACLE DEVICES NOT INSTALLED IN DWELLING UNITS SHALL BE EXTRA HEAVY DUTY INDUSTRIAL (COMMERCIAL) SPECIFICATION GRADE AND SHALL AT A MINIMUM INCORPORATE THE FOLLOWING FEATURES AND BENEFITS: 15 OR 20 A, 125V, 2-POLE, 3-WIRE, GROUNDING TYPE WITH SELF GROUNDING FEATURE: COMPLY WITH
- 2. STRAIGHT BLADE DUPLEX RECEPTACLES INSTALLED IN DWELLING UNITS SHALL BE "RESIDENTIAL GRADE", 125 VOLT, 3 WIRE, GROUNDING TYPE, TAMPER RESISTANT TYPE (IN COMPLIANCE WITH N.E.C. #406.12), 15 OR 20 A DEVICES. 3. STRAIGHT BLADE GFCI TYPE RECEPTACLE DEVICES NOT INSTALLED IN DWELLING UNITS AND SHALL AT A MINIMUM INCORPORATE THE FOLLOWING FEATURES AND BENEFITS: NON-FEED-THROUGH TYPE, NEMA WD 1, NEMA WD 6, UL 498, AND UL 943, CLASS A,
- GROUP I SOLID STATE SENSING AND SIGNALING WITH FIVE (5) MILLIAMPERE FAULT TRIP LEVEL, INCLUDE INDICATOR LIGHT THAT IS LIGHTED WHEN DEVICE IS TRIPPED, 20 A, 125V, 2-POLE, 3-WIRE, GROUNDING TYPE WITH SELF GROUNDING FEATURE. 4. STRAIGHT BLADE GFCI TYPE RECEPTACLE DEVICES INSTALLED IN DWELLING UNITS AND SHALL AT A MINIMUM INCORPORATE THE FOLLOWING FEATURES AND BENEFITS NON-FEED-THROUGH TYPE, NEMA WD 1, NEMA WD 6, UL 498, AND UL 943, CLASS A, GROUP I SOLID STATE SENSING AND SIGNALING WITH FIVE (5) MILLIAMPERE FAULT TRIP LEVEL, INCLUDE INDICATOR LIGHT THAT IS LIGHTED WHEN DEVICE IS TRIPPED, 20 A, 125V,
- 2-POLE, 3-WIRE, GROUNDING TYPE WITH SELF GROUNDING FEATURE, AND TAMPER RESISTANT TYPE (IN COMPLIANCE WITH N.E.C. #406.12). 5. ACCEPTABLE MANUFACTURERS/DEVICE NUMBERS FOR RECEPTACLES ARE AS FOLLOWS:
- NON DWELLING UNIT CR15/20 5362 SERIES 5362 SERIES DWELLING UNIT CR15TR/20TR 3232TR T5320/T5820 SERIES SERIES SERIES 2097 SERIES G5362 SERIES NON DWELLING UNIT GFCI GFRST20 SERIES
- B. AC TOGGLE SWITCHES 1. AC TOGGLE SWITCHES NOT INSTALLED IN DWELLING UNITS SHALL BE EXTRA HEAVY DUTY INDUSTRIAL (COMMERCIAL) SPECIFICATION GRADE QUIET TYPE, AND SHALL COMPLY WITH NEMA WD1 AND U.L. 20 REQUIREMENTS.

2. AC TOGGLE SWITCHES INSTALLED IN DWELLING UNITS SHALL BACK AND SIDE WIRED, 15 OR

20 AMPERE, 120/277 VOLTS AC, AND "RESIDENTIAL GRADE". SWITCHES SHALL BE EITHER

SERIES

6. COLORS OF ALL RECEPTACLES ARE BY ARCHITECT/OWNER.

LOWERCASE "x".

SERIES

SERIES

TOGGLE OR PADDLE IN STYLE. 3. ACCEPTABLE MANUFACTURERS/DEVICE NUMBERS FOR AC TOGGLE SWITCHES ARE AS NON DWELLING UNIT HBL120x CS15AC/CS20AC1221x SERIES

SERIES

DWELLING UNIT, PADDLE DSx SERIES TM87x SERIES 560x SERIES OTE: THREE AND FOUR WAY SWITCHES ARE NOT SPECIFICALLY NOTED, BUT ARE WITHIN THE LISTED SERIES AS SPECIFIC MODEL NUMBERS, DENOTED BY A

DWELLING UNIT, TOGGLE CSBx SERIES 66x SERIES 145x SERIES

IN DWELLING UNITS ARE BY ARCHITECT/OWNER.

- WALL-SWITCH SENSORS DESCRIPTION: MULTI-TECHNOLOGY (ULTRA SONIC AND INFRARED) ADAPTIVE TECHNOLOGY TYPE, 120/277 V, ADJUSTABLE TIME DELAY UP TO 30 MINUTES, 180-DEGREE FIELD OF VIEW, WITH A MINIMUM COVERAGE AREA OF 1200 SQ. FT. AND
- 2. CEILING MOUNTED SENSORS DESCRIPTION: MULTI-TECHNOLOGY (ULTRA SONIC AND INFRARED), ADJUSTABLE TIME DELAY UP TO 30 MINUTES, 360-DEGREE FIELD OF VIEW, WITH A MINIMUM COVERAGE AREA OF 2000 SQ. FT.
 - b. ADJUST WALL MOUNTED SENSORS HORIZONTAL FILED BLINDERS AS REQUIRED TO PREVENT FALSE TRIPPING.
 - d. ALL SETTINGS AND ADJUSTMENTS SHALL BE PER MANUFACTURES INSTALLATION DOCUMENTATION.
- D. INSTALLATION 1. WIRING DEVICES AND WALL PLATES

C. OCCUPANCY/VACANCY SENSORS

- a. SINGLE AND COMBINATION TYPES TO MATCH CORRESPONDING WIRING DEVICES.
- b. SMOOTH HIGH-IMPACT THERMOPLASTIC MATERIAL FOR FINISHED SPACES
- c. GALVANIZED STEEL MATERIAL FOR UNFINISHED SPACES d. VOICE/DATA JACKS SHALL UTILIZE THE SAME TYPE OF PLATE USED FOR RECEPTACLES. e. DEVICES PLATES SHALL BE BY THE SAME MANUFACTURER AS THE WIRING DEVICE.
- f. DEVICE/PLATE COLOR SELECTED BY ARCHITECT/OWNER. 2. INSTALL GROUND PIN OF VERTICALLY MOUNTED RECEPTACLES UP AND ON HORIZONTALLY
- MOUNTED RECEPTACLES TO THE RIGHT. 3. DO NOT USE OVERSIZED OR EXTRA-DEEP PLATES. REPAIR WALL FINISHES AND REMOUNT
- OUTLET BOXES WHEN STANDARD DEVICE PLATES DO NOT FIT FLUSH OR DO NOT COVER ROUGH WALL OPENING 4. UNLESS OTHERWISE INDICATED, MOUNT FLUSH, WITH LONG DIMENSION VERTICAL GROUP
- ADJACENT SWITCHES UNDER A SINGLE, MULTI-GANG WALL PLATE.
- 2.8 WIRING DEVICE PLATES A. PROVIDE TYPE AND COLOR AS DIRECTED BY ARCHITECT/OWNER.
- B. VOICE/DATA OUTLET PLATES SHALL BE SAME AS USED FOR RECEPTACLES. C. DEVICE PLATES SHALL BE BY MANUFACTURER OF WIRING DEVICES.
- D. OUTLETS SHALL BE FLUSH TO SURFACE. 2.9 <u>LUMINAIRES</u> A. PROVIDE LUMINAIRES, EQUIPMENT, AND COMPONENTS WHERE SHOWN ON DRAWINGS, AS LISTED
- ALIGNERS, CANOPIES, HANGERS AND OTHER APPURTENANCES AS REQUIRED FOR A COMPLETE SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND N.E.C. REQUIREMENTS B. REFER TO LUMINAIRE SCHEDULE FOR SPECIFIC LAMP AND BALLAST TYPE AND MANUFACTURER

IN LUMINAIRE SCHEDULE, AND AS SPECIFIED, WIRED AND ASSEMBLED. PROVIDE APPROVED

C. PROVIDE ALL LAMPS REQUIRED. AT THE CONCLUSION OF THE WORK. EACH FIXTURE MUST BE

- EQUIPPED WITH THE PROPER NUMBER OF NEW LAMPS OF THE CORRECT SIZE AND TYPE, ALL IN GOOD OPERATING CONDITION. 2.10 FUSIBLE SWITCHES
 - A. MANUFACTURERS 1. EATON/CUTLER HAMMER
 - 2. ABB/GE 3. SIEMENS
 - B. QUICK-MAKE/QUICK-BREAK FUSIBLE SWITCHES
 - 1. PROTECTIVE DEVICES SHALL BE QUICK-MAKE/QUICK-BREAK FUSIBLE SWITCHES AS MANUFACTURED BY CUTLER HAMMER TYPE FDP. FUSIBLE SWITCHES 30 AMPERES THROUGH 600 AMPERES FRAMES SHALL BE FURNISHED WITH REJECTION CLASS "R" OR "J" TYPE FUSE CLIPS UNLESS OTHERWISE SCHEDULED. FUSIBLE SWITCHES 800 AMPERES THROUGH 1200 AMPERES SHALL BE FURNISHED WITH CLASS "L" FUSE CLIPS. SWITCHES SHALL INCORPORATE SAFETY COVER INTERLOCKS TO PREVENT OPENING THE COVER WITH THE SWITCH IN THE "ON" POSITION OR PREVENT PLACING THE SWITCH IN THE "ON" POSITION WITH THE COVER OPEN. PROVIDE DEFEATER FOR AUTHORIZED PERSONNEL. ANDLES SHALL HAVE PROVISIONS FOR PADLOCKING AND SHALL CLEARLY INDICATE THE "ON" OR "OFF" POSITION. FRONT COVER DOORS SHALL BE PADLOCKABLE IN THE CLOSED POSITION.
 - 1. PROVIDE ARC-FLASH HAZARD WARNING LABEL FOR EACH SWITCH PER NATIONAL ELECTRIC CODE (N.E.C.) ARTICLE 110.16.
- 2.11 PANELBOARDS A. MANUFACTURERS
 - 2. ABB/GE 3. SCHNIEDER/SQUARE D

DAYS PRIOR TO BID DATE.

4. SIFMENS

1. EATON/CUTLER HAMMER

- THE LISTING OF SPECIFIC MANUFACTURERS ABOVE DOES NOT IMPLY ACCEPTANCE OF THEIR PRODUCTS THAT DO NOT MEET THE SPECIFIED RATINGS, FEATURES AND FUNCTIONS. MANUFACTURERS LISTED ABOVE ARE NOT RELIEVED FROM MEETING THESE SPECIFICATIONS IN THEIR ENTIRETY. PRODUCTS IN COMPLIANCE WITH THE SPECIFICATION AND MANUFACTURED BY OTHERS NOT NAMED WILL BE CONSIDERED ONLY IF PRE-APPROVED BY THE ENGINEER TEN (10)
- B. RATINGS 1. PANELBOARDS RATED 240V AC OR LESS SHALL HAVE SHORT-CIRCUIT RATINGS AS SHOWN ON THE DRAWINGS OR AS HEREIN SCHEDULED, BUT NOT LESS THAN 10,000 AMPERES RMS

SHALL BE PROVIDED. IT SHALL STATE THE CONDITIONS OF THE UL SERIES RATINGS

- 2. PANELBOARDS RATED 480V AC OR LESS SHALL HAVE SHORT-CIRCUIT RATINGS AS SHOWN ON THE DRAWINGS OR AS HEREIN SCHEDULED, BUT NOT LESS THAN 14,000 AMPERES RMS SYMMFTRICAL 3. PANELBOARDS SHALL BE LABELED WITH A UL SHORT-CIRCUIT RATING. WHEN SERIES RATINGS ARE APPLIED WITH INTEGRAL OR REMOTE UPSTREAM DEVICES, A LABEL OR MANUAL
- INCLUDING: a. SIZE AND TYPE OF UPSTREAM DEVICE. b. UL RECOGNIZED BRANCH DEVICES THAT CAN BE USED.

c. UL SERIES SHORT-CIRCUIT RATING.

HANDLES SHALL BE ACCESSIBLE.

PANELBOARDS SHALL BE FULLY RATED.

PANELBOARDS.

REFRIGERATING EQUIPMENT.

G. BRANCH CIRCUIT PANELBOARDS

- C. CONSTRCTION 1. INTERIORS SHALL BE COMPLETELY FACTORY ASSEMBLED DEVICES. THEY SHALL BE DESIGNED SUCH THAT SWITCHING AND PROTECTIVE DEVICES CAN BE REPLACED WITHOUT DISTURBING ADJACENT UNITS AND WITHOUT REMOVING THE MAIN BUS CONNECTORS.
- OVER ALL CIRCUIT BREAKER HANDLES. DOORS IN PANELBOARD TRIMS SHALL NOT UNCOVER ANY LIVE PARTS. DOORS SHALL HAVE A SEMI FLUSH CYLINDER LOCK AND CATCH ASSEMBLY. DOORS OVER 48 INCHES IN HEIGHT SHALL HAVE AUXILIARY FASTENERS. 3. DISTRIBUTION PANELBOARD TRIMS SHALL COVER ALL LIVE PARTS. SWITCHING DEVICE

2. TRIMS FOR BRANCH CIRCUIT PANELBOARDS SHALL BE SUPPLIED WITH A HINGED DOOR

OVERLAP THE BOX BY 3/4 OF AN INCH ON ALL SIDES. 5. A DIRECTORY CARD WITH A CLEAR PLASTIC COVER SHALL BE SUPPLIED AND MOUNTED ON THE INSIDE OF EACH DOOR. 6. ALL LOCKS SHALL BE KEYED ALIKE.

4. SURFACE TRIMS SHALL BE SAME HEIGHT AND WIDTH AS BOX. FLUSH TRIMS SHALL

STANDARDS TO LIMIT TEMPERATURE RISE ON ANY CURRENT CARRYING PART TO A MAXIMUM OF 65 DEGREES C ABOVE AN AMBIENT OF 40 DEGREES C MAXIMUM. 2. A SYSTEM GROUND BUS SHALL BE INCLUDED IN ALL PANELS 3. FULL-SIZE (100%-RATED) INSULATED NEUTRAL BARS SHALL BE INCLUDED FOR PANELBOARDS SHOWN WITH NEUTRAL. BUS BAR TAPS FOR PANELS WITH SINGLE-POLE

BRANCHES SHALL BE ARRANGED FOR SEQUENCE PHASING OF THE BRANCH CIRCUIT

DEVICES. NEUTRAL BUSING SHALL HAVE A SUITABLE LUG FOR EACH OUTGOING FEEDER

1. MAIN BUS BARS SHALL BE TIN-PLATED ALUMINUM SIZED IN ACCORDANCE WITH UL

E. DISTRIBUTION PANELBOARDS (PANELS RATED 600A OR MORE) 1. DISTRIBUTION PANELBOARDS SHALL HAVE MAIN DEVICES AND BRANCH BREAKERS AS INDICATED ON DRAWINGS. 2. DISTRIBUTION PANELBOARDS WITH BOLT-ON DEVICES CONTAINED THEREIN SHALL HAVE

INTERRUPTING RATINGS AS SPECIFIED HEREIN OR AS INDICATED ON THE DRAWINGS.

AND/OR BRANCH CIRCUIT REQUIRING A NEUTRAL CONNECTION.

SHALL BE ACCOMPLISHED BY MEANS OF DE-ION ARC CHUTES.

3. MOLDED CASE CIRCUIT BREAKERS SHALL BE PROVIDED WITH INVERSE TIME AND INSTANTANEOUS TRIPPING CHARACTERISTICS. ADJUSTABLE MAGNETIC TRIP SETTINGS SHALL BE PROVIDED FOR CIRCUIT BREAKER FRAME SIZES 400 AMPERES AND LARGER. 4. CIRCUIT BREAKERS SHALL BE OPERATED BY A TOGGLE-TYPE HANDLE AND SHALL HAVE A QUICK-MAKE, QUICK-BREAK OVER-CENTER SWITCHING MECHANISM THAT IS MECHANICALLY TRIP-FREE. AUTOMATIC TRIPPING OF THE BREAKER SHALL BE CLEARLY INDICATED BY THE

HANDLE POSITION. CONTACTS SHALL BE NONWELDING SILVER ALLOY AND ARC EXTINCTION

5. FOR 600A RATED PANELS, PANEL SHALL BE ABLE TO ACCEPT 225A BRANCH BREAKER AT

A MINIMUM. FOR 800A AND ABOVE RATED PANELS, PANEL SHALL BE ABLE TO ACCEPT 400A BRANCH BREAKERS AT A MINIMUM. F. DWELLING UNIT LOAD CENTERS 1. PROVIDE RESIDENTIAL BRANCH CIRCUIT BREAKER LOAD CENTERS IN ALL APARTMENTS FOLIPPED WITH CIRCUIT BREAKERS OF THE FRAME AND TRIP RATING AS SPECIFIED HEREIN AND AS SHOWN ON THE CONTRACT DRAWINGS. LOAD CENTER BUS STRUCTURE AND MAIN LUG/MAIN CIRCUIT BREAKER SHALL HAVE THE CURRENT RATING AS SHOWN ON THE

CONTRACT DRAWINGS. BUS BAR CONNECTIONS SHALL ACCEPT PLUG-IN CIRCUIT BREAKERS.

THERMAL MAGNETIC, MOLDED CASE PLUG-IN TYPE. a. PANELBOARDS AS A COMPLETE UNIT SHALL HAVE A MINIMUM SHORT CIRCUIT RATING OF 208(240)/120 - 10,000 AIC, UNLESS OTHERWISE NOTED. b. WHEN WORK IS COMPLETE, BALANCE THE CONTINUOUS LOAD ON EACH PHASE OF ALL

BREAKERS ARE REQUIRED, THEY SHALL BE COMMON TRIP. CIRCUIT BREAKERS SHALL BE

PANELBOARDS SHALL BE DEAD FRONT SAFETY TYPE. WHERE MULTI-POLE CIRCUIT

- 1. THE MINIMUM SHORT-CIRCUIT RATING FOR BRANCH CIRCUIT PANELBOARDS SHALL BE AS SPECIFIED HEREIN OR AS INDICATED ON THE DRAWINGS. PANELBOARDS SHALL BE FULLY 2. BOLT-ON TYPE, HEAVY-DUTY, QUICK-MAKE, QUICK-BREAK, SINGLE AND MULTI-POLE
- CIRCUIT BREAKERS OF THE TYPES SPECIFIED HEREIN, SHALL BE PROVIDED FOR EACH CIRCUIT WITH TOGGLE HANDLES THAT INDICATE WHEN UNIT HAS TRIPPED. 3. CIRCUIT BREAKERS SHALL BE THERMAL-MAGNETIC TYPE WITH COMMON TYPE HANDLE FOR ALL MULTIPLE POLE CIRCUIT BREAKERS. CIRCUIT BREAKERS SHALL BE MINIMUM 100-AMPERE FRAME AND THROUGH 100-AMPERE TRIP SIZES SHALL TAKE UP THE SAME POLE SPACING. CIRCUIT BREAKERS SHALL BE UL LISTED AS TYPE 'SWD' FOR LIGHTING

CIRCUITS, AND UL LISTED AS TYPE 'HACR' FOR HEATING, AIR-CONDITIONING AND

EXIT SIGNS, EMERGENCY LIGHTS, ENERGY MANAGEMENT, AND CONTROL SYSTEM (EMCS) PANELS AND FIRE ALARM PANELS.

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ELECTRICAL SPECIFICATIONS

4. COLORS OF ALL SWITCHES AND SELECTION BETWEEN TOGGLE AND PADDLE TYPE SWITCHES

a. CIRCUIT BREAKER HANDLE LOCKS SHALL BE PROVIDED FOR ALL CIRCUITS THAT SUPPLY

ADJUSTMENTS: a. ADJUST WALL MOUNTED SENSORS "TIME-OUT" SETTING TO "A" AUTO.

- c. ADJUST ALL SENSORS AMBIENT LIGHT LEVELS TO THEIR MAXIMUM LIGHT LEVEL SETTING.



- 4. BRANCH CIRCUIT BREAKERS SHALL HAVE A MINIMUM INTERRUPTING RATING OF 10,000 AMPERES SYMMETRICAL AT 240 VOLTS AND 14,000 AMPERES SYMMETRICAL AT 480 VOLTS.
- H. ENCLOSURE · ENCLOSURES SHALL BE AT LEAST 24 INCHES WIDE X 10 INCHES DEEP (EXCEPT FOR **DWELLING UNIT LOAD CENTERS)**, MADE FROM GALVANIZED STEEL. PROVIDE MINIMUM GUTTER SPACE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. WHERE FEEDER CABLES SUPPLYING THE MAINS OF A PANEL ARE CARRIED THROUGH ITS BOX TO SUPPLY OTHER ELECTRICAL EQUIPMENT, THE BOX SHALL BE SIZED TO INCLUDE THE ADDITIONAL REQUIRED WIRING SPACE. AT LEAST FOUR INTERIOR MOUNTING STUDS WITH ADJUSTABLE NUTS SHALL
- 2. ENCLOSURES SHALL BE PROVIDED WITH BLANK ENDS. 3. EXTERIOR MOUNTED PANELBOARDS SHALL BE NEMA 3R AND RATED FOR EXTERIOR
- APPLICATIONS. I. SERVICE ENTRANCE LABEL
- 1. EQUIPMENT WITH MAIN SERVICE DISCONNECT SWITCH(ES) SHALL BE UL LABELED FOR USE AS SERVICE ENTRANCE EQUIPMENT.
- J. FUTURE DEVICES 1. PANELBOARDS SHALL BE FULLY PROVISIONED WITH ALL NECESSARY MOUNTING BRACKETS. BUS CONNECTIONS AND APPURTENANCES REQUIRED FOR INSTALLATION OF FUTURE DEVICES.
- K. ACCESSORY COMPONENTS AND FEATURES 1. PROVIDE ACCESSORY SET INCLUDING TOOLS AND MISCELLANEOUS ITEMS REQUIRED FOR OVERCURRENT PROTECTIVE DEVICE TEST, INSPECTION, MAINTENANCE AND OPERATION.
- L. NAMEPLATES 1. PROVIDE AN ENGRAVED NAMEPLATE FOR EACH PANEL SECTION.
- M. WARNING LABEL 1. PROVIDE ARC-FLASH HAZARD WARNING LABEL FOR EACH PANEL SECTION PER NATIONAL ELECTRIC CODE (N.E.C.) ARTICLE 110.16.
- 1. SURFACES OF THE TRIM ASSEMBLY SHALL BE PROPERLY CLEANED, PRIMED, AND A FINISH COAT OF GRAY ANSI 61 PAINT APPLIED. 2.14 EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEM
- 1. PROVIDE AN IN-BUILDING RADIO SIGNAL AMPLIFICATION SYSTEM TO PROVIDE COMPLETE COVERAGE IN THE BUILDING FOR THE PUBLIC SAFETY AGENCIES AS REQUIRED BY THE LOCAL FIRE DEPARTMENT AND OTHER AGENCIES AND AUTHORITIES HAVING JURISDICTION.
 - RADIO UNITS WITHIN THE BUILDING. THIS SHALL BE ACCOMPLISHED UTILIZING THE FOLLOWING COMPONENTS:
 - a. BI DIRECTIONAL AMPLIFIERS (SIGNAL BOOSTERS) b. PLENUM RATED COAXIAL CABLE
 - c. ANTENNAS
 - d. CABLE TAPS
 - e. CONNECTORS f. POWER DIVIDERS
 - g. OTHER COMPONENTS AND INTERCONNECTING CIRCUITRY AS REQUIRED
 - 2. THE SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF UL2524 1ST EDITION IN-BUILDING 2-WAY EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEMS, SYSTEMS NOT BEARING THE UL2524 LISTING ARE NOT ACCEPTABLE. SYSTEM SHALL BE COMPLIANT WITH THE CURRENT ENFORCED EDITIONS OF NFPA 72, NFPA 1221, AND APPLICABLE STATE/LOCAL FIRE CODE.

