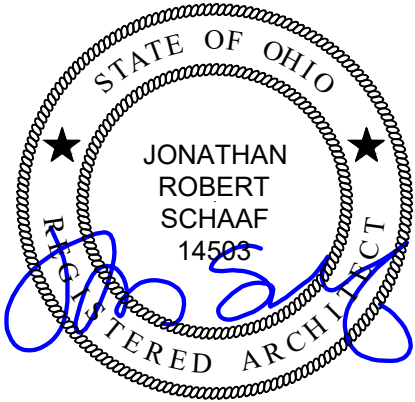


Roof Replacement & Building Enclosure Improvements at:

City West

1431 Linn Street  
Cincinnati, Ohio 45214

CMHA Solicitation  
#2025-3021



Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2025

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OWNER



CINCINNATI METROPOLITAN HOUSING AUTHORITY  
1635 WESTERN AVE.  
CINCINNATI, OHIO 45214

PROPERTY MANAGER



3445 Newmark Drive  
Miamiisburg, Ohio 45342

DESIGN TEAM

ARCHITECT:



CODE REVIEW

CONSTRUCTION TYPE: FIRST FLOOR - II B [PROTECTED]  
UPPER LEVELS - VB [UNPROTECTED]

USE GROUP: FIRST FLOOR: M - MERCANTILE  
UPPER LEVELS: R-2 - RESIDENTIAL

THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED BUILDING ENCLOSURE IMPROVEMENTS.

NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

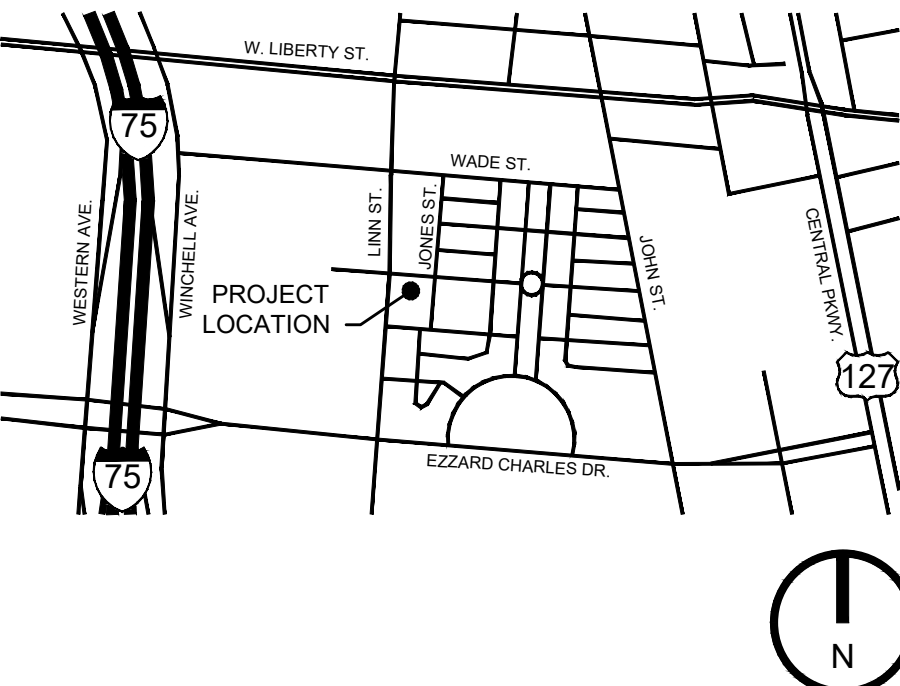
EXISTING BUILDING CONSTRUCTION

STRUCTURE: WOOD FRAME.  
EXTERIOR WALLS: 2x6 WOOD FRAME WITH BRICK VENEER  
ROOF DECK: WOOD TRUSS W/ WOOD SHEATHING

SHEET INDEX

G1.1	PROJECT TITLE SHEET
D1.1	EXISTING / DEMOLITION ROOF PLANS & ELEVATIONS
A1.1	PROPOSED ROOF PLANS
A1.2	ROOF MATRIX / ENLARGED PLAN / SCHEDULE
A2.1	EXTERIOR ELEVATIONS
A3.1	DETAILS
A3.2	DETAILS

VICINITY MAP



CODE REVIEW

PROJECT DESCRIPTION:  
THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS. NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

PRIMARY AND SECONDARY ROOF DRAINAGE IS ACCOMPLISHED BY THRU WALL SCUPPERS.

AUTHORITY HAVING JURISDICTION:  
ZONING PERMIT - CITY OF CINCINNATI  
BUILDING PERMIT - CITY OF CINCINNATI

BUILDING CODE:  
2024 OHIO EXISTING BUILDING CODE [OBC]  
2024 OHIO BUILDING CODE [OBC]  
2021 INTERNATIONAL ENERGY CONSERVATION CODE [IECC 2021]  
CINCINNATI BUILDING CODE [CBC]

OHIO EXISTING BUILDING CODE  
301.3.2. WORK AREA COMPLIANCE METHOD [REFER TO 302-309 AND CH. 6-12]  
602.2. ALTERATION - LEVEL 1 [REFER TO CH. 7]  
705.1. REFER TO CHAPTER 15 OF OHIO BUILDING CODE  
ROOF REPLACEMENT OR ROOF RECOVER OF EXISTING LOW SLOPE ROOF COVERINGS SHALL NOT BE REQUIRED TO MEET MINIMUM DESIGN SLOPE OF 1/4" PER 12". FOR ROOFS WHICH PROVIDE POSITIVE DRAINAGE.

RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL NOT BE REQUIRED TO MEET THE REQUIREMENT FOR SECONDARY [EMERGENCY] OVERFLOW DRAINS OR SCUPPERS FOR ROOFS WHICH PROVIDE FOR POSITIVE ROOF DRAINAGE. EXISTING SECONDARY DRAINS OR SCUPPERS SHALL NOT BE REMOVED.

OHIO BUILDING CODE  
OBC CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION  
USE GROUP: B / M / R-2 - MIXED USE - NO CHANGE

OBC CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA  
BUILDING AREA: EXISTING (NO CHANGE)  
BUILDING HEIGHT: 4-STORY EXISTING (NO CHANGE)

OBC CHAPTER 8: TYPES OF CONSTRUCTION  
CONSTRUCTION TYPE: V-B  
ROOF CONSTRUCTION = 0 HOUR RATED

EXISTING BUILDING CONSTRUCTION:  
STRUCTURE: WOOD STRUCTURE  
EXTERIOR WALLS: WOOD STUD / BRICK VENEER / FIBER CEMENT CLADDING  
ROOF DECK: WOOD DECK OVER WOOD STRUCTURE

OBC CHAPTER 15: ROOFTOP ASSEMBLIES AND ROOFTOP STRUCTURES  
TABLE 1505.1: FIRE CLASSIFICATION: V-B CONSTRUCTION -  
MIN. CLASS C, ACTUAL CLASS A

INTERNATIONAL ENERGY CONSERVATION CODE  
TABLE C402.1.3: THERMAL ENVELOPE INSULATION R-VALUE METHOD  
EXISTING INSULATION IS BELOW DECK IN FRAMING CAVITY [R-30 PER ORIGINAL BUILDING DRAWINGS]. INSULATION ABOVE DECK IS FOR ROOF SYSTEM INSTALLATION ONLY. NOT REQUIRED FOR FULL UPGRADE TO MEET CURRENT R-VALUE REQUIREMENTS  
EXISTING R-VALUE [ABOVE DECK]= R-5.7  
PROPOSED R-VALUE [ABOVE DECK]= R-8.6

C402.1.4.1.1: TAPERED, ABOVE DECK INSULATION BASED ON THICKNESS: WHERE USED AS A COMPONENT OF MAXIMUM ROOF ASSEMBLY U-FACTOR CALCULATION THE SLOPED R-VALUE CONTRIBUTION TO THAT CALCULATION TO USE THE AVERAGE THICKNESS IN INCHES ALONG WITH THE MATERIAL R-VALUE PER INCH.  
C402.2.1.2: MINIMUM THICKNESS: THE MINIMUM THICKNESS OF ABOVE DECK ROOF INSULATION AT ITS LOWEST POINT, GUTTER EDGE, ROOF DRAIN, OR SCUPPER SHALL NOT BE LESS THAN 1".

C503.2.1: ROOF REPLACEMENT: COMPLY WITH C402.1.3, 6-092-1-4, 6-092-1-5, OR 6-097 WHERE THE EXISTING ROOF ASSEMBLY IS PART OF THE THERMAL ENVELOPE AND CONTAINS INSULATION ENTIRELY ABOVE THE ROOF DECK. IN NO CASE SHALL THE R-VALUE OF THE ROOF INSULATION BE REDUCED AS PART OF THE ROOF REPLACEMENT. [NOT REQUIRED AS INSULATION IS BELOW DECK]

ROOF SYSTEM DESIGN WIND-LOAD ANALYSIS:  
ENGINEERED DESIGN BASED UPON 2024 OHIO BUILDING CODE AND ASCE 7-16 WIND DESIGN UPLIFT PRESSURES [ASD].  
COMPONENTS AND CLADDING:

BUILDING HEIGHT: 50'  
BASIC WIND SPEED: 105 MPH  
BUILDING CONFIGURATION: ENCLOSED.  
EXPOSURE: 'B'  
RISK CATEGORY: II

DESIGN WIND UPLIFT LOADS [ASD]  
ZONE 1 [INTERIOR FIELD]: -12.7 PSF  
ZONE 1 [EXTERIOR FIELD]: -22.0 PSF  
ZONE 2 [PERIMETER]: -29.0 PSF  
ZONE 3 [CORNERS]: -39.5 PSF

DESIGN UPLIFT-RESISTANCE CAPACITY  
[FACTOR OF SAFETY OF 2, FROM [ASD] INDICATED ABOVE]  
ZONE 1 [INTERIOR FIELD]: -25.3 PSF  
ZONE 1 [EXTERIOR FIELD]: -44.0 PSF  
ZONE 2 [PERIMETER]: -58.0 PSF  
ZONE 3 [CORNERS]: -79.1 PSF

NAILER ATTACHMENT: ANSI/SPRI/FM-4435/ES-1 SEE SPECIFICATIONS

METAL COPING / EDGE: SEE SPECIFICATIONS

DESIGN WIND-RESISTANCE CAPACITY  
ZONE 2 [PERIMETER, VERTICAL]: -58.0 PSF  
ZONE 3 [CORNERS, VERTICAL]: -79.1 PSF  
ZONE 4 [PERIMETER, HORIZONTAL]: -29.9 PSF  
ZONE 5 [CORNERS, HORIZONTAL]: -37.0 PSF

SECTION 01 00 00 - GENERAL REQUIREMENTS

1. INTENT: THE INTENT OF THESE DOCUMENTS IS TO ACCOMPLISH A ROOF REPLACEMENT AND BUILDING ENCLOSURE PROJECT AT 1431 LINN STREET / CITY WEST IN CINCINNATI.

2. PERMITS:

2.1. CONFORM TO THE 2024 OHIO EXISTING BUILDING CODE AND 2024 OHIO BUILDING CODE, AND ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES HAVING THE AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.  
2.2. VERIFY ALL PERMITS HAVE BEEN APPROVED BY APPROPRIATE AGENCIES PRIOR TO START OF CONSTRUCTION. NO CONSTRUCTION OR FABRICATION OF ANY ITEMS SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY DOCUMENTATION FROM ALL OF THE PERMITTING AND REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY AN REGULATORY AUTHORITY.

2.3. PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS ARE OBTAINED.  
2.4. ARCHITECT IS NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM WORK STARTED PRIOR TO OBTAINING ALL PERMITS / GOVERNING AGENCIES APPROVALS.

2.5. MAINTAIN A COPY OF APPROVED PERMIT DRAWINGS ON-SITE FOR INSPECTION PURPOSES. COORDINATE WITH BUILDING DEPARTMENT.

2.6. NOTIFY THE BUILDING DEPARTMENT WHEN WORK IS READY FOR INSPECTION. FOLLOW ALL REQUIREMENTS OF BUILDING DEPARTMENT. PROVIDE ACCESS FOR ALL INSPECTORS.  
2.7. MAINTAIN RECORDS OF INSPECTIONS ON THE JOB SITE IN ACCORDANCE WITH REQUIREMENTS OF BUILDING DEPARTMENT.

2.8. PAY ALL FEES REQUIRED BY INSPECTIONS, EXCEPT FOR INSPECTIONS MADE BY OWNER OR IT'S AGENTS.  
2.9. COMPLETE ALL WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.

3. TRASH / DEBRIS: PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. KEEP JOB SITE CLEAN DURING CONSTRUCTION. PROMPTLY REMOVE ALL DEBRIS ON A DAILY BASIS FROM SITE IN A LEGAL MANNER. ENSURE THAT ALL DEBRIS AND MATERIALS LOCATED ON THE ROOF ARE PROPERLY SECURED / STRAPPED DOWN. NO DEBRIS SHALL BE LEFT ON THE GROUNDS AROUND THE BUILDING AT ANY TIME.

4. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION AND TURN OVER OF THE PROJECT.

5. CONSTRUCTION SAFETY: PROVIDE, MAINTAIN, AND COMPLY WITH ALL APPLICABLE SAFETY REQUIREMENTS IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS.

5.1. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE. MAINTAIN ALL REQUIRED PATHS OF EGRESS DURING CONSTRUCTION. PROVIDE PROTECTIVE BARRICADES AND BARRIERS AT BUILDING ENTRANCES AND PUBLIC SIDEWALKS, DRIVEWAYS, ETC. AS NECESSARY TO MAINTAIN SAFE INGRESS/EGRESS. PROVIDE PROTECTION FROM DAMAGE TO WALLS / WINDOW SYSTEMS, ETC. BELOW THE WORK AREAS.

5.2. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY. ERECT BARRICADES AT ENTRANCES AND AROUND ACCESS POINTS INTO THE BUILDING INDICATING "MEN WORKING OVERHEAD" LIMIT ACCESS WHERE THERE IS THE POTENTIAL FOR FALLING DEBRIS OR OTHER HAZARDS. PROVIDE GROUND CREW AS REQ'D TO SUPPLEMENT SAFETY ON AN AS NEEDED BASIS.

5.4. PROVIDE AND MAINTAIN A COMPLETE SET OF SAFETY DATA SHEETS [SDS] FOR ALL MATERIALS USED ON THE PROJECT ON THE PROJECT SITE.

6. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES. CONFORM TO OWNER AND FIRE DEPARTMENT REQUIREMENTS.

7. TEMPORARY UTILITIES:

7.1. UTILIZE EXISTING ELECTRIC SERVICE, WATER, AND HVAC IF AVAILABLE.  
7.2. PROVIDE TEMPORARY LIGHTING FOR CONSTRUCTION PURPOSES.

7.3. PROVIDE TEMPORARY VENTILATION, FILTRATION MEDIA, ETC. AS REQ'D TO PROPERLY VENTILATE THE CONSTRUCTION AREA AS WELL AS TO PREVENT DUST, DIRT, DEBRIS FROM ENTERING OTHER PORTIONS OF THE FACILITY.  
7.4. PROVIDE PORTABLE TOILET FACILITIES FOR CONSTRUCTION PURPOSES.

