



CINCINNATI METROPOLITAN HOUSING AUTHORITY
SOLICITATION No. 2024-3034
ADDEDUM No. 2

To Offerors:

The following additions, deductions, changes and corrections to the proposal and specifications for the above-mentioned project shall hereby be incorporated into the work, and their effect on the proposal shall be reflected in the Offeror's proposal. Offerors shall also verify this fact by indicating the receipt of the addendum in their proposal.

Additions, deductions, changes and/or corrections:

Clarification:

NON-MANDATORY SITE VISIT/WALK THROUGH will be held on April 22 at 10:00 am
LAST DATE FOR QUESTIONS April 23 at 2:00 p.m.

Change:

Page 5, Bid Form, Section 4. Basis of Contract Award should read as follows:

CMHA intends to award this contract to the Lowest Responsive Bidder complying with these Public Bid Specifications, Drawings and Addenda, if any, provided the Contractor's proposal is reasonable, and in the best interest of CMHA to accept it.

Change:

Replace the Scope of Work in the Manual with the following:



INVITATION FOR BIDS SCOPE OF WORK

PART 1 ADMINISTRATIVE

1.1 GENERAL

A. Gold Standard

In 2012, CMHA established its Gold Performance Standards which consist of the principles and values by which the Agency performs and how our partners, vendors, contractors and consultants are measured.

The Gold Performance Standards are: Respect, Timely, Exceptional, Initiative, Excellent, Quality, Accurate, Integrity, Value, Creativity, Accountability and Professionalism. It's very imperative that our partners, vendors, contractors and consultants abide by these standards that has been establish.

B. CMHA's Vendor Registration

1. The Contractor shall register as a CMHA's Vendor if not one already. To complete CMHA's vendor registration packet visit www.cintimha.com under Business Opportunities / Vendor Registration.

C. Prevailing Wages

1. The Contractor is responsible to consider the Prevailing Wage determination. The Attached Wage Determination can be subject to change from the time of contractor walk through to the date the bid is due. Typically, the wage rates are updated/revised/modified on Friday's every week. To monitor the Wage Determination visit: www.wdol.gov

D. Permits

1. The Contractor Shall Obtain all necessary permits for construction activities in accordance with Federal, State and Local Jurisdiction.

E. Existing conditions

1. The contractor shall field verify all existing condition prior to quoting. Contractor is responsible to examine the job conditions and field measurement, distances, elevations, clearances, etc. and base their quote and work on verified conditions. No Change Order will be approved for modifications/alterations required to existing conditions that are

apparent on the drawings and specifications and visible during the walk through.

F. Drawings and Specifications

1. The Contractor is responsible for comprehending the specifications, plans and becoming familiar with the site location and performing/completing all the work in the specifications at high standards in a professional manner.

G. Contract Management

1. The Contractor shall provide a Construction Schedule and all applicable insurances at the Pre-Construction meeting before starting construction.
2. The contractor shall furnish all labor, materials, tools, equipment and devices to complete the work as specified in scope of work.
3. The contractor is responsible pay all utilities during construction ie. electric power, natural gas and water. The contractor shall provide those not available on the property and needed for construction.

H. Site Management

1. The Contractor shall provide the Construction Project Manager and the Property Manager (PM) with 48-hour advance notice prior to the start of work.
2. The Unit will be
☒ vacant during construction. ☐ occupied during construction.
3. The Building will be
☒ vacant during construction. ☐ occupied during construction.
4. Construction working hours are 8:00 a.m. - 4:00 p.m. Monday thru Friday. Weekend work is prohibited if not approved in writing.
5. The Contractor shall coordinate and cooperate with surrounding residents who currently reside in the houses and buildings to minimize conflicts. The contractor is fully responsible for properly securing the house at the end of the work day.
6. The Contractor shall keep areas under construction clean on a daily basis. All un-used construction material shall be removed from site at the end of each work day. The contractor is prohibited from using any dumpsters and/or totters that are on site. The contractor shall clean all areas that are affected by the renovation (i.e. mechanical room,



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- public walk ways, driveway, etc.)
7. The Contractor shall secure the construction site. The Contractor shall secure and protect all materials, tools and equipment stored on site and all work completed. CMHA assumes no liability for these material, tools and equipment that may become missing and/or damaged and not guarantees that the property's video surveillance captures the incident, if available.
 8. The contractor may store materials, tools and equipment on site if approved in writing and as instructed by the owner.
 9. The contractor shall have at least one person in charge and on site during the duration of the project. This person shall be familiar with the project scope and daily construction activities and other persons in the work area.
 10. The contractor shall maintain all lawns/sites within the area contracted for the duration of the project. Lawns shall be cut a minimum of once every 10 days from March through October. The contractor shall also be responsible for the removal of all rubbish, debris limbs, leaves, etc., within the area.
 11. The Contractor shall coordinate with owner location of barriers and separations as necessary to protect occupied areas from noise, dust or other disruptive activities.
 12. The Contractor shall perform the work with a minimum of disruption by noise, odors, dust or other disruptive causes to owner's normal operations.
 13. The contractor is responsible for any damages that may occur to the existing exterior and interior finish (i.e. landscaping, exterior façade, grass, concrete walks, asphalt/concrete paving, drywall, flooring materials, wall base, wall/door finishes, etc.) during the construction duration.
 14. Protect all adjacent surfaces or finishes during all work. Restore affected surfaces if damaged during construction.
 15. CMHA does not furnish janitorial supplies. However, the contractor is encouraged to contact the CMHA Materials Controls Department or Field Representative to get a list of janitorial products commonly used by CMHA.
 16. The contractor is responsible for all trash and debris in the units, and in the front, sides

and rear yards.

I. End of Construction

1. The contractor is to submit an Operation and Maintenance manual at the end of the project, one hard copy and one digital copy in PDF format. The Operation and Maintenance manual shall include manufacturer manual and warranty of all equipment and/or devices used/purchased for this project.
2. The Contractor shall warranty all material and workmanship for a period of one year after acceptance.
3. The contractor shall perform all tests, adjustments, etc. as required by equipment manufacturer.
4. The Contractor shall perform all tests, adjustments, etc. as required on all new installed devices. The equipment and devices are to be 100% operable/functional after installation.

PART 2 CONTRACTOR RESPONSABILITIES

1. The Contractor shall:
 - i. Verify quantities to successfully complete the project.
 - ii. Coordinate with building operations and residents to minimize the interference of day to day activities.
 - iii. Coordinate with building manager location of dumpster.
 - iv. Coordinate with any other contractor working in the building. CMHA has several projects ongoing in this building.
 - v. The contractor or any of its personnel shall not enter any unit, at any time. No exceptions.
 - vi. Smoking is not permitted inside the building or its surrounding areas.
 - vii. Keep all areas clean and free of debris during construction activities and after hours.
 - viii. The contractor, subcontractors, material men, or suppliers shall use only unmanufactured articles, materials, and supplies that have been mined or produced in



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the United States; and manufactured articles, materials, and supplies that have been manufactured in the United States substantially all from articles, materials, or supplies mined, produced, or manufactured in the United States.