SYSTEM USERS SHALL RECEIVE AND TRANSMIT RADIO BROADCASTS FROM THEIR PORTABLE

- 3. THE ENTIRE SYSTEM SHALL MEET THE REQUIREMENTS OF THE FIRE DEPARTMENT, THE BUILDING DEPARTMENT AND ALL OTHER AGENCIES AND AUTHORITIES HAVING JURISDICTION
- 4. THE WORK IN THIS SECTION SHALL INCLUDE THE RESPONSIBILITY FOR ALL PERMIT REQUIREMENTS WITH THE AHJ. WHERE FILINGS REQUIRE ENGINEER'S SIGNATURE, DOCUMENTS SHALL BE SUBMITTED FOR THEIR REVIEW AND SIGNATURE. THIS RESPONSIBILITY SHALL INCLUDE FURNISHING OF REQUIRED QUANTITIES OF FLOOR PLANS, DESCRIPTIVE NOTES AND/OR SPECIFICATIONS, WIRING DIAGRAMS, SHOP DRAWINGS AND AMENDMENT FORMS.
- 5. EARLY COMPLETION OF THE IN-BUILDING EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEM WILL BE REQUIRED AS TO PERMIT A CERTIFICATE OF OCCUPANCY TO BE OBTAINED IN A TIMELY MANNER.
- 6. ANY PERMITS NECESSARY FOR THE INSTALLATION OF THE WORK SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF THE WORK. ALL PERMIT COSTS AND INSPECTION FEES SHALL BE INCLUDED AS PART OF THE REQUIRED WORK.
- 7. THE IN-BUILDING EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEM SHALL USE A UL2524, NFPA 72, NFPA 1221 AND APPLICABLE STATE/LOCAL FIRE CODE COMPLIANT FARENHYT SIGNAL BOOSTER OR APPROVED EQUAL.
- 8. THE HONEWELL RSI SYSTEM SPECIFIED SHALL BE FURNISHED BY LIFE SAFETY SYSTEMS LLC. CONTACT DAN KLAG (216) 347-0950 OR (440) 888-7960. B. DESIGN REQUIREMENTS
- 1. IN-BUILDING EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEMS FOR EMERGENCY RESPONDERS ARE AN INTEGRAL COMPONENT OF THE LIFE SAFETY EQUIPMENT OF A BUILDING OR STRUCTURE. THE PRIMARY FUNCTION IS TO PROVIDE RELIABLE EMERGENCY RESPONDER COMMUNICATIONS AT THE REQUIRED SIGNAL STRENGTH WITHIN THE SPECIFIED
- 2. CRITICAL AREAS SUCH AS EMERGENCY COMMAND CENTER, FIRE PUMP ROOM, EXIT STAIRS, EXIT PASSAGEWAYS. ELEVATOR LOBBIES. STANDPIPE CABINETS. SPRINKLER SECTIONAL VALVE LOCATIONS AND SIMILAR CRITICAL AREAS SHALL BE PROVIDED WITH 100% FLOOR AREA RADIO COVERAGE.
- 3. GENERAL BUILDING AREAS SHALL BE PROVIDED WITH 95% RADIO COVERAGE, OR AS SPECIFIED BY AHJ
- 4. THE IN-BUILDING EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEMS MUST PROVIDE THE FOLLOWING SIGNAL STRENGTHS:
- a. DOWNLINK MINIMUM SIGNAL STRENGTH OF -95 dBM THROUGHOUT THE COVERAGE BEINK - MINIMUM SIGNAL STRENGTH OF -95 dBM RECEIVED AT THE AHJ RADIO SYSTEM. OR AS OTHERWISE REQUIRED BY THE AHJ.
- 5. THE SYSTEM SHALL BE COMPLETE WITH ALL COMPONENTS AND WIRING REQUIRED FOR COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS, AND FOR ITS OPERATIONS DESCRIBED HEREINAFTER.
- 6. E.C. SHALL SUB-CONTRACT AN APPROVED MANUFACTURER OR A QUALIFIED AND APPROVED VENDOR TO SUPPLY. TEST AND DETERMINE LOCATIONS OF COMPONENTS WHICH ARE REQUIRED FOR PROPER OPERATION AS WELL AS TO SUPPLY, DEPLOY, TEST AND CERTIFY THE PERFORMANCE OF THE COMPLETE SYSTEM. VENDOR QUALIFICATIONS MUST BE ACCEPTABLE TO THE AHJ.
- 7. ALL TESTS SHALL BE CONDUCTED, DOCUMENTED, AND SIGNED BY A PERSON IN POSSESSION OF AN FCC GENERAL RADIO TELEPHONE OPERATORS LICENSE. ALL TESTING PERSONNEL SHALL BE CERTIFIED AND AUTHORIZED BY THE SIGNAL BOOSTER MANUFACTURER IN THE INSTALLATION AND OPERATION OF THEIR EQUIPMENT. PERSONNEL
- QUALIFICATIONS MUST BE ACCEPTABLE TO THE AHJ. 8. THE SYSTEM DESIGN SHALL BE BASED ON THE FARENHYT LINE OF PUBLIC SAFETY SIGNAL BOOSTERS UL2524, NFPA 72, NFPA 1221, APPLICABLE STATE/LOCAL FIRE CODE AND FCC COMPLIANT TO ESTABLISH STANDARDS OF QUALITY FOR MATERIALS AND PERFORMANCE. THE NAMING OF A SPECIFIC MANUFACTURER OR A CATALOG NUMBER DOES NOT WAIVER ANY REQUIREMENT OR PERFORMANCE OF INDIVIDUAL COMPONENTS DESCRIBED IN THE
- SPECIFICATIONS. 9. ASSEMBLY AND INSTALLATION OF ALL COMPONENTS OF THE EMERGENCY RESPONDER RADIO COMMUNICATION ENHANCEMENT SYSTEM SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF
- THE NATIONAL ELECTRICAL CODE. 10. SURVIVABILITY FROM ATTACK BY FIRE SHALL MEET REQUIREMENTS OF NFPA 72, NFPA 1221,
- APPLICABLE STATE/LOCAL FIRE CODE OR AS REQUIRED BY AHJ 11. THE SYSTEM MUST COMPLY WITH ALL APPLICABLE SECTIONS OF THE FCC RULES. SIGNAL
- BOOSTER SHALL HAVE FCC CERTIFICATION PRIOR TO INSTALLATION. 12. ANTENNA ISOLATION SHALL BE MAINTAINED BETWEEN THE DONOR ANTENNA AND ALL INSIDE
- ANTENNAS (D.A.S.) TO A MINIMUM OF 20dB UNDER ALL OPERATING CONDITIONS. C. TECHNICAL SPECIFICATIONS AND PERFORMANCE REQUIREMENTS 1. THE SYSTEM SPECIFIED SHALL BE BASED UPON FARENHYT LINE OF PUBLIC SAFETY UL2524,
- NFPA 72, NFPA 1221, APPLICABLE STATE/LOCAL FIRE CODE COMPLIANT SIGNAL BOOSTERS 2. THE SIGNAL BOOSTER SHALL BE A CLASS B PUBLIC SAFETY TYPE AS DESIGNATED BY THE FCC OR AS REQUIRED BY THE AHJ. 3. THE SECONDARY POWER SUPPLIES, BATTERY CHARGERS AND SYSTEM MONITORING SHALL BE
- FULLY COMPLIANT WITH NFPA 72, NFPA 1221 AND APPLICABLE STATE/LOCAL FIRE CODE. THE SIGNAL BOOSTER SHALL HAVE BOTH THE PRIMARY AND THE SECONDARY POWER SUPPLIES BUILT IN A FULLY SEALED NEMA-4 TYPE APPROVED ENCLOSURE 4. ALL SIGNAL BOOSTERS AND OTHER ACTIVE SYSTEM COMPONENTS MUST HAVE FCC
- CERTIFICATION PRIOR TO INSTALLATION. THE EQUIPMENT FCC ID MUST BE SHOWN ON THE PRODUCT DATASHEETS AND TECHNICAL SUBMITTALS. THE ID MUST ALSO BE DISPLAYED ON THE PRODUCT AS REQUIRED BY THE FCC.
- 5. THE SIGNAL BOOSTER SHALL BE SET AND TUNED BY THE EQUIPMENT MANUFACTURER TO PASS FREQUENCIES AS SPECIFIED BY THE LOCAL FIRE DEPARTMENT
- 6. TO REDUCE THE POSSIBILITY OF UNWANTED INTERFERENCE AFFECTING THE OPERATION OF THE SYSTEM, SIGNAL BOOSTERS SHALL BE BAND OR CHANNEL SELECTIVE TYPE WITH A MAXIMUM 3dB CHANNEL BANDWIDTH OF 200KHz (Fc +/- 100KHz). WIDE-BAND SIGNAL BOOSTERS SHALL NOT BE ACCEPTED, UNLESS REQUIRED TO COVER MULTIPLE CHANNELS WITHIN THE SAME BAND.
- 7. SIGNAL BOOSTERS SHALL HAVE OSCILLATION PREVENTION CIRCUITRY TO PROTECT THE PUBLIC SAFETY RADIO SYSTEM IN CASE OF SIGNAL BOOSTER MALFUNCTION.
- 8. SIGNAL BOOSTER GAIN SHALL BE RATED AT MINIMUM OF 80dB AND THE GAIN SHALL BE ADJUSTABLE IN A MINIMUM OF 25dB RANGE. SYSTEM GAIN SHALL BE SET AND
- DOCUMENTED AT THE TIME OF THE FINAL SYSTEM TEST. 9. MAXIMUM PROPAGATION DELAY OF THE SIGNAL BOOSTER SYSTEM SHALL BE 14µs
- (MICROSECONDS) OR AS SPECIFIED BY AHJ. 10. THE SIGNAL BOOSTER SYSTEM SHALL INCLUDE BUILT-IN AUTOMATIC ALARMING OF MALFUNCTIONS OF THE SIGNAL BOOSTER AND BATTERY SYSTEM AS PER NFPA 72, SECTIONS
- 24.5.2.6.1 AND 24.5.2.6.2, NFPA 1221, AND APPLICABLE STATE/LOCAL FIRE CODE. AFTERMARKET EQUIPMENT ADD-ONS AND MODIFICATIONS TO COMPLY WITH THIS SPECIFICATION SHALL NOT BE ACCEPTED. 11. A DEDICATED SUPERVISED MONITORING PANEL SHALL BE PROVIDED WITHIN THE EMERGENCY COMMAND CENTER OR OTHER LOCATION AS DESIGNATED BY AHJ TO ANNUNCIATE THE
- STATUS OF ALL SIGNAL BOOSTER LOCATIONS. THE MONITORING PANEL SHALL PROVIDE VISUAL AND LABELED INDICATION OF THE FOLLOWING FOR EACH SIGNAL BOOSTER: a. NORMAL AC POWER
- b. SIGNAL BOOSTER TROUBLE c. ANTENNA FAILURE
- d. LOSS OF NORMAL AC POWER
- e. FAILURE OF BATTERY CHARGER
- f. LOW BATTERY CAPACITY
- ALARM MONITOR MODULE CONNECTION FOR MONITORING THE SIGNAL BOOSTER AS REQUIRED

12. THE SIGNAL BOOSTER SYSTEM SHALL INCLUDE A BUILT-IN RELAYS FOR ADDRESSABLE FIRE

- 13. THE VENDOR SHALL VERIFY THE SYSTEM MONITORING REQUIREMENTS WITH THE AHJ PRIOR TO SYSTEM INSTALLATION. SYSTEM MONITORING SHALL BE FULLY COMPLIANT WITH THE AHJ
- 14. EXTERNAL FILTERS, ATTACHMENTS, OR OTHER AFTERMARKET MODIFICATIONS OF THE ORIGINAL EQUIPMENT SHALL NOT BE ACCEPTED.

- 15. ALL SIGNAL BOOSTER COMPONENTS SHALL BE CONTAINED IN A NEMA-4 TYPE APPROVED WATERPROOF ENCLOSURE. ALL ENCLOSURES SHALL BE PAINTED RED WITH EXTERNAL LABELING IN BRIGHT YELLOW OR AS REQUIRED BY THE AHJ. D. INSTALLATION REQUIREMENTS
- 1. ASSEMBLY AND INSTALLATION OF ALL COMPONENTS OF THE EMERGENCY RESPONDER COMMUNICATION ENHANCEMENT SYSTEM SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE NATIONAL ELECTRICAL CODE, NFPA 70, NFPA 72, NFPA 1221, AND APPLICABLE STATE/LOCAL FIRE CODE OR AS REQUIRED BY THE LOCAL AHJ. ON AND OTHER DESIGN DATA SHALL BE SUBMITTED UPON COMPLETION OF THE PROJECT, AND AS REQUIRED BY THE AHJ.
- 2. AT LEAST 2 INDEPENDENT AND RELIABLE POWER SUPPLIES SHALL BE PROVIDED AS SPECIFIED IN SECTIONS 3 AND 4 BELOW.
- 3. THE PRIMARY POWER SOURCE SHALL BE SUPPLIED FROM A DEDICATED TWENTY (20) AMPERE BRANCH CIRCUIT AND COMPLY WITH NFPA 70 NATIONAL ELECTRICAL CODE, NFPA
- 4. THE EMERGENCY RESPONDER RADIO COVERAGE ENHANCEMENT SYSTEM SHALL BE EQUIPPED WITH A SECONDARY SOURCE OF POWER. THE SECONDARY SOURCE OF POWER SHALL BE A BATTERY SYSTEM WITH A DEDICATED BATTERY CHARGER POWERED BY A DEDICATED TWENTY (20) AMPERE BRANCH CIRCUIT, ISOLATED FROM THE BRANCH CIRCUIT SERVING AS THE "PRIMARY POWER SOURCE". THE SECONDARY POWER SUPPLY SHALL SUPPLY POWER AUTOMATICALLY WHEN THE PRIMARY POWER SOURCE IS LOST. THE SECONDARY SOURCE OF POWER SHALL BE CAPABLE OF OPERATING THE EMERGENCY RESPONDER RADIO COVERAGE ENHANCEMENT SYSTEM FOR A PERIOD OF AT LEAST 24 HOURS. THE BATTERY SYSTEM SHALL AUTOMATICALLY CHARGE IN THE PRESENCE OF EXTERNAL POWER INPUT. BATTERY CHARGER AND ALL OTHER ELECTRONIC COMPONENTS MUST BE FULLY ENCLOSED IN A NON-VENTED NEMA-4 TYPE APPROVED ENCLOSURE. BATTERIES SHALL BE ENCLOSED IN A VENTED NEMA 3R TYPE APPROVED ENCLOSURE, NOT CONTAINING ANY OTHER EQUIPMENT.
- 5. THE SIGNAL BOOSTER SHALL BE DESIGNATED TO ALLOW DEGRADED PERFORMANCE IN ADVERSE CONDITIONS, SUCH AS HIGH TEMPERATURES IN THE EVENT OF HEAT FROM A NEARBY FIRE, VOLTAGE FLUCTUATIONS OR OTHER ABNORMAL CONDITIONS THAT MAY OCCUR DURING AN EMERGENCY. CIRCUITS THAT INTENTIONALLY DISABLE THE SIGNAL BOOSTER IN SUCH SITUATIONS (I.E. UNDER/OVER VOLTAGE, OVER/UNDER CURRENT, OVER/UNDER TEMPERATURE, ETC.) ARE NOT ACCEPTABLE. EXTERNAL UPS (UNINTERRUPTIBLE POWER SUPPLIES) ARE NOT ACCEPTABLE. IT IS THE PURPOSE OF THIS SPECIFICATION TO ASSURE THE MAXIMUM POSSIBLE LEVEL OF COMMUNICATIONS TO PUBLIC SAFETY PERSONNEL DEPENDING UPON THE SIGNAL BOOSTER, EVEN TO THE EXTENT OF DAMAGING THE SIGNAL BOOSTER, AS LONG AS SOME COMMUNICATIONS BENEFIT CAN BE PROVIDED DURING AN EMERGENCY
- 6. SYSTEM DESIGN SHALL BE SUCH THAT NEITHER THE FAILURE OF THE NORMAL POWER SOURCE, THE TRANSFER TO AN EMERGENCY SOURCE, NOT THE RE-TRANSFER TO THE NORMAL SOURCE SHALL CASUE A CHANGE IN SYSTEM STATUS.
- 7. THE AMPLIFIER SHALL BE HOUSED IN A 2-HOUR FIRE RATED ROOM OR OTHER SUITABLE SPACE AS APPROVED BY THE ENGINEER, OR WHERE SPECIFICALLY SHOWN ON THE 8. RADIATING CABLE, IF USED, SHALL BE RUN WITHOUT CONDUIT. ALL OTHER CABLE CAN BE
- RUN IN CONDUIT IF REQUIRED FOR MECHANICAL PROTECTION OF THE CABLE, OR WHERE SPECIFIED BY THE ELECTRICAL ENGINEER. 9. RF COAXIAL CABLE SHALL BE A FIRE-RESISTANT. LOW-SMOKE TYPE UL CLASSIFIED AS PLENUM. THE CLASSIFICATION SHALL BE CLEARLY MARKED ON THE OUTER SURFACE OF THE CABLE REGULAR INTERVALS
- E. ACCEPTANCE AND TEST PROCEDURES 1. ACCEPTANCE TESTING FOR AN IN-BUILDING RADIO SYSTEM IS REQUIRED UPON COMPLETION OF INSTALLATION.
- 2. THE COVERAGE TESTING SHALL BE DONE IN ACCORDANCE WITH NFPA 72, NFPA 1221, APPLICABLE STATE/LOCAL FIRE CODE, AND AS REQUIRED BY THE LOCAL AHJ 3. ALL TESTS SHALL BE CONDUCTED, DOCUMENTED, AND SIGNED BY A PERSON IN
- POSSESSION OF A CURRENT FCC GENERAL RADIO OPERATOR LICENSE. 4. ALL TEST RECORDS ALONG WITH SYSTEM DIAGRAMS, EQUIPMENT SPECIFICATIONS, USER MANUALS, RF LINK BUDGET CALCULATIONS, BATTERY BACKUP CALCULATION AND OTHER DESIGN DATA SHALL BE SUBMITTED UPON COMPLETION OF THE PROJECT, AND AS REQUIRED

BY THE AHJ.

- 3.1 TESTING, INSPECTION, AND CLEANING A. TEST WIRING AND CONNECTIONS FOR CONTINUITY AND GROUNDS BEFORE EQUIPMENT IS CONNECTED; DEMONSTRATE INSULATION RESISTANCE BY MEGGER TEST AS REQUIRED. INSULATION RESISTANCE BETWEEN CONDUCTORS AND GROUNDS FOR SECONDARY DISTRIBUTIONS SYSTEMS SHALL MEET NEC REQUIREMENTS.
 - B. VERIFY AND CORRECT AS NECESSARY: VOLTAGES, TAP SETTINGS, TRIP SETTINGS AND PHASING ON EQUIPMENT FROM SECONDARY DISTRIBUTION SYSTEM TO POINTS OF USE. TEST SECONDARY VOLTAGES AT BUS IN MAIN SWITCHBOARD, AT PANELBOARDS, AND AT OTHER LOCATIONS ON DISTRIBUTION SYSTEMS AS NECESSARY. TEST SECONDARY VOLTAGES UNDER NO-LOAD AND
 - C. TEST LUMINAIRES WITH SPECIFIED LAMPS IN PLACE FOR 10 HOURS. DO NOT OPERATE LAMPS OTHER THAN FOR TESTING BEFORE FINAL INSPECTION BY ARCHITECT. REPLACE LAMPS THAT FAIL WITHIN 90 DAYS AFTER ACCEPTANCE BY ARCHITECT.
- D. PROVIDE NECESSARY TESTING EQUIPMENT AND TESTING. E. FAILURE OR DEFECTS IN WORKMANSHIP OR MATERIALS REVEALED BY TESTS OR INSPECTION SHALL BE CORRECTED PROMPTLY AND RETESTED. REPLACE DEFECTIVE MATERIAL.
- F. CLEAN PANELS AND OTHER EQUIPMENT. PANELBOARD INTERIORS SHALL BE CLEANED AND VACUUMED. EQUIPMENT WITH DAMAGE TO PAINTED FINISH SHALL BE REPAIRED TO ARCHITECT'S SATISFACTION.
- A. PROVIDE NAMEPLATES ON SWITCHBOARDS, PANELBOARDS, JUNCTION BOXES AND CABINETS, AND FOR SPECIAL PURPOSE SWITCHES, MOTOR DISCONNECT SWITCHES, REMOTE CONTROL STATIONS STARTERS OR OTHER CONTROLS FURNISHED OR INSTALLED UNDER THIS SECTION. NAMEPLATES SHALL DESIGNATE EQUIPMENT CONTROLLED AND FUNCTION. 3.3 ACCESS AND ACCESS PANELS
- A. PROVIDE PROPER ACCESS TO MATERIAL OR EQUIPMENT THAT REQUIRE INSPECTION, REPLACEMENT, REPAIR OR SERVICE AND COORDINATE THEIR DELIVERY WITH THE INSTALLING TRADE. IF PROPER ACCESS CANNOT BE PROVIDED, CONFER WITH ARCHITECT AS TO BEST METHOD OF APPROACH TO MINIMIZE EFFECTS OF REDUCED ACCESS. B. ACCESS PANELS SHALL HAVE SAME FIRE RATING CLASSIFICATION AS SURFACE PENETRATED.
- C. PANELS SHALL BE AT LEAST 12" X 12"; ACCESS PANELS AT EQUIPMENT SHALL BE 18" X 18". 3.4 <u>WIRING METHODS</u>
- A. ALL RACEWAYS, CABLE ASSEMBLIES, BOXES, CABINETS, FITTINGS, ETC. SHALL BE SECURED AND SUPPORTED IN ALL ASSEMBLIES AS REQUIRED PER N.E.C. ARTICLE 300.11. B. INSTALL WIRE AND CABLE AS SPECIFIED AND AS APPROVED BY AUTHORITIES HAVING
- FOR UNFINISHED AREAS, SUCH AS EQUIPMENT ROOMS. PROVIDE STAND-OFF CLIPS WHERE CONDUITS ARE INSTALLED ON MASONRY WALLS. C. RUN CONCEALED CONDUIT IN AS DIRECT LINES AS POSSIBLE WITH MINIMUM NUMBER OF BENDS OF LONGEST POSSIBLE RADIUS. RUN CONDUIT PARALLEL TO OR AT RIGHT ANGLES TO BUILDING