8. PRODUCTS:

8.1. INSTALL ALL MATERIALS, EQUIPMENT, FLASHING, TERMINATIONS, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM. BY THE NATURE OF THE WORK, IT IS DIFFICULT TO IDENTIFY ALL POSSIBLE DETAIL CONDITIONS, REQUIRED FLASHINGS, ETC. COORDINATE ALL APPLICABLE DETAILS WITH THE MANUFACTURER FOR ACCEPTANCE.

8.2. CLIENT / OWNER TO COORDINATE AND SELECT ALL FINAL FINISHES / SELECTIONS. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.

8.3. ITEMS MAY BE REFERRED TO AS SINGULAR, OR PLURAL ON THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO DETERMINE QUANTITY OF EACH ITEM REQUIRED.

9. COORDINATION:

9.1. COORDINATE ALL SPECIFIC WORK / SCOPE ITEMS WITH CLIENT. COORDINATE ALL WORK / SCOPE ITEMS BETWEEN SUB-CONTRACTORS, SUPPLIERS, AND VENDORS ON THE ENTIRE SET OF DOCUMENTS. PROVIDE ANY REQ'D ADAPTATIONS TO ACCOMMODATE FIELD CONDITIONS PRIOR TO ORDERING, FABRICATION, OR INSTALLATION.

9.3. PROVIDE FULL SET OF CONSTRUCTION DOCUMENTS TO ALL SUB-CONTRACTORS.  
9.4. NO ADDITIONAL COMPENSATION TO CONTRACTOR FOR ISSUES RESULTING FROM THE USE OF AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS.

9.5. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ERRORS, OMISSIONS, INCONSISTENCIES, OR DISCREPANCIES BETWEEN CONTRACT DOCUMENTS, DRAWINGS, SPECIFICATIONS, ETC. PRIOR TO PROCEEDING WITH WORK. ANY SITE / JOB CONDITIONS THAT ARISE AND CAUSE CONTRACTOR TO VARY FROM CONTRACT DOCUMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR IF NOT REPORTED TO ARCHITECT PRIOR TO PROCEEDING.

9.6. DO NOT SCALE DRAWINGS. ANY / ALL DIMENSIONS INDICATED ARE APPROXIMATE AND SUBJECT TO FIELD VERIFICATION. REFER TO DRAWINGS FOR ANY SPECIAL NOTES THAT MAY GOVERN THE LAYOUT OF THE WORK.

9.7. N.I.C. INDICATES WORK AND / OR MATERIALS NOT IN THE CONTRACT OF THE CONTRACTOR. THIS DOES NOT RELIEVE THE CONTRACTOR OF ALL ASPECTS OF COORDINATION.

9.8. EXAMINE AND BECOME FAMILIAR WITH SITE AND JOB CONDITIONS PRIOR TO START OF WORK. VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, INFORMATION IN THE DRAWINGS, AVAILABLE UTILITIES, ETC. GOVERNING THEIR SCOPE OF THE WORK. NOTIFY ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF CONDITIONS.

9.9. CONTACT CLIENT OR ARCHITECT REGARDING ALL QUESTIONS OR DISCREPANCIES. COMMUNICATION WITH ARCHITECTS CONSULTANTS OR OTHERS IS NOT CONSIDERED VALID AND ANY RESULTANT CHANGES IN WORK, ADDITIONAL COSTS, APPROVALS, PERMITS, ETC. IS THE CONTRACTOR'S RESPONSIBILITY.

9.10. ARCHITECT IS NOT RESPONSIBLE FOR QUALITY OR QUANTITY OF WORK, FIELD INSPECTIONS, REVIEWING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, PROCEDURES, PAYMENT APPLICATIONS, OR TO DETERMINE THE DISTRIBUTIONS OF FUNDS, ETC.

9.11. CONTRACT DOCUMENTS, DRAWINGS, OR DETAILS IN THIS SET MAY INDICATE TYPICAL CONDITIONS WHICH MAY VARY FROM ACTUAL CONSTRUCTION. COORDINATE CONDITIONS / DETAILS WITH CLIENT.

10. OCCUPANCY: BUILDING WILL BE OCCUPIED DURING CONSTRUCTION FOR OPERATIONS. CONTRACTOR SHALL COORDINATE ACTIVITIES WITH OWNER AND THE PROJECT TEAM TO MINIMIZE THE IMPACT ON THE OCCUPANTS - REFER TO SPECIFICATIONS. INCLUDE ANY ADDITIONAL COSTS FOR PROJECT SCHEDULING AS INDICATED HEREIN AND WITHIN SPECIFICATIONS.

11. TEMPORARY WEATHER/TIGHTNESS / WEATHER SEAL: AT THE END OF EACH WORK DAY, COMPLETE ALL WORK IN SUCH A MANNER TO BE ADEQUATELY SEALED WATERTIGHT TO EITHER EXISTING ROOF SYSTEMS OR PROPER FLASHINGS / TERMINATIONS AS IS APPLICABLE TO THE WORK. TAKE ALL PROVISIONS TO MINIMIZE ANY LEAKS INTO THE BUILDING.

11.1. ONLY LAY OUT THE AMOUNT OF MATERIALS WHICH CAN BE INSTALLED WATERTIGHT THAT DAY. NO TEMPORARY ROOFING / LOOSE MEMBRANE, ETC. PERMITTED.

12. CONTRACTOR'S USE OF JOB SITE:

12.1. WORK HOURS: COORDINATE WITH OWNER.  
12.2. ACCESS: PROVIDE ROOF ACCESS VIA CONTRACTOR PROVIDED PORTABLE LADDERS, SCAFFOLDING, OR MAN-LIFTS. ROOF ACCESS FROM THE INTERIOR OF THE BUILDING MAY NOT BE PERMITTED BY OWNER. ASSUME NO DIRECT ACCESS WILL BE PROVIDED TO THE INTERIOR OF THE BUILDING UNLESS SPECIFICALLY APPROVED AND COORDINATED BY THE OWNER.

12.3. PROVIDE ALL NECESSARY CRANES, MAN-LIFTS, CHUTES, ETC. FOR THE PROPER EXECUTION OF THE WORK.  
12.4. PROVIDE CHUTE FOR ALL TRASH / DEBRIS REMOVAL UNLESS SO REMOVED VIA A CRANE.

12.5. THROWING DEBRIS OFF THE ROOF IS NOT PERMITTED.  
12.6. PROJECT STAGING AREA: AT OWNER DIRECTION

12.7. PROVIDE ON-SITE SECURABLE CONSTRUCTION MATERIALS STORAGE AND TRASH DUMPSTER FOR THE PROJECT. LOCATE IN AN APPROVED LOCATION. COORDINATE WITH THE OWNER. PROVIDE ALL NECESSARY / REQUIRED SECURITY/PROTECTION MEASURES.

12.8. PARKING: AT OWNER DIRECTION

13. CLOSEOUT REQUIREMENTS

13.1. AS-BUILT / RECORD DRAWINGS: MAINTAIN A RED-LINE COPY OF AS-BUILT / RECORD DRAWINGS INDICATING FIELD CHANGES.

13.2. OPERATIONS AND MAINTENANCE DATA: PROVIDE O-M MANUAL TO CLIENT / OWNER WITH ALL PERTINENT SELECTIONS, SYSTEMS, PROJECT DOCUMENTS, AND CERTIFICATES.

13.3. STARTING OF SYSTEMS / DEMONSTRATION: DEMONSTRATE THE OPERATION AND MAINTENANCE OF INSTALLED PRODUCTS AND SYSTEMS TO CLIENT / OWNER PRIOR TO TURN OVER OF THE PROJECT.

13.4. TESTING, ADJUSTING, BALANCING: TEST AND BALANCE SYSTEMS AS REQUIRED FOR SMOOTH AND UNHINDERED OPERATION.

SECTION 02 41 19 - EXISTING CONDITIONS / SELECTIVE DEMOLITION

1. NOTIFY ARCHITECT AND CLIENT IF ANY PART OR PARTS OF THE EXISTING BUILDING STRUCTURE SHOW SIGNS OF ROTTING, VANDALISM, WATER DAMAGE, PEST DAMAGE, OR OTHER DAMAGE / FAILURE / DETERIORATION WHICH MAY CAUSE THE PART / PARTS / BUILDING TO NOT MEET APPLICABLE BUILDING CODES, COMPROMISE SAFETY, CREATE RISK OF FAILURE, OR NOT MEET STANDARD BUILDING PRACTICES.

2. VERIFY EXISTING STRUCTURE HAS CAPACITY TO SUPPORT NEW NEW CONSTRUCTION WHERE INDICATED TO BE SUSPENDED FROM THE EXISTING STRUCTURE.

3. VERIFICATION OF EXISTING CONDITIONS / ACCEPTANCE OF CONDITIONS

3.1. VERIFY ALL CONDITIONS, DIMENSIONS, ELEVATIONS, SLOPES, DETAILS, DRAINS, PENETRATIONS, AND INTERRELATED INFORMATION IN THESE DRAWINGS FOR ACCURACY AS SHOWN WITH THE INTENT OF THESE DRAWINGS PRIOR TO THE START OF WORK. REPORT ANY CONCEALED ELEMENTS OR DIFFERING CONDITIONS WHICH MAY AFFECT CONSTRUCTION TO THE ARCHITECT.

3.2. VERIFY EXISTING DECK SURFACES AND SLOPES PRIOR TO INSTALLATION OF INSULATION / TAPERED INSULATION ETC. TAKE ALL PROVISIONS TO ENSURE PROPER DRAINAGE INCLUDING STRING LEVELING THE DECK, ETC. TO DETERMINE ANY IRREGULARITIES, BELLY, RIDGE, ETC. THAT MAY AFFECT THE PROPER FLOW OF WATER TO THE DRAINAGE SYSTEM.

3.3. VERIFY THE CONDITION OF ALL EXISTING DRAINAGE SYSTEM COMPONENTS [INTERNAL ROOF DRAINS, SCUPPERS, GUTTERS, ETC.], NOTIFY ARCHITECT OF ANY REPAIRS THAT ARE REQUIRED SUCH AS BROKEN DRAIN BOLTS, CLAMPING RINGS, ETC. ALL DRAINS REQUIRE NEW FLASHING AND ANY COMPONENTS TO MAKE / MAINTAIN THEM OPERATIONAL.

3.4. VERIFY ALL DRAINAGE SYSTEMS ARE FREE-FLOWING AND DRAINING PROPERLY. ADDRESS AND UN-CLOG ANY DRAINAGE SYSTEMS WHICH BECOME CLOGGED DURING COURSE OF THE WORK AT THE CONTRACTOR'S EXPENSE.

3.5. TAPERED INSULATION OR CRICKET / SADDLE LAYOUT AS SHOWN PROVIDES A GUIDE (AS APPLICABLE), FOLLOW THE INTENT OF THE DRAWINGS. ONLY SLIGHT ADJUSTMENTS SHALL BE MADE. ACTUAL INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED MANUFACTURERS SCALED LAYOUT.

4. PROTECTION / CUTTING AND PATCHING:

4.1. PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED BY WORK.

4.2. PROVIDE ALL LEVELING, PATCHING, AND REMEDIAL REPAIRS AS REQUIRED BY THE SCOPE OF WORK. REPAIRS INCLUDE, BUT ARE NOT LIMITED TO, WORK REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION BETWEEN NEW AND EXISTING FINISHES AND TO PREPARE EXISTING SURFACES FOR NEW FINISHES.

4.3. REMOVE ALL UNUSED VENT PIPES, EQUIPMENT SUPPORTS, ETC. COORDINATE WITH THE OWNER.

4.4. ENSURE THAT ALL PENETRATIONS ARE PROPERLY SUPPORTED BELOW THE DECK.

4.5. CHECK FOR ROOFTOP CONDUITS, OBSTRUCTIONS, ETC. UNDER DECK PRIOR TO APPLICATION OF INSULATION, MECHANICAL FASTENING, ETC. COORDINATE ACCESS TO BELOW ROOF DECK WITH OWNER.

4.6. REMOVE AND REINSTALL EXISTING CONDUITS/CABLING, ETC. AS REQUIRED TO INSTALL NEW ROOF SYSTEM.

4.7. TAKE ALL MEASURES NECESSARY TO MINIMIZE DUST/DIRT/DEBRIS FROM ENTERING INTERIOR PORTIONS OF THE BUILDING. PROVIDE ALL TEMPORARY PROTECTION REQ'D.

4.8. COORDINATE ALL WORK TO MINIMIZE DISTURBANCE TO THE BUILDING OCCUPANTS.

4.9. COORDINATE SHUT DOWN OF HVAC / VENTILATION SYSTEMS, ELECTRICAL COMPONENTS, ETC. A MINIMUM OF 48 HOURS PRIOR TO ANY DISRUPTION OF SERVICE.

4.10. DISCONNECT AND RECONNECT ALL HVAC EQUIPMENT INCLUDING ELECTRICAL CONNECTION, REFRIGERANT PIPING, ETC. AS REQUIRED. PROVIDE OWNER A 48 HOUR NOTICE PRIOR TO PERFORMING THIS WORK.

4.11. PROVIDE ADEQUATE PROTECTION FROM VAPORS, FUMES, SMELL, ETC. FROM ENTERING THE BUILDING TO THE BEST OF THEIR ABILITY. PROVIDE PROTECTION OF EXISTING SYSTEMS AS REQUIRED.

4.12. FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF ROOF DECK, WALL, OR OTHER CONSTRUCTION, COMPLETELY SEAL VOIDS.