PART 3 MAKE READY PROCEDURES



APPLY

X DO NOT APPLY

3.1 GENERAL (All units expect as noted)

A. Preparation and Finishing

2. Remove all hangers, hooks, mails, tape, contact paper, wall paper, borders, etc.
3. Remove any obvious imperfections in walls or ceilings.
4. Remove any imperfections around fixtures of any sort and outlets. Do not paint electrical fixtures, switches, outlets or cover plates.
5. Wipe debris off all surfaces. This includes but is not limited to webs, dust, dirt, insect eggs and feces.
6. Paint all walls, ceilings, doors, window sills, trim, etc.
7. Drywall should be prepped for level 4 drywall finish. This will require drywall to be skim coated to provide smooth finish prior to painting.
8. In the kitchen, wash all surfaces of excessive smoke or grease damage. Special care shall be given to cleaning the area behind the range and refrigerator.
9. Properly use drop clothes.
10. Remove excessive debris and dust from heat registers before painting them.
11. Caulk all edges of countertops, window frames, door frames, kitchen cabinets, the base of all walls that connect apartments and public spaces, etc.
12. Cleaning of paint and drywall utensils and tools of any kind are not permitted in the apartment unit(s).
13. The contractor shall inspect all surfaces requiring painting to verify the work has been completed before turning over the unit as PAINTED.
14. Paint to use:
 - i. Primary wall paint: Promar 200 Interior Latex Eggshell, SW 7015
 - ii. Bathroom paint: Promar 200 Interior Latex Semi-Gloss, SW 7015



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iii. Ceiling paint: Promar 200 Interior Latex Flat, SW 7006

iv. Door and trim paint: Promar 200 Interior Latex Eggshell, SW 7006

3.2 MAINTENANCE (All units expect as noted)

A. Leaking Faucets

1. All faucets and toilets shall be operable and without leaks.
2. All drains shall be open and without leaking waste lines.
3. Laundry station(s) shall be operable, open and without leaks.

B. Windows

1. Clean all windows, doors, frames and seals, including front and back storm doors, and including handles and knobs. They should open, close and be able to lock.
2. Remove and repair any damage from any old hardware remaining from previous blinds and shades no longer in use.
3. Windows shall have vinyl 1" mini-blinds in working condition.
 - i. All screens should be cleaned and in place without any rips or holes.
4. All missing screen shall receive new matching screens.

C. Doors

1. Make sure that all storm and prime doors are in place and operable (open, close and are able to lock).
2. All doors (interior, exterior, closets and cabinets) must be able to open and close properly without any missing hardware.
3. Replace or repair wheels, tracks, hardware, door knobs, etc. so that doors are operable and function properly.
4. Exterior Doors must be cleaned both on the inside and outside, including screen doors/storm doors.
5. Exterior doors must be painted as necessary.
6. Interior doors must be painted or shellacked as necessary.
7. Check door sweeps and weather stripping. Replace where needed.
8. Install doorstops throughout the unit.



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9. Busted doors must be replaced. A busted door may consist of veneer coming off, excessive holes, cracks, or anything beyond repair. If the replacement of the door is in question, the property manager will have the final say in determining whether or not to replace it. It is the contractor's responsibility to ensure a proper fit within the frame, the holes are accurately drilled for hinges, door knob and lockset. Should the contractor damage the door during this process, they will be held financially responsible and/or required to replace the door with new like-kind door.
10. Do not paint door hardware, if painted previously paint must be removed.

D. Cover Plates

1. Replace (provide where missing) all cracked or damaged electrical/cable/telephone cover plates.
2. Do not paint cover plates.

E. Stair Treads

1. All stair treads shall be securely in place and without any cracks, chips, breaks or tripping hazards. No tripping hazards.
2. All stair treads must be cleaned thoroughly.

F. Electric Fixtures and Outlets

1. Clean all interior and exterior light fixtures, light shades, globes and switch plates and switches.
2. Fixtures shall be free of fingerprints, marks, dust and insects.
3. All switches shall be operable.
4. All outlets (including GFCI) shall be operable.
5. All exterior light fixtures, doorbells, etc. shall be operable.

G. Smoke Alarms/Detector

1. Remove all smoke alarms/detectors and install new per all applicable codes and regulations.
2. All smoke alarms/detectors should be properly installed and working.
3. Smoke alarms should not be painted or have stickers or other decorations present.
4. Smoke alarm/detector location guidelines



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- i. If mounted on the ceiling, it must be more than 4 inches from the wall.
- ii. It cannot be closer than 4 inches or more than 12 inches from the ceiling if mounted on the wall.
- iii. Smoke alarms should not be installed near windows, doors, or ducts where drafts might interfere with their operation.

H. Carbon Monoxide (CO) Alarms/Detector

1. Remove all smoke alarms/detectors and install new per all applicable codes and regulations.
2. Carbon Monoxide Detection shall be installed in dwelling units containing a fuel-burning appliance or fireplace.
3. Carbon Monoxide detection shall be included in any dwelling units with attached private garages.
4. Carbon Monoxide detectors shall be installed in dwelling units outside each sleeping area and within 10 ft. of the bedroom. If a fuel-burning appliance is installed in the bedroom, a CO detector must be installed in the bedroom.

I. LVT / VCT Floors

1. In locations where the floor tile terminates between rooms, provide a transition strip.
2. Remove/replace all damaged, missing and/or defective wood/vinyl baseboards, toe strips or transition strips.

J. Ceramic Tile

1. Replace any damaged drywall/green board behind ceramic wall tile.
2. Repair or replace any loose, broken or missing ceramic wall tile. Replace all loose, broken or missing grout (match existing). Remove/replace or provide caulk at all tub/ceramic tile locations that terminate at wall surfaces.

K. Water Heater(s)

1. Inspect water heater(s) for proper operation and exhaust venting. Report any problems to the Owner's Field Representative.
2. Furnace(s) and Boiler(s)



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3. Inspect furnace(s) for proper operation and exhaust venting. Report any problems to the Owner's Field Representative.
4. Inspect boiler(s) for proper operation and exhaust venting. Report any problems to the Owner's Field Representative.
5. Inspect thermostat(s) for proper operation. Report any problems to the Owner's Field Representative.
6. Vacuum clean all heating and air conditioning equipment, grills, registers, etc. Report any problems (damaged or missing items) to the Owner's Field Representative.

