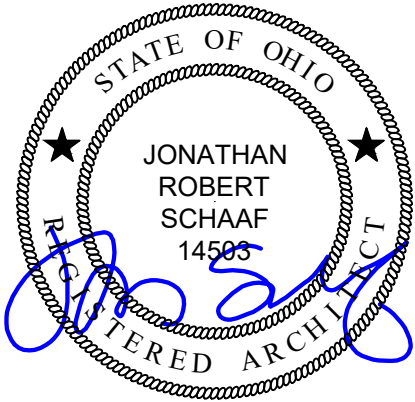


Roof Replacement & Building Enclosure Improvements at:

City West

1431 Linn Street  
Cincinnati, Ohio 45214

CMHA Solicitation  
#2025-3026



Jonathan Robert Schaaf #14503  
Expiration Date 12/31/2025

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing.  
© RDA 2025

OWNER



CINCINNATI METROPOLITAN HOUSING AUTHORITY  
1635 WESTERN AVE.  
CINCINNATI, OHIO 45214

PROPERTY MANAGER



3445 Newmark Drive  
Miamiisburg, Ohio 45342

DESIGN TEAM

ARCHITECT:



CODE REVIEW

CONSTRUCTION TYPE: FIRST FLOOR - II B [PROTECTED]  
UPPER LEVELS - VB [UNPROTECTED]

USE GROUP: FIRST FLOOR: M - MERCANTILE  
UPPER LEVELS: R-2 - RESIDENTIAL

THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED BUILDING ENCLOSURE IMPROVEMENTS.

NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

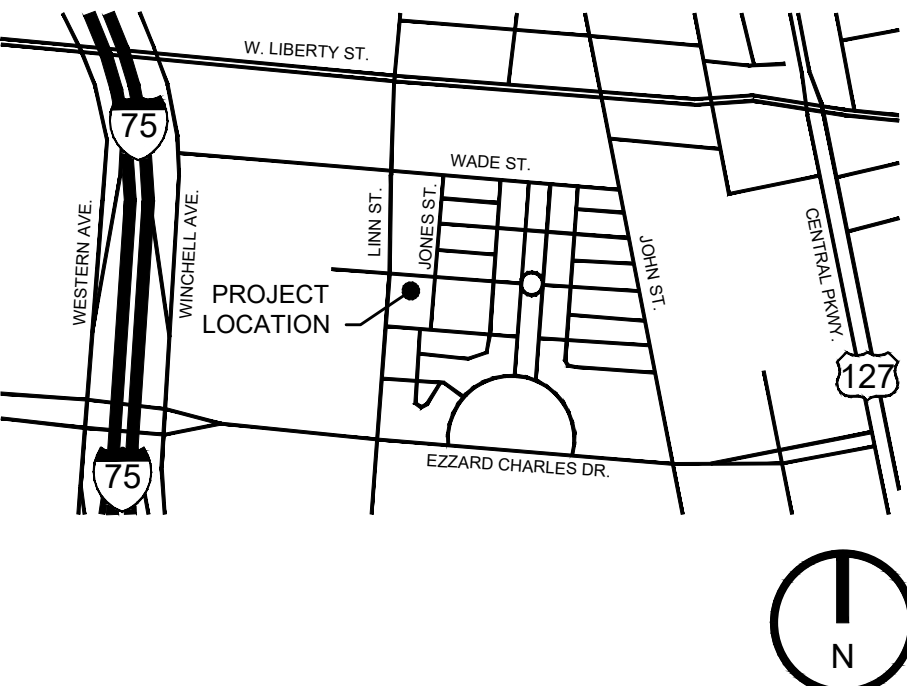
EXISTING BUILDING CONSTRUCTION

STRUCTURE: WOOD FRAME.  
EXTERIOR WALLS: 2x6 WOOD FRAME WITH BRICK VENEER  
ROOF DECK: WOOD TRUSS W/ WOOD SHEATHING

SHEET INDEX

G1.1	PROJECT TITLE SHEET
D1.1	EXISTING / DEMOLITION ROOF PLANS & ELEVATIONS
A1.1	PROPOSED ROOF PLANS
A1.2	ROOF MATRIX / ENLARGED PLAN / SCHEDULE
A2.1	EXTERIOR ELEVATIONS
A3.1	DETAILS
A3.2	DETAILS
A3.3	DETAILS - ALTERNATE DEDUCT #1

VICINITY MAP



CODE REVIEW

PROJECT DESCRIPTION:  
THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS. NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

PRIMARY AND SECONDARY ROOF DRAINAGE IS ACCOMPLISHED BY THRU WALL SCUPPERS.