4.13. REFINISH SURFACES TO MATCH ADJACENT FINISHES, UNLESS NOTED OTHERWISE.

4.14. SALVAGED ITEMS: COORDINATE W/ CLIENT / OWNER.

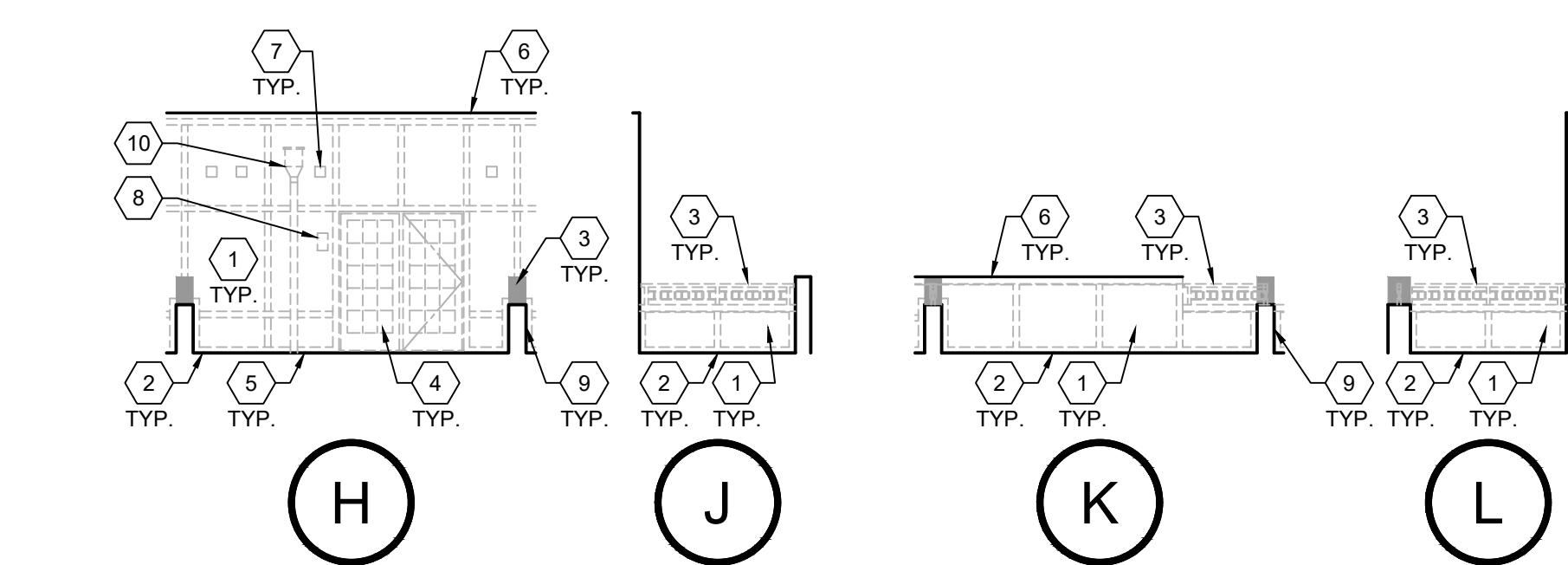
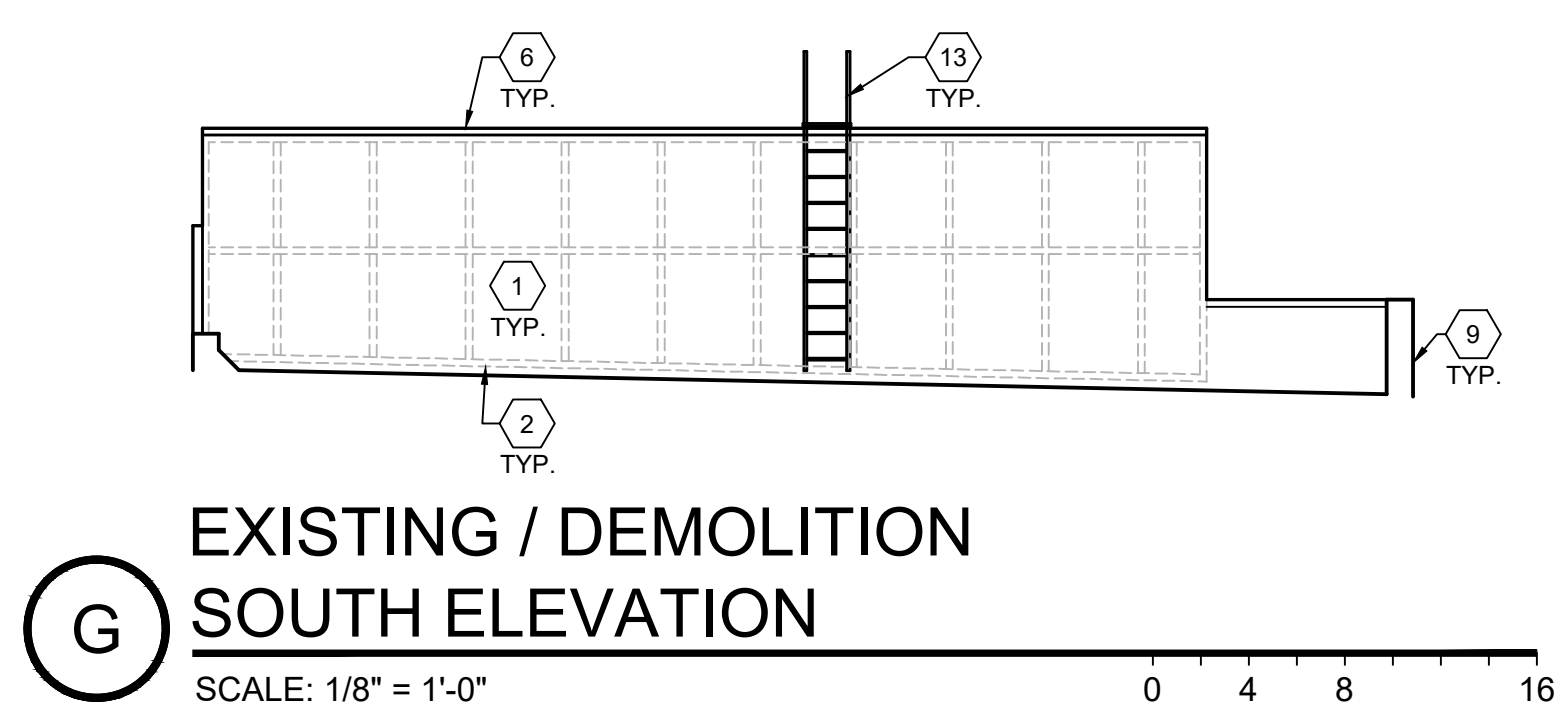
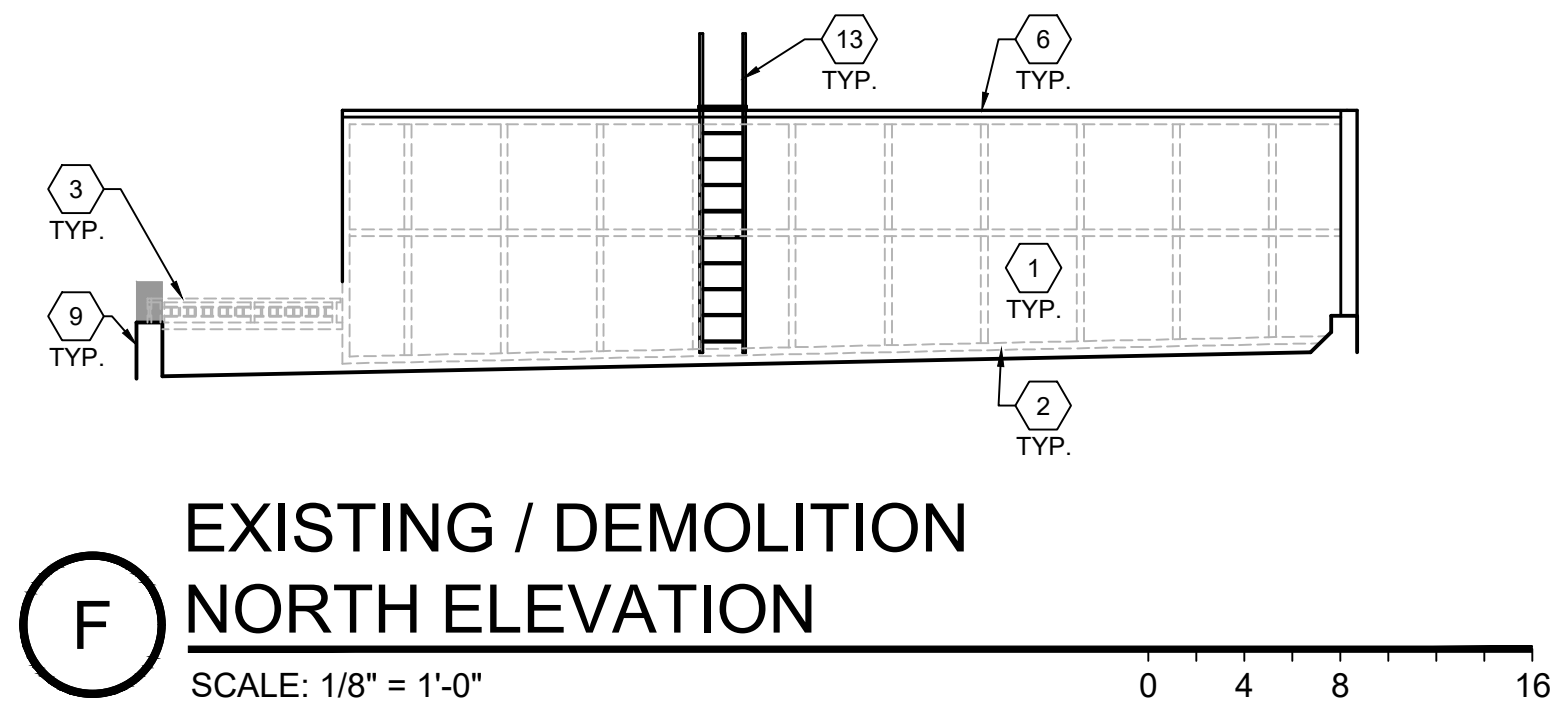
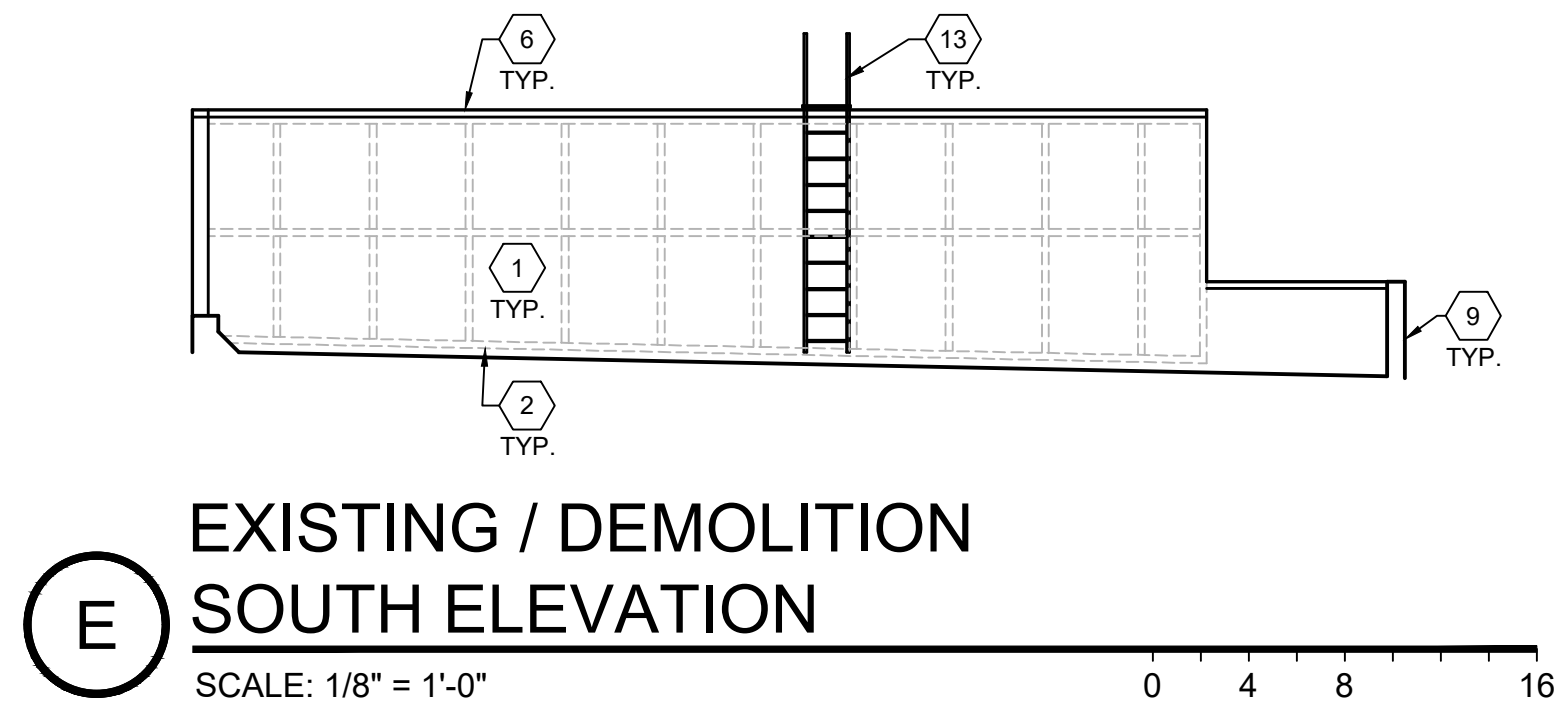
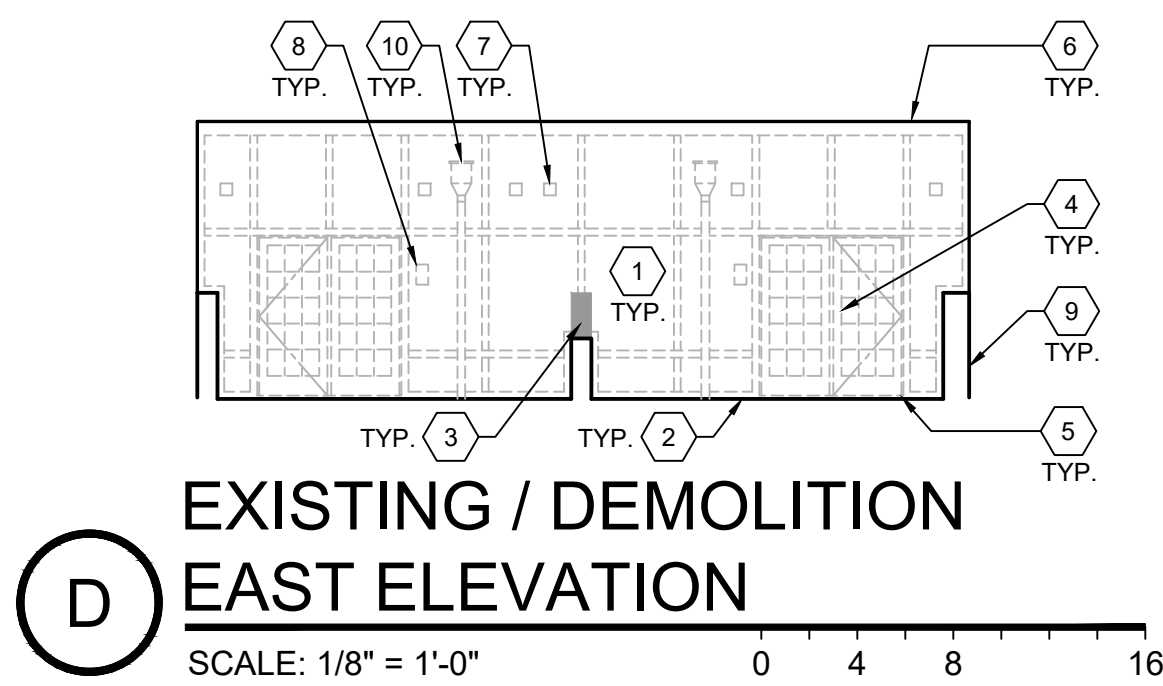
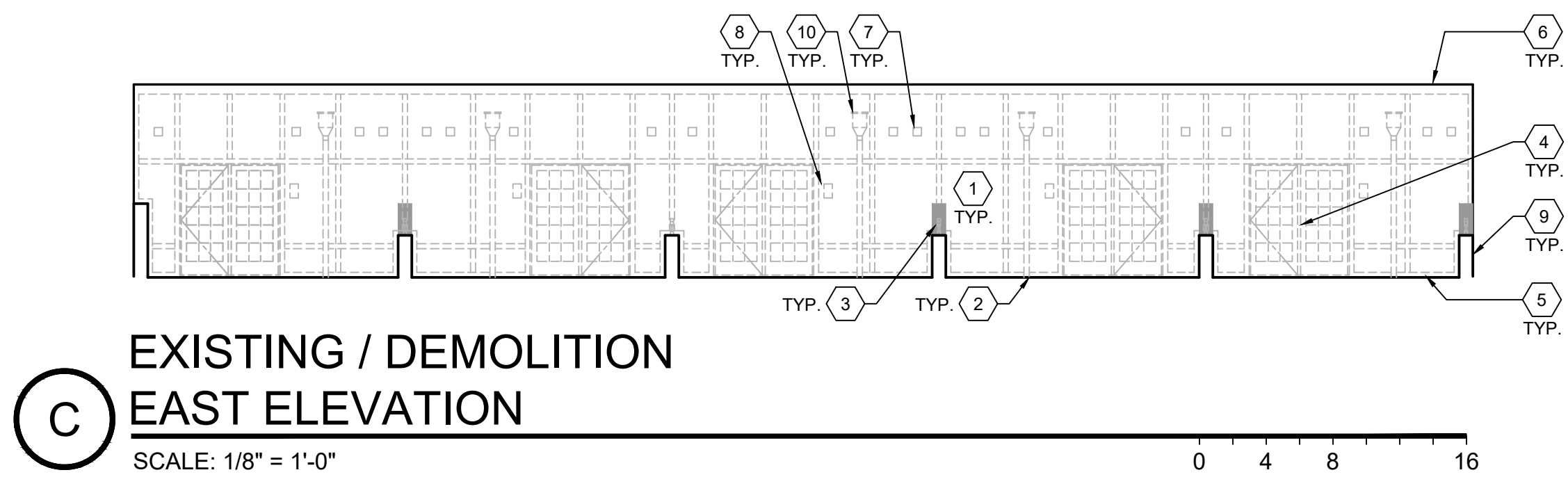
5. HAZARDOUS MATERIALS: FOLLOW ALL APPLICABLE REQUIREMENTS RELATED TO THE REMOVAL / ABATEMENT OF EXISTING CONSTRUCTION AS HAVE BEEN IDENTIFIED. PROPERLY DISPOSE OF ANY HAZARDOUS MATERIALS. MAINTAIN ALL REQUIRED CERTIFICATIONS.