L. Appliances

1. Range Hood – Inspect the range hood for proper operation (fan, light and exhaust venting if required). The hood should have all of its parts and hardware such as filters, knob, etc. Report any problems to the Owner's Field Representative.
2. Range and Refrigerator – The existing ranges and refrigerators on site shall be unwrapped and installed (put in place) and made ready for use (i.e. plugged-into outlet, connected to gas supply piping, etc.). Report any problems to the Owner's Field Representative.
3. Must operate properly with all parts and hardware on it.
4. Gaskets should seal properly
5. All lights must be working

M. Exterior and Unit Entry Doors

1. All doors must open and close securely. All doors shall have proper and functioning hardware. Report any problems to the Owner's Field Representative.
2. Inspect all doors for proper door sweeps and weather stripping. Remove/replace and/or provide new door sweeps and weather stripping where required.
3. Remove/replace and/or provide new door stops throughout all units.

N. Closets

1. Inspect all closets and verify the proper installation of shelving and clothes rods. If any are damaged or missing, report the information to the Owner's Field Representative.
2. Make sure all closet poles and shelves are installed.



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3. Closets shall be cleaned and free of debris.

O. Stoppers/Strainers

1. Provide a stopper or strainer in every sink.

P. Bathroom Fixtures

1. Inspect all bathrooms to ensure that they have in place a soap dish, towel bars and a medicine cabinet. If any of these items are missing, report this information to the Owner's Field Representative.

Q. Bathroom, Laundry, and Kitchen Cabinetry

1. All elements should be inspected when evaluating cabinets, including doors, drawers, hinges, knobs, drawer guides or slides, shelves, and cases or boxes.

R. Caulking / Sealing of the Unit

1. Caulk where needed on counter tops, window frames, door frames, kitchen cabinets etc.
2. In apartments caulk the base of all walls that connect two units.
3. Caulk around breaker box.
4. IPM (Integrated Pest Management) practices must be followed:
5. Seal all openings, cracks, and voids where possible including but not limited to around conduits and pipes
6. Caulk all baseboards.
7. Caulk between kitchen cabinet trim and cabinets if your I.D. badge can slide between the trim and the cabinet.
8. Secure all loose material to prevent harborages (e.g., loose trim boards, loose hinges, uncaulked trim).
9. Clear silicone must be used inside all cabinets/drawers and where cove base/baseboard meets floor.
10. Paintable caulking must be used where cabinets meet wall and where cove base/baseboard meets wall.
11. All caulking color should match surrounding surface.
12. Any voids larger than 1/4" cannot be caulked, additional support is needed, examples:
 - i. 1/4" round wood trim

- ii. Luan board
- iii. Expandable foam
- iv. Expanded foam must be trimmed or sanded
- v. Various types of wood trim
- vi. Heat tape (range hoods).

S. Painting/Preparation and Finishing

1. Remove all hangers, hooks, nails, tape, contact paper, wallpaper, borders etc.
2. Take out any obvious imperfections in wall or ceilings.
3. Take out imperfections around fixtures of any sort and outlets.
4. DO NOT PAINT electrical fixtures, switches, outlets, cover plates, sprinkler heads, and escutcheon plates.
5. Remove debris and dust from within the heater registers and ductwork.
6. Use caulk where needed on counter tops, window frames, door frames, kitchen cabinet etc.
7. Inspect entire unit before you request approval for painting.

T. Painting

1. All painted surfaces will be repainted to provide a uniform finish and shall be free from runs. Work shall be performed in accordance with all the manufacturer's recommendations. The Contractor will be responsible for correcting at his/her expense any work not accepted by the Authority Staff.
2. Contractor shall scrape off all flaking and/or loose paint from ceiling, walls and trim, interior and exterior doors, and exterior windowsill surfaces. Where chipped paint exists, sanding will be performed by use of various grades of sandpaper to featheredge chipped areas to allow a smooth flow of paint and prevent further chipping.
3. Contractor shall perform surface preparation throughout unit on all walls and surfaces requiring painting for the application of paint; surfaces shall be prepared to be consistent with the existing surface. Contractor will paint the unit in accordance with the terms of this proposal and scope of work.



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4. All nails, screws, brackets, debris, etc., shall be removed. All holes in the walls, ceilings, doors, trim, etc., as well as cracks, will be properly filled, floated or caulked flush with existing surface. Finish will match all other existing finish work.
5. All doors and window trim must be painted. **DO NOT PAINT BUSTED DOORS.** Busted doors must be replaced, previously described. Doors include but are not limited to interior, exterior, and screen doors.
6. Each unit shall include a painted accent wall in the living room.
7. If range hoods are currently painted, and range hood paint is peeling, flaking or bubbling, paint with heat-retardant paint, or replace range hood. **DO NOT** paint range hoods if not currently painted. Touch up any nicks or scrapes to appliances with appliance paint.
8. **DO NOT** paint electric boxes, breaker boxes, or cover plates unless previously painted.
9. Properly use drop cloths. Improper use could lead to termination of the contract and you will also be held liable for costs to restore floors, stairs, hardwood floors, VCT tile, ceramic tile, etc. Properly clean paint equipment and wall repair materials. Do not clean paint equipment in units. Protect all drains from clogging. Contractor may be held accountable for plumbing costs incurred due to Contractor's actions. **DO NOT** dispose of paint in trash chutes.

3.3 JANITORIAL (All units expect as noted)

A. Bathroom(s)

1. Clean ceramic tile walls and grout.
2. Clean ceramic tile floors and grout where applicable.
3. Clean and disinfect all bathroom fixtures including but not limited to: faucets, sink, toilet, bathtub, grab bars, knobs, medicine cabinet.

B. VCT Floors

1. Stripping Floors:
 - i. Use buffer to strip tile floors.
 - ii. Clean all corners under and/or around heat registers and vents.

- iii. Clean baseboards and cove base.
- 2. Sealing/Waxing:
 - i. Provide two coats of sealer and two coats of wax to the floors.

C. Carpet

- 1. Contractor shall furnish necessary equipment and materials/supplies to perform any carpet cleaning.
- 2. Contractor shall vacuum carpets both prior to and after cleaning carpets.
- 3. Carpet cleaning includes, but is not limited to, cleaning the carpet, spot treatment, moving furniture (if applicable), stain removal and carpet stretching (if required due to the water).

D. Wood floor

- 1. Clean wood floors and apply polyurethane.

E. Light Fixtures and Globes/Shades

- 1. Clean all light fixtures, light globes/shades, etc.

F. Windows/Frames and Doors/Frames

- 1. Clean all windows and frames.
- 2. Clean all doors and frame.