JURISDICTION. ALL CONDUITS OR RACEWAYS SHALL BE CONCEALED WHERE POSSIBLE, EXCEPT

- LINES TIGHT TO BUILDING STRUCTURE. D. CONDUIT RUNS SHALL BE MECHANICALLY AND ELECTRICALLY CONTINUOUS FROM SERVICE ENTRANCE TO OUTLETS. CONDUIT SHALL ENTER AND BE SECURED TO CABINET, JUNCTION BOX, PULL BOX OR OUTLET BOX WITH LOCKNUT OUTSIDE AND BUSHING INSIDE. E. IN ALL CASES WHERE SUBSTITUTIONS ARE PERMITTED, THE CONTRACTOR SHALL BEAR ANY EXTRA COST OF EVALUATING THE EQUALITY OF THE MATERIAL AND EQUIPMENT TO BE INSTALLED. F. INSTALL CONDUIT SYSTEMS COMPLETE BEFORE DRAWING IN CONDUCTORS. BLOW THROUGH AND SWAB AFTER PLASTER IS FINISHED AND DRY, AND BEFORE CONDUCTORS ARE INSTALLED.
- G. WIRE FROM POINT OF SERVICE CONNECTION TO RECEPTACLES, LUMINAIRES, DEVICES, EQUIPMENT, AND OTHER ELECTRICAL APPARATUS AS SHOWN ON DRAWINGS. PROVIDE SLACK WIRE FOR CONNECTIONS H. CONDUCTORS 10-AWG AND SMALLER IN BRANCH CIRCUIT PANELBOARDS, SIGNAL CABINETS, SIGNAL CONTROL BOARDS. SWITCHBOARDS AND MOTOR CONTROL CENTERS SHALL BE BUNDLED. CONDUCTORS LARGER THAN 10-AWG IN SWITCHBOARDS, MOTOR CONTROL CENTERS, AND PULL
- BOXES SHALL BE CABLED IN INDIVIDUAL CIRCUITS. I. FOLLOW HOMERUN CIRCUIT NUMBERS SHOWN ON DRAWINGS TO CONNECT CIRCUITS TO PANELBOARDS. CONNECT EACH BRANCH CIRCUIT HOMERUN WITH TWO OR MORE CIRCUITS AND COMMON NEUTRAL TO CIRCUIT BREAKER OR SWITCH IN THREE-WIRE OR FOUR-WIRE BRANCH CIRCUIT PANELBOARD SO THAT NO TWO CIRCUITS ARE FED FROM SAME BUS. WHERE PANELBOARD CABINETS ARE RECESSED, PROVIDE CONDUITS WITH SUFFICIENT CAPACITY FOR FUTURE CONDUCTORS FOR SPARE BRANCH CIRCUIT PROTECTIVE DEVICES AND SPACES IN
- PANELBOARD; STUB UP CONCEALED TO JUNCTION BOX. PROVIDE EXTENSIONS ABOVE CEILING. J. ELECTRICAL METALLIC TUBING (EMT) MAY BE USED FOR INTERIOR APPLICATIONS ABOVE GRADE, WHERE PERMITTED BY CODES, FOR LUMINAIRE AND RECEPTACLE CIRCUITS, TELEPHONE, INTER-COMMUNICATIONS, SIGNAL AND INSTRUMENTATION CIRCUITS, AND FOR CONTROL CIRCUITS. EMT MAY BE USED ABOVE HUNG CEILINGS, IN EQUIPMENT ROOMS, IN MECHANICAL AND ELECTRICAL CHASES AND CLOSETS, IN EXPOSED LOCATIONS ALONG CEILINGS OR WALLS ABOVE NORMAL TRAFFIC LEVEL AND WHERE NOT SUBJECT TO ACCIDENTAL DAMAGE OR ABUSE. K. INSTALL CONNECTORS AND COUPLINGS AS RECOMMENDED BY MANUFACTURERS. COMPRESSION
- FITTINGS SHALL BE USED IN AREAS SUBJECT TO MOISTURE. L. METAL CLAD CABLE (MC) AS APPROVED BY LOCAL CODE FOR RECEPTACLE CIRCUITS IN
- SUSPENDED CEILINGS AND STUD-WALL PARTITIONS. M. FLEXIBLE METAL CONDUIT (FMC) SHALL BE USED FOR CONNECTIONS TO ELECTRICAL EQUIPMENT AND TO EQUIPMENT FURNISHED UNDER DIVISIONS 14 AND 15 THAT ARE SUBJECT TO MOVEMENT AND VIBRATION. FMC SHALL BE LIMITED TO LENGTHS OF 6 FEET AND SHALL CONTAIN
- GROUNDING CONDUCTOR. N. ALL LOW VOLTAGE CABLE NOT IN CONDUIT AND INSTALLED IN RETURN AIR PLENUM SHALL BE U.L. LISTED PLENUM TYPE CABLE.
- O. OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANT RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE FIRESTOPPED USING U.L. APPROVED METHODS PER MANUFACTURES GUIDELINES (HILTI FIRE STOP SYSTEMS OR 3M FIRE PROTECTION PRODUCTS) TO MAINTAIN THE FIRE RESISTANCE RATING OF STRUCTURE. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE RATINGS REQUIREMENTS TO BE MAINTAINED.
- 3.5 <u>INSTALLATION OF LUMINAIRES</u> A. THE ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING CONSTRUCTION TYPES, HEIGHTS, CEILING SPACE CLEARANCES, ETC. WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION PLANS, ELEVATIONS, AND DETAILS, PROVIDE PROPER FRAMES, ROUGH-IN KITS, TRIM RINGS, MOUNTING HARDWARE, N.E.C. REQUIRED ACCESS, ANCILLARY ACCESSORIES, ETC. FOR A COMPLETE N.E.C. AND U.L. LISTED INSTALLATION PER ALL MANUFACTURER'S REQUIREMENTS.
- C. DO NOT INSTALL LUMINAIRES UNTIL WORK OF OTHER TRADES THAT MAY DAMAGE LUMINAIRES IS COMPLETED. D. INVESTIGATE LUMINAIRE LOCATIONS AND SUPPORTS TO ENSURE THAT NO INTERFERENCE EXISTS WITH HANGERS, DUCTS, SPRINKLERS, PIPES AND ALL OTHER EQUIPMENT.

B. COORDINATE INSTALLATION OF ALL LUMINAIRES WITH ALL TRADES AND THE INSTALLATION OF

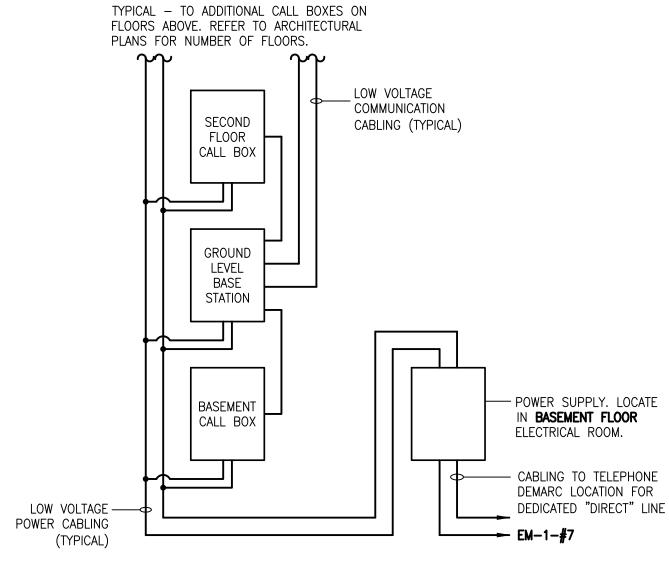
CEILING MATERIALS AND SUSPENSION SYSTEMS PRIOR TO ANY ROUGH-INS.

- E. PROVIDE PROPER PLASTER FRAMES FOR LUMINAIRES RECESSED IN GYPSUM BOARD OR PLASTER F. DO NOT SUSPEND OR SUPPORT LUMINAIRES OR SAFETY CHAINS FROM HUNG CEILING, CONDUIT OR DUCT. SUPPORT LUMINAIRES FROM STRUCTURAL BUILDING MEMBERS ONLY.
- G. FRAMING MEMBERS OF SUSPENDED CEILING SYSTEMS USED TO SUPPORT LUMINAIRES SHALL BE SECURELY FASTENED TO EACH OTHER AND SHALL BE SECURELY ATTACHED TO THE BUILDING STRUCTURE AT APPROPRIATE INTERVALS. LUMINAIRES SHALL BE SECURELY FASTENED TO THE CEILING FRAMING MEMBER BY MECHANICAL MEANS SUCH AS BOLTS, SCREWS, OR RIVETS. LISTED CLIPS IDENTIFIED FOR USE WITH THE TYPE OF CEILING FRAMING MEMBER(S) AND LUMINAIRE(S) SHALL ALSO BE PERMITTED PER N.E.C. ARTICLE 410.36(B).
- H. PROVIDE STRUT BELOW DUCTS WHERE LUMINAIRE LOCATIONS COINCIDE WITH DUCT RUNS. PROVIDE A COMPLETE THREADED ROD SYSTEM TO SUPPORT STRUT. I. PATCH ALL EXISTING SPRAY-ON FIREPROOFING DAMAGED DURING INSTALLATION.

- J. SUPPORT SURFACE-MOUNTED LUMINAIRES AT LEAST TWO CONCEALED POINTS TO PREVENT K. LOCATE CEILING AND WALL MOUNTED LUMINAIRES AS SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS AND ELEVATIONS.
- A. PROVIDE EQUIPMENT GROUNDING SYSTEM AS SHOWN ON DRAWINGS. EQUIPMENT GROUNDING SYSTEM SHALL BE DESIGNED SO METALLIC STRUCTURES, ENCLOSURES, RACEWAYS, JUNCTION BOXES. OUTLET BOXES. CABINETS. MACHINE FRAMES. PORTABLE EQUIPMENT AND OTHER CONDUCTIVE ITEMS IN CLOSE PROXIMITY WITH ELECTRICAL CIRCUITS OPERATE CONTINUOUSLY AT GROUND POTENTIAL AND PROVIDE LOW IMPEDANCE PATH FOR POSSIBLE GROUND FAULT
- B. SYSTEM SHALL MEET NEC REQUIREMENTS, MODIFIED AS SHOWN ON DRAWINGS AND AS SPECIFIED.
- C. PROVIDE INDIVIDUAL GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR FOR EACH BRANCH CIRCUIT, INSTALL GROUNDING CONDUCTOR IN COMMON CONDUIT WITH RELATED PHASE OR NEUTRAL CONDUCTORS, OR BOTH. PARALLEL FEEDERS INSTALLED IN MORE THAN ONE RACEWAY SHALL HAVE INDIVIDUAL FULL SIZE GREEN INSULATED EQUIPMENT GROUND CONDUCTORS. D. DETERMINE NUMBERS AND SIZES OF SCREW TERMINALS FOR EQUIPMENT GROUNDING BARS IN
- PANELBOARDS AND OTHER ELECTRICAL EQUIPMENT. PROVIDE SCREW TERMINALS FOR ACTIVE CIRCUITS, SPARES AND SPACES. E. PROVIDE GREEN INSULATED GROUNDING CONDUCTOR IN NONMETALLIC CONDUITS OR DUCTS UNLESS SPECIFIED OTHERWISE.

3.7 <u>TELECOMMUNICATIONS CONDUIT SYSTEM</u>

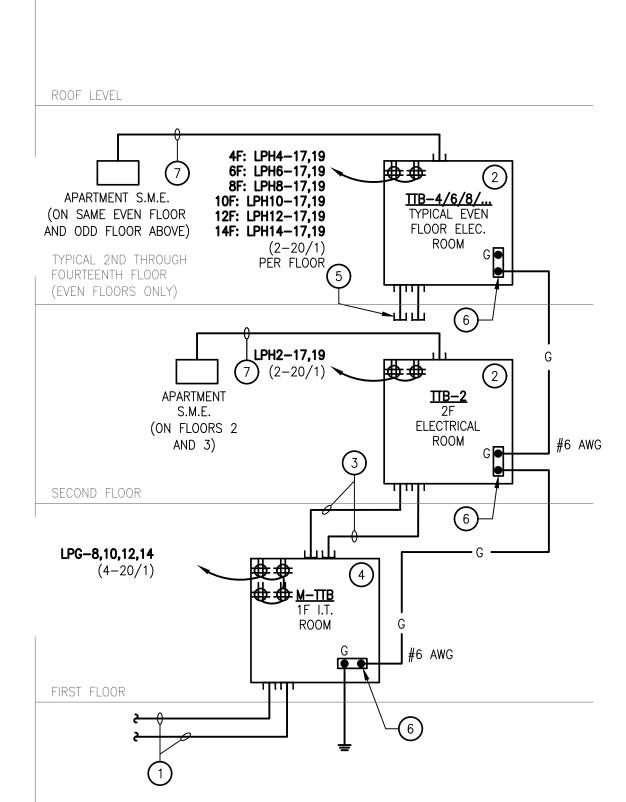
A. PROVIDE SYSTEM OF EMPTY CONDUIT, OUTLETS AND MOUNTING BOARDS, AS SPECIFIED AND AS SHOWN ON DRAWINGS. B. NYLON PULL-IN WIRE SHALL BE INSTALLED IN TELECOMMUNICATIONS CONDUITS FOR USE BY



TWO-WAY COMMUNICATION SYSTEM WIRING DIAGRAM NO SCALE

<u>TWO-WAY COMMUNICATION SYSTEM WIRING DIAGRAM GENERAL NOTES</u>

- A. PROVIDE A COMPLETE, OPERATING TWO-WAY COMMUNICATION SYSTEM CONSISTING OF A FIRST FLOOR BASE STATION AND CALL BOX STATION ELEVATOR LANDING LOCATIONS ALL REMAINING FLOORS. SYSTEM SHALL COMPLY WITH ALL STATE CODES, LOCAL CODES AND ADA. MANUFACTURER SHALL BE RATH "AREA OF REFUGE" OR EQUAL BY CORNELL.
- B. INSTALL ALL CABLING PER MANUFACTURER'S INSTRUCTIONS. WIRING SHALL BE INSTALLED IN 3/4" CONDUIT (MINIMUM).
- C. COORDINATE LOCATION OF BASE STATION AND CALL BOX STATIONS WITH THE AHJ AND ARCHITECT PRIOR TO ROUGH-IN.
- D. SUBMITTAL SHALL INCLUDE EQUIPMENT DATA SHEETS, OPERATING MANUALS AND DETAILED WIRING SCHEMATICS.



COMMUNICATION RACEWAY WIRING DIAGRAM

COMMUNICATION RISER DIAGRAM CODED NOTES

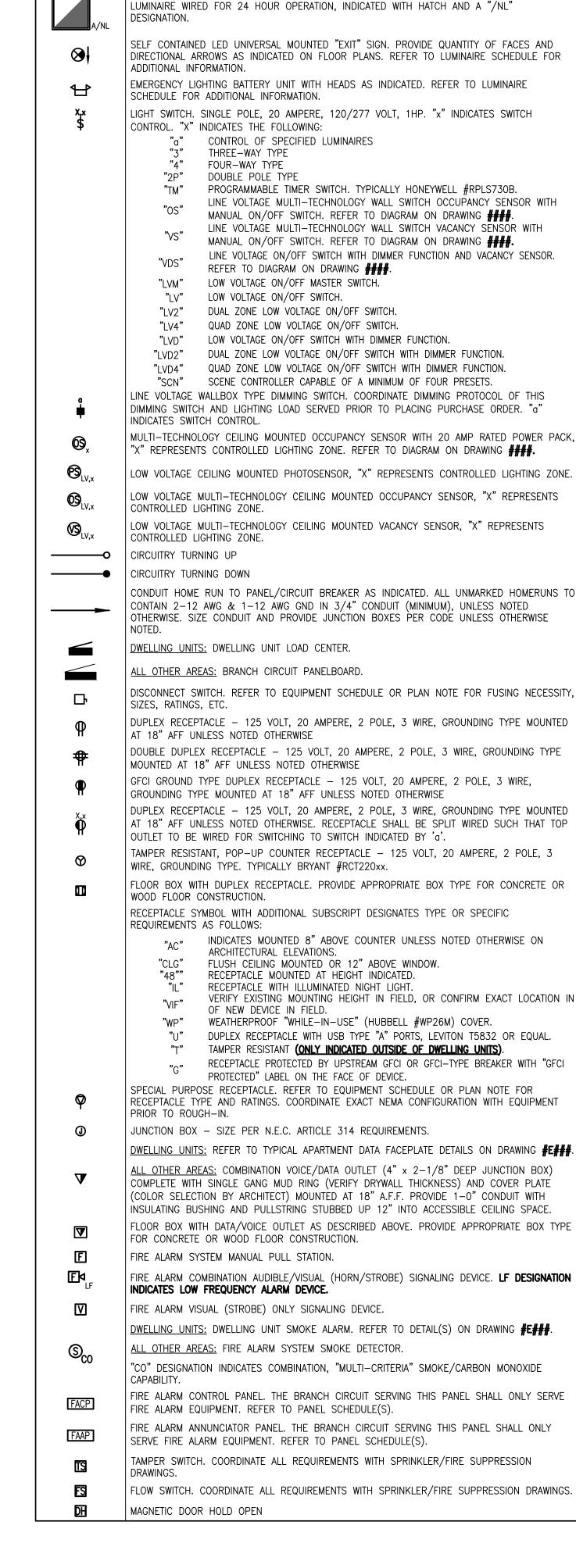
#E3.00 FOR ADDITIONAL INFORMATION.

- 1. ROUTE TWO 4" PVC, UNDERGROUND CONDUITS (WITH PULLWIRE) TO LOCATION DESIGNATED BY TELEPHONE AND TELEVISION COMPANIES. COORDINATE WITH CIVIL AND
- OWNER FOR EXACT LOCATIONS. 2. PROVIDE A 3/4" THICK PLYWOOD BACKBOARD 4' X 4' X 3/4" THICK PAINTED WITH FIRE RETARDANT PAINT. INCLUDE **TWO** DOUBLE DUPLEX RECEPTACLES AND **TWO** DEDICATED
- 20A-120V-1ø BRANCH CIRCUITS. 3. PROVIDE TWO 4" CONDUITS (WITH PULLWIRE) ROUTED TO **SECOND FLOOR** TERMINAL BOARD. VERIFY EXACT ROUTING IN FIELD.
- 4. PROVIDE TERMINAL BOARD AS DESCRIBED IN NOTE 2 ABOVE. TERMINAL BOARD AT THIS LOCATION TO BE 8' X 4' X 3/4" THICK AND SHALL INCLUDE FOUR DOUBLE DUPLEX RECEPTACLES AND **FOUR** DEDICATED 20A-120V-1Ø BRANCH CIRCUITS.

5. PROVIDE TWO 4" SLEEVES THROUGH FLOOR FOR COMMUNICATION CABLING PROVIDED BY

6. PROVIDE A COPPER GROUNDING BUS AND A #6 AWG GROUNDING CONDUCTOR TO ELECTRIC SERVICE GROUNDING POINT(S). 7. PROVIDE A 1" CONDUIT, (1) RG-6 COAXIAL CABLE, AND (1) CAT6 CABLE TO EACH

APARTMENT UNIT STRUCTURED MEDIA ENCLOSURE. REFER TO DIAGRAM ON DRAWING



SYMBOL LEGEND

HAS INTEGRAL 90-MINUTE EMERGENCY BATTERY DRIVER.

DESCRIPTION

.UMINAIRE. "A" INDICATES TYPE; "a" INDICATES SWITCH CONTROL. "/EM" INDICATES LUMINAIRE

SYMBOL



216.932.1890 DESCRIPTION

2024.02.02 | ISSUED FOR OHFA

2024.03.22 | ISSUED FOR PERMIT

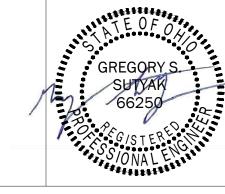
2012 West 25th Street, Suite 200

Cleveland, OH 44113

Phone: 216 227 8505

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WIRING SCHEDULE FOR 15/20A RECEPTACLE & LIGHTING CIRCUITS 277V DISTANCE 120V 1' - 100' #12 (AWG) #12 (AWG) 100' - 150' #10 (AWG) #12 (AWG) #10 (AWG) 150' - 200' #10 (AWG) #10 (AWG) #8 (AWG) 200' - 300'



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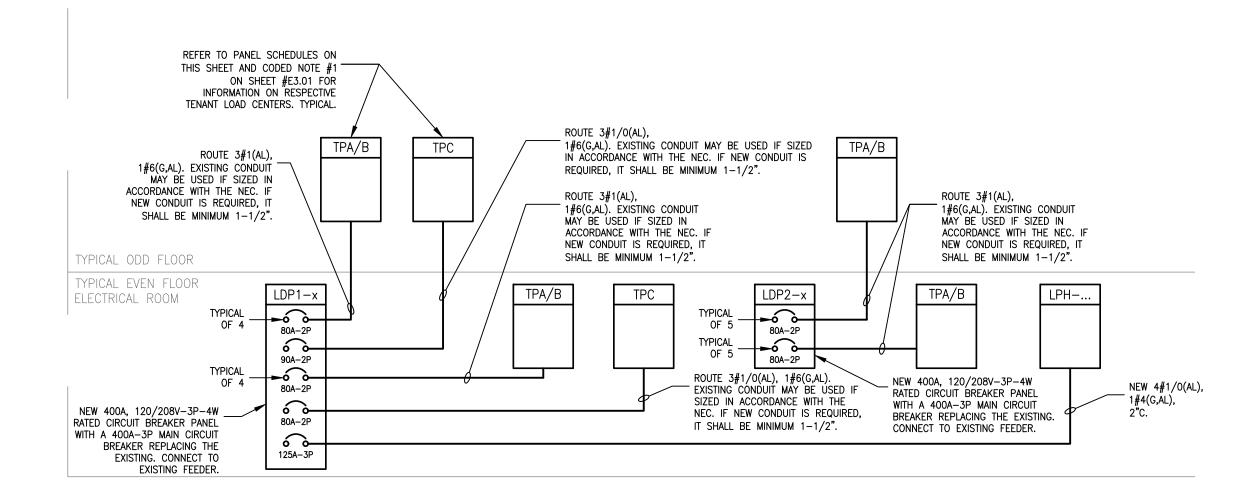
Marguette Manor - Interior and Exterior Improvements Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47 ELECTRICAL SPECIFICATIONS,

LEGEND, & DETAILS

TYPICAL LDPXXX ELE	CTRIC S	SERVICE	CALC	ULATION	V
DESCRIPTION	AREA	QUANTITY	LOAD	TOTAL WC	N.E.C. ARTICLE
1 BEDROOM UNITS					
UNIT 1A	650	6	3	11700	220.84(c)(1)
UNIT 1B	650	2	3	3900	220.84(c)(1)
UNIT 1C	900	2	3	5400	220.84(c)(1)
TOTAL CONNECTED LIGHTIN	G/RECEPTA	CLE LOAD:		21,000 W	
SMALL APPLIANCE BRANCH CIRCUITS	-	20	1500	30000	220.84(c)(2)
REFRIGERATOR	-	10	600	6000	220.84(c)(3)
ELECTRIC RANGE/OVEN	-	10	8000	80000	220.84(c)(3)
RANGE HOOD/MICROWAVE	-	10	1680	16800	220.84(c)(3)
1A/1B HVAC	-	8	3570	28560	220.84(c)(5)
1C HVAC	-	2	6270	12540	220.84(c)(5)
TOTAL CONNECT	ED EQUIPM	ENT LOAD:		173,900 W	
TOTAL CONNEC	CTED LOAD:			194,900 W	
DEMAN	ID FACTOR:			43%	TABLE 220.84
TOTAL DWELLING UNIT DEM	IAND LOAD:			83,807 W	
ADDITIONAL PANEL DEM	IAND LOAD:	TYP. L	PH2/4/6	36.98 KW	
TOTAL SE	RVICE DEM	AND LOAD:		120,782 W	
					•
AM	PS AT 120/2	.08V-3Ø-4W		335.3 A	ı







LUMINAIRE SCHEDULE GENERAL NOTES:

1. VERIFY ALL LUMINAIRE COLORS, TRIMS, LENGTHS, ETC. WITH THE **ARCHITECT/OWNER/DEVELOPER/DESIGNER** PRIOR TO PLACING FINAL PURCHASE ORDERS. SUBMISSION OF SHOP DRAWINGS WILL BE INTERPRETED AS HAVING BEEN COORDINATED WITH THE AFOREMENTIONED PARTIES.