ABBREVIATIONS

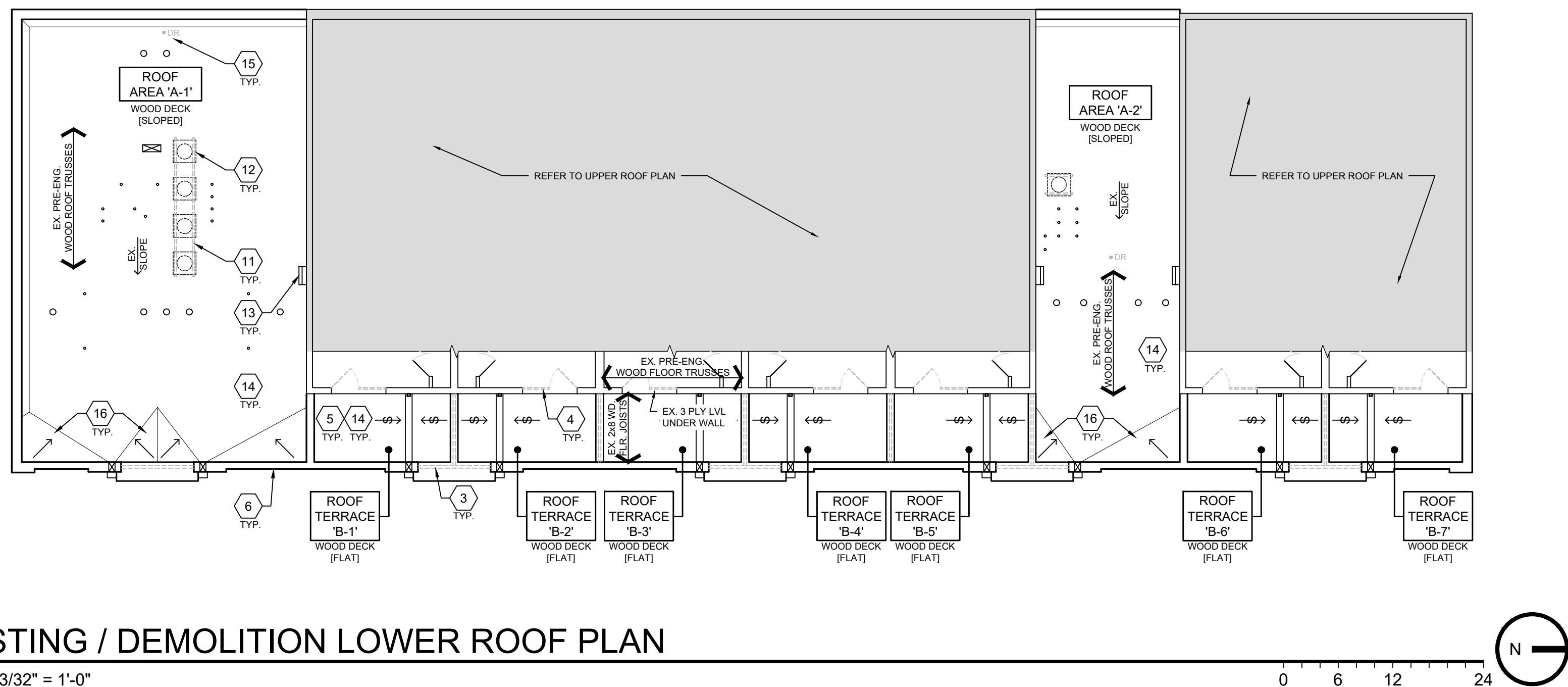
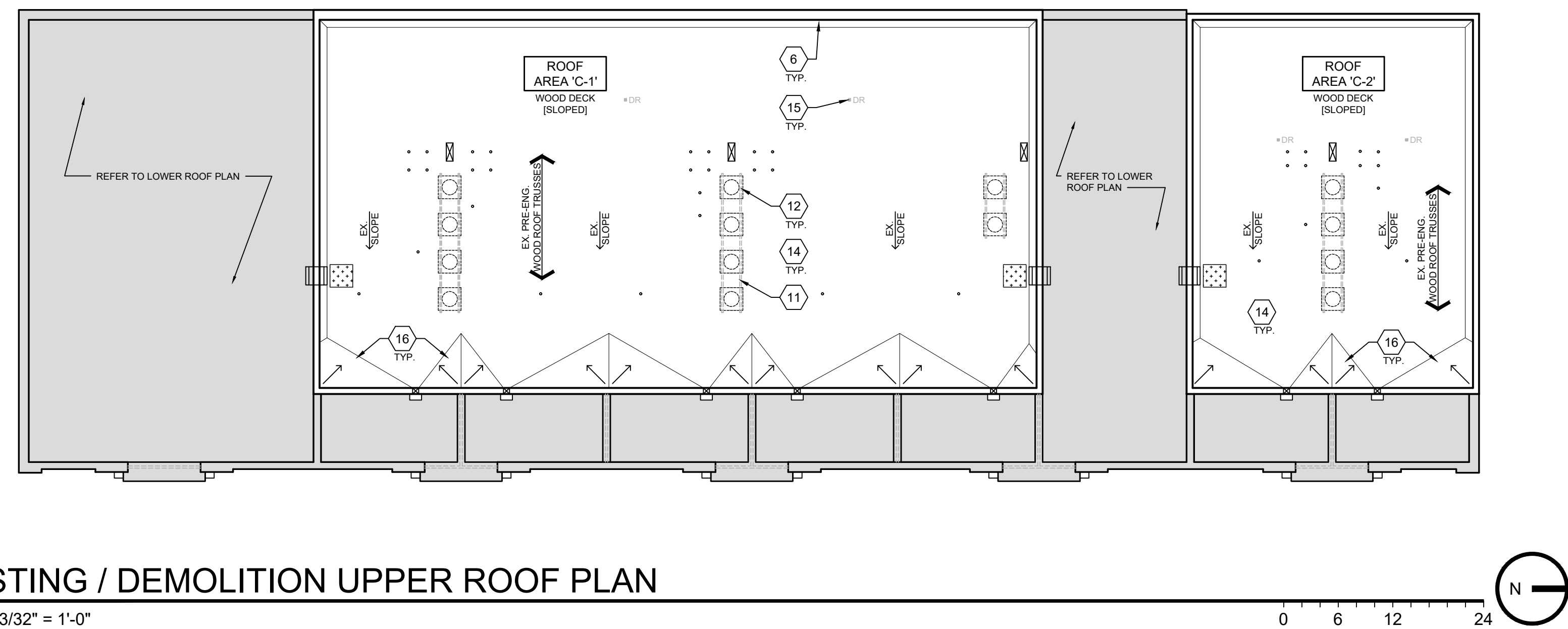
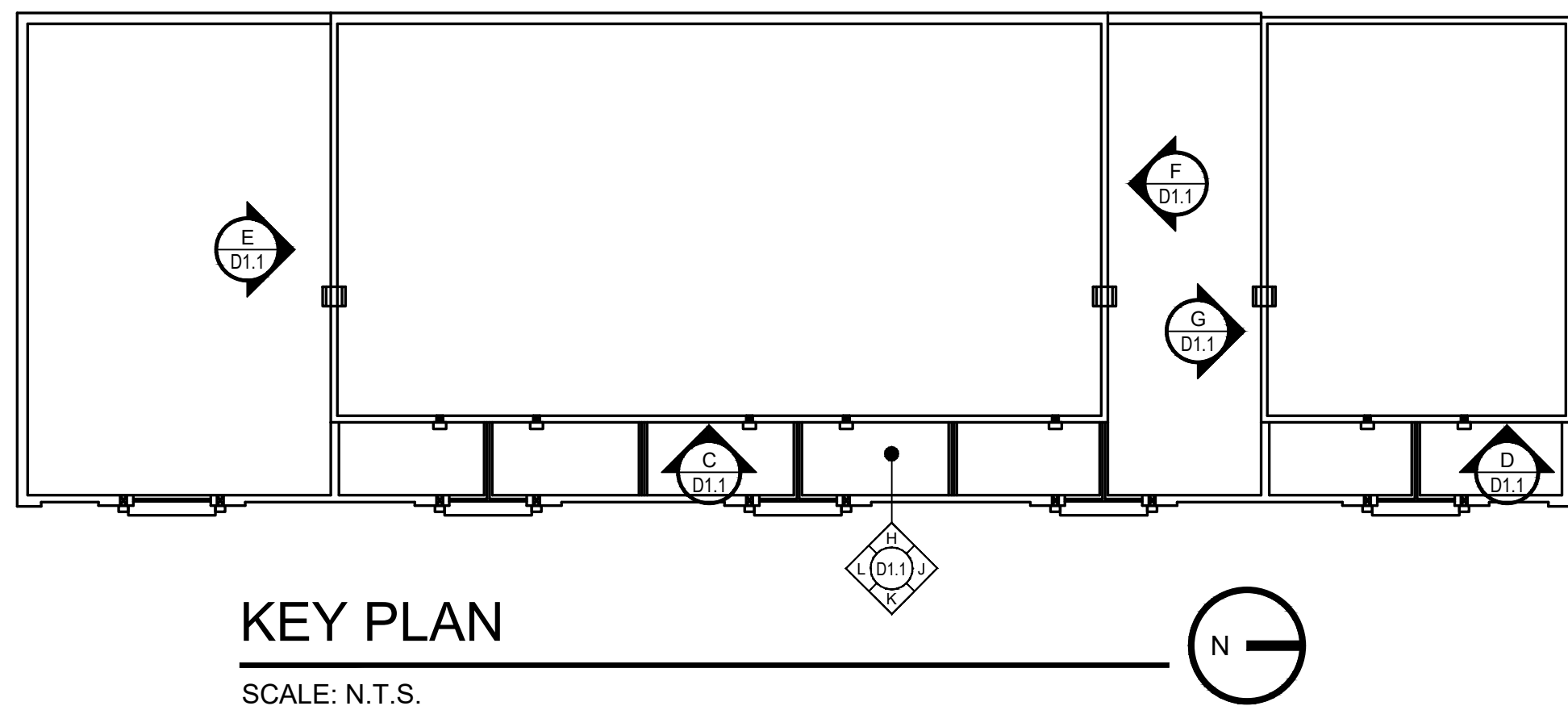
°	DEGREES	ELEV	ELEVATION / ELEVATOR	OPG	OPENING
±	PLUS OR MINUS	EQ	EQUAL	OPP	OPPOSITE
≠	NOT EQUAL	EQUIP	EQUIPMENT		
Ø	DIAMETER	EXIST	EXISTING	PEMB	PRE-ENGINEERED METAL BUILDING
∠	ANGLE	EXP	EXPANSION	PL	PLATE / PROPERTY LINE
℄	CENTERLINE	FD	FLOOR DRAIN	PTD	PAINTED
℄	PROPERTY LINE	FDN	FOUNDATION	QT	QUARRY TILE
		FEXT	FIRE EXTINGUISHER	QTY	QUANTITY
		FEC	FIRE EXTINGUISHER CABINET		
ABV	ABOVE	FF	FINISH FLOOR		
ADA	ACCESSIBLE / HANDICAP ACCESSIBLY / ACCESSIBILITY - ANSI ICC-117.1-2009	FIN	FINISH / FINISHED	R / RAD	RADIUS
		FRT	FIRE RETARDANT TREATED	RA	RETURN AIR
		FSE	FOOD SERVICE EQUIPMENT	RB	RUBBER BASE
AFF	ABOVE FINISH FLOOR	FTG	FOOTING	RD	ROOF DRAIN
ALT	ALTERNATE	FV	FIELD VERIFY	REF	REFRIGERATOR
ALUM	ALUMINUM	GA	GAUGE	REINF	REINFORCE
APPROX	APPROXIMATE	GALV	GALVANIZED	REQ'D	REQUIRED
ATC	ACOUSTIC TILE CEILING	GC	GENERAL CONTRACTOR	REQ'MT	REQUIREMENT[S]
		GYP	GYPSPUM	REV	REVISION
		GYP BD	GYPSPUM BOARD	RO	ROUGH OPENING
BET/BETWN	BETWEEN			R/W	RIGHT OF WAY
BLKG	BLOCKING	HB	HOSE BIBB	SALV	SALVAGED
BRG	BEARING	HM	HOLLOW METAL	SF	SQUARE FEET
BSMT	BASEMENT	HOR	HORIZONTAL	SIM	SIMILAR
BTM	BOTTOM	HT	HEIGHT	SM	SHEET METAL
CJP	CAST IN PLACE	HVAC	HEATING, VENTILATION, AIR CONDITIONING	SPEC	SPECIFICATION
CL	CENTERLINE			SQ	SQUARE
CLG	CEILING			SS	STAINLESS STEEL
CLR	CLEAR	INT	INTERIOR	STD	STANDARD
CMU	CONCRETE MASONRY UNIT			STL	STEEL
COL	COLUMN				
CONC	CONCRETE	JB	JUNCTION BOX	T	TEMPERED
CONT	CONTINUOUS	LL	LIVE LOAD	TBD	TO BE DETERMINED
CPT	CERAMIC TILE	LLH	LONG LEG HORIZONTAL	T&B	TOP AND BOTTOM
CT		LLV	LONG LEG VERTICAL	T&G	TONGUE AND GROOVE
		LTL	LINTEL	T.C.	TREATED
DEMO	DEMOLISH / DEMOLITION			TRYP	TYPICAL
DIA	DIAMETER	MAX	MAXIMUM		
DIM	DIMENSION	MECH	MECHANICAL	UFAS	UNIFORM FEDERAL ACCESSIBILITY STANDARD
DIV	DIVISION	MFR	MANUFACTURER	UNO	UNLESS NOTED OTHERWISE
DP	DOWNSPOUT	MIN	MINIMUM	UL	UNDERWRITER'S LABORATORY
DTL	DETAIL	MISC	MISCELLANEOUS		
DW	DISHWASHER	MO	MASONRY OPENING		
DWG	DRAWING	MS	METAL STUD		
		MTD	MOUNTED	VB	VAPOR BARRIER
		MTL	METAL	VERT	VERTICAL
EA	EACH				
EERO	EMERGENCY ESCAPE & RESCUE OPENING	NIC	NOT IN CONTRACT	W/	WITH
EIFS	EXTERIOR INSULATION FINISH SYSTEM	NOM	NOMINAL	W/O	WITHOUT
		NTS	NOT TO SCALE	WD	WOOD
EJ	EXPANSION JOINT	OC	ON CENTER	W.P.	WORK POINT
ELEC	ELECTRIC / ELECTRICAL	OH	OVERHEAD	WRB	WEATHER RESISTIVE BARRIER
				WWF	WELDED WIRE FABRIC

THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEPICT THE GENERAL SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP REQUIRED. THE DOCUMENTS ARE NOT AN INSTRUCTION MANUAL TO EXECUTE THE WORK NOR ARE THEY INTENDED TO SHOW

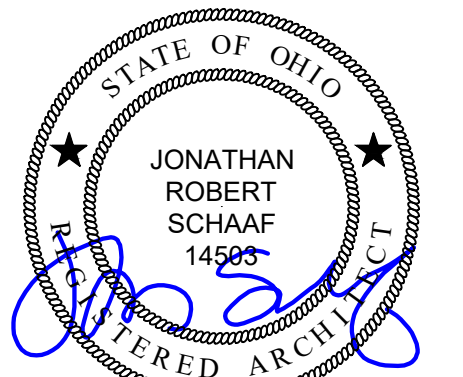




EXISTING / DEMOLITION  
TYPICAL TERRACE EXTERIOR ELEVATIONS  
SCALE: 1/8" = 1'-0"



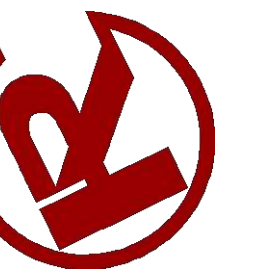
- # EXISTING / DEMOLITION KEY NOTES
1. REMOVE EX. FIBER CEMENT CLADDING, TRIM, & WRB COMPLETE TO SUB-SHEATHING - PREP FOR NEW WORK. REPAIR EXISTING SUB-SHEATHING AS REQUIRED TO ADDRESS ROTTED / DETERIORATED FRAMING [REFER TO ALLOWANCES]
  2. REMOVE EX. EPDM BASE FLASHING - REFER TO ROOF PLAN
  3. REMOVE EX. MTL RAIL SYSTEM COMPLETE.
  4. REMOVE EX. PATIO DOOR COMPLETE. REPAIR EXISTING FRAMING AS REQ'D TO ADDRESS ROTTED / DETERIORATED FRAMING. [REFER TO ALLOWANCES]
  5. REMOVE EX. ROOF PAVERS AT ROOFTOP TERRACE.
  6. REMOVE EX. METAL COPING.
  7. REMOVE EX. VENT COVERS, SALVAGE FOR REINSTALLATION.
  8. REMOVE EX. LIGHT FIXTURES, SALVAGE FOR REINSTALLATION.
  9. EX. PARAPET WALL.
  10. REMOVE EX. CONDUCTOR HEAD AND DOWNSPOUT COMPLETE.
  11. REMOVE EX. WOOD RAIL UNDER A/C UNITS.
  12. REMOVE EX. A/C UNITS, SALVAGE FOR REINSTALLATION AFTER COMPLETION OF NEW ROOF WORK
  13. REMOVE EX. LADDER, SALVAGE FOR REINSTALLATION AFTER COMPLETE OF NEW SIDING WORK.
  14. REMOVE EX. ROOF SYSTEM COMPLETE TO ROOF DECK. REPAIR EXISTING ROOF DECK AS REQUIRED TO ADDRESS ROTTED / DETERIORATED FRAMING. [REFER TO ALLOWANCES]
  15. REMOVE EX. D-RING TIE OFF SUPPORT FROM ROOF DECK.
  16. EXISTING WOOD FRAME SADDLES TO REMAIN.



Jonathan Robert Schaaf #14503  
Expiration Date 12/31/2025

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Roof Replacement & Building  
Enclosure Improvements at:  
**City West**  
1431 Linn Street  
Cincinnati, Ohio 45214

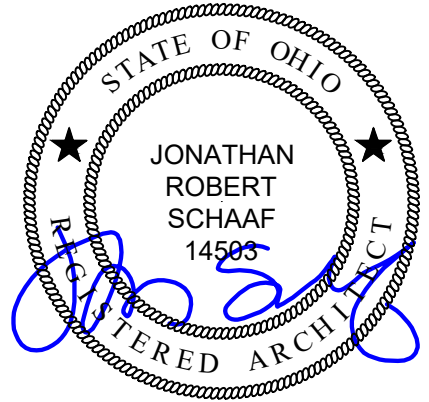
CMHA Solicitation  
#2025-3021

Project Number	
2025-060	
Date	
July 18, 2025	
Date	Issue
06.17.25	Review Set
06.27.25	Owner Review
07.18.25	Bid Set

Sheet Title  
Existing / Demolition Plans  
& Elevations

Sheet Number  
**D1.1**





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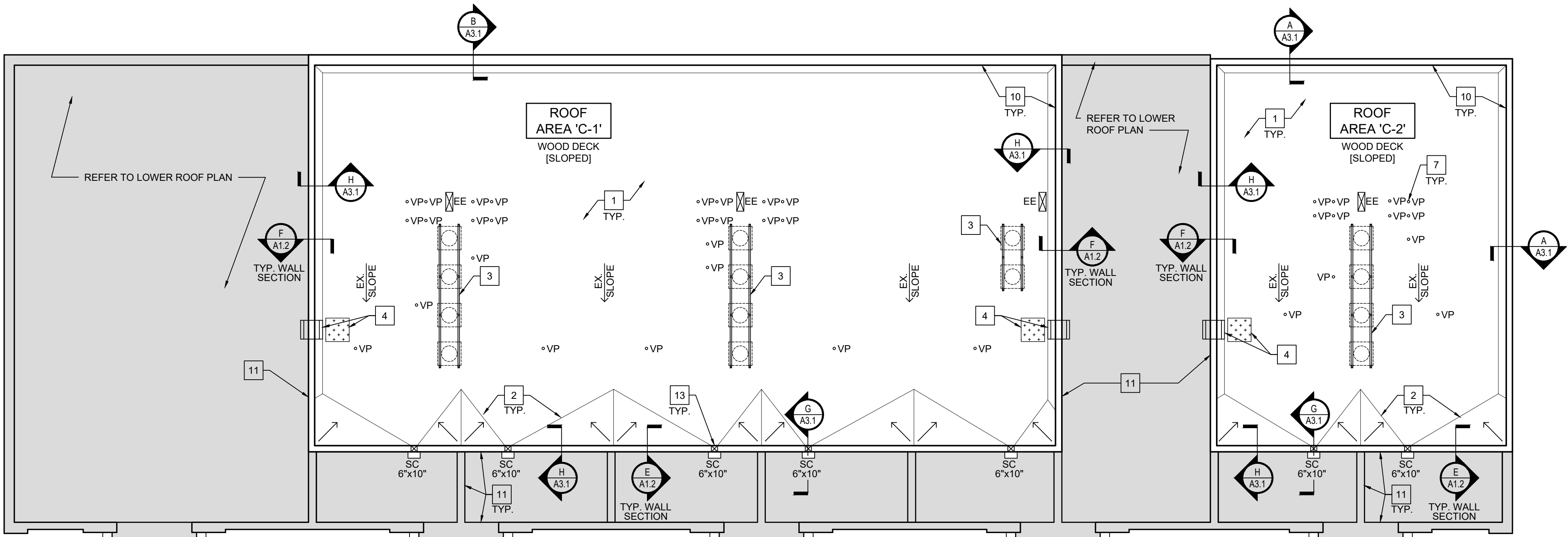
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Sheet Title	
Proposed Roof Plans	

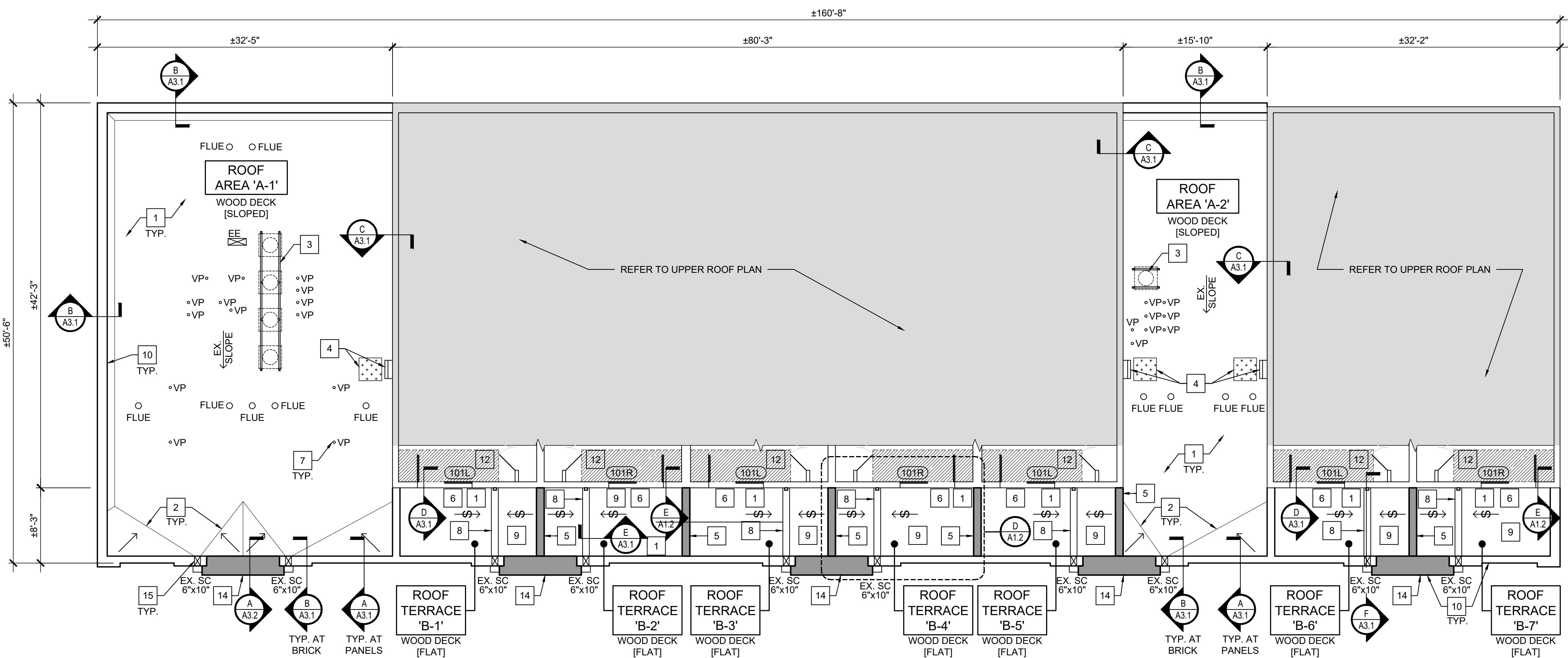
Sheet Number  
**A1.1**

#	KEY NOTES
1.	NEW EPDM ROOF SYSTEM. REFER TO ROOF MATRIX.
2.	EXISTING WOOD FRAMED CRICKETS / SADDLES TO REMAIN. ENSURE POSITIVE DRAINAGE TO THE SCUPPERS.
3.	NEW WIND RATED A/C STANDS. FLASH INTO NEW ROOF SYSTEM. REFER TO DETAILS. REINSTALL SALVAGED A/C UNITS. ANCHOR IN PLACE TO NEW STANDS. MODIFY / REPAIR / RECONNECT LINESETS AND ELECTRICAL FEEDS.
4.	REINSTALL EXISTING ROOF ACCESS LADDER. PREP AND PAINT. RE-ANCHOR / SEAL SUPPORTS AT STRUCTURE. INSTALL WALK PADS AT TOP AND BOTTOM OF EACH LADDER.
5.	FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x8 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING EACH SIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. INSTALL NEW 24 GA. PRE-FIN. WIND RATED COPING.
6.	NEW PATIO DOOR INTO ORIGINAL ROUGH OPENING. REPAIR EXISTING FRAMING AS REQ'D TO ADDRESS ROTTED / DETERIORATED FRAMING.
7.	NEW FLASHING / BOOTS AT EX. ROOF PENETRATIONS - SEE SYMBOL LEGEND.
8.	EXISTING DRAINAGE TROUGH. REFER TO DETAILS. REMOVE EXISTING, INSTALL NEW PERFORATED METAL FRAME / COVER.
9.	NEW ROOF PAVERS AT ROOFTOP TERRACE. REFER TO DETAILS.
10.	NEW PRE-FINISHED METAL COPING, REFER TO DETAILS.
11.	REFER TO BUILDING ELEVATIONS FOR REMOVAL AND REPLACEMENT OF WALL CLADDING COMPONENTS.
12.	AREA OF ANTICIPATED 3/4" T&G OSB SUBFLOOR REPLACEMENT. REMOVE EX. FINISH FLOOR (CARPET AS REQ'D. NO NEW FINISH FLOOR AS PART OF THIS SCOPE. PROVIDE SUPPLEMENTAL BLOCKING AS REQUIRED TO SUPPORT NEW OSB.
13.	REMOVE EXISTING, INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL CONDUCTOR HEAD AT EXTERIOR FACE OF WALL AND RELATED FLASHINGS PER MFG. INSTALL NEW 24 GA. PRE-FINISHED METAL 3"x4" DOWNSPOUT.
14.	FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x4 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING. WRB. & 7" EXPOSURE F.C. LAP SIDING ON INSIDE. & [2] 1x12 F.C. FRIEZE TRIM ON OUTSIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. ALIGN INTERIOR FACE OF PONY WALL W/ INTERIOR FACE OF EX. ADJACENT PARAPET WALL. INSTALL NEW 22 GA. PRE-FIN. WIND RATED COPING.
15.	REMOVE EXISTING, INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL FACE PLATE. EXISTING CONDUCTOR HEAD & DOWNSPOUT TO REMAIN.
SYMBOL LEGEND	
COORDINATE WITH CONDITIONS AND KEY NOTES ON DRAWINGS	
	EXISTING ROOF SLOPE (STRUCTURAL DECK SLOPE)
	ROOF SLOPE DIRECTION - SEE DRAWING FOR SLOPE (TAPERED INSULATION SLOPE)
	EXISTING SPLIT SYSTEM CONDENSING / AC UNIT MOUNTED ON NEW WIND RATED STANDS (SINGLE OR MULTIPLE UNITS) - FIELD FLASH / EPDM FLASHING BOOT AT STAND SUPPORTS.
	EXISTING VENT PIPE. INSTALL NEW FLASHING BOOT PER MFG. RAISE / EXTEND VENT AS REQ'D TO INSTALL FLASHING.
	FLUE / HOT STACK PENETRATION, INSTALL NEW FIELD FLASHING PER MFG.
	PRIMARY SCUPPER - REMOVE EXISTING, INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL CONDUCTOR HEAD AT EXTERIOR FACE OF WALL AND RELATED FLASHING PER MFG. SIZED AS NOTED. MODIFY EXISTING OPENING IF REQ'D. TO MEET DIMENSIONS / NEW ROOF SYSTEM THICKNESS. REMOVE EX. INSTALL NEW 24 GA. PRE-FINISHED METAL DOWNSPOUT. PROVIDE ALL ELBOWS & OFFSETS AS REQUIRED. DOWNSPOUTS SIZED AT 3"x4" UNLESS OTHERWISE NOTED. DISCHARGE ONTO LOWER ROOF / DRAINAGE TROUGH.
	EXISTING SCUPPER - REMOVE EXISTING, INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL FACE PLATE. EXISTING CONDUCTOR HEAD & DOWNSPOUT TO REMAIN. DISCHARGE INTO EXISTING UNDERGROUND STORM.
	REMOVE EXISTING, INSTALL NEW EQUIPMENT ENCLOSURE - 24 GA. GALVANIZED SHEET METAL WITH SLOPED, REMOVABLE TOP TO ACCESS ENCLOSURE. SEAL ALL PENETRATIONS THRU ENCLOSURE. DISCONNECT / RECONNECT - REFER TO DETAIL D/A3.2
	NEW WALK PADS
	EXISTING TIE OFF POINT - REMOVE FROM ROOF