G. Kitchen

- 1. Stove
 - i. Clean the outside of the stove with degreasing soap or all-purpose cleaner.
 - ii. Use the degreaser or all-purpose cleaner on the knobs and handles as well.
 - iii. Use oven cleaner for the inside of oven door, inside of broiler, the pan and the oven interior.
 - iv. Clean drip pans and vent filters
 - v. Clean range hood.
- 2. Walls
 - i. Kitchen walls must be cleaned for excessive smoke or grease damage.
 - ii. The area behind the range must be cleaned as well.
- 3. Refrigerator



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- i. Contractor shall defrost, clean and dry refrigerator.
 - ii. Clean refrigerator using an all-purpose cleaner or any other cleaner that does not harm coating or gaskets.
 - iii. Clean excess dust from bottom and rear coil of refrigerator.
- 4. Cabinets/Sinks/Countertops
 - i. Clean all cabinets inside and outside.
 - ii. Clean sink and countertops.
 - iii. Cabinets, drawers and hinges shall be cleaned and free of debris.
- 5. Miscellaneous
 - i. Clean the outside of water heater.
 - ii. Contractors must ensure that units with basements are cleaned.
 - iii. Pressure wash garages, both interior and exterior.

3.4 PROTECTION AND CAUTIONS

- 1. Protect all adjacent surfaces or finishes during all work. Restore affected surfaces if damaged during construction.
- 2. CMHA does not furnish janitorial supplies. However, the contractor is encouraged to contact the CMHA Materials Controls Department or Field Representative to get a list of janitorial products commonly used by CMHA.
- 3. The contractor is responsible for all trash and debris in the units, and in the front, sides and rear yards.

PART 4 UFAS STANDARDS



APPLY

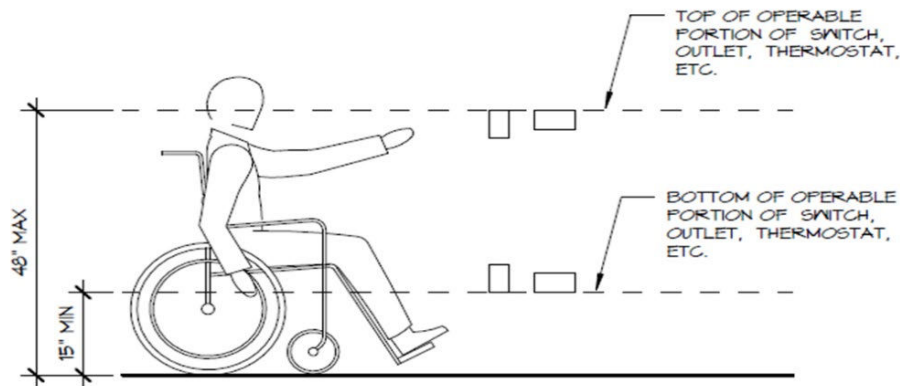


DO NOT APPLY.

4.1 Follow all dimensions and clearances for American National Standard Institute (ANSI) ICC A117.1-2009 code compliance.

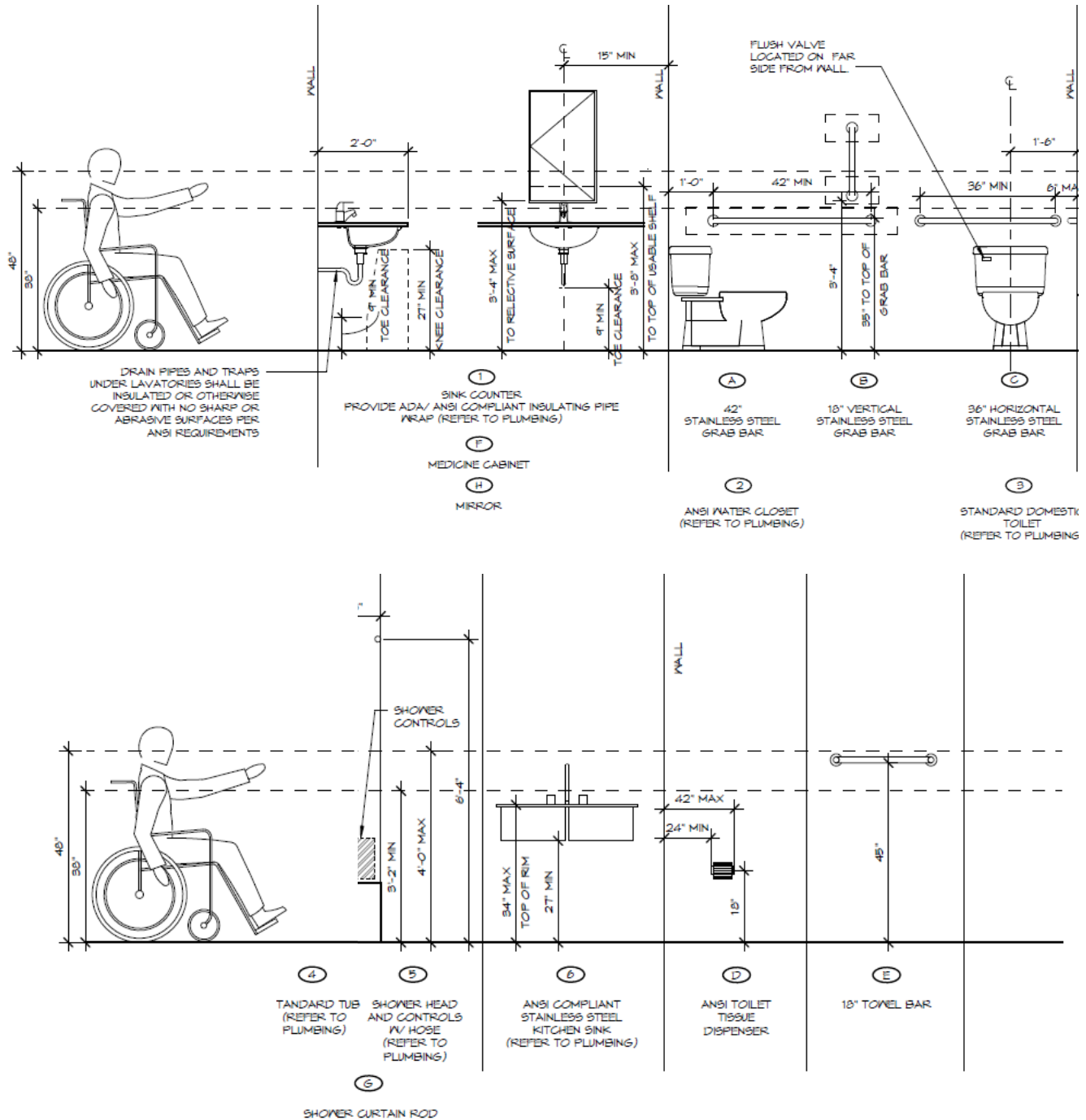
- 1. **Bathtub & Shower Controls:** Install controls within the space indicated.
- 2. **Sinks:** Install all bathroom sinks at or below, as approved, the maximum mounting heights and with floor clearances as indicated.
- 3. **Closets:** Install double hardware for shelving at 42" and 68". Install shelf at 42".