2. PROVIDE ALL LENGTHS, FEEDS, ACCESSORIES, CONNECTORS, WIRING, POWER SUPPLIES, DRIVERS, ETC. FOR A COMPLETE INSTALLATION. VERIFY THE COMPLETE BILL OF MATERIAL WITH MANUFACTURER'S REPRESENTATIVE AND ENSURE ALL EQUIPMENT IS INCLUDED IN BID PRICE. COORDINATE INSTALLATION WITH ARCHITECTURAL DETAILS.

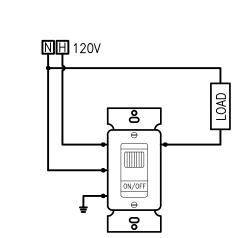
3. VERIFY FINAL LUMINAIRE LOCATIONS WITH OTHER CEILING MOUNTED EQUIPMENT SUCH AS DIFFUSERS, FIRE ALARM DEVICES, SPEAKERS, ETC., WITH ARCHITECTURAL REFLECTED CEILING PLANS.

4. VERIFY EXACT MOUNTING HEIGHT AND LOCATIONS OF ALL WALL MOUNTED AND PENDANT MOUNTED LUMINAIRES WITH ARCHITECTURAL PLANS AND ELEVATIONS PRIOR TO ROUGH-IN.

5. ANY PROPOSED ALTERNATE LUMINAIRES SHALL BE APPROVED BY THE ARCHITECT/OWNER/DEVELOPER/DESIGNER PRIOR TO FINAL BID PRICING.

6. SHOULD THE CONTRACTOR PROPOSE TO FURNISH MATERIALS, EQUIPMENT, AND DEVICES, OTHER THAN THOSE SPECIFIED AND LISTED, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR SUBSTITUTIONS, TO THE ENGINEER AT LEAST TEN (10) BUSINESS DAYS PRIOR TO BID OPENING. THE REQUEST SHALL BE AN ALTERNATE TO THE ORIGINAL BID AND SHALL INCLUDE A COMPLETE SPECIFICATIONS CUT SHEET SUBMITTAL AS OUTLINED IN THE SPECIFICATIONS, COMPLETE WITH DESCRIPTIVE (MANUFACTURER, BRAND NAME, CATALOG NUMBER, ETC.) AND TECHNICAL DATA FOR ALL ITEMS. INDICATE ANY ADDITIONS OR DEDUCTIONS TO THE CONTRACT PRICE WITH THE SUBSTITUTION SUBMITTAL AND ON THE BID FORM.

7. ANY FINAL SELECTED/INSTALLED LIGHT FIXTURES WITHOUT A SPECIFICATION (OR TO BE SPECIFIED LATER BY **ARCHITECT/OWNER/DEVELOPER/DESIGNER**) LISTED IN THIS SCHEDULE SHALL NOT EXCEED THE WATTAGE LISTED, SHALL NOT HAVE A LOWERED DELIVERED LUMENS (IF LISTED), AND SHALL MATCH THE COLOR TEMPERATURE (IF LISTED).



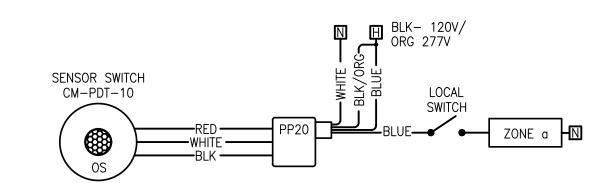
VACANCY & OCCUPANCY SENSOR SWITCH WIRING DIAGRAM

NOTES:

1. VACANCY SENSOR SHALL BE "SENSOR SWITCH" WSX-PDT-SA OR APPROVED EQUAL.

SCALE: NOT TO SCALE

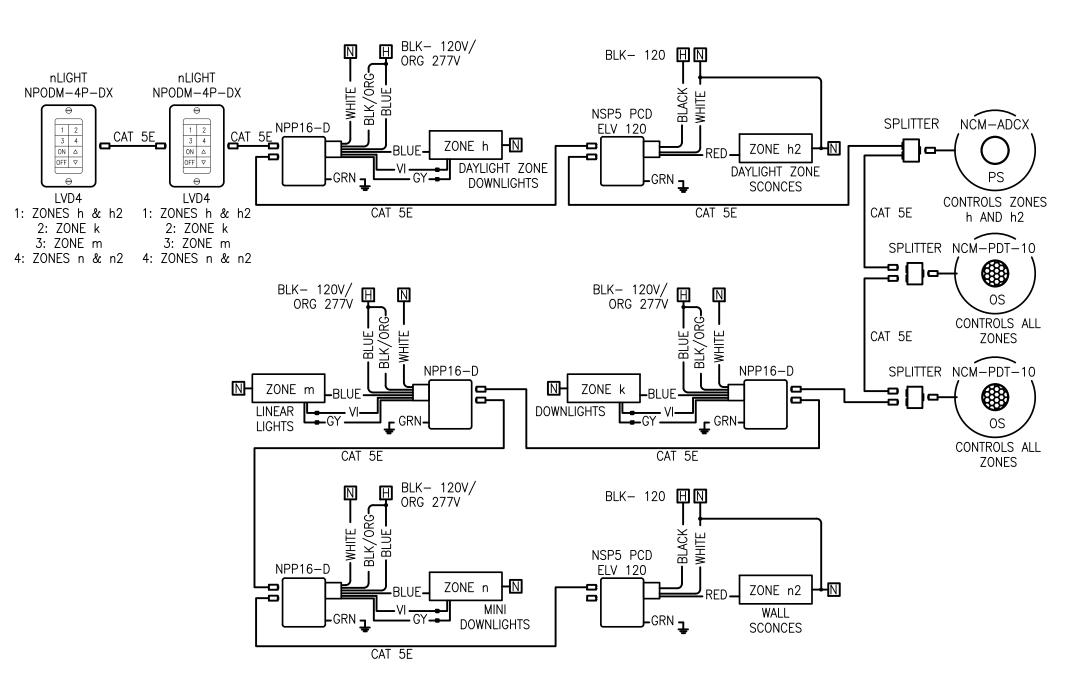
- 2. OCCUPANCY SENSOR SHALL BE "SENSOR SWITCH" WSX-PDT OR APPROVED EQUAL.
- 3. REFER TO SPECIFIC LOCATIONS AND SET FOR VACANCY "VS" OR OCCUPANCY "OS" AS INDICATED. SET TIME DELAY TO 20 MINUTES.



OCCUPANCY SENSOR WIRING DIAGRAM (LARGE ROOM)

SCALE: NOT TO SCALE

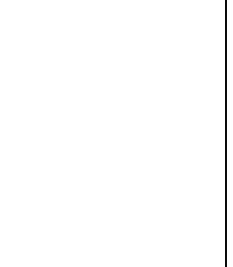
- 1. ALL LOW VOLTAGE WIRING AND TERMINATIONS TO BE BY ELECTRICAL CONTRACTOR.
- 2. MAXIMUM NUMBER OF SENSORS PER POWER PACK IS DEPENDANT ON MANUFACTURER. COORDINATE QUANTITY OF POWER PACKS WITH MANUFACTURER.
- 3. OCCUPANCY SENSOR SHALL BE DUAL TECHNOLOGY "SENSOR SWITCH" CM-PDT-10 OR APPROVED EQUAL. ALL EXPOSED CONTROL WIRING SHALL BE IN CONDUIT.



COMMUNITY ROOM LIGHTING CONTROL DIAGRAM SCALE: NOT TO SCALE

DIAGRAM NOTES

SYSTEM SHOWN IS BASIS OF DESIGN BY ACUITY BRANDS. PROVIDE POWER PACKS AS REQUIRED TO ACCOMMODATE ZONES AND LOAD TYPES SHOWN ON PLAN AND IN LUMINAIRE SCHEDULE. ALTERNATE SYSTEM(S) MAY BE SUBMITTED FOR REVIEW AND APPROVAL BY ARCHITECT AND ENGINEER PRIOR TO BID. ALTERNATE SYSTEM(S) SHALL BE PRICED AS ALTERNATE TO BASIS OF DESIGN SYSTEM AND LISTED AS SUCH IN SUBMITTED BID.



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DESCRIPTION

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Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing Authority

1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

LIGHTING DETAILS AND POWER RISER DIAGRAM

E0.03

ING: KT			レムへん																				
_	DECO			LOCA	ATION				UTILIT	Υ	MAIN	1 LUG				ENC		NEM.					
	DESCR	RIPTION	l	LTG	REC	FSEQ	HVAC		C/B	PH	C/B		HVAC	FSEQ	REC	LTG		DESCF	RIPTIO	V		СКТ	NC
1 3	VEN FLOOR ELEC	TRIC DE	RYER					2.50 2.50	30/2	A B	30/2	2.50					EVEN FLOOF	R ELEC	TRIC D	RYER		4	C
5 7	VEN FLOOR ELEC	TRIC DE	RYER					2.50 2.50	30/2	C	30/2	2.50 2.50					EVEN FLOOF	R ELEC	TRIC D	RYER		6 8	C
9 E	VEN FLOOR WAS	HER						1.50	20/1	В	20/1	1.50					EVEN FLOOF	RWAS	HER			10	
1 E	VEN FLOOR WAS	HER						1.50	20/1	С	20/1	1.50					EVEN FLOOF	RWAS	HER			12	
3 E	VEN FLOOR TELE	PHONE	BOARD					0.50	20/1	Α	20/1	0.50					ODD FLOOR	TELEP	HONE I	BOARD)	14	
5 E	VEN FLOOR LIGH	TING CIF	RCUIT	0.70					20/1	В	20/1	0.70					ODD FLOOR	LIGHT	NG			16	
7 L	T. BOARD REC.							0.50	20/1	С	20/1	1.50					ODD FLOOR	WASH	IER			18	
9 1.	T. BOARD REC.							0.50	20/1	Α	20/1						SPARE					20	
. 1 S	PARE								20/1	В	30/2	2.50					ODD ELOOR	ELECT	RIC DR	Y FR		22	
3 S	PARE								20/1	С	00/2	2.50					ODDTEOOR	LLLO	T TO DI			24	
5 S	PARE								20/1	Α	-						SPACE					26	
. 7 S	PARE								20/1	В	-						SPACE					28	
									20/1	С	-						SPACE						
1 S	PARE								20/1	Α	-						SPACE					32	
									-	В	-						SPACE					34	
	SPACE								-		-												
									-		-												
									-		-												
									-		20/1						ROOFTOP R	EC					1
DTA	LS (KW)			0.70	0.00	0.00	0.00	14.50		PH		20.70	0.00	0.00	0.90	0.00				тот	ALS	(KW)	
	LOAD SUN	/IMAR	Y	1								PANE	EL DA	TA	K۷	VD	KWC	LTG	REC	FSEQ	HVAC	MISC	
	кwс	DF	KWD	1								KW F	hase	A:	11	1.5	11.5	0.0	0.0	0.0	0.0	11.5	
ΓG	0.7	1.25	0.9	1								KW F	hase	B:	12	2.1	11.9	0.7	0.0	0.0	0.0	11.2	
EC	0.9	NEC	0.9	1								KW F	hase	C:	13	3.4	13.4	0.0	0.9	0.0	0.0	12.5	
SEQ	0.0	0.65	0.0	1																	<u> </u>		ı
VAC	0.0	1.00	0.0	1																			
ISC	35.2	1.00	35.2	1																			
				1																			
				1																			
	7 E F F F F F F F F F	EVEN FLOOR ELECT DEVEN FLOOR WAS 1 EVEN FLOOR WAS 3 EVEN FLOOR TELE 5 EVEN FLOOR LIGHT 7 I.T. BOARD REC. 9 I.T. BOARD REC. 1 SPARE 3 SPARE 7 SPARE 9 SPARE 1 SPACE 7 SPACE 9 SPACE 1 SPACE 2 SPACE 3 SPACE 3 SPACE 4 SPACE 4 SPACE 4 SPACE 5 SPACE 5 SPACE 7 SPACE 8 SPACE 7 SPACE 9 SPACE 9 SPACE 1 SPACE 2 SPACE 1 SPACE 2 SPACE 2 SPACE 3 SPACE	EVEN FLOOR ELECTRIC DE EVEN FLOOR WASHER 1 EVEN FLOOR WASHER 3 EVEN FLOOR TELEPHONE 5 EVEN FLOOR LIGHTING CII 7 I.T. BOARD REC. 9 I.T. BOARD REC. 1 SPARE 3 SPARE 7 SPARE 9 SPARE 1 SPACE 9 SPACE 1 SPACE 2 SPACE 1 SPACE 2 SPACE 3 SPACE 1 SPACE 2 SPACE 3 SPACE 3 SPACE 1 SPACE 2 SPACE 3 SPACE 3 SPACE 4 SPACE 4 SPACE 4 SPACE 5 SP	EVEN FLOOR ELECTRIC DRYER EVEN FLOOR WASHER	EVEN FLOOR ELECTRIC DRYER	EVEN FLOOR ELECTRIC DRYER	EVEN FLOOR ELECTRIC DRYER EVEN FLOOR WASHER	EVEN FLOOR ELECTRIC DRYER	EVEN FLOOR ELECTRIC DRYER	EVEN FLOOR BLECTRIC DRYER	VENER FLOOR ELECTRIC DRY ER	VEVEN FLOOR ELECTRIC DRYER	VEN FLOOR ELECTRIC DRY ER	VEN FLOOR ELECTRIC DRYER 2.50 30/2 A 30/2 2.50	VEN FLOOR ELECTRIC DRYER	VEN FLOOR ELECTRIC DRYER 2.50 30/2 2.50 1.50 1.50 1.50 20/1 B 20/1 1.50 1.50 20/1 B 20/1 1.50 20/1 B 20/1 1.50 20/1 B 20/1 1.50 20/1 B 20/1 2.50	VEN FLOOR ELECTRIC DRYER	EVEN FLOOR BLECTRIC DRY ER	EVEN FLOOR ELECTRIC DRYER	VEN FLOOR ELECTRIC DRYER			

AME	:		ΙP	G-2		VOL	TAGE:		208/1	20V-3	3Ø-4V\	/	BUS	S:	225A			KAIC	·. /-	10				
	TING	<u></u>	SURFACE				ATION				ODIAN		МСВ		200/3				LOSURE:	NEM.	A 1			
	СКТ			RIPTION		LTG			HVAC			PH		MISC			REC	LTG		DESCF		N		СКТ
		CONF.	/MAIL/BATH/	CUST.L	IGHTING	0.50					20/1	Α	20/1				1.08		CONFERENC	E ROO	M REC) .		2
	3	PUBLK	C 1F CORRIDO	OR LIGH	TING	0.75					20/1	В	45/0		0.75				DA TUDOOM	D4.05			NO	4
	5										20/1	С	15/2		0.75				BATHROOM	BASE	SAORI	J HEA I I	NG	6
	7										20/1	Α	20/1											8
	9										20/1	В	20/1											10
	11										20/1	С	20/1											12
	13										20/1	Α	20/1											14
	15										20/1	В	20/1											16
	17										20/1	С	20/1											18
	19										20/1	Α	20/1											20
	21										20/1	В	20/1											22
	23					-					20/1	С	20/1											24
	25										20/1	A	20/1											26
	27										20/1	В	20/1											28
	29										20/1	C	20/1		4.24									30
	31					-					20/1	A B	15/2		1.24				FITNESS MIN	IISPLIT				32 34
	33 35					-					20/1	Ь			1.24									36
	37										20/1	A	15/2		1.24				MAIL ROOM	MINIS	ZIT			38
		EIDST	FLOOR INTER		NI SDI IT				0.15		20/1	В			1.65									40
	41	UNITS	FLOOR INTER	KIOK IVIII	NIOPLII				0.15		15/2	C	20/2		1.65				CONFERENC	E MINI	SPLIT			42
		ALS (KW)			1.25	0.00	0.00		0.00		PH		0.00	9.76	0.00	1.08	0.00				TOT	ALS	
ı	,	, , ,	,				1 0,00		0.00	0.00							1						7.20	(
			LOAD SUM	1MAR	Y	1								PANI	EL DA	TA	ΚV	۷D	KWC	LTG	REC	FSEQ	HVAC	MISC
			KWC	DF		1								KW F				.2	4.1	0.5	1.1	0.0		0.0
	LTG		1.3	1.25	1.6	1									hase		4	.7	4.5	0.8	0.0	0.0	3.8	0.0
	REC		1.1	NEC	1.1	1									hase			.8	3.8	0.0	0.0	0.0	3.8	0.0
	FSE		0.0	0.65	0.0	1													I	<u> </u>		1	<u> </u>	1
	HVA		10.1	1.00	10.1	1																		
	MISC		0.0	1.00	0.0	1																		
	TOT		12.4		12.7KW	1																		
	AMP		34.4A	1	35.3A	4																		

CIRCUIT BREAKER PANEL SCHEDULE

0.00 2.52 0.00 0.00 1.40 PH 3.00 0.00 0.00 0.00 1.00

NOTES: G - GFCI TYPE CIRCUIT BREAKER

CORRIDOR MAIN LUG ONLY

ENCLOSURE: NEMA 1

 PANEL DATA
 KWD
 KWC
 LTG
 REC
 FSEQ
 HVAC
 MISC

 KW Phase A:
 2.5
 2.3
 1.0
 1.3
 0.0
 0.0
 0.0

 KW Phase B:
 3.8
 3.8
 0.0
 0.9
 0.0
 0.0
 2.9

 KW Phase C:
 1.9
 1.9
 0.0
 0.4
 0.0
 0.0
 1.5

TOTALS (KW)

VOLTAGE: 208/120V-3Ø-4W BUSS: 100A

LPG-3

DESCRIPTION

1 COMMUNITY ROOM EAST REC. 3 COMMUNITY ROOM WEST REC./TV 5 KITCHEN COUNTER REC. WEST 7 KITCHEN COUNTER REC. EAST

11 OPEN OFFICE/STAFF RR/OFFICES FF

13 VESTIBULE/CORRIDOR/MAIL/VENDING F
15 MENS/WOMENS RR FF

LOAD SUMMARY

KWC | DF | KWD

1.0 1.25 1.3 2.5 NEC 2.5

0.0 0.65 0.0 0.0 1.00 0.0 4.4 1.00 4.4 7.9 8.2KW

22.0A **22.7A**

17 FIRE COMMAND/CUSTODIAN FF 19 CONFERENCE LTG #1 21 CONFERENCE LTG #2

G 9 DISHWASHER/DISPOSER

TOTALS (KW)

MISC TOTAL

LOCATION:

MOUNTING: RECESSED

							CIF	RCU	IT B	RE	AKE	R P	ANI	EL S	CH	EDL	JLE								
AME:			LI	L-1		VOL	TAGE	:	208/1	20V-3	3Ø-4V	/	BUS	S:	200A			KAIC	:	10					
OUNTI	NG:	: 1	RECESSE	D		LOCA	10IT	l:	MAI	N ELE	ECTRI	ICAL	МСВ	:	200/3	1		ENC	LOSURE:	NEM.	A 1				
OTE CK	сΤ		DESC	RIPTION	1	LTG	REC	FSEQ	HVAC	MISC	C/B	PH	C/B	MISC	HVAC	FSEQ	REC	LTG		DESCR	RIPTIO	N		СКТ	NOTE
1	N	VIA IN E	LEC/TRAINS.	./FIRE R	OOM LTG.	0.60					20/1	Α	20/1					0.15	ELEVATOR	PIT LIGI	HTING			2	
3	3	CORRIE	OOR/MISC RO	DOM/CL	OSET LTG.	0.60					20/1	В	20/1				0.36		ELEVATOR	PIT REC).			4	
5	; F	-ITNES	S TREADMIL	.L						1.50	20/1	С	20/1				0.54		ELEC ROOM	ANDL	OBBY	REC.		6	
7	' F	-ITNES	S TREADMIL	.L						1.50	20/1	Α	20/1											8	
9	—□`		FLOOR INTER	RIOR MI	NI SPLIT				0.15		15/2	В	20/1											10	
1	1 L	JNITS							0.15			С	15/2		0.75				MA INTENA N	ICE GA I	RAGE E	BASEB	OA RD	12	
1:	_										20/1	Α			0.75				HEATING					14	
1:	_										20/1	В	15/2		1.01				STORAGE F	ROOM B	ASEBO	DARD		16	
1	-										20/1	С			1.01				HEATING					18	
19	-										20/1	Α	15/2		1.01				MA INTENA N	ICE GAI	RAGE E	BASEB	OARD	20	4
2	-										20/1	В			1.01				HEATING					22	
2:	-										20/1	С	15/2		1.01				ELECTRICAL HEATING	. ROOM	1BASE	BOAR)	24	4
2	—										20/1	Α			1.01				TILATING					26	<u> </u>
2	_					-					20/1	В	15/2		1.01				WEST STAIF	RBASE	BOARI) HEAT	ING	28	4
29	+										20/1	C			1.01				<u> </u>					30	₩
3	_										20/1	A	15/2		1.01				BASEMENT HEATING	CORRIL	OOR BA	(SEBO	ARD	32	-
3:	-										20/1	B			1.01					20014	. A O E D (34 36	-
3	_										20/1	A	15/2		1.01				FIRE PUMP F HEATING	KOOIVI E	SASEBU	JARD		38	-
39	_										20/1	В			1.01									40	-
4	-										20/1	С	15/2		1.01				EAST STAIF	BASE	BOARE	HEAT	ING	42	-
		LS (Ł	(W)			1.20	0.00	0.00	0.30	3.00	20/1	PH	 	0.00		0.00	0.90	0.15				TO	TALS		+
<u> </u>			,				0.00	1 5,55	0.00	0.00			<u> </u>	5.55		5.55	0.00	55	l .				7120	(1117)	J
		L	OAD SUN	/IMAR	Y	1								PANI	EL DA	ΛTΑ	K۷	۷D	KWC	LTG	REC	FSEQ	HVAC	MISC	-
			KWC	DF	KWD	1								KW F	hase	A:	7	.2	7.0	0.8	0.0	0.0	4.8	1.5	1
LT	G		1.4	1.25	1.7	1								KW F	hase	B:	6	.3	6.2	0.6	0.4	0.0	5.2	0.0	1
RE	С		0.9	NEC	0.9	1								KW F	hase	C:	8	.0	8.0	0.0	0.5	0.0	5.9	1.5	1
FS	SEQ	1	0.0	0.65	0.0	1											1				•	•	•	•	
H/	/AC	;	15.9	1.00	15.9	1																			
МІ	SC		3.0	1.00	3.0	1																			
TC	OTA		21.2		21.5KW	1																			
 -	ИPS	. 	58.8A	1	59.7A	1																			