- GENERAL NOTES**
- VERIFY BELOW DECK CONFLICTS, COMMUNICATION WIRING, ELECTRICAL CONDUITS, ETC. THAT MAY BE ATTACHED JUST BELOW THE ROOF DECK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO BELOW DECK ITEMS AND SUBSEQUENT REPAIRS.
  - INSTALL MISCELLANEOUS BLOCKING / FURRING AS REQ'D FOR FILLERS, ETC. TO ALLOW PROPER ALIGNMENT OF NEW / EXISTING CONDITIONS.
  - VERIFY ALL DIMENSIONS FOR METAL EDGE, FASCIA, COPING, ETC. TO ENSURE NEW METAL ADEQUATELY COVERS AND OVERLAPS EXISTING JOINTS, MASONRY, EIFS, ETC. AND WILL NOT LEAVE UNFINISHED EDGES, PROFILES, SHADOWS, ETC.
  - REMOVE / REINSTALL EXISTING ELECTRICAL DEVICES, SENSORS, ETC. AS REQ'D TO INSTALL NEW METAL COPING / METAL EDGE, TYP. ALL AREAS.
  - ALL EXPOSED TO VIEW JOINT SEALANT SHALL BE INSTALLED BY A QUALIFIED APPLICATOR. QUALITY OF SEALANT JOINTS WILL BE REVIEWED DURING CONSTRUCTION INCLUDING PROPER WIDTH / DEPTH RATIO, BACKER ROD, PRIMER, AND AESTHETICS - COORDINATE AS REQ'D.
  - INCLUDE ALL NECESSARY 2x BLOCKING / NAILERS AS REQ'D TO INSTALL NEW / REPLACEMENT SHEATHING / DECKING. ENSURE THAT ALL PANEL EDGES ARE SUPPORTED BY FRAMING.
  - VERIFY SHEATHING / DECKING IS PROPERLY ATTACHED TO THE UNDERLYING WOOD STRUCTURE.
    - 1/2" OSB ROOF / WALL SHEATHING: MIN. OF 8d RING SHANK NAILS AT 6" OC AT EDGES / PERIMETER OF PANELS AND 8d NAILS AT 12" OC AT FIELD OF PANELS.
    - 3/4" OSB FLOOR SHEATHING: BED IN CONSTRUCTION ADHESIVE AND MIN. OF 8d RING SHANK NAILS AT 6" OC AT EDGES / PERIMETER OF PANELS AND 8d NAILS AT 12" OC AT FIELD OF PANELS.
  - PROJECT ALLOWANCES:
    - REMOVAL / REPLACEMENT OF 70 SHEETS (2,240 SF) OF 1/2" OSB ROOF DECK [MIN. 4"x4" SECTIONS FOR REPLACEMENT]
    - REMOVAL / REPLACEMENT OF 40 SHEETS (1,280 SF) OF 1/2" OSB WALL SHEATHING
    - REMOVAL / REPLACEMENT OF 14 SHEETS (448 SF) OF 3/4" T&G OSB SUBFLOOR

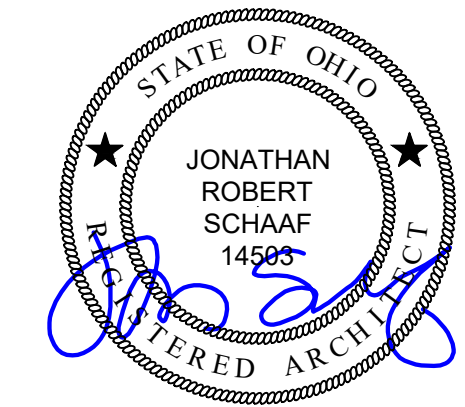


**B** UPPER ROOF PLAN  
SCALE: 1/8" = 1'-0"



**A** LOWER ROOF PLAN  
SCALE: 1/8" = 1'-0"





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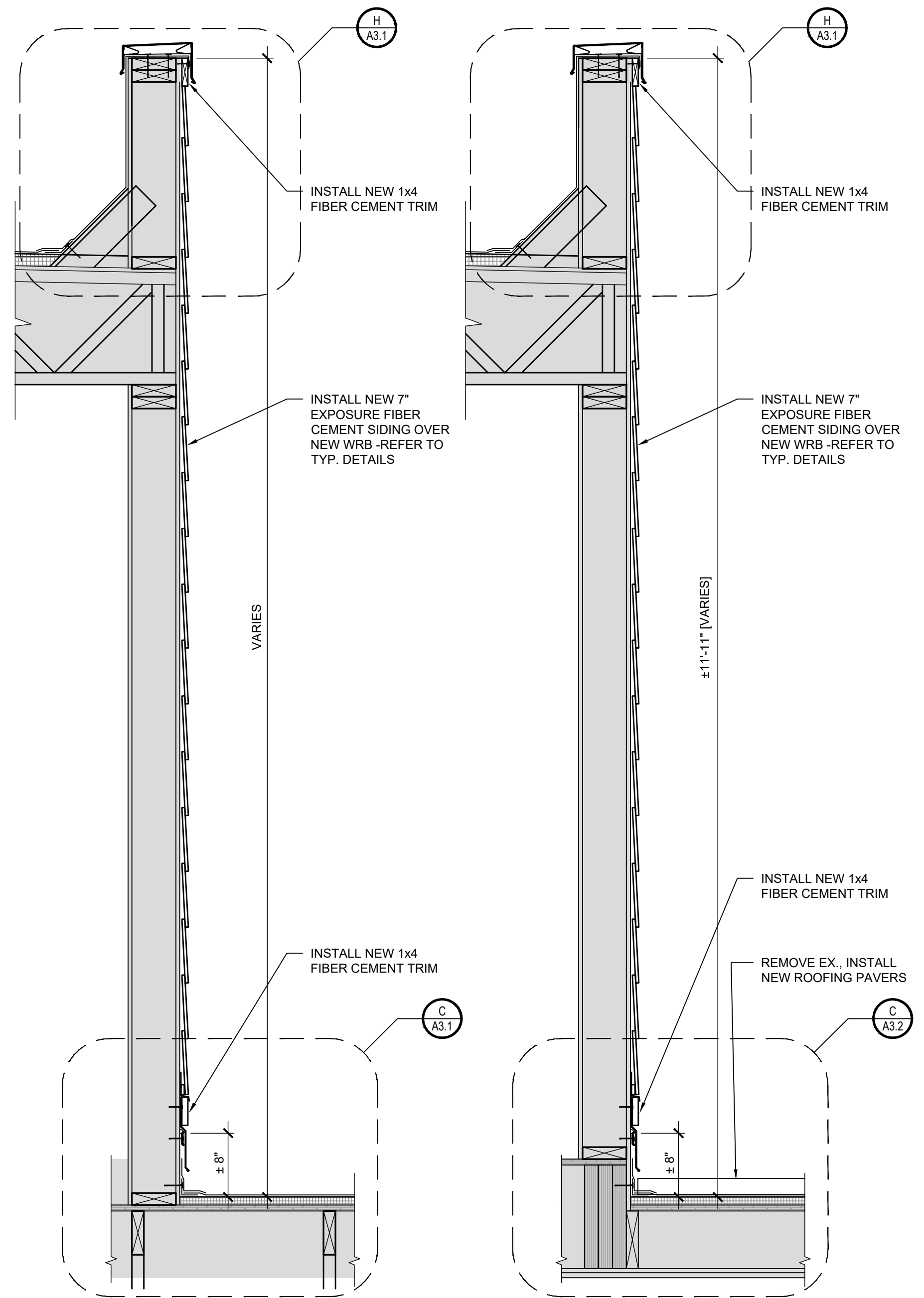
07.18.25 Bid Set

Sheet Title

Roof Matrix / Enlarged  
Plan / Schedule

Sheet Number

A1.2



**F** SECTION  
SCALE: 1" = 1'-0" 0 6" 1 2

**E** SECTION  
SCALE: 1" = 1'-0" 0 6" 1 2

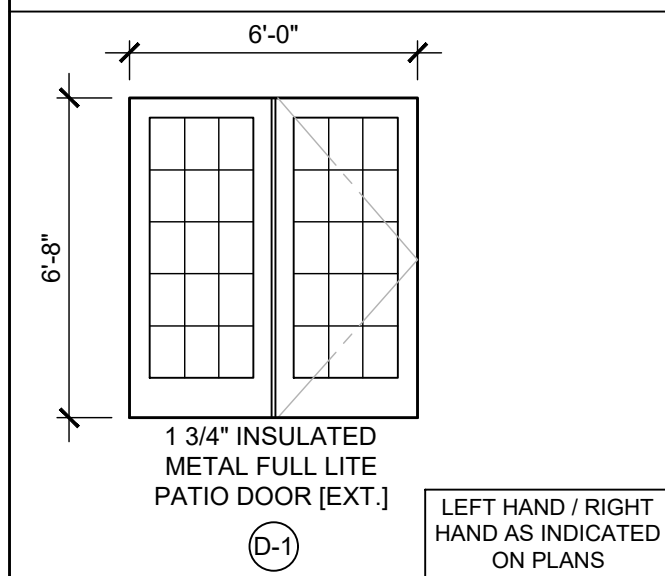
# DOOR SCHEDULE

#	SIZE	NEW	EXISTING	SALVAGED	FRAME TYPE	DOOR TYPE	HWDR SET #	FIRE RAT'G	REMARKS
101L	6'-0" X 6'-8"	●			F-1	D-1	H-1	-	-
101R	6'-0" X 6'-8"	●			F-1	D-1	H-1	-	-

FRAME TYPES

(F-1) WOOD FRAME W/ FIBER CEMENT TRIM AT EXTERIOR

DOOR TYPES

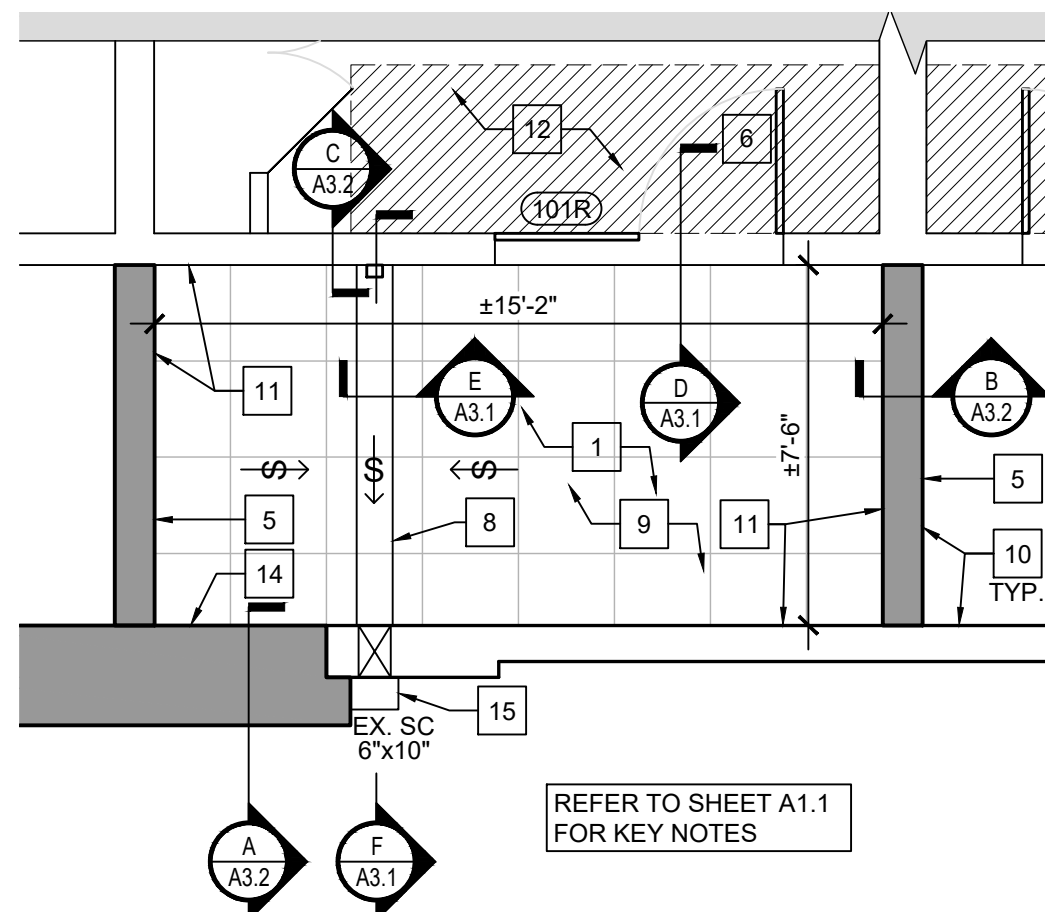


HARDWARE TYPES

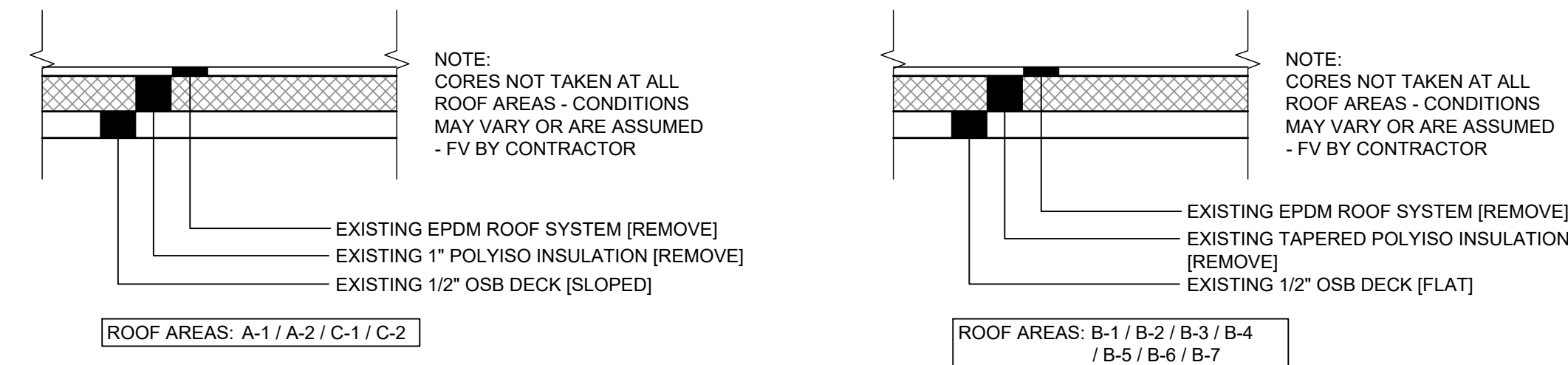
H-1 - TERRACE ENTRY [EXTERIOR]  
HINGES: 1 1/2" PR. BUTT  
LOCKSET: ENTRY LEVER W/  
DEADBOLT  
THRESHOLD: HIGH DAM  
[COORDINATE WITH SPECIFICATIONS]