4. **Blocking for grab bar installation:** Install as indicated on detail. Blocking must be able to support 250 lb. of force applied to the grab bar.
5. **Controls outlets, switches, etc.:** Locate all controls, electrical panels, switches, receptacles and other operable equipment as indicted.
6. **Fixtures:** Mounting heights shall be as indicated.
7. **Kitchen Cabinets:** Install upper cabinets so that the lowest shelf is at a maximum of 48" A.F.F. The countertop height and the rim of the sink height shall be at a maximum of 34" A.F.F.
8. **Kitchen cabinet door pulls & handles:** Install Door pulls or handles for the upper cabinets as close as possible from the bottom of the cabinet door. Install Door pulls or handles for the lower cabinets as close as possible from the top of the cabinet door.
9. Mount all equipment's, fixtures, receptacles, outlets, switches, thermostats and controls as shown.
10. Diagrams below are not to scale.



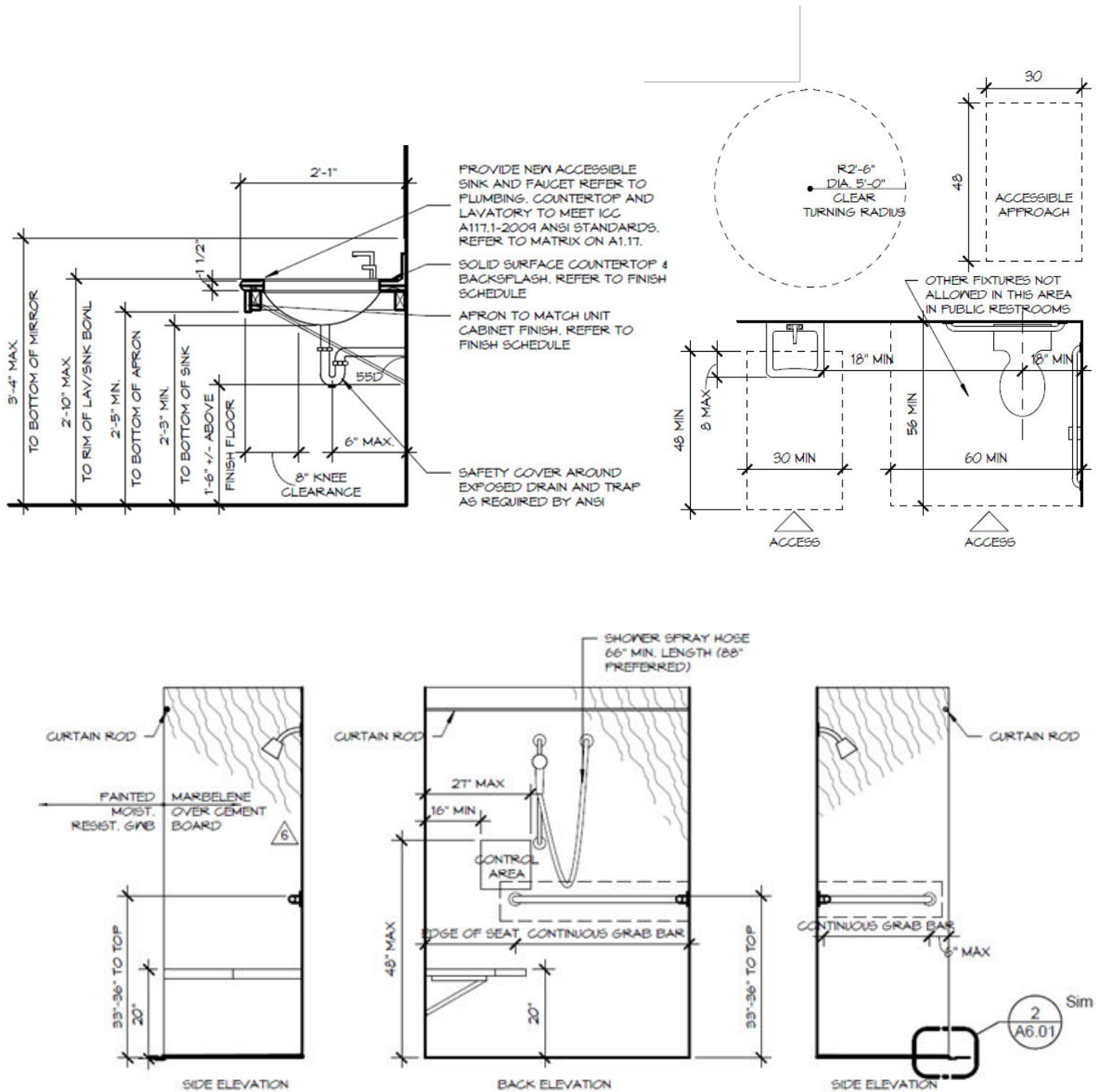
Reach Ranges

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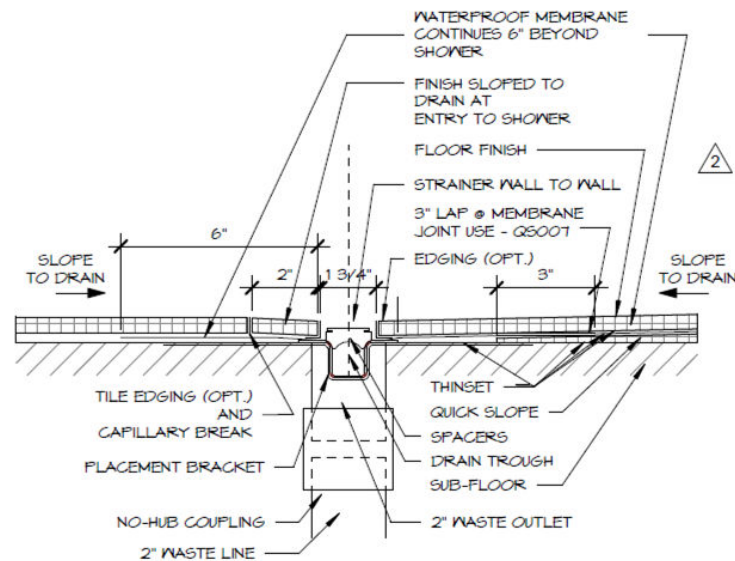
Bathroom Clearances

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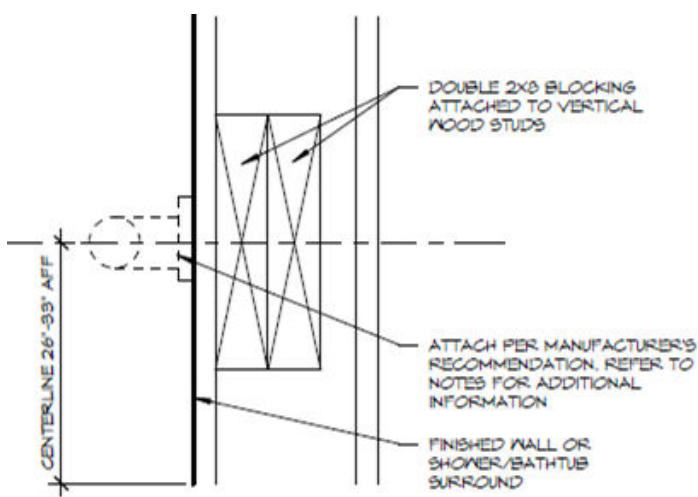