							CIF	RCU	IT B	BRE/	<u> AKE</u>	RP	AN	EL S	<u>SCH</u>	EDL	JLE								
IAME	<u>:</u>		ΕN	/1-1		VOL	rage:		120/2	240V-1	1Ø-3V	V	BUS	S:	100A			KAIC	:	10					
1001	NTING	∋: 5	SURFACE			LOCA	/OIT	l:	BAS	SEME	NT EL	LEC.	МСВ	:	100/2	1		ENC	LOSURE:	NEM	A 1				
OTE	СКТ		DESCR	RIPTION		LTG	REC	FSEQ	HVAC	MISC	C/B	PH	C/B	MISC	HVAC	FSEQ	REC	LTG		DESCF	RIPTIO	N		CKT	NO
	1	WESTS	TAIR LTG			1.00					20/1	Α	20/1					0.40	LOWER LEV	EL EX.	SIGNS	AND EI	vI NLs	2	L
	3	EAST S	TAIR LTG			1.00					20/1	В	20/1				0.72		FIRE COMMA	ND RE	C.			4	
	5	FIRE CC	MMAND LIG	HTING		0.10					15/1	Α	20/1	0.20					FIRE ALARM	1 PA NEI	LS			6	F
	7	TWO W	AY COMM. S	SYSTE	И					0.50	20/1	В	15/1					0.10	CANOPY EM	1 LIGHT	ING			8	
					L/EM LIGHTS	0.30					20/1	Α	-						SPACE					10	
					/EM LIGHTS	0.50					20/1	В	-						SPACE					12	
			JEST EXITA			0.40					20/1	Α	-						SPACE					14	╙
					L/EM LIGHTS	0.40					20/1	В	<u> </u>						SPACE					16	_
	- ' '		AST EXITA			0.40					20/1	Α	-						SPACE					18	↓
					JEM LIGHTS	0.40					20/1	В	-						SPACE					20	↓
					NL/EM LIGHTS						20/1	Α	-						SPACE					22	<u> </u>
_			EAST EXIT	ANDN	L/EM LIGHTS	0.40					20/1	В	-						SPACE					24	ـــــ
		SPARE									20/1	A	-						SPACE					26	_
_		SPARE									20/1	В	-						SPACE					28	
		SPARE									20/1	Α	-						SPACE					30	
	<u> </u>	SPARE									20/1	В	-						SPACE					32	_
		SPACE									-	A	20/2		1.20				WEST STAIF	R PRES	SURIZA	TION F	AN	34	1
	_	SPACE									-	В			1.20									36	_
		SPACE									-	Α	20/2		1.20				EAST STAIR	PRESS	SURIZA	TION F	٩N	38	4
_		SPACE									-	В			1.20									40	╙
Į	TOTA	ALS (K	W)			5.30	0.00	0.00	0.00	0.50		PH		0.20	4.80	0.00	0.72	0.50				ТОТ	ALS	(KW)	j
ſ		L	OAD SUM	IMARY	<i>(</i>	1								PANI	EL DA	TA	KV	۷D	KWC	LTG	REC	FSEQ	HVAC	MISC	;]
ľ			KWC	DF	KWD	1								KW F	hase	A:	6.	.4	5.6	3.0	0.0	0.0	2.4	0.2	1
ľ	LTG	$\neg \dagger$	5.8	1.25	7.3	1								KW F	hase	B:	7.	.1	6.4	2.8	0.7	0.0	2.4	0.5	1
ľ	REC		0.7	NEC	0.7	1																ı <u>I</u>			
ŀ	FSE	a 	0.0	0.65	0.0																				
L	HVA		4.8	1.00	4.8	1																			
	MISC		0.7	1.00	0.7																				
	TOT		12.0		13.5KW	l																			
	AMP		50.1A		56.1A																				

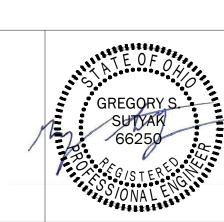
NOTES: F - INSTALL AND LABEL PER NEC #760.41(B)., L - PROVIDE LOCK-ON HANDLE

TYPICAL EXISTING 1600A RIS	ER BUS	ELEC.	SERVI	CE CALC	ULATION
DESCRIPTION	AREA	QUANTITY	LOAD	TOTAL WC	N.E.C. ARTICL
1 BEDROOM UNITS					
UNIT 1A	650	42	3	81900	220.84(c)(1)
UNIT 1B	650	14	3	27300	220.84(c)(1)
UNIT 1C	900	14	3	37800	220.84(c)(1)
TOTAL CONNECTED LIGHTING	G/RECEPTA	CLE LOAD:		147,000 W	
SMALL APPLIANCE BRANCH CIRCUITS	-	140	1500	210000	220.84(c)(2)
REFRIGERATOR	-	70	600	42000	220.84(c)(3)
ELECTRIC RANGE/OVEN	-	70	8000	560000	220.84(c)(3)
RANGE HOOD/MICROWAVE	-	70	1680	117600	220.84(c)(3)
1A/1B HVAC	-	56	3570	199920	220.84(c)(5)
1C HVAC	-	14	6270	87780	220.84(c)(5)
TOTAL CONNECT	ED EQUIPM	ENT LOAD:		1,217,300 W	
TOTAL CONNEC	TED LOAD:			1,364,300 W	
DEMAN	D FACTOR:			23%	TABLE 220.84
TOTAL DWELLING UNIT DEM	AND LOAD:			313,789 W	
ADDITIONAL PANEL DEM	AND LOAD:	TYP. L	.PH2/4/6	29.31 KW	
TOTAL SEI	RVICE DEM	AND LOAD:		343,103 W	
АМІ	PS AT 120/2	08V-3Ø-4W		952.4 A	

ME	:		PD	P14		VOL-	TAGE:	:	480V	-3Ø-3	W		BUS	S:	400A			KAIC	:	10					
UN	ITINO	<u></u> Э:	SURFACE			LOC	ATION	:	TYP.	S EL	EC. R	OOM	мсв	:	400/3	3		ENCI	OSURE:	NEM	A 1				
ГЕ	СКТ		DESCR	RIPTION	N .	LTG	REC	FSEQ	HVAC	MISC	C/B	PH	C/B	MISC	HVAC	FSEQ	REC	LTG		DESCF	RIPTIO	N		СКТ	ПОИ
1	1	SPACE									-	Α			6.66									2	
	3 SPACE 5 SPACE										-	В	30/3		6.66				14TH FLOOF	R WEST	UNIT	HEATER	₹	4	1
	7 SPACE										-	С	1		6.66									6	
	9 SPACE										-	Α			6.66									8	
	11 SPACE										-	В	30/3		6.66				14TH FLOOF	REAST	UNIT	IEATER	₹	10	
	11 SPACE 13 SPACE										-	С			6.66									12	
											-	Α			6.66									14]
		7 SPACE									-	В	30/3		6.66				15TH FLOOF	R WEST	UNIT	HEATER	₹	16	
4		SPACE	<u> </u>								-	С			6.66									18	
L	19 PANEL PP-P SUBFEED									44.39	ı	Α			6.66									20	
L		21 PANEL PP-P SUBFEED									200/3		30/3		6.66				15TH FLOOF	REAST	UNIT	HEATER	}	22	1
_	23									44.39		С			6.66									24	
L	TOTALS (KW)					0.00	0.00	0.00	0.00	133.2		PH		0.00	79.92	0.00	0.00	0.00				101	ALS	(KW)	1
Γ	LOAD SUMMARY				Υ	1								PANI	EL DA	TA	ΚV	۷D	KWC	LTG	REC	FSEQ	HVAC	MISC	
ŀ			KWC	DF	KWD	1								KW F	hase	A:	71	.0	71.0	0.0	0.0	0.0	26.6	44.4	1
Į	_TG		0.0	1.25	0.0	1								KW F	hase	B:	71	.0	71.0	0.0	0.0	0.0	26.6	44.4	1
F	REC		0.0	NEC	0.0	1								KW F	hase	C:	71	.0	71.0	0.0	0.0	0.0	26.6	44.4	1
Ī	SE	Q	0.0	0.65	0.0															<u> </u>			I		
Ī	HVA	С	79.9	1.00	79.9	1																			
Ī	VIIS		133.2	1.00	133.2	1																			
-	ГОТ	AL	213.1		213.1KW	1																			
	4MP	s	256.3A		256.3A	1																			

AME	Ī:	Ту	pical PDP	2-4-6-8	3-10-12	VOL	TAGE:	•	480V	-3Ø-3'	W		BUS	S:	225A			KAIC	;. :	10					
1UC	VIII	G: 8	SURFACE	•		LOCA	NOITA	l:	TYP.	S EL	EC. R	ООМ	MCB	:	200/3	1		ENC	LOSURE:	NEM	A 1				
TE	СКТ		DESC	RIPTION		LTG	REC	FSEQ	HVAC	MISC	C/B	PH	C/B	MISC	HVAC	FSEQ	REC	LTG		DESCF	RIPTIO	V		СКТ	T
	1	SPACE									-	Α			6.66									2	Ī
	3	SPACE									-	В	30/3		6.66				EVEN FLOOF	R WES	T UNIT	HEATE	R	4	
	5	SPACE									-	С			6.66									6	1
	7	SPACE									-	Α			6.66									8	I
	9	SPACE									-	В	30/3		6.66				EVEN FLOOF	R EAST	UNIT	HEATE	₹	10	
	11	SPACE									-	С			6.66									12	
	13	SPACE									-	Α			6.66									14	Ī
	15	SPACE									-	В	30/3		6.66				ODD FLOOR	WEST	UNIT H	EATER	1	16	
	17	SPACE									-	C			6.66									18	
	17 SPACE 19 SPACE 21 SPACE								-	Α			6.66									20			
	21 SPACE								-	В	30/3		6.66				ODD FLOOR	EAST	UNIT H	EATER		22			
	23 SPACE								-	С			6.66									24			
TOTALS (KW)			W)			0.00	0.00	0.00	0.00	0.00		PH		0.00	79.92	0.00	0.00	0.00				TOT	ALS	(KW)
ſ		L	OAD SUN	(MAR)	<u> </u>	1								PANE	EL DA	TA	KV	VD	KWC	LTG	REC	FSEQ	HVAC	MISC	3
ı			KWC	DF	KWD	1								KW F	hase	A:	26	6.6	26.6	0.0	0.0	0.0	26.6	0.0	1
ı	LTG		0.0	1.25	0.0	1								KW F	hase	B:	26	6.6	26.6	0.0	0.0	0.0	26.6	0.0	1
ŀ	REC	;	0.0	NEC	0.0	1								KW F	hase	C:	26	3.6	26.6	0.0	0.0	0.0	26.6	0.0	1
ŀ	FSE	a t	0.0	0.65	0.0	1																l			٢
ŀ	HVA	.c 	79.9	1.00	79.9	1																			
	MIS		0.0	1.00	0.0																				
ł	тот	AL	79.9		79.9KW	1																			
ŀ	AMF	s	96.1A		96.1A	1																			

									IT B								JLE								
NAMI				G-1		VOLT			208/1			V	BUS		225A			KAIC		10					
MOU	NTING	G:	SURFACE			LOCA	NOITA			UTII			МСВ		200/3					NEM.					
NOTE			DESCR		J	LTG	REC	FSEQ	HVAC	MISC	C/B	PH	C/B	MISC	HVAC	FSEQ	REC	LTG		DESCF	RIPTIO	N		СКТ	NO
	1	NORTH	HWEST OFFIC	CE REC.			0.90				20/1	Α	20/1					0.80	OFFICE A RE	A/VES	T./UTIL.	LIGHT	ING	2	
	3	SOUTH	HWEST OFFIC	DE REC.			0.90				20/1	В	20/1				0.90		SOUTHEAST					4	┸
	5	I.T./BA	TH/GENERAL	REC.			0.90				20/1	С	20/1				0.90		SOUTHEAST	OUTE	R OFFK	CE REC). 	6	
	7	OPEN (OFFICE REC.				0.72				20/1	Α	20/1	0.50					I.T. REC.					8	↓
	9		OFFICE REC.								20/1	В	20/1	0.50					I.T. REC.					10	↓
			A NOPY NON		SHTING	0.70					20/1	С	20/1	0.50					I.T. REC.					12	_
		NEW E	BOLLARD LIG	HTING		0.30					20/1	Α	20/1	0.50					I.T. REC.					14	_
			MONUMENT S	IGN LIG	HTING	0.20					15/1	В	-						SPACE					16	ــــــــــــــــــــــــــــــــــــــ
		SPARE									20/1	С	-						SPACE					18	
		SPARE									20/1	Α	-						SPACE					20	
		SPARE									20/1	В	-						SPACE					22	ــــــ
		SPARE									20/1	С	-						SPACE					24	↓
		EXISTI	NG BASE BO	ARDH	EATING				1.44		15/1	Α	-						SPACE					26	ــــــــــــــــــــــــــــــــــــــ
	27	EXISTI	NG BASE BO	ARD H	EATING				1.25		15/2	В	-						SPACE					28	ــــــ
	29								1.25			С	-						SPACE					30	₩
	31	EXISTI	NG BASE BO	ARD H	EATING				1.25		15/2	A	-						SPACE					32	╙
	33								1.25			В	-						SPACE					34	↓
	35	EXISTI	NG BASE BO	ARD H	EATING				1.25		15/2	С	-						SPACE					36	<u> </u>
	37								1.25			Α					1.26	1.00						38	4
	39	EXISTI	NG BASE BO	ARD H	EATING				1.25		15/2	В	100/3				0.90		LPG-3 SUBF	EED				40	4
	41								1.25			С		1.50			0.36							42	╄
	тот	ALS (KW)			1.20	3.42	0.00	11.42	0.00		PH		6.40	0.00	0.00	4.32	1.80				TO	ΓALS	(KW))
													ı						T		1	1	1		7
			LOAD SUM											PANI				WD_	KWC				HVAC	MISC	4
		_	KWC	-										KW F			10	0.4	9.9	2.1		0.0	3.9	1.0	4
	LTG		3.0	1.25	3.8									KW F			10	0.1	10.0	0.2	2.7	0.0	3.7	3.4	1
	REC	;	7.7	NEC	7.7									KW F	hase	: C:	8	.8	8.6	0.7	2.2	0.0	3.7	2.0	
	FSE	Q	0.0	0.65	0.0																				
	HVA	.C	11.4	1.00	11.4																				
	MIS		6.4	1.00	6.4	1																			
	тот	AL	28.6		29.3KW	1																			
	AMP	s	79.3A		81.4A	1																			



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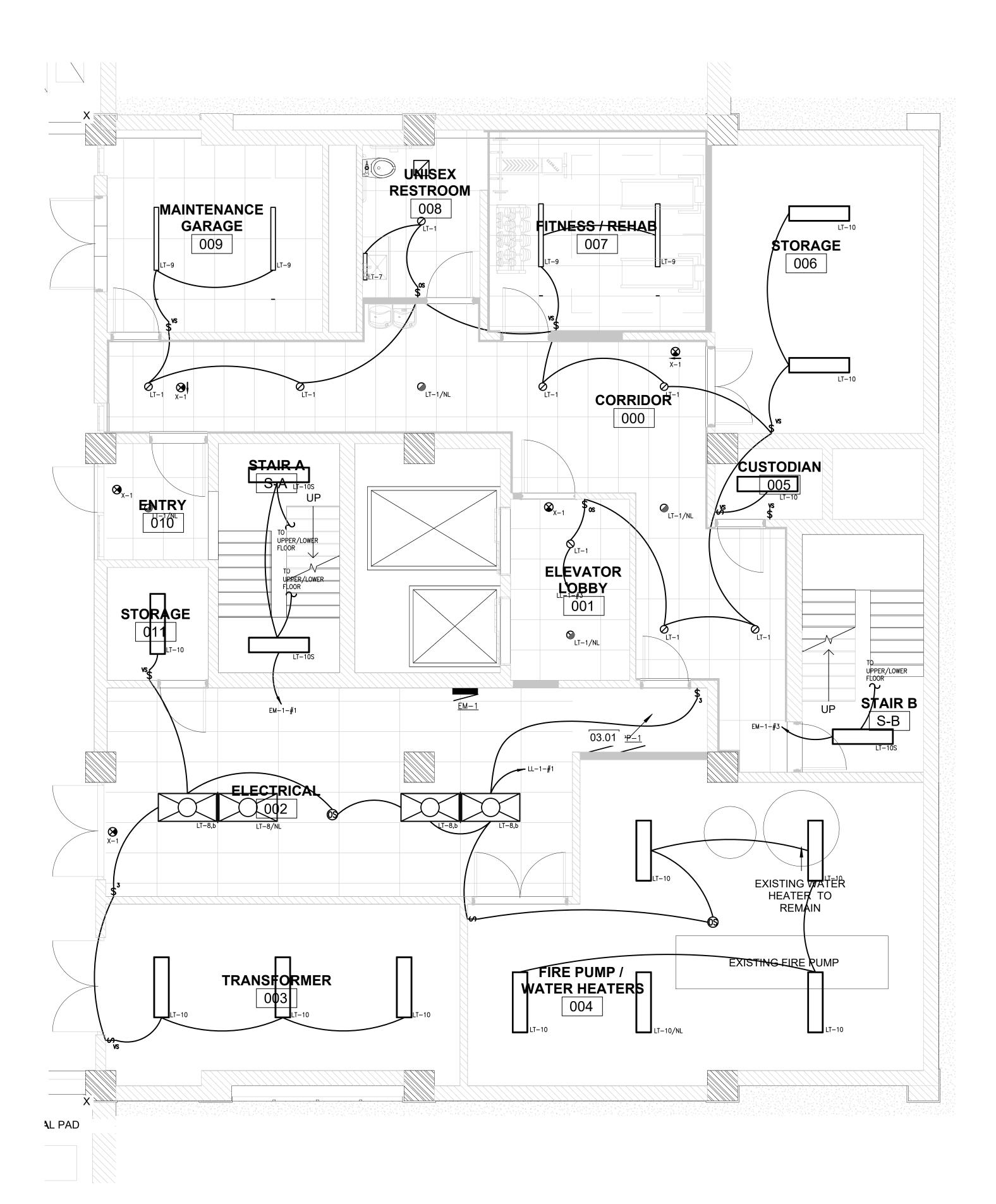
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing

Authority 1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

PANEL SCHEDULES

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING. THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.



1 LOWER LEVEL LIGHTING PLAN E1.00 SCALE: 1/4" = 1'-0" GENERAL LIGHTING PLAN NOTES

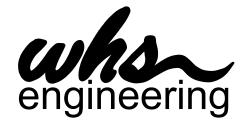
- ALL EXIT SIGNS AND **EMERGENCY LUMINAIRES (ON GENERATOR, ALSO MARKED 'NL')**SHALL BE CONNECTED TO **A DEDICATED LIGHTING CIRCUIT** IN PANEL EM1 AHEAD
 OF ANY CONTROLS SUCH AS: SWITCHES (DEVICE), OCCUPANCY SENSORS AND/OR
 RELAY CONTROLS. THE LOWER LEVEL LIGHTS SHALL BE CONNECTED TO CIRCUIT
- EXACT LOCATION OF ALL LUMINAIRES, AND EXACT MOUNTING HEIGHT OF ALL PENDANT MOUNTED LUMINAIRES SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ANY ROUGH—INS.
- REFER TO WIRING SCHEDULE ON SHEET #E0.02 FOR 15A/20A POWER AND LIGHTING BRANCH CIRCUITS FOR ALL CONDUCTOR SIZES TO ACCOUNT FOR VOLTAGE DROP.
- ALL WIRING SHALL BE IDENTIFIED BY PANELBOARD AND CIRCUIT NUMBER(S) IN ALL CABINETS, JUNCTION BOXES, WIRING TROUGHS, ENCLOSURES, SPLICE OR TERMINATION POINTS, ETC.
- A NEW TYPED PANELBOARD DIRECTORY CARD SHALL BE PROVIDED FOR ALL PANELS INSTALLED OR MODIFIED UNDER THIS CONTRACT. NEW DIRECTORY CARDS SHALL BE LOCATED ON THE INSIDE DOOR OF ASSOCIATED PANELS.



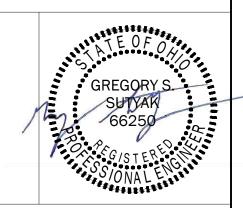
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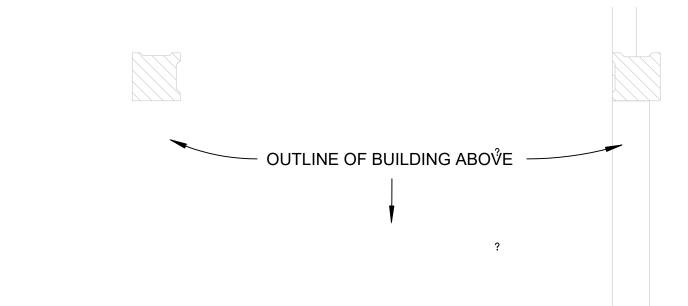
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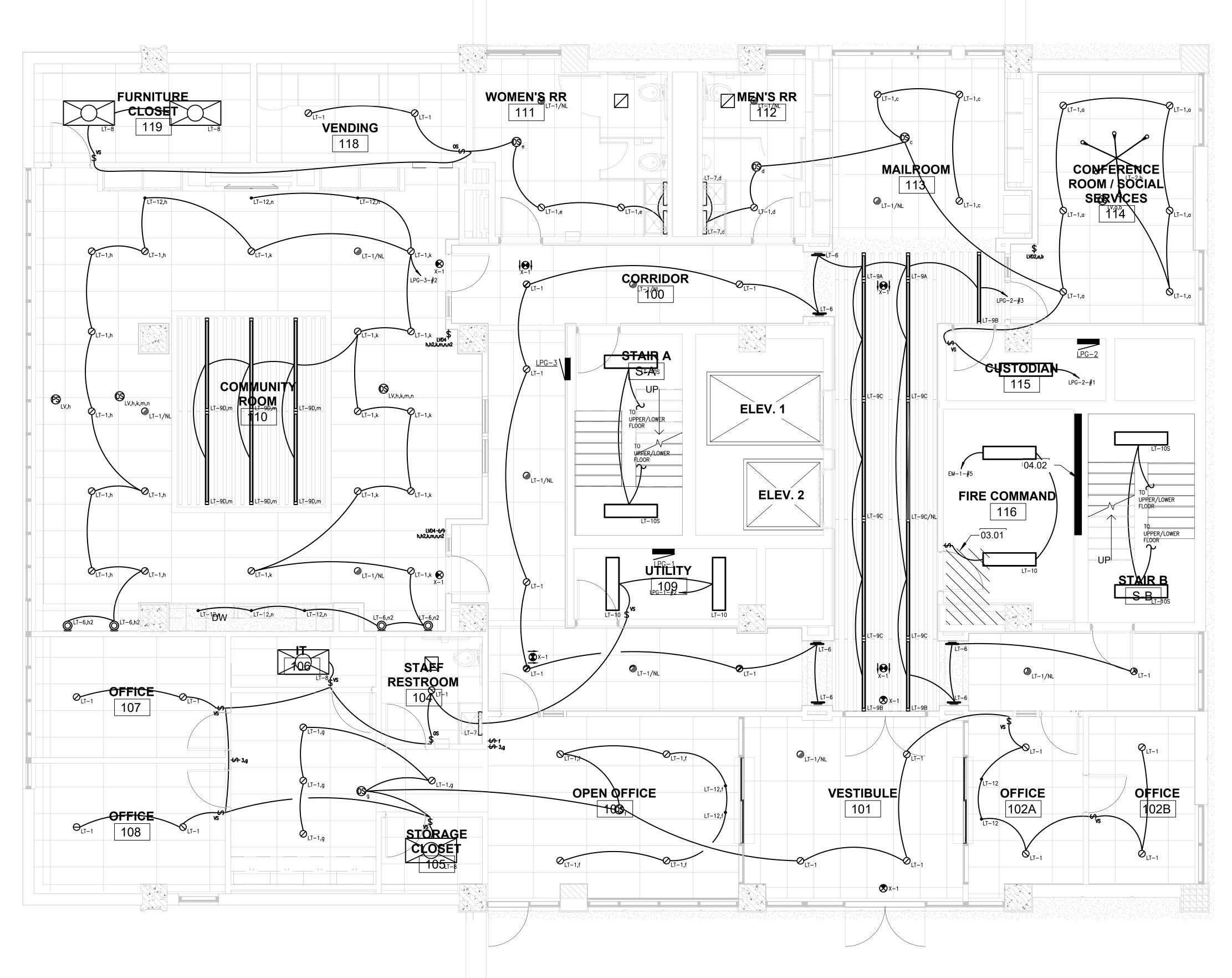
Marquette Manor - Interior and Exterior Improvements
Cincinnati Metropolitan Housing
Authority
1999 Sutter Avenue, Cincinnati, OH 45225

LDA Project No.23.47

LOWER LEVEL LIGHTING PLAN **E1.00**

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING. THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.