DOOR / FRAME / GLAZING NOTES

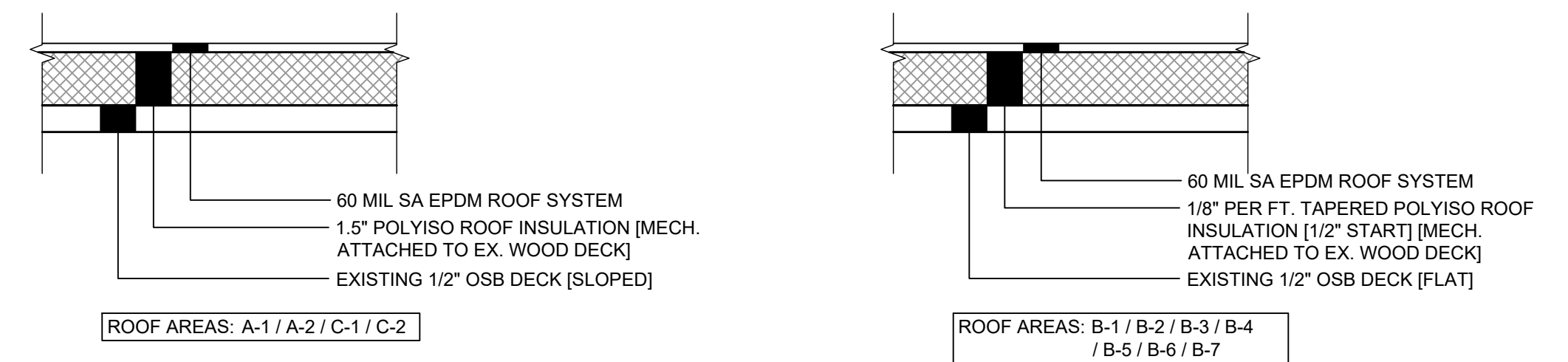
- EXTERIOR DOOR FRAMES: WOOD, PAINT FINISH PER OWNER, [EXTERIOR ONLY]
- EXTERIOR DOORS SHALL BE INSULATED METAL, FULL LITE 15 PANEL, PAINT FINISH PER OWNER, [EXTERIOR ONLY]
- COORDINATE DOOR/FRAME TYPES, STYLE, FINISH WITH OWNER.
- ALL HARDWARE SHALL MATCH OWNER STANDARD.
- ALL HARDWARE TO COMPLY WITH THE LATEST REQUIREMENTS OF THE OHIO BUILDING CODE, ADAAG, NFPA, NEC AND OTHER APPLICABLE REGULATORY AGENCIES. THE HARDWARE SUPPLIER SHALL COORDINATE STYLE, FINISH, AND OPERATION REQUIREMENTS WITH THE OWNER.
- COORDINATE THE KEYING REQUIREMENTS WITH THE OWNER.



**D** ENLARGED TYPICAL  
ROOF TERRACE PLAN  
SCALE: 1/4" = 1'-0" 0 2 4 8



**A** EXISTING ROOF MATRIX  
SCALE: N.T.S.

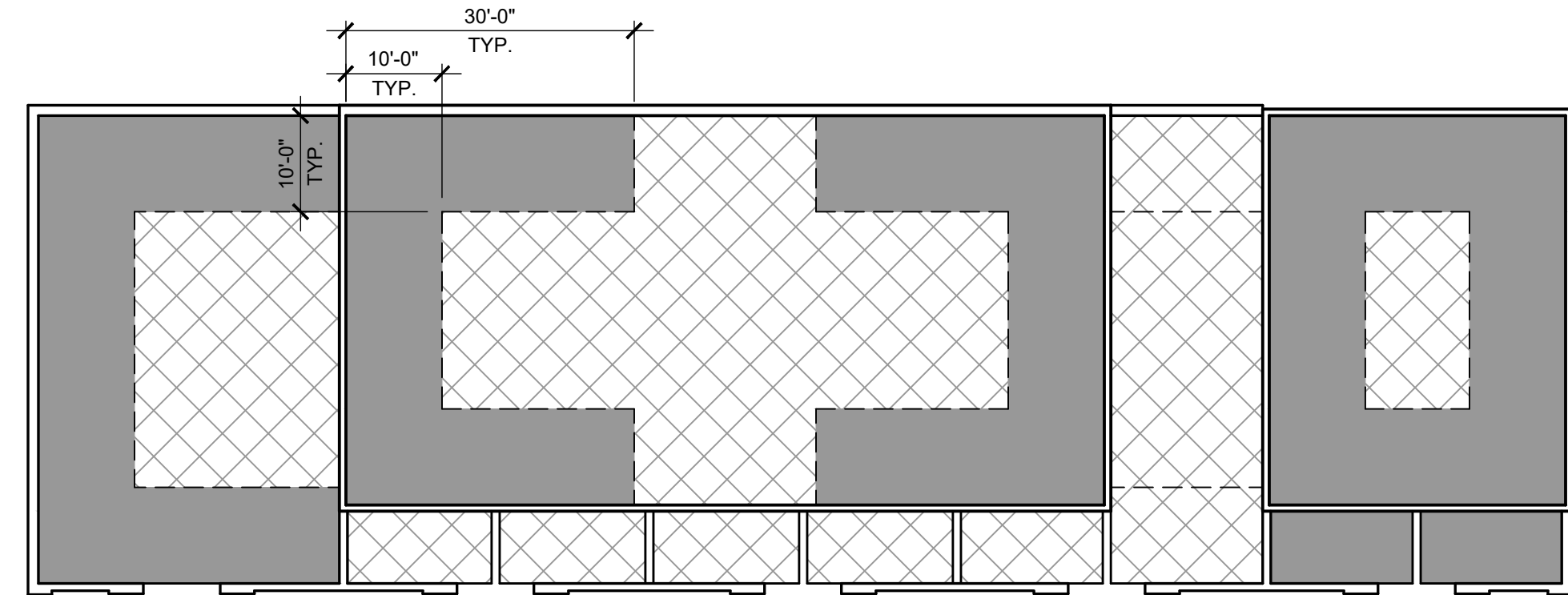


**B** PROPOSED ROOF MATRIX  
SCALE: N.T.S.

MECHANICAL ATTACHMENT REQUIREMENTS	
ZONE 1: INTERIOR FIELD	12 FASTENERS / 4' x 8' BOARD
ZONE 1: EXTERIOR FIELD	12 FASTENERS / 4' x 8' BOARD
ZONE 2: PERIMETER	16 FASTENERS / 4' x 8' BOARD
ZONE 3: CORNERS	32 FASTENERS / 4' x 8' BOARD

NOTE:  
CONTRACTOR TO CONDUCT MECHANICAL PULLOUT TESTING OF THE EXISTING OSB ROOF DECK. THE MINIMUM PULL OUT VALUE FOR THE ABOVE FASTENING RATES IS 300 LB. IF LOWER VALUES ARE FOUND THROUGH TESTING, ADJUST THE FASTENING RATES PER MANUFACTURER'S REQUIREMENTS. THE INDICATED MECHANICAL ATTACHMENT RATES ARE THE MINIMUM REQUIREMENTS PER MANUFACTURER TESTING RESULTS. THE CONTRACTOR SHALL CONFIRM WITH THE MANUFACTURER AND FACTORY MUTUAL GLOBAL SYSTEM ASSEMBLY (IF APPLICABLE) TO ENSURE THE ACTUAL SYSTEM BEING INSTALLED PER THEIR REQUIREMENTS TO MEET THE SPECIFIED WARRANTY (INCLUDING WIND) REQUIREMENTS. THIS SHALL BE ACCOMPLISHED PRIOR TO SUBMITTING FOR BIDS AND ANY DEVIATION SHALL BE INCLUDED IN THE BID AMOUNT.

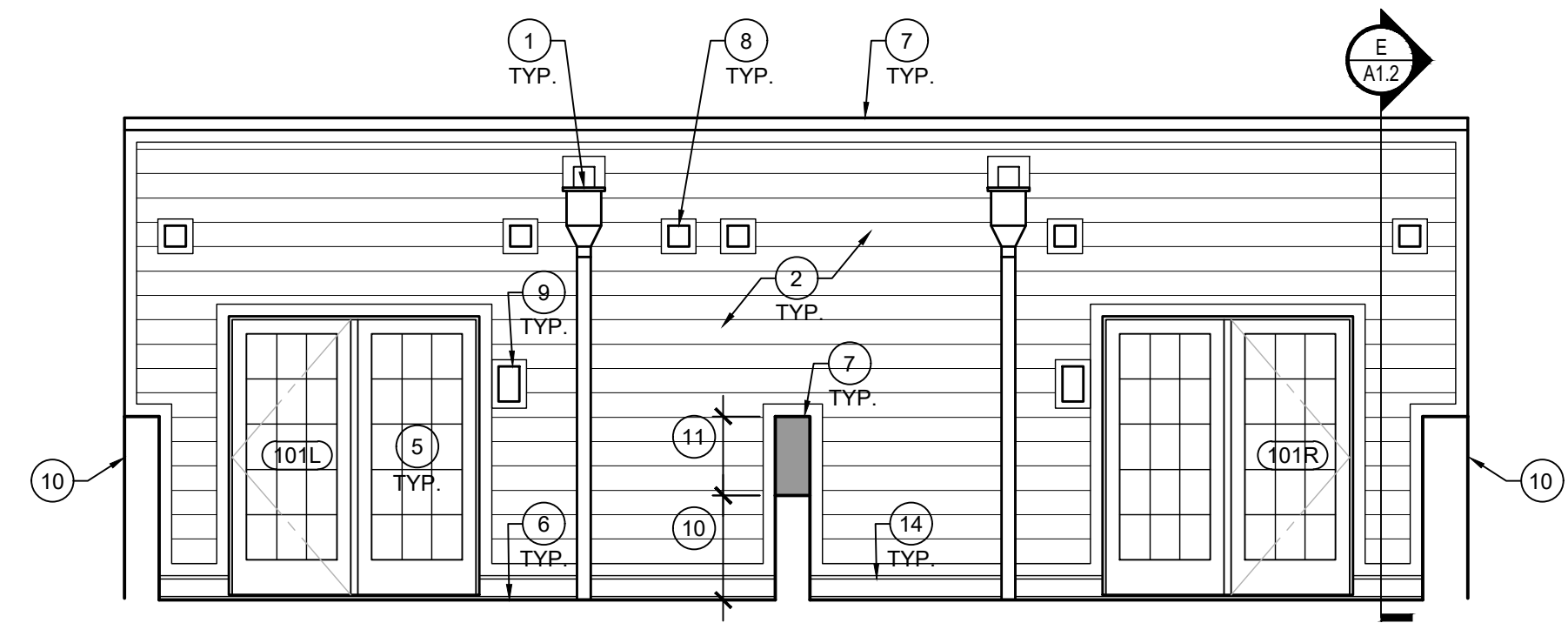
KEY FOR ROOF ZONES:	
[Pattern]	ZONE 1' - INTERIOR FIELD
[Pattern]	ZONE 1 - EXTERIOR FIELD
[Pattern]	ZONE 2 - PERIMETER
[Pattern]	ZONE 3 - CORNER



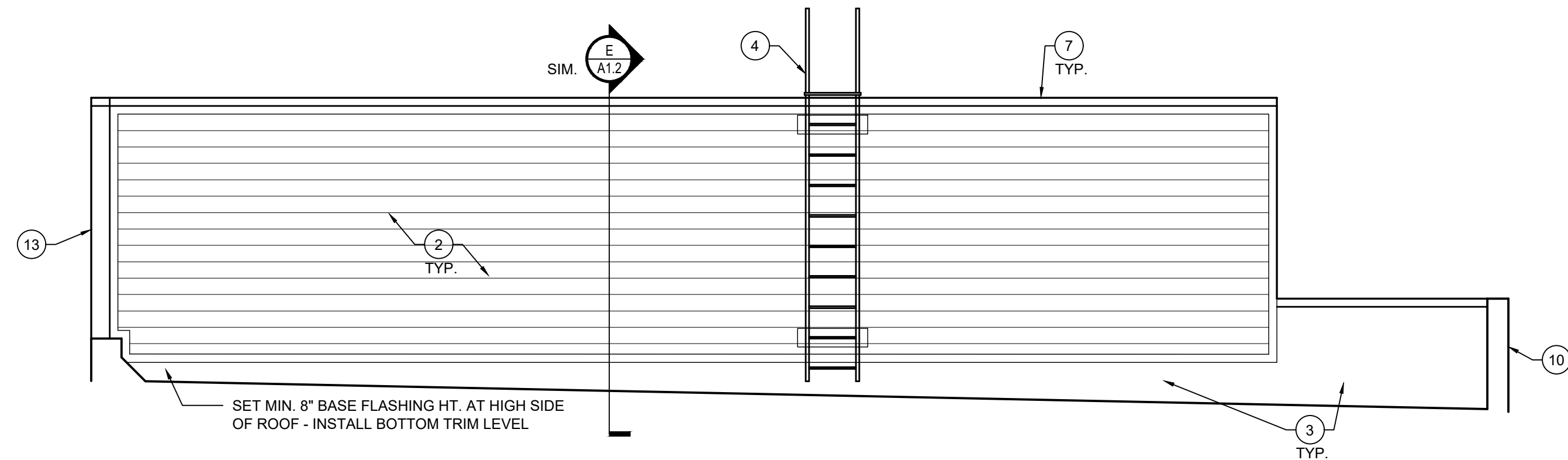
**C** ROOF PLAN INDICATING ROOF SECUREMENT ZONES  
SCALE: 1/16" = 1'-0" 0 8 16 32



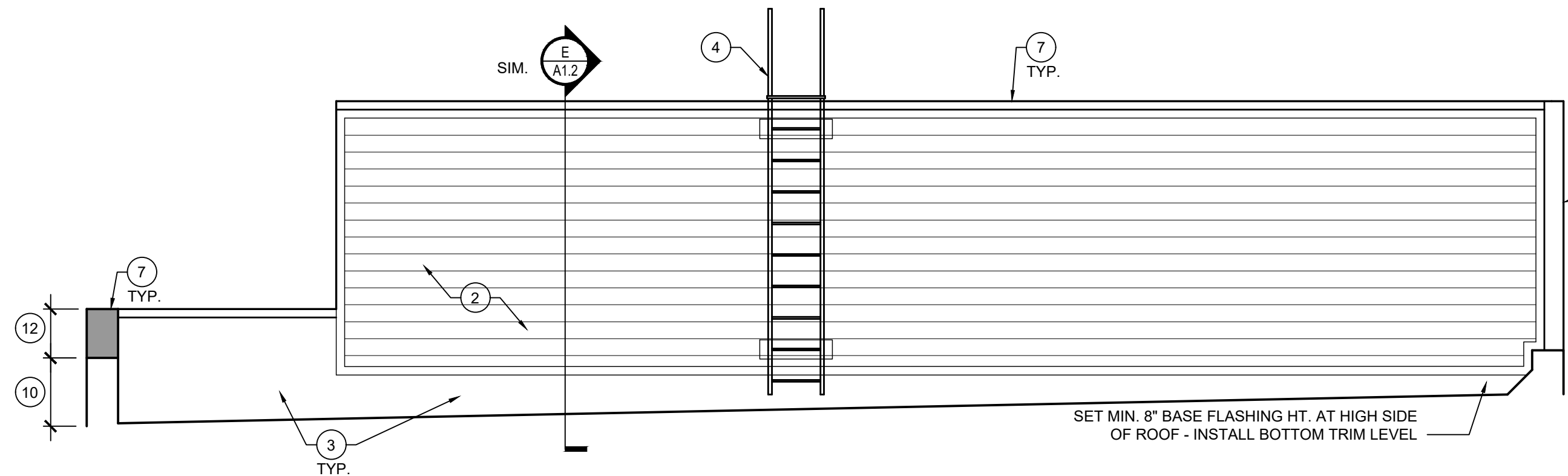
**A** EAST ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