Bathroom Clearances

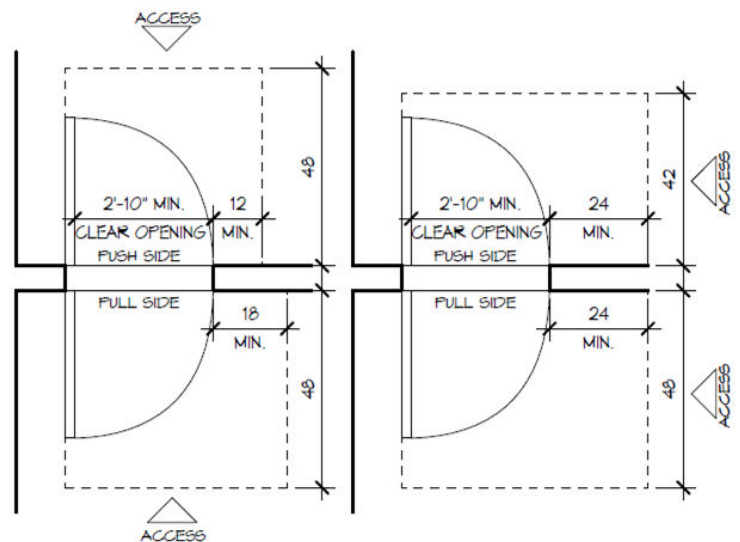
INVITATION FOR BIDS SCOPE OF WORK



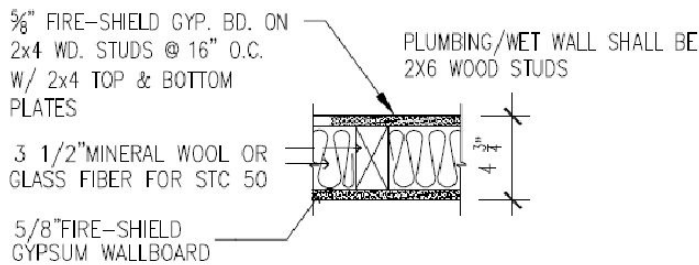
Shower Trench Detail



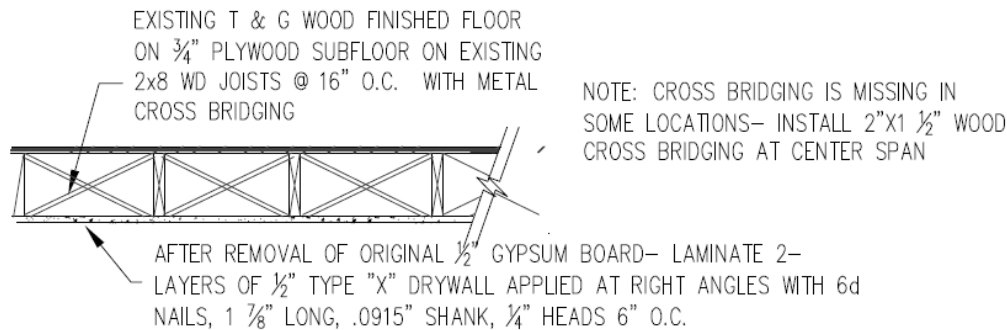
Grab Bar Blocking Detail



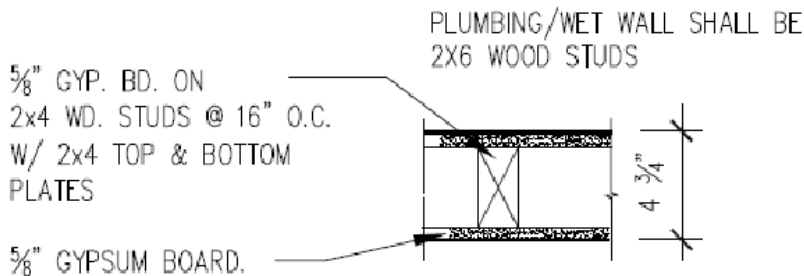
Door Clearances



WALL DETAIL 1 @ DEMISING WALLS / UL-U305 GA WP 3605 (1HR) STC35



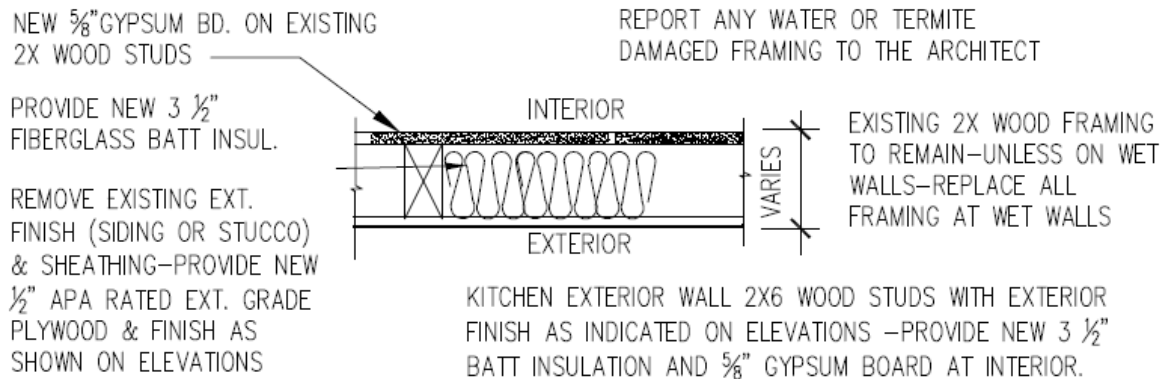
CEILING DETAIL 1



WALL DETAIL 2 @ INTERIOR WALLS

APPLY GYP. BD. EITHER HORIZONTALLY OR VERTICALLY. INNER LAYER ATTACHED TO STUDS W/ 1 7/8" NAILS @ 6" O.C.; OUTER LAYER ATTACHED TO STUDS OVER INNER LAYER W/ 2 3/8" LONG NAILS @ 8" O.C.. VERTICAL JOINTS LOCATED OVER STUDS. STAGGER ALL JOINTS IN FACE LAYER. NAILS 6 D CEMENT COATED NAILS.