1 FIRST FLOOR LIGHTING PLAN E1.01 SCALE: 1/4" = 1'-0"

GENERAL LIGHTING PLAN NOTES

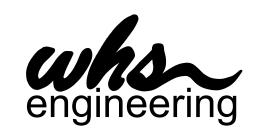
- EXACT LOCATION OF ALL LUMINAIRES, AND EXACT MOUNTING HEIGHT OF ALL PENDANT MOUNTED LUMINAIRES SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ANY ROUGH—INS.
- REFER TO WIRING SCHEDULE ON SHEET **#E0.02** FOR 15A/20A POWER AND LIGHTING BRANCH CIRCUITS FOR ALL CONDUCTOR SIZES TO ACCOUNT FOR VOLTAGE DROP.
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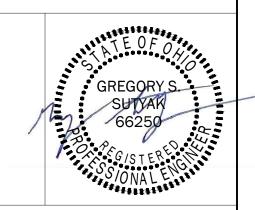
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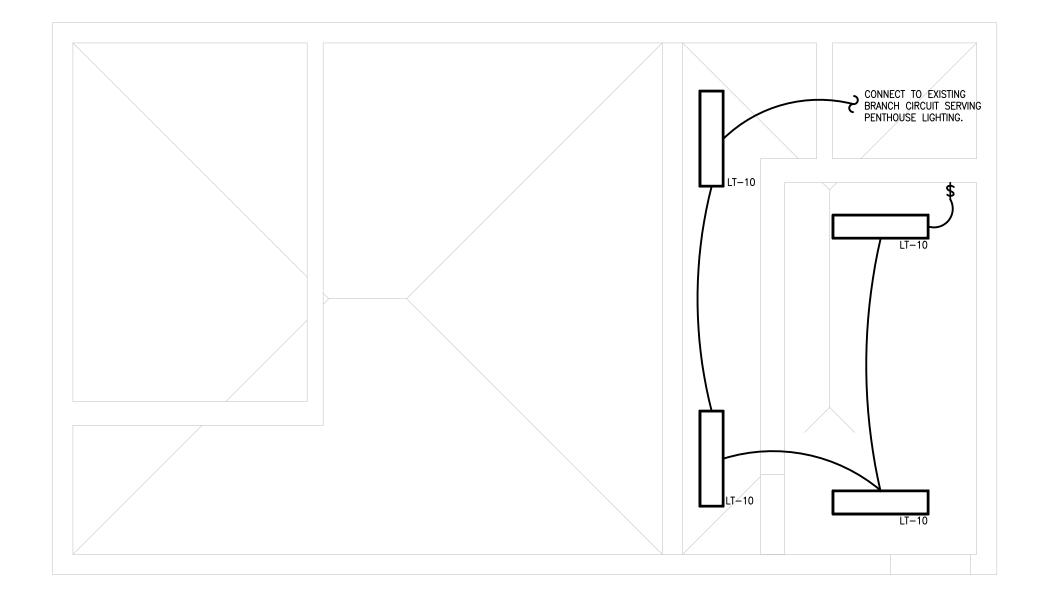
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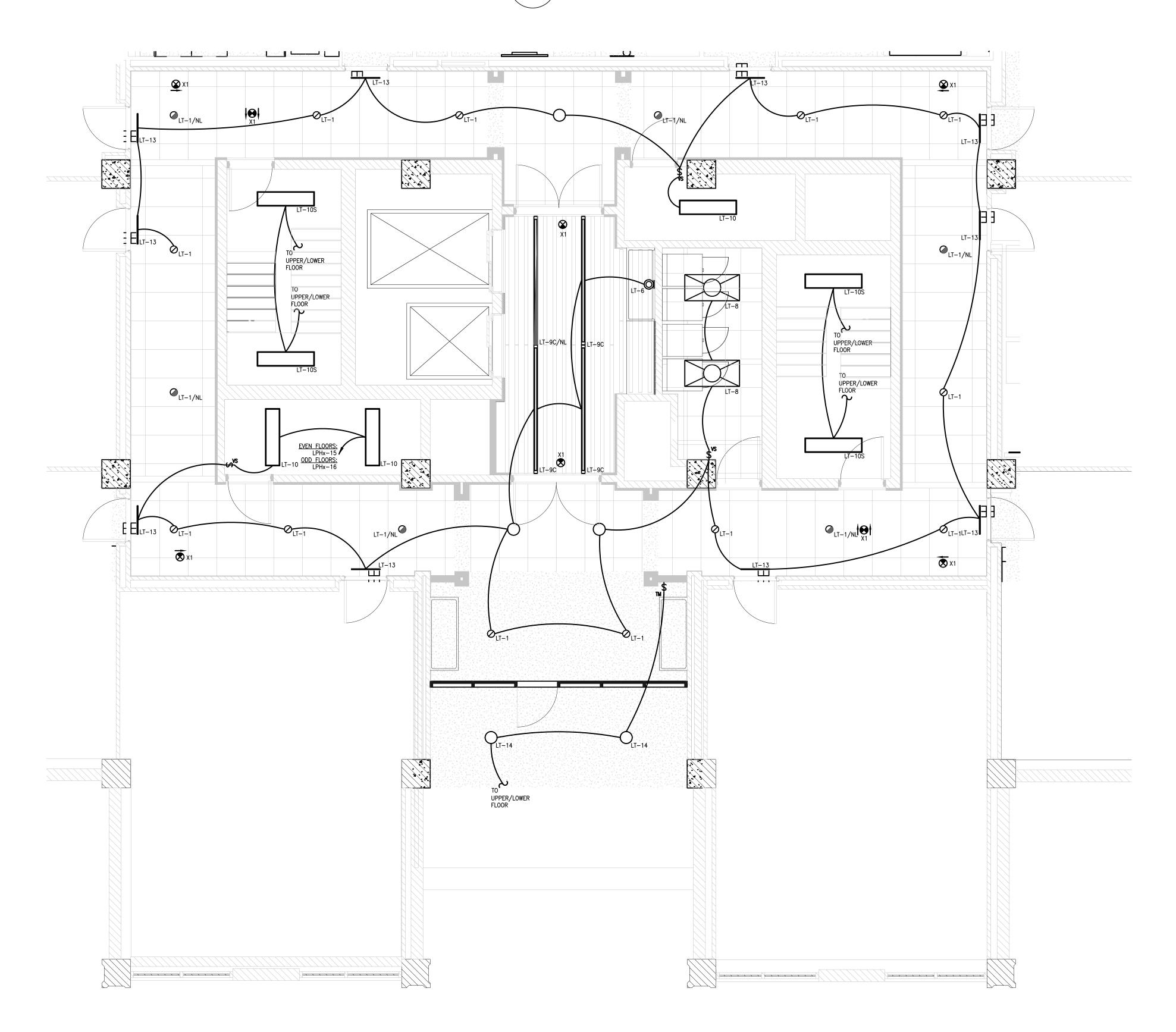
LDA Project No.23.47

FIRST FLOOR LIGHTING PLAN **E1.01**

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING. THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.



2 ELEVATOR PENTHOUSE LIGHTING PLAN SCALE: 1/4" = 1'-0"



1 TYPICAL 2ND THROUGH 15TH FLOOR LIGHTING PLAN E1.02 SCALE: 1/4" = 1'-0"

GENERAL LIGHTING PLAN NOTES

- ALL EXIT SIGNS AND EMERGENCY LUMINAIRES (ON GENERATOR, ALSO MARKED 'NL')
 SHALL BE CONNECTED TO A DEDICATED LIGHTING CIRCUIT IN PANEL EM1 AHEAD
 OF ANY CONTROLS SUCH AS: SWITCHES (DEVICE), OCCUPANCY SENSORS AND/OR
 RELAY CONTROLS. THE LIGHTS SHALL BE CONNECTED AS FOLLOWS:
- •• 2F-8F WEST CORRIDOR: EM-1-#13 •• 2F-8F CENTRAL LOBBY: EM-1-#15
- •• 2F-8F CENTRAL LOBBY: EM-1-#15 •• 2F-8F EAST CORRIDOR: EM-1-#17
- 9F-15F WEST CORRIDOR: EM-1-#19
 9F-15F CENTRAL LOBBY: EM-1-#21
 9F-15F EAST CORRIDOR: EM-1-#23
- EXACT LOCATION OF ALL LUMINAIRES, AND EXACT MOUNTING HEIGHT OF ALL PENDANT MOUNTED LUMINAIRES SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ANY ROUGH—INS.
- REFER TO WIRING SCHEDULE ON SHEET **#E0.02** FOR 15A/20A POWER AND LIGHTING BRANCH CIRCUITS FOR ALL CONDUCTOR SIZES TO ACCOUNT FOR VOLTAGE DROP.
- ALL WIRING SHALL BE IDENTIFIED BY PANELBOARD AND CIRCUIT NUMBER(S) IN ALL CABINETS, JUNCTION BOXES, WIRING TROUGHS, ENCLOSURES, SPLICE OR TERMINATION POINTS, ETC.
- A NEW TYPED PANELBOARD DIRECTORY CARD SHALL BE PROVIDED FOR ALL PANELS INSTALLED OR MODIFIED UNDER THIS CONTRACT. NEW DIRECTORY CARDS SHALL BE LOCATED ON THE INSIDE DOOR OF ASSOCIATED PANELS.



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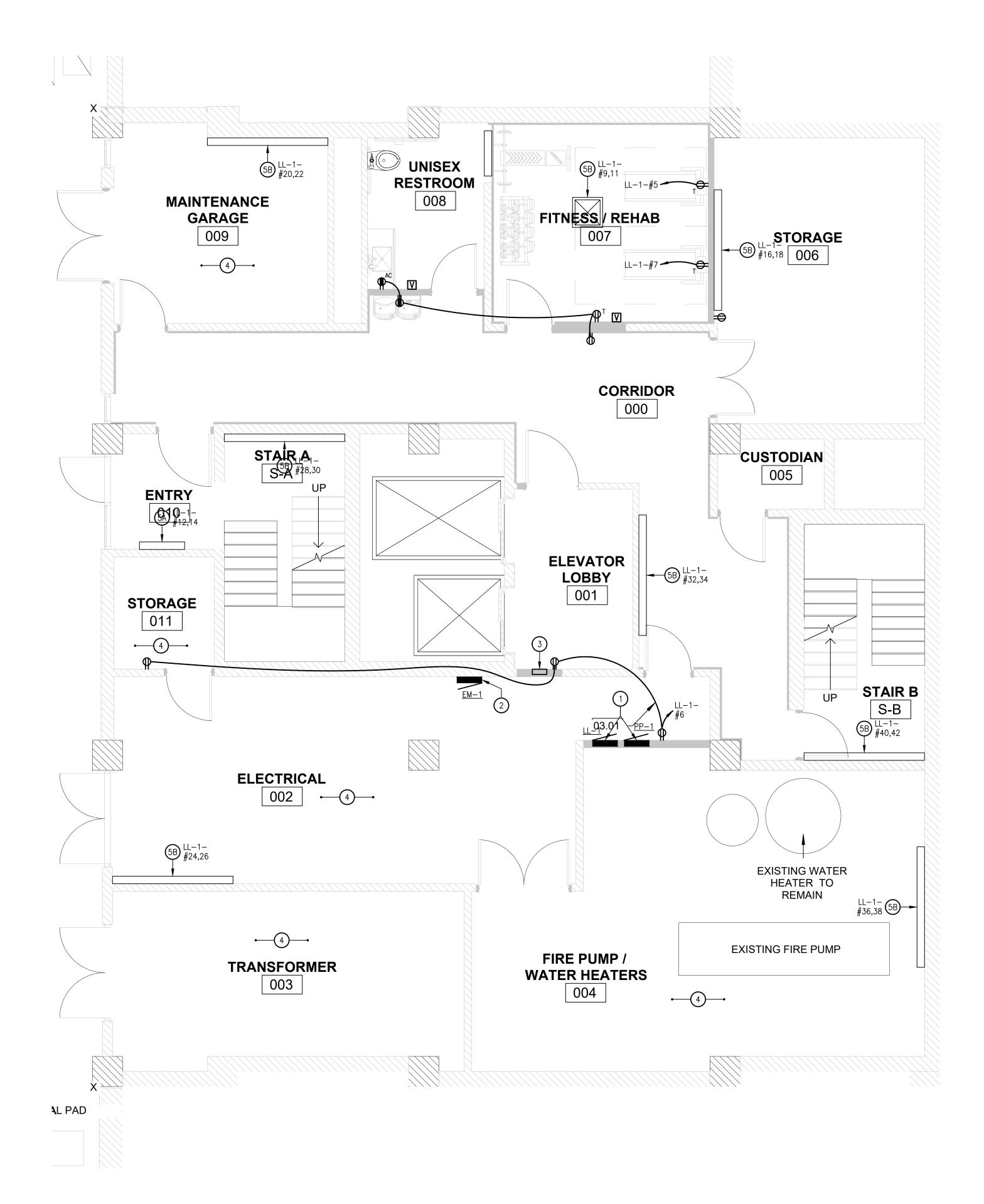
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LDA Project No.23.47

2ND - 15TH FLOOR AND PENTHOUSE LIGHTING PLANS

F1 02

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING. THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.



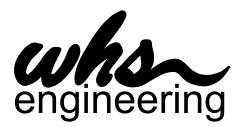




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CODED NOTES

- NEW LOCATION OF CIRCUIT BREAKER PANELS REPLACING EXISTING PANELS OF THE SAME NAME IN A DEMOLISHED WALL ADJACENT TO THE CURRENT LOCATION. REWORK/EXTEND EXISTING FEEDER TO NEW LOCATION OF NEW PANEL. FOR PANEL PP-1, THERE ARE NO REVISED LOADS OR SCOPE OF WORK OTHERWISE. MATCH NEW CIRCUIT BREAKERS AND ALL RATINGS OF PANEL TO MATCH EXISTING.
- 2 LOCATION OF A CIRCUIT BREAKER PANEL TO BE REPLACED WITH NEW, MATCHING EXISTING RATINGS UNLESS NOTED OTHERWISE ON PANEL SCHEDULES. RECONNECT EXISTING FEEDERS.
- 3 LOCATION OF AREA OF RESCUE COMMUNICATION CALL BOX. REFER TO DIAGRAM ON DRAWING #E0.02.
- 4 ALL EXISTING ELECTRICAL DISTRIBUTION EQUIPMENT IN THIS ROOM/AREA, UNLESS SHOWN OTHERWISE, IS EXISTING TO REMAIN. THIS INCLUDES BUT IS NOT LIMITED TO THE FIRE PUMP SERVICE, GENERATOR SERVICE, AND MAIN DISTRIBUTION SERVICE DISCONNECTS.
- BASEBOARD HEATING (0.650KW-208V-10): PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE.
- BASEBOARD HEATING (2.018KW-208V-10): PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE.
- 6 INTERIOR CASSETTE MINI SPLIT UNIT (0.052KW-208V-10): PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE.



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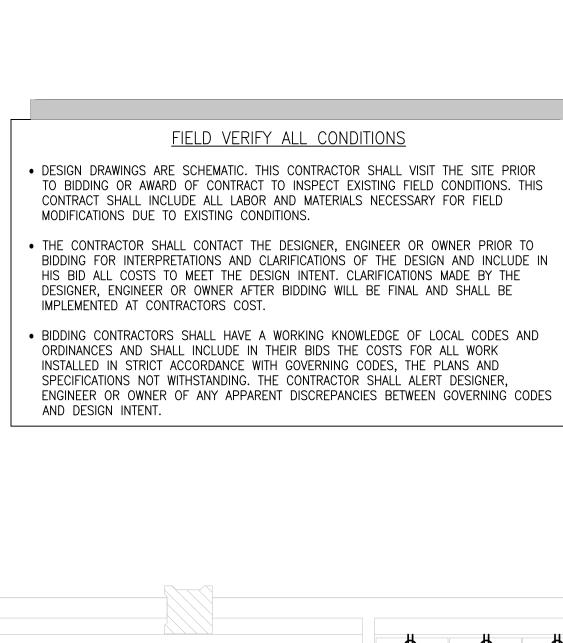
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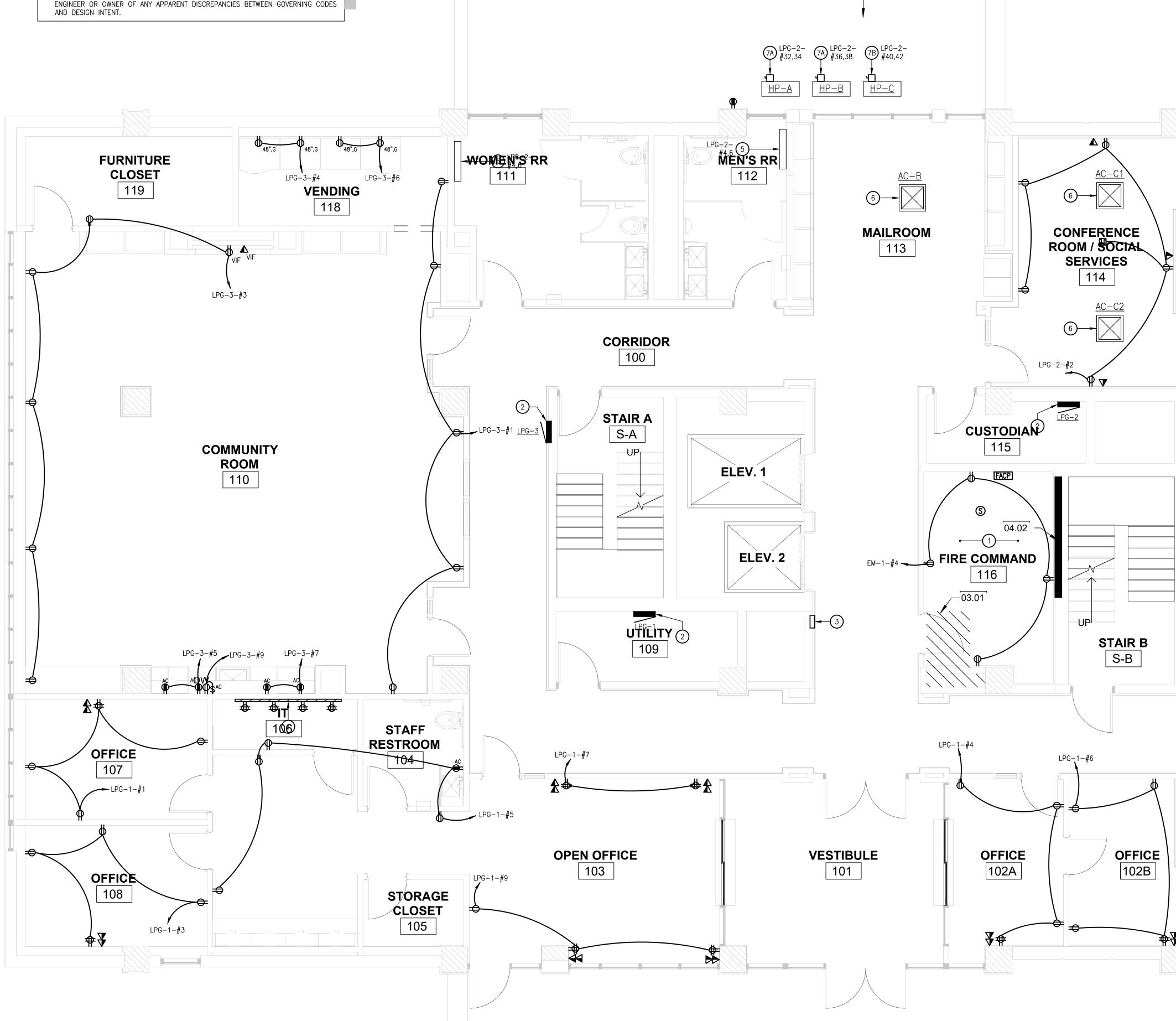
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LOWER LEVEL POWER & COMMUNICATION PLAN

E2.00





1 FIRST FLOOR POWER & COMM. PLAN E2.01 SCALE: 1/4" = 1'-0"

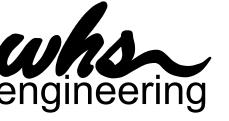
OUTLINE OF BUILDING ABOVE



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CODED NOTES

- LOCATION OF THE FIRE COMMAND CENTER. PROVIDING AND INSTALL ALL NECESSARY EQUIPMENT, DEVICES, ETC. TO ENSURE THE FIRE COMMAND CENTER IS IN FULL COMPLIANCE WITH SECTION 911.1 OF THE 2024 EDITION OF THE OHIO BUILDING CODE. RELOCATE THE EXISTING FIRE ALARM PANEL AND EXTEND ALL WIRING AS REQUIRED TO NEW ROOM. COORDINATE ALL NECESSARY PROVISIONS WITH ARCHITECT
- LOCATION OF A CIRCUIT BREAKER PANEL TO BE REPLACED WITH NEW, MATCHING EXISTING RATINGS UNLESS NOTED OTHERWISE ON PANEL SCHEDULES. RECONNECT EXISTING FEEDERS. ENSURE NEW PANEL LPG-3 IS INSTALLED TO MAINTAIN FIRE RATING OF STAIRWELL.
- DIAGRAM ON DRAWING #E0.02.

 LOCATION OF AREA OF RESCUE COMMUNICATION BASE STATION. REFER TO DIAGRAM ON DRAWING #E0.02.

 PROVIDE A 8' x 4' x 3/4" THICK PLYWOOD BACKBOARD PAINTED WITH FIRE RETARDANT PAINT FOR COMMUNICATION TERMINAL BOARD (TELEPHONE, TELEVISION, ETC.). INCLUDE ALL WORK REQUIRED BY RESPECTIVE UTILITIES. PROVIDE A COPPER GROUNDING BUS AND #6 AWG GROUNDING CONDUCTOR TO SERVICE GROUNDING POINT(S) (REFER TO DETAIL ON DRAWING #E0.02). INCLUDE (4) DOUBLE DUPLEX RECEPTACLES INSTALLED AT THIS TERMINAL BOARD SERVED FROM (4) 20A-120V-1ø DEDICATED CIRCUITS. REFER TO COMMUNICATION RISER DIAGRAM ON DRAWING #E0.02 FOR ADDITIONAL INFORMATION.
- 5 <u>BASEBOARD HEATING (0.650KW-208V-10):</u> PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE.
- 6 INTERIOR CASSETTE MINI SPLIT UNIT (0.052KW-208V-10): PROVIDE A DIRECT CONNECTION. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE. ALL UNITS ON THE FIRST FLOOR SHALL BE CONNECTED TO THE SAME CIRCUIT BREAKER (PANEL LPG-2, CIRCUIT #39,41).
- TA EXTERIOR MINI SPLIT UNIT (2.475KW-208V-10): PROVIDE A 30A-2P, 240V, NEMA 3R RATED DISCONNECT SWITCH AND MOUNT AT UNIT.

 WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 15A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE. BRANCH TO FINAL CONNECTION VIA FLEXIBLE METALLIC CONDUIT.
- TB EXTERIOR MINI SPLIT UNIT (3.307KW-208V-10): PROVIDE A 30A-2P, 240V, NEMA 3R RATED DISCONNECT SWITCH AND MOUNT AT UNIT. WIRING SHALL BE 2#12, 1#12(G), 3/4" TO THE 20A-2P CIRCUIT BREAKER SHOWN ADJACENT TO PLAN NOTE. BRANCH TO FINAL CONNECTION VIA FLEXIBLE METALLIC CONDUIT.