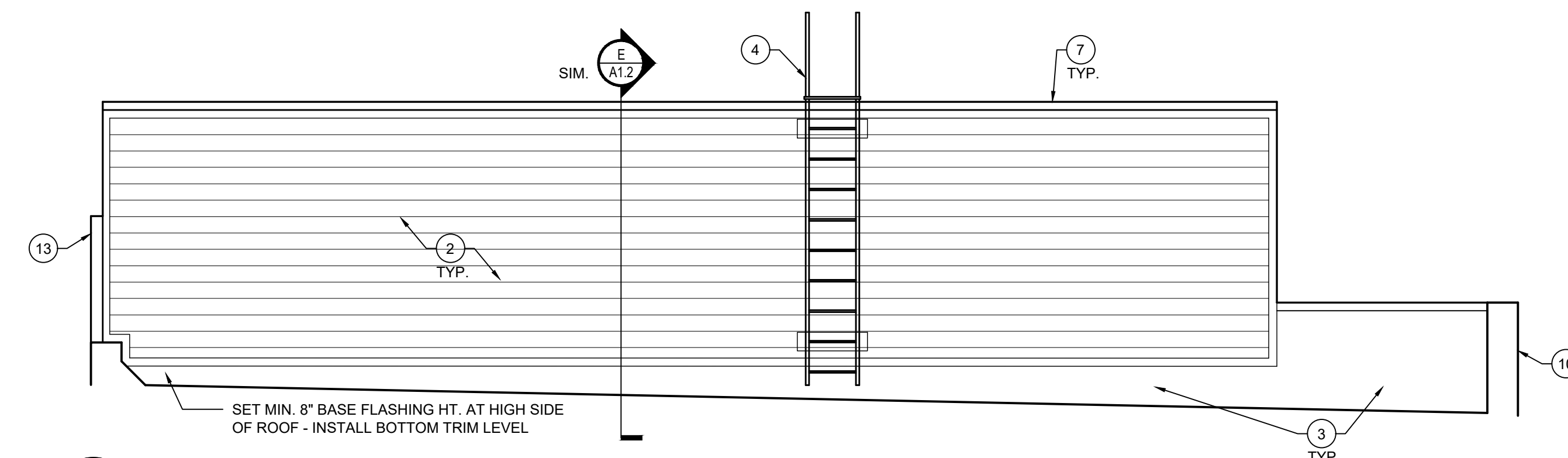
**B** EAST ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"



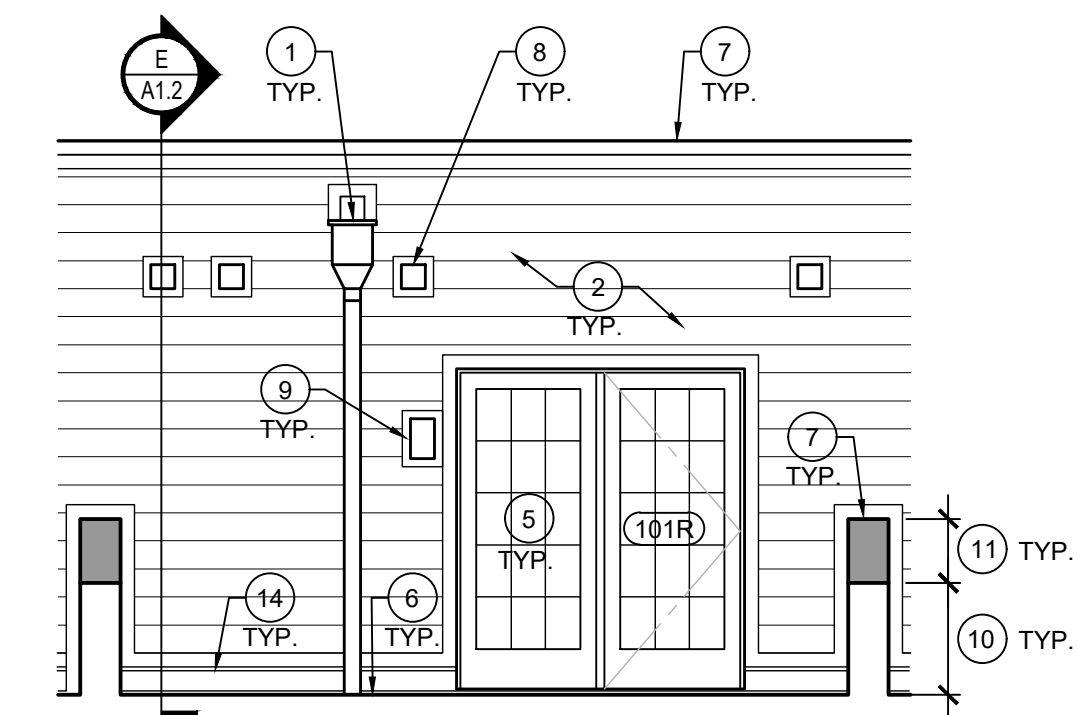
**C** SOUTH ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



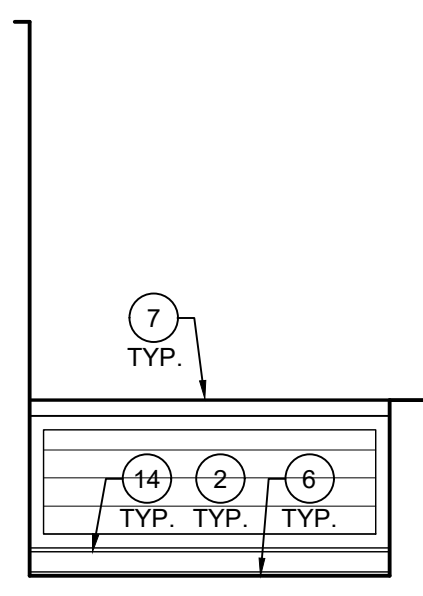
**D** NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



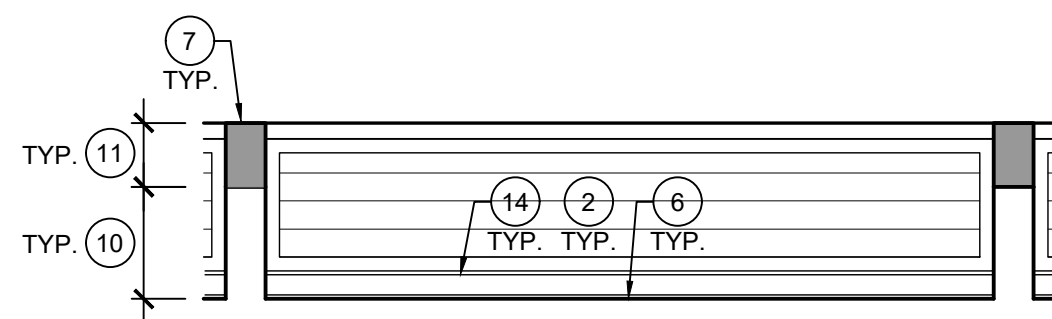
**E** SOUTH ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"



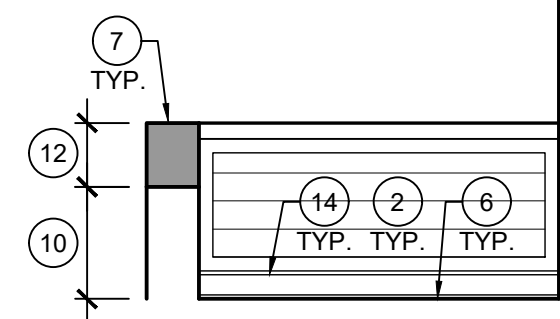
**F**



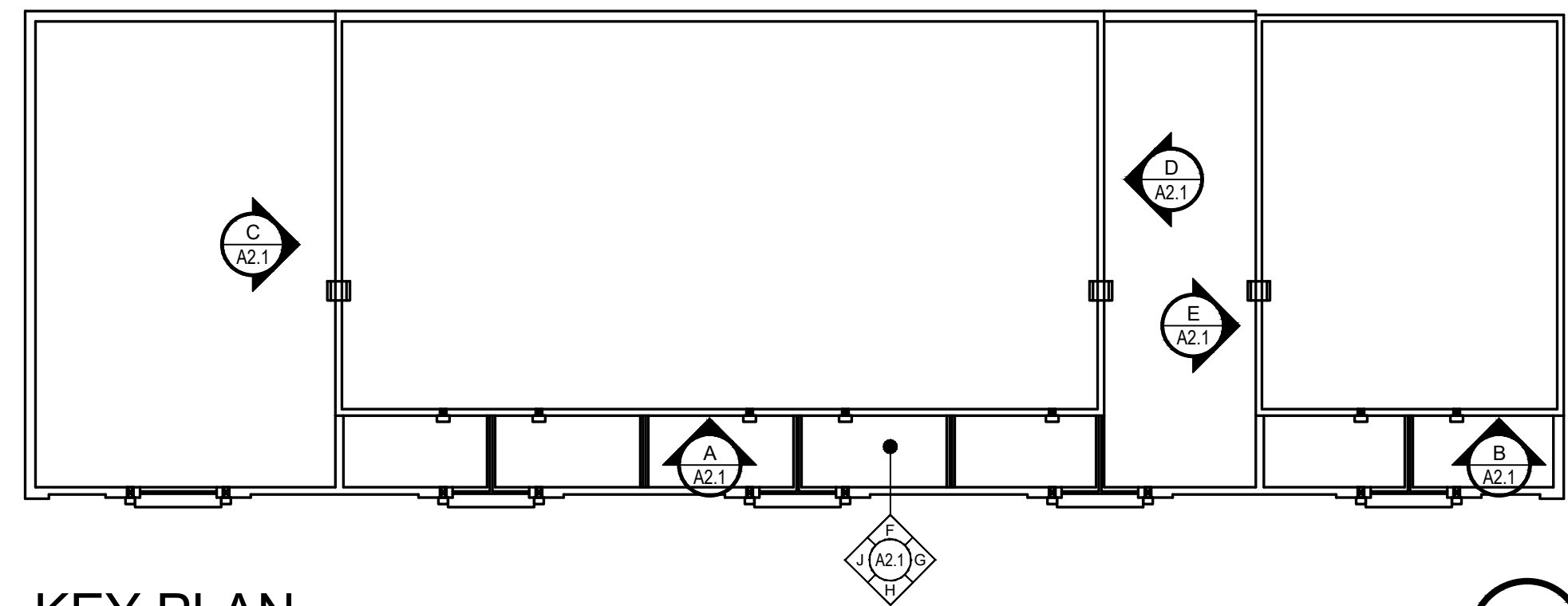
**G**



**H**

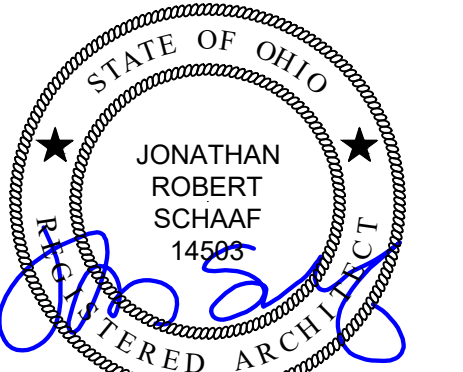


**J**



**KEY PLAN**  
SCALE: N.T.S.

- # PROPOSED KEY NOTES**
1. INSTALL NEW 24 GA. PRE-FINISHED METAL CONDUCTOR HEAD & DOWNSPOUT.
  2. INSTALL NEW WRB & 7" EXPOSURE FIBER CEMENT LAP SIDING, 1x4 F.C. TRIM, & APPLICABLE FLASHING. PREP & PAINT.
  3. INSTALL NEW EPDM BASE FLASHING - REFER TO ROOF PLAN
  4. REMOVE AND REINSTALL EXISTING ROOF ACCESS LADDER. PREP AND PAINT. RE-ANCHOR / SEAL SUPPORTS AT STRUCTURE. INSTALL WALK PADS AT TOP AND BOTTOM OF EACH LADDER.
  5. INSTALL NEW PATIO DOOR INTO ORIGINAL OPENING. REPAIR EXISTING FRAMING AS REQ'D TO ADDRESS ROTTED / DETERIORATED FRAMING - REFER TO DOOR SCHEDULE & DETAILS.
  6. INSTALL NEW ROOF PAVERS AT ROOFTOP TERRACE. REFER TO DETAILS.
  7. INSTALL NEW PRE-FINISHED METAL COPING, REFER TO DETAILS.
  8. INSTALL SALVAGED VENT COVERS OVER NEW FIBER CEMENT TRIM BLOCK AROUND THRU WALL PENETRATION.
  9. INSTALL SALVAGED LIGHT FIXTURE OVER NEW FIBER CEMENT TRIM.
  10. EXISTING PARAPET WALL.
  11. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x4 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING EACH SIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. INSTALL NEW 24 GA. PRE-FIN. WIND RATED COPING.
  12. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x4 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING, WRB, & 7" EXPOSURE F.C. LAP SIDING ON INSIDE, & [2] 1x12 F.C. FRIEZE TRIM ON OUTSIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. ALIGN INTERIOR FACE OF PONY WALL W/ INTERIOR FACE OF EX. ADJACENT PARAPET WALL. INSTALL NEW 22 GA. PRE-FIN. WIND RATED COPING.
  13. EXISTING BRICK WALL TO REMAIN.
  14. INSTALL NEW METAL COUNTER FLASHING



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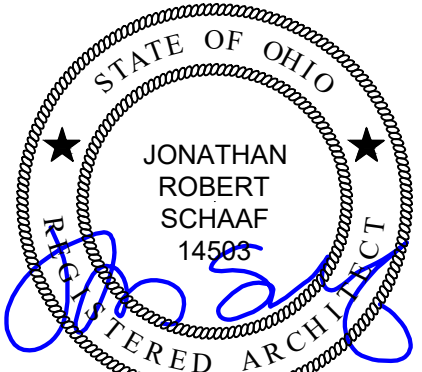
Roof Replacement & Building  
Enclosure Improvements at:  
**City West**  
1431 Linn Street  
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CMHA Solicitation  
#2025-3021

Project Number	
2025-060	
Date	
July 18, 2025	
Date	Issue
06.17.25	Review Set
06.27.25	Owner Review
07.18.25	Bid Set
Sheet Title	
Exterior Elevations	

Sheet Number  
**A2.1**





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**RDA GROUP ARCHITECTS**  
7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

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Sheet Title	Details

Sheet Number

A3.1