NOTE: AT ALL PLUMBING WALLS- USE MOLD TOUGH FIRECORE TYPE "X" GYPSUM BOARD IN THICKNESS AS INDICATED FOR PARTITION



WALL DETAIL 3 @ PERIMETER WALLS



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Mk'd	Category	Location	Item Description	Provide product below or as approved equal
1	Paint	Basement	Walls Remove all loose paint and repaint	Foundation walls with BEHR PREMIUM 5 gal. White Self-Priming 1 Part Epoxy Interior/Exterior
2	Paint	Basement	Floor	Concrete and Garage Floor Paint Slate Gray Self-Priming 1-Part Epoxy Satin Interior/Exterior Concrete and Garage Floor Paint
3	Windows	Basement	Remove any caulk around windows, and reseal	Kilz waterproof sealant (white).
4	Demolition	Bathroom	Remove all equipments and fixtures	
5	Electrical	Bathroom	Replace electrical GFCI outlet and cover in bathroom	
6	Equipment	Bathroom	Replace bathtub, to include surround wall panels and faucets:	Aquatic or equal approved. Model 2603 TRIO (includes surround).
7	Equipment	Bathroom	Bathtub Faucet	Faucet by: AmericanStandard or equal approved Commercial Shower System Trim Kit for Flash Rough Shower Valve 1.5 GPM with Hand Shower and Diveter Tub Spout Model Number: TU662.215
8	Equipment	Bathroom	Install curtain rod and hooks by Moen	
9	Equipment	Bathroom	Replace Vanity with new vanity, sink and fixtures:	Vanity Brand: Smart Cabinetry or approved equal. Construction: Ultimate Construction: 1/2" Plywood Construction with 2"x6" ACQ pressure treated solid lumber base perimeter touching the floor, laminate interior, and matching exterior. 1/2" plywood sink base floors with 3/4"
10	Equipment	Bathroom	Replace Cabinet Sink	Model: Caila Color: Solid White.
11	Equipment	Bathroom	Replace cabinet sink faucet	American Standard.
12	Equipment	Bathroom	Replace medicine cabinet (in kind)	Include all related plumbing work and fittings.
13	Equipment	Bathroom	Replace Toilet	American Standard, Cadet 3 Right Height 2-piece 1.28 Single Flush Round Toilet, White
14	Fixture	Bathroom	Replace toilet paper holder	
15	Fixture	Bathroom	Replace towel racks	
16	Floor	Bathroom	Remove all layers of existing floor to subfloor and install tiles as specified. Professionally layout and grout ceramic floor tile per manufacturer specification/recommendations. Provide and apply grout sealer and sealant coat on ceramic floor tile as required.	Flor tile: Daltile - Articulo - AR09 "Column Grey" Glazed Porcelain Ceramic or equal 12" (W)X24"(L)X5/16" (T) rectangular with floor bullnose trim as wall base. Grout Color: Polyblend Plus #544 Rolling Fog - Contractor must use spacers when laying out ceramic floor tile to achieve accurate even spacing and consistent grout lines. T-style Transition strips to be installed at each bathroom door and Kitchen areas. Transition strip shall be match flooring and produce by same manufacturer as flooring.
17	Plumbing	Bathroom	Provide all related plumbing work needed to install equipments to be replaced, including fittings and Flash Rough in Valve by American Standard.	
18	Fixtures	Closets	Replace Rods and Shelving in kind.	
19	Blacktop	Driveway	Replace driveway blacktop. Size to match existing.	
20	Doors	Entry doors	Replace entry doors and its hardware in kind.	
21	Doors	Entry doors	Replace storm doors in kind.	
22	Electrical	Exterior Throughout	Replace wall mounted light fixtures.	Commercial Electric - S10WPK/850/DD/BZ/HD Wall Pack Security Light
23	Fixture	Exterior Throughout	Replace mailbox and address number	Architectural Mailboxes - Townhouse balck, medium galvanized steel, locking, vertical wall mount.
24	General	Exterior Throughout	Pressure Wash - all exterior surfaces of the façade, to include but not limited to, brick, siding, foundation and walkways and railings.	
25	Metals	Exterior Throughout	Secure and paint Handrailings. Prepare surfaces as recommended by paint manufacturer.	Rust-Oleum Professional High Performance Protective Enamel Gloss Smoke Gray Oil-Based Interior/Exterior Industrial Paint
26	Mechanical	HVAC	Replace HVAC in kind. Replace Thermostat.	Must submit and get written approval of equipments before ordering.
27	Mechanical	HVAC	Replace all HVAC grilles	Material: Metal / Color: White / Size: in kind
28	Mechanical	HVAC	Clean and sanitize all HVAC components and ductwork	