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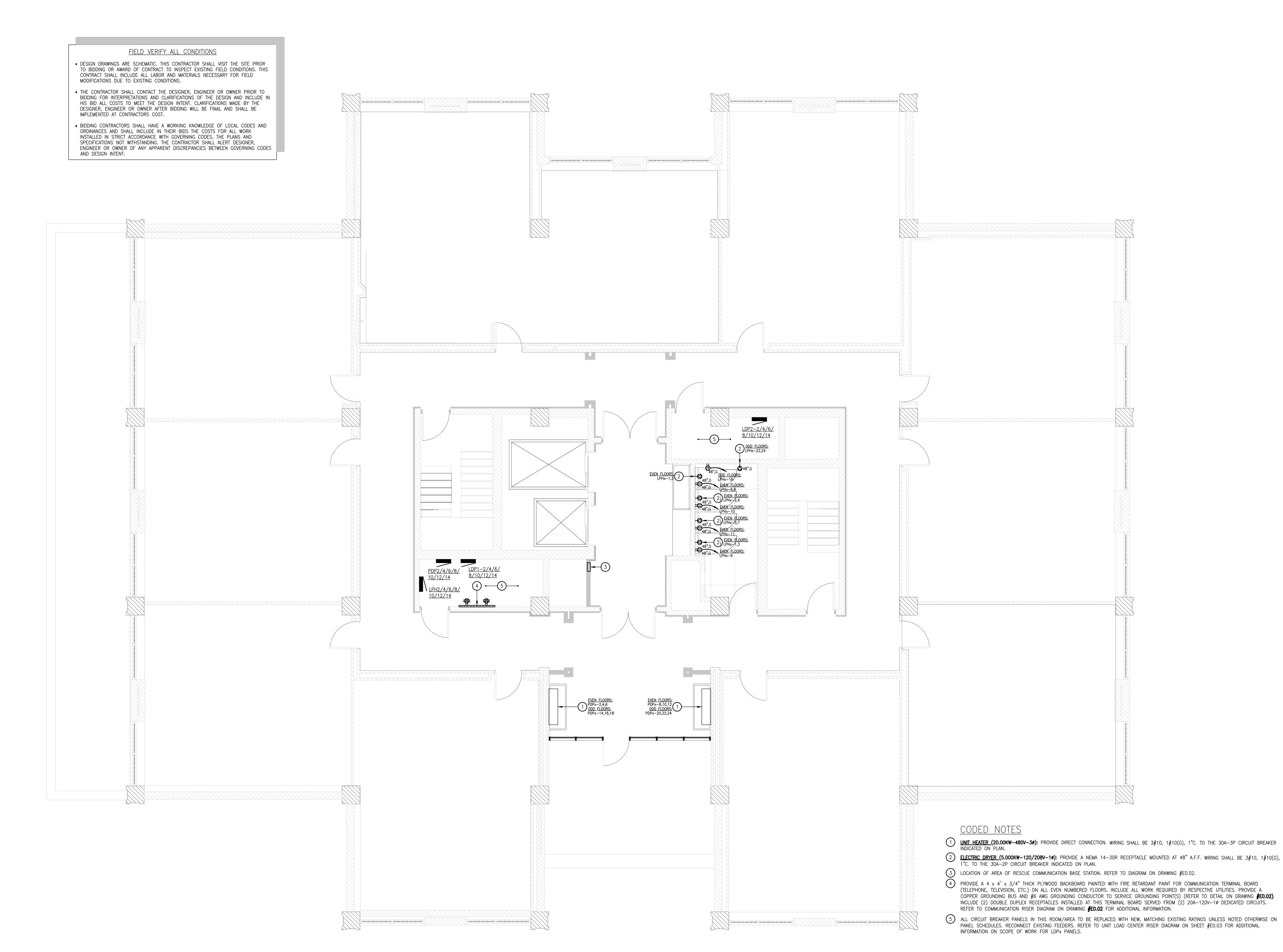
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FIRST FLOOR POWER & COMMUNICATION PLAN

E2.0







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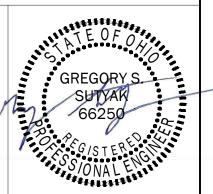
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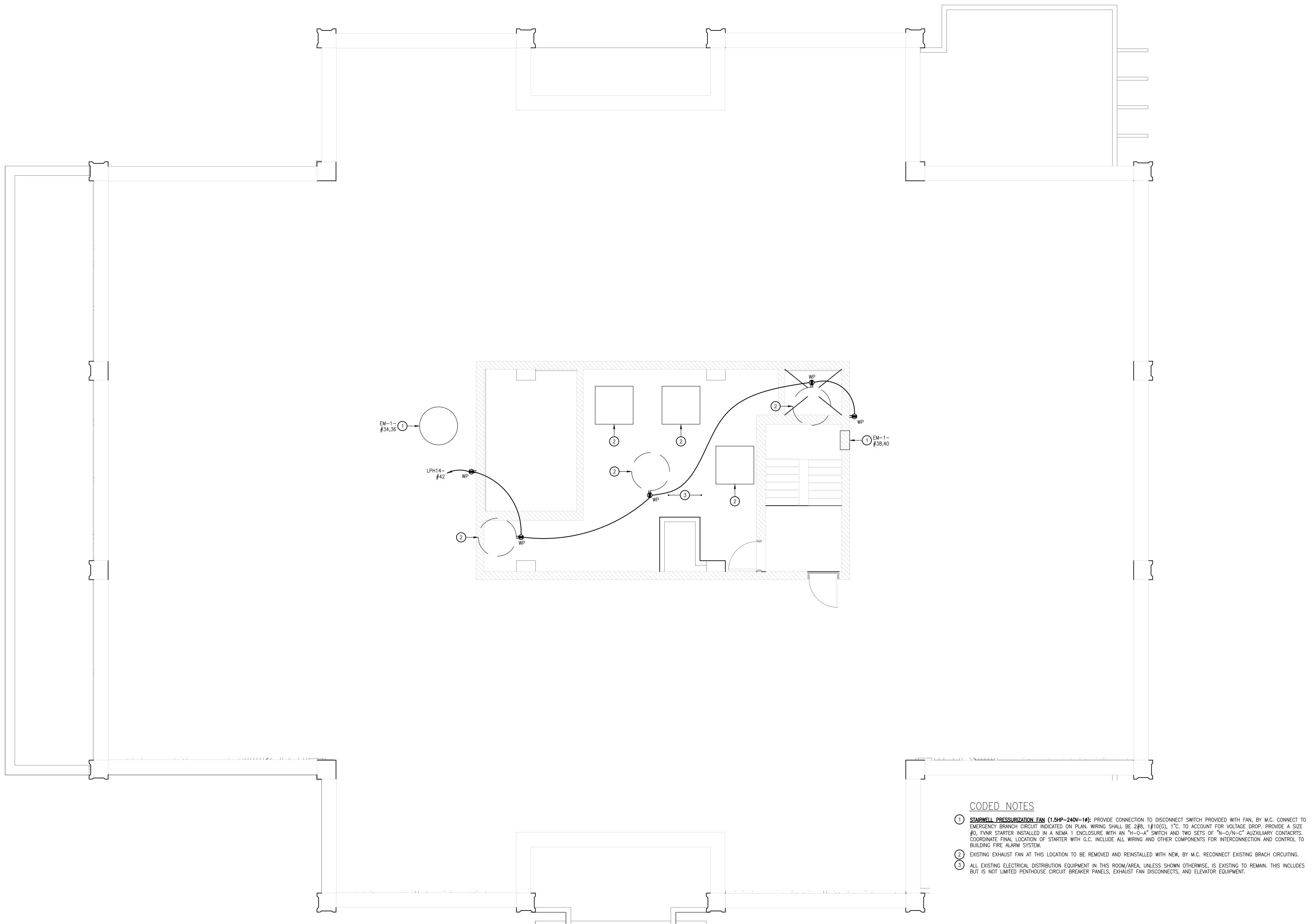
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2ND - 15TH FLOOR POWER & COMMUNICATION PLAN

F2 02



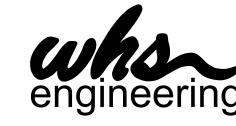
1 PENTHOUSE AND ROOF LEVEL POWER & COMM. PLAN

E2.03 SCALE: 1/4" = 1'-0"

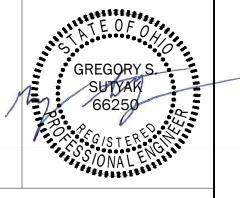
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Cincinnati Metropolitan Housing
Authority

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LDA Project No.23.47

PENTHOUSE & ROOF POWER & COMMUNICATION PLAN

E2.03

GENERAL "DWELLING UNIT" ELECTRICAL CONSTRUCTION NOTES

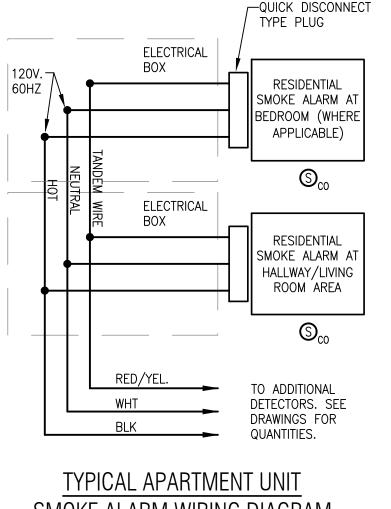
- A. EQUIPMENT AND MATERIALS USED ON THIS PROJECT SHALL BE NEW AND U.L. LABELED FOR THE APPLICATION.
- B. WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF LOCAL AND STATE CODES AS WELL AS THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), AS INTERPRETED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
- MATERIAL OR LABOR WHICH IS NOT INDICATED ON THE DRAWINGS OR SPECIFICATION BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK SHALL BE PROVIDED. DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS SUPPLEMENTING EACH OTHER.
- VISIT THE SITE OF THE WORK AND BECOME FAMILIAR WITH CONDITIONS AFFECTING THE INSTALLATION. SUBMISSION OF A PROPOSAL SHALL PRESUPPOSE KNOWLEDGE OF SUCH CONDITIONS AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED WHERE EXTRA LABOR OR MATERIALS ARE REQUIRED BECAUSE OF IGNORANCE OF THESE CONDITIONS.
- WHERE LIGHT SWITCHES ARE SHOWN ADJACENT TO ONE ANOTHER, THEY SHALL BE GROUPED TOGETHER INTO A 2, 3, OR 4 GANG DEVICE BOX WITH COMMON COVERPLATE.
- BACK BOXES IN DEMISING WALLS SHALL NOT BE ROUGHED-IN BACK TO BACK IN THE SAME STUD SPACE. PROVIDE FIRE-STOPPING AS REQUIRED TO MAINTAIN FIRE RATING.
- G. ELECTRICAL BOXES, ELECTRICAL EQUIPMENT, ETC. MUST BE FIRESTOPPED UNDER THE FOLLOWING CONDITIONS: BOXES LARGER THAN 16 SQUARE INCHES, IF HORIZONTAL SPACING BETWEEN BOXES IS LESS THAN 24 INCHES. WHEN MULTIPLE BOXES ARE LOCATED IN ONE STUD CAVITY OR IF THE AGGREGATE OF ALL BOXES EXCEEDS 100 SQUARE INCHES PER 100 SQUARE FEET, REFER TO LISTED SYSTEM DETAILS AND APPLICABLE LOCAL BUILDING CODE REQUIREMENTS.
- I. WHERE ELECTRICAL EQUIPMENT, OUTLET BOXES, ETC. ARE INSTALLED IN A FIRE RATED ASSEMBLY AND AS REQUIRED UNDER THE PARAMETERS LISTED ABOVE, FIRE (PUTTY) PADS SHALL BE PROVIDED TO MAINTAIN THE INTEGRITY OF THE FIRE RATED ASSEMBLY.
- WHEN ELECTRICAL EQUIPMENT, OUTLET BOXES, ETC. ARE INSTALLED IN A STUD PARTITION WHERE ADJACENT ROOMS ARE SIMILAR, THE OUTLETS SHALL BE STAGGERED AND FIRE RATED (PUTTY) PADS SHALL ALSO BE INSTALLED.
- FIRE RATED (PUTTY) PADS SHALL BE 3M "FIRE BARRIER MOLDABLE PUTTY PADS MPP+". FIRE RATED PRODUCTS SPECIALTIES CORPORATION TYPE "FRPS" ENCLOSURES, OR APPROVED EQUAL PRIOR TO PLACING BASE BID PRICE.
- K. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE FIRE RATING OF ALL CEILINGS, STRUCTURES, ETC. IN COMPLIANCE WITH ALL STANDARDS. WHERE BACK BOXES ARE REQUIRED TO BE INSTALLED TO SERVE LIGHT FIXTURES IN FIRE RATED CEILINGS, FIRE (PUTTY) PADS SHALL BE PROVIDED.
- REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING LOCATION AND HEIGHT OF ALL WIRING DEVICES.
- M. COORDINATE THE EXACT LOCATION OF ALL RECEPTACLES AT CABINET LOCATIONS WITH G.C. CUT AND PATCH AS DIRECTED BY THE G.C.
- N. ALL DEVICES SHALL BE RESIDENTIAL GRADE, 15/20 AMP DEVICES. RECEPTACLES SHALL BE TAMPER RESISTANT TYPE IN COMPLIANCE WITH N.E.C. #406.12.
- O. SMOKE ALARMS MUST BE INSTALLED FREE OF DUST OR ANY OTHER CONTAMINATION. LOCATE A MINIMUM OF 3'-0" FROM ALL SUPPLY AIR DIFFUSERS.
- P. IN ALL SINGLE, OR, MULTI-FAMILY DWELLING UNITS, RECEPTACLES SHALL BE LOCATED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE N.E.C. FLECTRICAL EQUIPMENT, DEVICES, ETC. SHALL BE INSTALLED AND SPACED AS DIRECTED BY THE N.E.C. WITH SPECIFIC ATTENTION TO ARTICLE #210.52(A) THROUGH #210.52(I).
- Q. MULTI STATION SMOKE DETECTORS SHALL BE PROVIDED WITH TWO SOURCES OF POWER (120 VOLT AND BATTERY BACK-UP) IN ACCORDANCE WITH N.F.P.A. REQUIREMENTS.
- R. ALL PENETRATIONS IN FIRE RATED FLOORS, SHAFTS AND WALLS SHALL BE FIRE STOPPED. THE INSTALLATION OF FIRE STOPPING MATERIALS SHALL CONFORM TO THE LATEST FIRE RESISTANCE DIRECTORY AS PUBLISHED BY U.L.
- . ALL RECEPTACLES SERVING KITCHEN COUNTER TOP SURFACES SHALL BE G.F.C.I. PROTECTED IN ACCORDANCE WITH N.E.C. ARTICLE #210.8(A)(6).
- V. ALL RECEPTACLES SHALL LOCATED WITHIN 6'-0" OF THE OUTSIDE OF ALL SINKS, SHOWER STALLS, AND, BATH TUBS SHALL BE G.F.C.I. PROTECTED IN ACCORDANCE WITH N.E.C. ARTICLE #210.8(A)(7).
- W. WHERE G.F.C.I. DEVICES ARE INSTALLED TO SERVE LARGE APPLIANCES, OR, APPLIANCES BELOW COUNTERTOP SURFACES, THE G.F.C.I DEVICE SHALL BE READILY ACCESSIBLE AS REQUIRED BY N.E.C. ARTICLE #422.5 AND AS DEFINED BY N.E.C. ARTICLE #100. PROVIDE G.F.C.I. TYPE CIRCUIT BREAKERS WHERE APPLICABLE. PROVIDE PROPER IDENTIFICATION AT RELATED DEVICE LOCATIONS INDICATING "G.F.C.I. PROTECTED".
- . PROVIDE ARC-FAULT PROTECTION FOR APPLICABLE BRANCH CIRCUITS IN ACCORDANCE WITH N.E.C. ARTICLE #210.12(A).

				DWELLING UNIT LUMINAIRE	SCHEDULE	
TYPE	LAMP	WATTAGE	VOLTAGE	DESCRIPTION	CATALOG NUMBER	EQUIVALENT MANUFACTURER/REMARKS
LT-A	LED 3000K 1000L	15	120	11" SURFACE MOUNT PUCK LIGHT WITH WHITE FINISH.	LUMENCIA #LL43501-11-WH-30K	ENERGY-STAR LISTED, DIMMABLE.
LT-B	LED 3000K 1050L	11	120	7" SURFACE MOUNT PUCK LIGHT — WET RATED WITH WHITE FINISH.	LUMENCIA #LL62-1710-7R-LED-5MCT-WH	CENTER ON SHOWER/TUB; ENERGY-STAR LISTED, DIMMABLE.
LT-C	-	-	-	10" ISLAND PENDANT WITH WHITE FINISH.	CDS LIGHTING #PEARL-H-10-3CCCT-USV	CENTER ON ISLAND; INSTALL ONLY IN ANSI TYPE A UNITS.
LT-D	LED 3000K 2400L	31	120	24" VANITY WALL SCONCE WITH CHROME FINISH.	KUZCO #LATITUDE VL47225-CH	CENTER ON VANITY & MIRROR; ENERGY-STAR, DIMMABLE.
LT-F	LED 3000K	-	120	TAPE LIGHTING OVER SINK	KLUS #	ENERGY-STAR LISTED, DIMMIBLE.

LUMINAIRE SCHEDULE GENERAL NOTES:

INDICATE ANY ADDITIONS OR DEDUCTIONS TO THE CONTRACT PRICE WITH THE SUBSTITUTION SUBMITTAL AND ON THE BID FORM.

- . VERIFY ALL LUMINAIRE COLORS, TRIMS, LENGTHS, ETC. WITH THE ARCHITECT/OWNER/DEVELOPER/DESIGNER PRIOR TO PLACING FINAL PURCHASE ORDERS. SUBMISSION OF SHOP DRAWINGS WILL BE INTERPRETED AS HAVING BEEN COORDINATED WITH THE AFOREMENTIONED PARTIES.
- . PROVIDE ALL LENGTHS, FEEDS, ACCESSORIES, CONNECTORS, WIRING, POWER SUPPLIES, DRIVERS, ETC. FOR A COMPLETE INSTALLATION. VERIFY THE COMPLETE BILL OF MATERIAL WITH MANUFACTURER'S REPRESENTATIVE AND ENSURE ALL EQUIPMENT IS INCLUDED IN BID PRICE. COORDINATE INSTALLATION WITH ARCHITECTURAL DETAILS.
- . VERIFY FINAL LUMINAIRE LOCATIONS WITH OTHER CEILING MOUNTED EQUIPMENT SUCH AS DIFFUSERS, FIRE ALARM DEVICES, SPEAKERS, ETC., WITH ARCHITECTURAL REFLECTED CEILING PLANS.
- . VERIFY EXACT MOUNTING HEIGHT AND LOCATIONS OF ALL WALL MOUNTED AND PENDANT MOUNTED LUMINAIRES WITH ARCHITECTURAL PLANS AND ELEVATIONS PRIOR TO ROUGH—IN.
- . ANY PROPOSED ALTERNATE LUMINAIRES SHALL BE APPROVED BY THE **ARCHITECT/OWNER/DEVELOPER/DESIGNER** PRIOR TO FINAL BID PRICING. . SHOULD THE CONTRACTOR PROPOSE TO FURNISH MATERIALS, EQUIPMENT, AND DEVICES, OTHER THAN THOSE SPECIFIED AND LISTED, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR SUBSTITUTIONS, TO THE ENGINEER AT LEAST TEN (10) BUSINESS DAYS PRIOR TO BID OPENING. THE REQUEST SHALL BE AN ALTERNATE TO THE ORIGINAL BID AND SHALL INCLUDE A COMPLETE SPECIFICATIONS CUT SHEET SUBMITTAL AS OUTLINED IN THE SPECIFICATIONS, COMPLETE WITH DESCRIPTIVE (MANUFACTURER, BRAND NAME, CATALOG NUMBER, ETC.) AND TECHNICAL DATA FOR ALL ITEMS.
- 7. ANY FINAL SELECTED/INSTALLED LIGHT FIXTURES WITHOUT A SPECIFICATION (OR TO BE SPECIFIED LATER BY ARCHITECT/OWNER/DEVELOPER/DESIGNER) LISTED IN THIS SCHEDULE SHALL NOT EXCEED THE WATTAGE LISTED, SHALL NOT HAVE A LOWERED DELIVERED LUMENS (IF LISTED), AND SHALL MATCH THE COLOR TEMPERATURE (IF LISTED).



SMOKE ALARM WIRING DIAGRAM

TYPICAL APARTMENT SMOKE DETECTOR WIRING DIAGRAM NOTES:

- 1. PROVIDE ALL WIRING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, WIRING DIAGRAM AND ALL STATE AND LOCAL CODES. WIRE STROBE DEVICES SUCH THAT TANDEM DEVICES WILL INITIATE THE RELAYS OF THE "NON-ALARMING" DEVICES.
- 2. ALL ALARMS IN A TANDEM INSTALLATION MUST BE CONTROLLED BY THE SAME CIRCUIT BREAKER.
- 3. THE CIRCUIT BREAKER PROVIDING 120 VOLT POWER SHALL BE AFCI
- 4. ALL SMOKE ALARM(S) SHALL BE GENTEX #S1209.
- 5. STROBE DEVICES SHALL BE 120 VOLT, GENTEX #GXS-120177WW.
- 6. ALL APARTMENTS SHALL BE PROVIDED WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION.
- 7. COMBINATION SMOKE AND CARBON MONOXIDE ("CO") ALARM SHALL BE GENTEX #GN-503F.