INVITATION FOR BIDS SCOPE OF WORK

Mk'd	Category	Location	Item Description	Provide product below or as approved equal
29	Cabinetry	Kitchen	Install new kitchen cabinets, and countertop. Configuration to match existing	Brand: Smart Cabinetry, Construction: Ultimate Construction: 1/2" Plywood Construction with 2"x6" ACQ pressure treated solid lumber base perimeter touching the floor, laminate interior, and matching exterior. 1/2" plywood sink base floors with 3/4" plywood shelving. Includes plywood drawer bottom. Laminate countertop colors to be submitted to be chosen by CMHA Drawers: Solid Wood Dovetail Drawers Drawer Glides: Captive Roller (75lbs) Epoxy-coated, full extension Door Hinges: 6-Way adjustable self-close hinges Door Style: Rockport Maple, Standard overlay with Pull Handles Stainless
30	Cabinetry	Kitchen	Replace kitchen cabinets, and countertop. Configuration and dimensions will remain the same. Replace in kind L shaped corner stainless backsplash.	Brand: Smart Cabinetry, Construction: Ultimate Construction: 1/2" Plywood Construction with 2"x6" ACQ pressure treated solid lumber base perimeter touching the floor, laminate interior, and matching exterior. 1/2" plywood sink base floors with 3/4" plywood shelving. Includes plywood drawer bottom. Laminate countertop colors to be submitted to be chosen by CMHA Drawers: Solid Wood Dovetail Drawers Drawer Glides: Captive Roller (75lbs) Epoxy-coated, full extension Door Hinges: 6-Way adjustable self-close hinges Door Style: Rockport Maple, Standard overlay with Pull Handles Stainless
31	Ceiling	Kitchen	First Floor Kitchen Replace ceiling with UL L501 1-hr fire rated ceiling assembly. Prep drywall for level 4 drywall finish. Drywall Shall be skim coated to provide smooth finish prior to painting.	Refer to Ceiling Detail 1
32	Ceiling	Kitchen	Second Floor Kitchen ceiling repair to match existing ceiling assembly Prep drywall for level 4 drywall finish. Drywall Shall be skim coated to provide smooth finish prior to painting.	
33	Equipment	Kitchen	Install new Electric Range	Avanti 24-in 4 Burners 2.6-cu ft Freestanding Electric Range (White) Item #4842703 Model #ERU240P0W
34	Equipment	Kitchen	Install new Range Hood	Whirlpool 30-in Ductless 140-CFM Recirculating White Under Cabinet Range Hood with Charcoal Filter Item #617918 Model #UXT4030ADW
35	Equipment	Kitchen	Install new ADA Complaint Refrigerator	GE 15.6-cu ft Top-Freezer Refrigerator (White) ENERGY STAR Item #1207675 Model #GTE16DTNRWW
36	Equipment	Kitchen	Install new ADA Kitchen Sink	Sink: Elkay Celebrity Stainless Steel 33" x 22" x 7" Equal Double Bowl Top Mount Sink Model CR3322
37	Equipment	Kitchen	Remove and dispose of all equipments and cabinets	
38	Equipment	Kitchen	Install new Electric Range	GE 30" Free-Standing Electric Range Model: JBS160DMWW Color: White
39	Equipment	Kitchen	Install new Range Hood	GE Standard Range Hood Model: JV338HWW Color: White
40	Equipment	Kitchen	Install new Refrigerator	GE Energy Star 16.6 Cu. Ft. Top-Freezer Refrigerator Model: GTE17GTNRWW Color: White
41	Equipment	Kitchen	Install new Kitchen Sink	Sink: Elkay Celebrity Stainless Steel 33" x 22" x 7" Equal Double Bowl Top Mount Sink Model CR3322
42	Fixture	Kitchen	Install new Kitchen Faucet	Faucet: American Standard Colony Pro Single Control Kitchen Faucet Model Number 7074.000 Kitchen Faucet Less side-spray, with Deck-plate, or equal approved. Include all plumbing fittings, p-traps, turnstops, flexible connectors, escutcheons, by ProFlo, including stainless basket strainer.
43	Fixture	Kitchen	Install new Kitchen Faucet	Faucet: American Standard Colony Pro Single Control Kitchen Faucet Model Number 7074.000 Kitchen Faucet Less side-spray, with Deck-plate, or equal approved. Include all plumbing fittings, p-traps, turnstops, flexible connectors, escutcheons, by ProFlo, including stainless basket strainer.
44	Wet Wall	Kitchen	Where required install 5/8" Type "x" mold though fire core gypsum board	
45	Wet Wall	Laundry Closet	Where required install 5/8" Type "x" mold though fire core gypsum board	
46	Floor	Stair	Remove and replace stair treads	Material: Rubber Color: Black
47	Doors	Throughout	Replace all interior doors and hinges and hardware. Repair frames where necessary. Install post style door stops also. All Doors must have proper clearance from floor.	Doors must be solid core. Hardware to match existing in Satin Nickel Finish Bedroom doors must have pass thru hardware.
48	Electrical	Throughout	Replace interior light fixtures with LED fixtures.	Ceiling surface mounted type: Calloway 15-in Brushed Nickel LED Flush Mount Light (Replace Sconce at top of stairs with new LED sconce fixture)



INVITATION FOR BIDS SCOPE OF WORK

Mk'd	Category	Location	Item Description	Provide product below or as approved equal
49	Electrical	Throughout	Replace all outlet receptacles and covers with new - Color - White Replace all switches and covers applicable.	Color - White Switches/Receptacles, should be appropriately sized to match breaker amps. Any outlet located at or closer than 6'-0" of a water source MUST be GFCI.
50	Electrical	Throughout	Replace all smoke and carbon monoxide detectors and install new Smoke Detectors and Carbon Monoxide Detectors in locations and quantities required to meet all applicable codes and regulations.	Smoke Detector: Kidde i4618, Firex Smoke Detector, Hardwired with nine-V Battery Backup Carbon Monoxide: First Alert First Alert Brk Hardwired Smoke Detector + 1085 MPR Allergen Defense Filtrete Air Filter Single
51	Floor	Throughout	Remove all VCT tiles. Repair subflooring as needed.	
52	Floor	Throughout	Prep existing floor in entire unit accordingly for proper installation of new LVT flooring.	Gerflor Creation Clic 0359 "Wild Oak" 8" x 48.8"
53	Floor	Throughout	Replace existing rubber wall base to match LVT flooring. Install new where required.	
54	Mechanical	Throughout	Replace all vent covers with new to match existing style and dimensions, color white.	
55	Paint	Throughout	Repaint all interior surfaces including but not limited to Walls, Doors, Bases, Trims, interior chimney bricks and ceiling surfaces. Paint exterior Doors, Concrete base and Chimney.	Prime with (1) coat or primer and paint with (2) coats of paint as Specified.
56	Paint	Throughout	Primary wall paint	Promar 200 Interior Latex Eggshell, SW 7015S (Repose Gray)
57	Paint	Throughout	Accent wall paint	Promar 200 Interior Latex Eggshell, SW 6531 (Indigo)
58	Paint	Throughout	Primary trim paint	Promar 200 Interior Latex Eggshell, Color TBD
59	Paint	Throughout	Ceiling paint	Promar 200 Interior Latex Flat, SW 7006 (Extra White)
60	Paint	Throughout	Doors paint	Promar 200 Interior Latex Eggshell, SW 7011- Natural Choice (Include Window sills, base trim and door trim)
61	Paint	Throughout	Stair Trim & Casing	Promar 200 Interior Latex Eggshell, SW7011- Natural Choice
62	Plumbing	Throughout	Replace water supply line, valve & pressure regulator	
63	Plumbing	Throughout	Scope floor drains and mains to ensure a clear and functioning drain system. Remove any clogs if discovered. If damaged lines are present, submit a change order request to include estimated cost of repair.	
64	Wall	Throughout	Demising Wall - Install 1-hr fire rated wall partition	Refer to Wall Detail 1 @ Demising Walls
65	Walls	Throughout	Remove all items from walls including but not limited to screws, nails, stickers, tapes and blinds hardware	
66	Walls / Ceilings	Throughout	Repair surfaces including but not limited to: cracks, holes, water damage and bulges	
67	Walls / Ceilings	Throughout	Prep drywall for level 4 drywall finish. Drywall Shall be skim coated to provide smooth finish prior to painting.	
68	Windows	Throughout	Replace windows in kind, including frames and flashings. Where interior trim occurs replace in kind.	
69	Windows	Throughout	Replace broken glass blocks in kind.	
70	Windows	Throughout	Install horizontal 1 " louver blinds in all window openings. Remove existing blinds and hardware.	Color: White Size to match width and length of each window opening.
71	Mechanical	Water Heater	Replace existing Water Heater with high efficiency (90%-95%)	
72	Mechanical	Water Heater	Provide and install the appropriate plumbing (water lines, shut off valves, etc.) as required for water heater to operate/function properly. All plumbing work (i.e. installation, alterations, modifications, etc.) shall be done per OBC, Plumbing codes and manufacturer specifications.	



End of Addendum 2