	TYPICAL UN	IIT APPLIAN	ICE/E	QUIPMEI	NT CONNECTIO	N SCH	EDULE	
	ADDLIANCE/FOLIIDMENT DECODIDION	VOLTAGE/	IZM		CONNECTION TYPE		WIDE (CONDUIT CITE	NOTEC
#	APPLIANCE/EQUIPMENT DESCRIPTION	PHASE	KW	NEMA TYPE	DISCONNECT/SWITCH	HEIGHT	WIRE/CONDUIT SIZE	NOTES
1	REFRIGERATOR	120V-1ø	0.600	5-20R	_	54"	2#12, 1#12(G), 3/4°C.	1
2	ELECTRIC RANGE/OVEN	120/ 208 V-1ø	8.000	14-50R	_	VERIFY	3#6, 1#10(G), 1"C.	1
3A	RANGE HOOD (ADA UNITS)	120V-1ø	0.480	_	DIRECT	VERIFY	2#12, 1#12(G), 3/4°C.	1,2
3B	RANGE HOOD/MICROWAVE	120V-1ø	1.680	5-20R	_	VERIFY	2#12, 1#12(G), 3/4"C.	1
4	THRU-WALL A/C UNIT	208V-1ø	1.060	6-15R	_	18"	2#12, 1#12(G), 3/4"C.	1
5A	2.5 KW BASEBOARD HEATER	208V-1ø	2.500	_	INTEGRAL	FLOOR	2#12, 1#12(G), 3/4"C.	1
5B	2.0 KW BASEBOARD HEATER	208V-1ø	2.000	_	INTEGRAL	FLOOR	2#12, 1#12(G), 3/4"C.	1
5C	1.25 KW BASEBOARD HEATER	208V-1ø	1.250	_	INTEGRAL	FLOOR	2#12, 1#12(G), 3/4"C.	1
5D	0.5 KW BASEBOARD HEATER	120V-1ø	0.500	_	INTEGRAL	FLOOR	2#12, 1#12(G), 3/4"C.	1
6	TRANSFER FAN	120V-1ø	0.055	-	INTEGRAL	CEILING	2#12, 1#12(G), 3/4"C.	1,3

APPLIANUE/EQUIPIVIENT GUNNEGHUN SCHEDULE NOTES. 1. VERIFY ALL EQUIPMENT SPECIFICATIONS (VOLTAGE, CONNECTION, ETC.) WITH OWNER AND/OR ARCHITECT PRIOR TO PLACING PURCHASE ORDER FOR DEVICES AND ROUGH-IN. VERIFY THE EXACT MOUNTING HEIGHT WITH ARCHITECTURAL ELEVATIONS, MILLWORK, ETC. PRIOR TO

 2 PROVIDE A REDUNDANT (3-WAY) SWITCH IN ADA UNITS FOR CONTROL OF RANGE HOOD. SWITCH SHALL BE LOCATED IN ADA-COMPLIANT LOCATION. MODIFY RANGE HOOD WIRING AS REQUIRED (REFER TO HOOD UNIT WIRING DIAGRAM) FOR ADDITIONAL CONTROL LOCATION. 3. CONNECT TO INTEGRAL DISCONNECT SWITCH AND CONNECT TO APARTMENT UNIT LIGHTING CIRCUIT. VERIFY EXACT REQUIREMENTS WITH EQUIPMENT. FAN TO BE CONTROLLED BY DEDICATED WALL SWITCH. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

TYPICAL UNIT 1A AND 1B ELE	CTRIC S	SERVICE	CALCULA	TION
DESCRIPTION	AREA	LOAD	TOTAL WC	N.E.C. ARTICLE
RECEPTACLES/LIGHTING	750	3	2250	220.82(B)(1)
SMALL APPLIANCE CIRCUITS (2 x 1500)	-	3000	3000	220.82(B)(2)
REFRIGERATOR	-	600	600	220.82(B)(3)
ELECTRIC RANGE/OVEN	-	8000	8000	220.82(B)(3)
RANGE HOOD/MICROWAVE	-	1680	1680	220.82(B)(3)
TOTAL CONNECTED GENERAL LOAD	-	-	15530	-
100% OF FIRST 10kW + 40% OF REMAINING		_	12212	220.82(B)
PTAC UNIT	-	1123	1123	-
BASEBOARD HEATING	-	5492	5492	-
TOTAL CONNECTED HVAC LOAD	-	-	6615	-
65% OF SPACE HEATING	-	-	3570	220.82(C)(4)
TOTAL DEMAND LOAD	-	-	15,782 W	-
AMPS AT 120/208V-1Ø-3W			75.9 A	

		TYPICAL DWELL	ING	UN	IT PA	NEL SCHEDULE			
	NAME: TPA/B				VOLTAG	<u>GE:</u> 120/ 208 -1ø-3W			
	MINIMUM KAIC: 10				TYPE: FLUSH MOUNTED				
	MCB: 100 A MLO				KWD: SEE ADJACENT CALC.				
	CKT.	DESCRIPTION	C/B	Ø	C/B	DESCRIPTION	CKT.		
A,G	1	SMALL APPLIANCE REC.	20/1	Α	15/1	REFRIGERATOR	2	A,K	
A,G	3	SMALL APPLIANCE REC.	20/1	В	E0 /0	ELECTRIC RANGE	4	G	
Α	5	LIVING REC.	15/1	Α	30/2	ELECTRIC RAINGE			
G	7	BATHROOM REC.	20/1	В	20/1	RANGE HOOD/MICRO.	8	A,K	
Α	9	LIGHTING/S.D.	15/1	Α	_	SPACE	10		
Α	11	BEDROOM REC.	15/1	В	_	SPACE	12		
	13	BATHROOM BASEBOARD	15/1	Α	15/2 THRU-WALL AC	TUDU WALL AC	14		
	15	SPACE	-	В	13/2	THRU-WALL AC	16		

TYPICAL DWELLING UNIT PANEL SCHEDULE NOTES

17 BEDROOM BASEBOARD

19 HEATING

A: PROVIDE AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) TYPE CIRCUIT BREAKER FOR THIS BRANCH CIRCUIT. <u>G:</u> Provide ground—fault circuit interrupter (gfci) protection for this branch

CIRCUIT. PROVIDE A GFCI-TYPE CIRCUIT BREAKER IF GFCI-TYPE RECEPTACLES/DEVICES

15/2 15/2 LIVING BASEBOARD HEATING

NIT PANEL SCHEDULE

<u>VOLTAGE:</u> 120/**208**-1ø-3W

TYPE: FLUSH MOUNTED

15/1 REFRIGERATOR

50/2 ELECTRIC RANGE

| 15/2 | THRU-WALL AC

15/2 THRU-WALL AC

15/2 15/2 LIVING BASEBOARD HEATING

15/2 LIVING BASEBOARD HEATING

20/1 RANGE HOOD/MICRO.

KWD: SEE ADJACENT CALC.

C/B DESCRIPTION

ARE NOT PROVIDED DOWNSTREAM ON THIS BRANCH CIRCUIT. <u>K:</u> THIS CIRCUIT BREAKER SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) TYPE IF THE INSTALLED RECEPTACLE IS LOCATED WITHIN 6'-0" OF THE KITCHEN SINK.

TYPICAL UNIT 1C ELECTRIC SERVICE CALCULATION						
DESCRIPTION	AREA	LOAD	TOTAL WC	N.E.C. ARTICLE		
RECEPTACLES/LIGHTING	900	3	2700	220.82(B)(1)		
SMALL APPLIANCE CIRCUITS (2 x 1500)	-	3000	3000	220.82(B)(2)		
REFRIGERATOR	-	600	600	220.82(B)(3)		
LECTRIC RANGE/OVEN	-	8000	8000	220.82(B)(3)		
RANGE HOOD/MICROWAVE	-	1680	1680	220.82(B)(3)		
OTAL CONNECTED GENERAL LOAD	-	-	15980	-		
00% OF FIRST 10kW + 40% OF REMAINING	-	-	12392	220.82(B)		
PTAC UNIT	-	2246	2246	-		
ASEBOARD HEATING	-	9546	9546	-		
OTAL CONNECTED HVAC LOAD	-	-	11792	-		
5% OF SPACE HEATING	-	-	6205	220.82(C)(4)		
OTAL DEMAND LOAD	-	-	18,597 W	-		
AMPS AT 120/208V-1Ø-3W			89.4 A			

0

- PROVIDE AN 8-WAY,

SPLITTER

—— PRIMEX #125-1035 8-PORT,

CATEGORY 6 DATA/VOICE MODULE

CORRECT QUANTITY FOR TERMINATION

— PRIMEX #125-1355

SINGLE GANG BOX,

GENERAL PURPOSE

CONNECT TO LOCAL

ELECTRICAL INSTALLATION KIT

WITH DUPLEX RECEPTACLE.

CONNECTOR AND FACEPLATE.

RECEPTACLE CIRCUIT FOR

SERVICE TO DEVICE/CABINET

TERMINATION BOARD. PROVIDE

OF ALL APARTMENT CABLES.

TYPICAL UNIT COMMUNICATION CABINET DETAIL

(TOTAL OF ONE LOCATION PER UNIT)

1GHZ PASSIVE VIDEO

PRIMEX "VERGE" #P2100 FLUSH

MOUNTED COMPACT STRUCTURED

"INSIDE" DIMENSIONS ARE 14"W

MEDIA NON-METALLIC

X 4"D X 21"H.

ENCLOSURE. APPROXIMATE

PROVIDE A 1" CONDUIT TO **NEAREST** RESPECTIVE TERMINAL BOARD LOCATED ON

(COORDINATE WITH OWNER). INCLUDE

EACH FLOOR. CONDUIT MAY BE STUBBED

INTO CORRIDOR ACCESSIBLE CEILING SPACE

(1)RG/6 COAXIAL CABLE AND (1)CAT6 CABLE

TO RESPECTIVE TERMINAL BÒARD ON EACH

WALLS. CLEARLY IDENTIFY CABLES AT EACH

END WITH RESPECTIVE APARTMENT NUMBER.

FLOOR. INCLUDE ALL FIRE STOPPING TO

MAINTAIN THE INTEGRITY OF ALL RATED

	TYPICAL DWELLING U								
E.C. ARTICLE									
220.82(B)(1)	NAME: TPC								
220.82(B)(2)	MINIMUM KAIC: 10								
220.82(B)(3)		MCB: 100 A MLO							
220.82(B)(3)		CKT.							
220.82(B)(3)		CKI.	DESCRIPTION	C/B	l				
-	A,G	1	SMALL APPLIANCE REC.	20/1	A				
220.82(B)	A,G	3	SMALL APPLIANCE REC.	20/1	Е				
	Α	5	LIVING REC.	15/1	A				
-	G	7	BATHROOM REC.	20/1	Е				
-	Α	9	LIGHTING/S.D.	15/1	4				
220.82(C)(4)	Α	11	BEDROOM REC.	15/1	Е				
		13	BATHROOM BASEBOARD	15/1	A				
-		15	SPACE	_	Е				
		17	BEDROOM BASEBOARD	15/2	A				
		19							
		21			_				

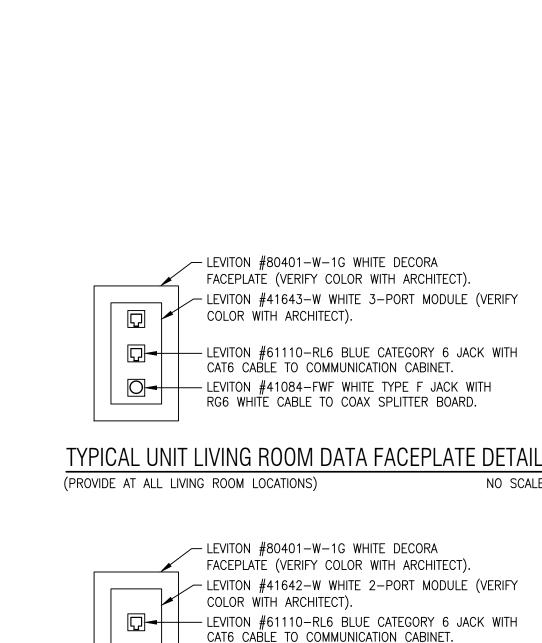
YPICAL DWELLING UNIT PANEL SCHEDULE NOTES

²¹ BEDROOM BASEBOARD

23 HEATING

A: PROVIDE AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) TYPE CIRCUIT BREAKER FOR THIS BRANCH CIRCUIT. G: PROVIDE GROUND—FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION FOR THIS BRANCH

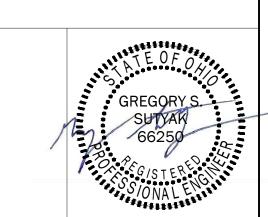
CIRCUIT. PROVIDE A GFCI-TYPE CIRCUIT BREAKER IF GFCI-TYPE RECEPTACLES/DEVICES ARE NOT PROVIDED DOWNSTREAM ON THIS BRANCH CIRCUIT. K: THIS CIRCUIT BREAKER SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) TYPE IF THE INSTALLED RECEPTACLE IS LOCATED WITHIN 6'-0" OF THE KITCHEN SINK.



TYPICAL UNIT BEDROOM DATA FACEPLATE DETAIL (PROVIDE AT ALL BEDROOM LOCATIONS)

LEVITON #41084-FWF WHITE TYPE F JACK WITH

RG6 WHITE CABLE TO COAX SPLITTER BOARD.



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DESCRIPTION

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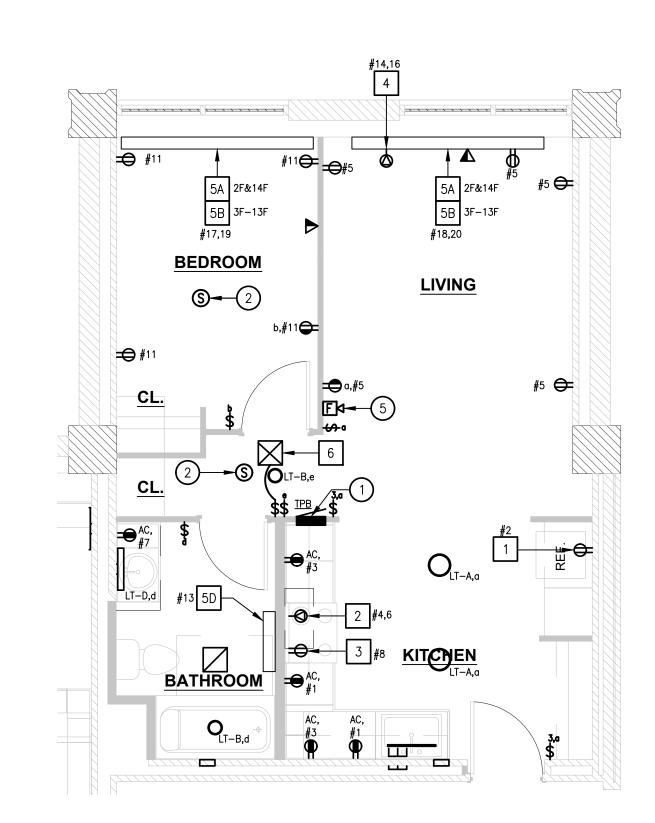
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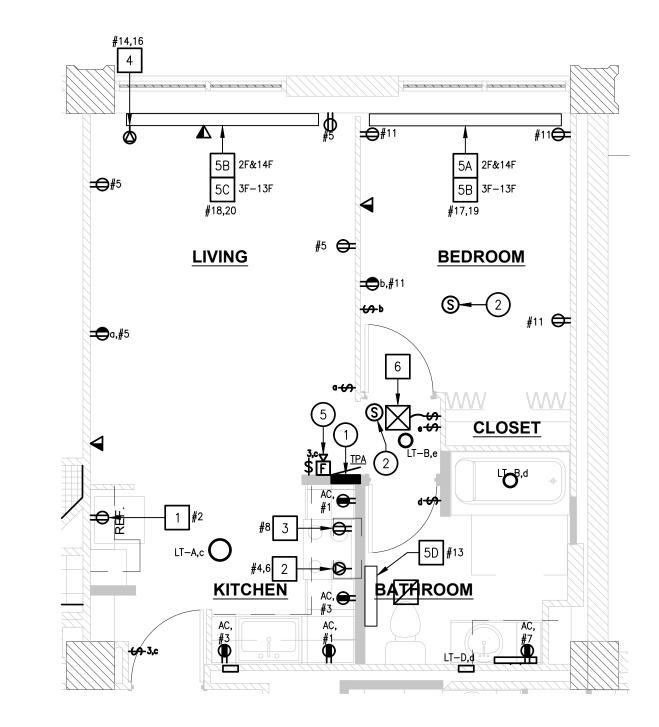
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NO SCALE

NO SCALE

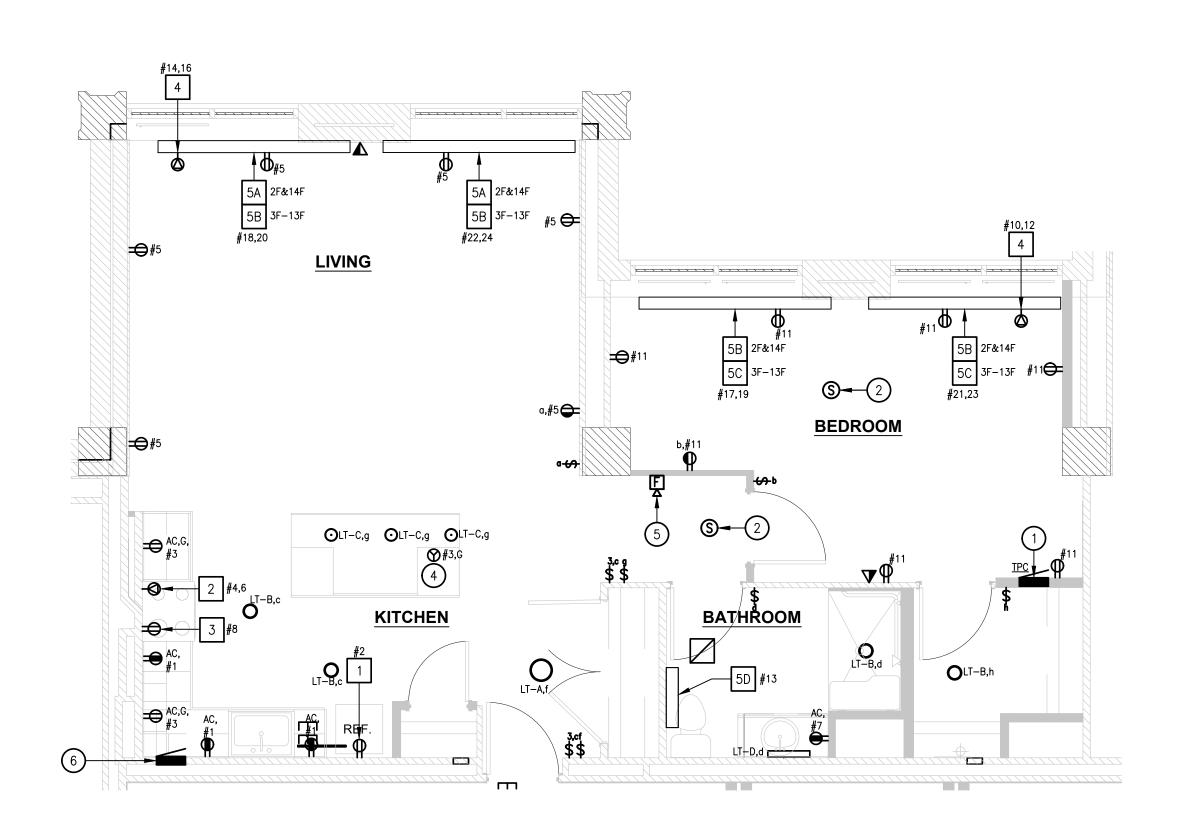
TYPICAL DWELLING UNIT **ELECTRICAL DETAILS**





TYPICAL UNIT 1A ELECTRICAL PLAN E3.01 SCALE: 1/4" = 1'-0"

2 TYPICAL UNIT 1B ELECTRICAL PLAN E3.01 SCALE: 1/4" = 1'-0"



3 TYPICAL UNIT 1C ELECTRICAL PLAN
E3.01 SCALE: 1/4" = 1'-0"



- ALL LIGHT FIXTURES, CEILING FANS, BATHROOM/KITCHEN EXHAUST FANS, AND SMOKE/COMBINATION SMOKE AND CO ALARMS SHALL BE CONNECTED TO CIRCUIT #9 IN RESPECTIVE UNIT LOAD CENTER UNLESS SHOWN OTHERWISE.
- REFER TO SHEET #E3.00 FOR ALL UNIT DETAILS, INCLUDING APPLIANCE SCHEDULES.
- FLOOR RECEPTACLES MAY BE INSTALLED IN LIEU OF WALL RECEPTACLES SHOULD WINDOWS/GLAZING OR SLIDING DOOR RECESSED POCKETS INTERFERE WITH WALL MOUNTING AT ANY LOCATION WITHIN THE DWELLING UNIT. FLOOR RECEPTACLES SHALL BE INSTALLED WITHIN 18" OF WINDOWS/WALLS OR PER NEC #210.52(A)(3).

FIELD VERIFY ALL CONDITIONS

- DESIGN DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING OR AWARD OF CONTRACT TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DESIGNER, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE DESIGNER, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.
- BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING. THE CONTRACTOR SHALL ALERT DESIGNER, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.

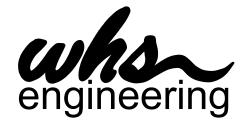
- LOCATION OF NEW TENANT CIRCUIT BREAKER LOAD CENTER. REFER TO TYPICAL UNIT CIRCUIT BREAKER PANEL SCHEDULE ON SHEET #E3.00 FOR ADDITIONAL INFORMATION. ALL LIVING AREA BRANCH CIRCUITS SHALL BE PROVIDED WITH ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IN ACCORDANCE WITH N.E.C. ARTICLE #210.12(A). PROVIDE A TYPE 1 OR 2 SURGE PROTECTIVE DEVICE (SPD) AND INSTALL IN EACH LOAD CENTER IN ACCORDANCE WITH NEC #215.18. TYPICALLY SIEMENS "FIRSTSURGE" SERIES. THE KAIC RATING OF THE SPD SHALL NOT BE LESS THAN 10KAIC, AND NOT LESS THAN THE RATING OF THE LOAD CENTER AS SHOWN ON THE PANEL SCHEDULE. ENSURE THE ENCLOSURE OF THE LOAD CENTER IS CAPABLE OF HOUSING THE SPD. INCLUDE NECESSARY CIRCUIT BREAKER FOR REFERENCE VOLTAGE OR OTHER REQUIREMENTS. REMOVE EXISTING CONDUCTORS BACK TO DISTRIBUTION PANEL, AND ROUTE NEW AS DESCRIBED ON PARTIAL POWER RISER ON SHEET E0.03. EXTEND EXISTING CONDUIT AS REQUIRED TO NEW LOAD CENTER LOCATIONS, OR ROUTE NEW IF THE EXISTING CONDUIT IS UNDERSIZED IN ACCORDANCE WITH
- PROVIDE MULTIPLE STATION, SELF-RESTORING TYPE SMOKE ALARM(S) (COMBINATION SMOKE ALARM/CARBON MONOXIDE ALARM WHERE NOTED WITH "CO") WITH INTEGRAL BATTERY BACK-UP AND TANDEM WIRING CAPABILITY. PROVIDE CIRCUIT BREAKER "LOCK-ON" CLIP AND CONNECT TO DWELLING UNIT LIGHTING CIRCUIT INDICATED ON PANEL SCHEDULES ON SHEET #E3.00. DETECTORS SHALL BE WIRED SUCH THAT UPON ACTIVATION OF (1) DETECTOR, ALL OTHER DETECTORS IN THE UNIT ARE INITIATED. REFER TO WIRING DIAGRAM ON SHEET #E3.00.
- 3 LOCATION OF STRUCTURED MEDIA ENCLOSURE "SME". REFER TO DETAIL ON DRAWING #E3.00 FOR ADDITIONAL INFORMATION. PROVIDE POWER FROM NEAREST LIVING AREA BRANCH CIRCUIT.
- COORDINATE FINAL LOCATION OF ISLAND/PENINSULA COUNTER RECEPTACLE WITH MILLWORK DRAWINGS AND G.C. IN FIELD. INCLUDE ALL WORK ASSOCIATED WITH CORE DRILLING OF COUNTERTOP TO MOUNT DEVICE. THIS RECEPTACLE SHALL BE PROTECTED BY A GFCI-TYPE CIRCUIT BREAKER.
- THIS FIRE ALARM DEVICE SHALL BE CONNECTED TO THE BASE BUILDING FIRE ALARM SYSTEM. VERIFY FINAL LOCATION WITH A.H.J. AND FIRE MARSHAL. 6 LOCATION OF A SECOND, EXISTING LOAD CENTER IN THIS UNIT TYPE ONLY. REMOVE THE LOAD CENTER AND ALL EXISTING BRANCH CIRCUITING AND THE SERVING FEEDER BACK TO SOURCE.

AND ALL EXISTING BRANCH CIRCUITING AND THE SERVING FEEDER BACK TO SOURCE.

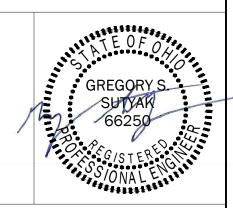


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LDA Project No.23.47

TYPICAL DWELLING UNIT ELECTRICAL PLANS

E3.01