AUTHORITY HAVING JURISDICTION:  
ZONING PERMIT - CITY OF CINCINNATI  
BUILDING PERMIT - CITY OF CINCINNATI

BUILDING CODE:  
2024 OHIO EXISTING BUILDING CODE [OBC]  
2024 OHIO BUILDING CODE [OBC]  
2021 INTERNATIONAL ENERGY CONSERVATION CODE [IECC 2021]  
CINCINNATI BUILDING CODE [CBC]

OHIO EXISTING BUILDING CODE  
301.3.2. WORK AREA COMPLIANCE METHOD [REFER TO 302-309 AND CH. 6-12]  
602.2. ALTERATION - LEVEL 1 [REFER TO CH. 7]  
705.1. REFER TO CHAPTER 15 OF OHIO BUILDING CODE  
ROOF REPLACEMENT OR ROOF RECOVER OF EXISTING LOW SLOPE ROOF COVERINGS SHALL NOT BE REQUIRED TO MEET MINIMUM DESIGN SLOPE OF 1/4" PER 12". FOR ROOFS WHICH PROVIDE POSITIVE DRAINAGE.

RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL NOT BE REQUIRED TO MEET THE REQUIREMENT FOR SECONDARY [EMERGENCY] OVERFLOW DRAINS OR SCUPPERS FOR ROOFS WHICH PROVIDE FOR POSITIVE ROOF DRAINAGE. EXISTING SECONDARY DRAINS OR SCUPPERS SHALL NOT BE REMOVED.

OHIO BUILDING CODE  
OBC CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION  
USE GROUP: B / M / R-2 - MIXED USE - NO CHANGE

OBC CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA  
BUILDING AREA: EXISTING (NO CHANGE)  
BUILDING HEIGHT: 4-STORY EXISTING (NO CHANGE)

OBC CHAPTER 8: TYPES OF CONSTRUCTION  
CONSTRUCTION TYPE: V-B  
ROOF CONSTRUCTION = 0 HOUR RATED

EXISTING BUILDING CONSTRUCTION:  
STRUCTURE: WOOD STRUCTURE  
EXTERIOR WALLS: WOOD STUD / BRICK VENEER / FIBER CEMENT CLADDING  
ROOF DECK: WOOD DECK OVER WOOD STRUCTURE

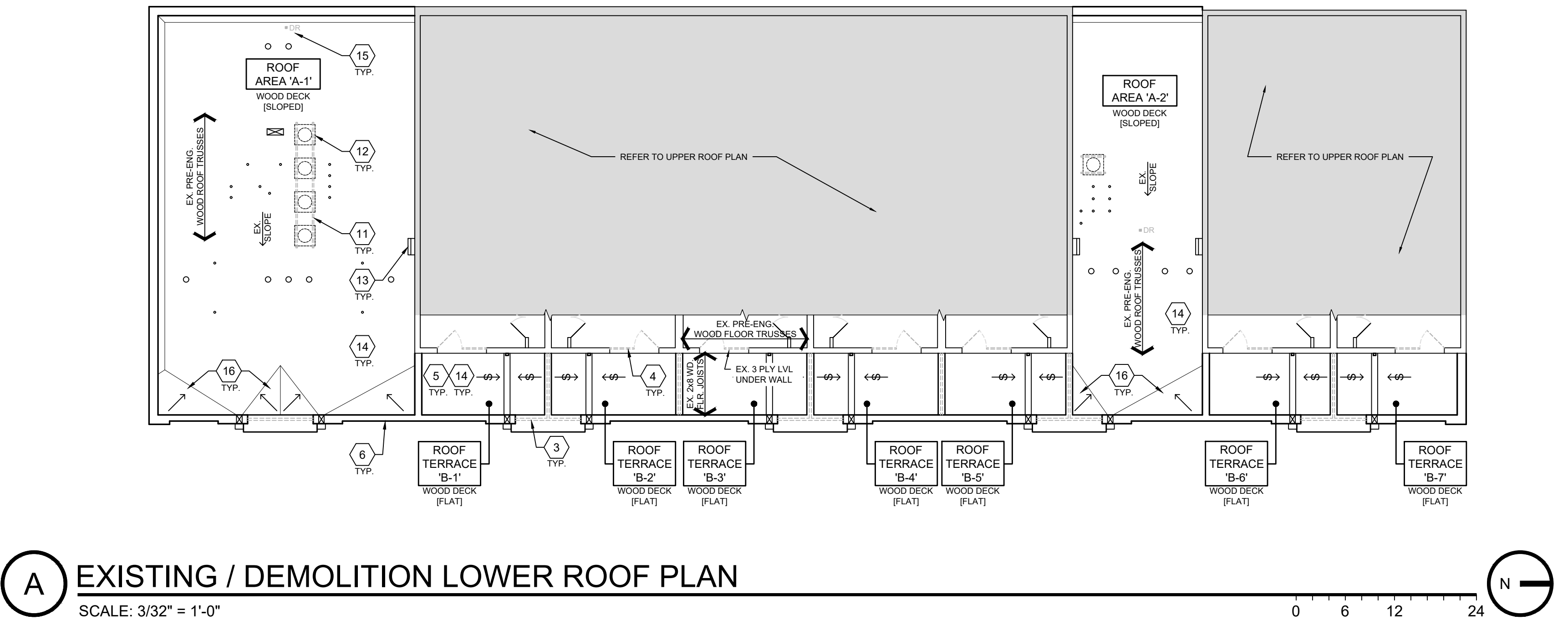
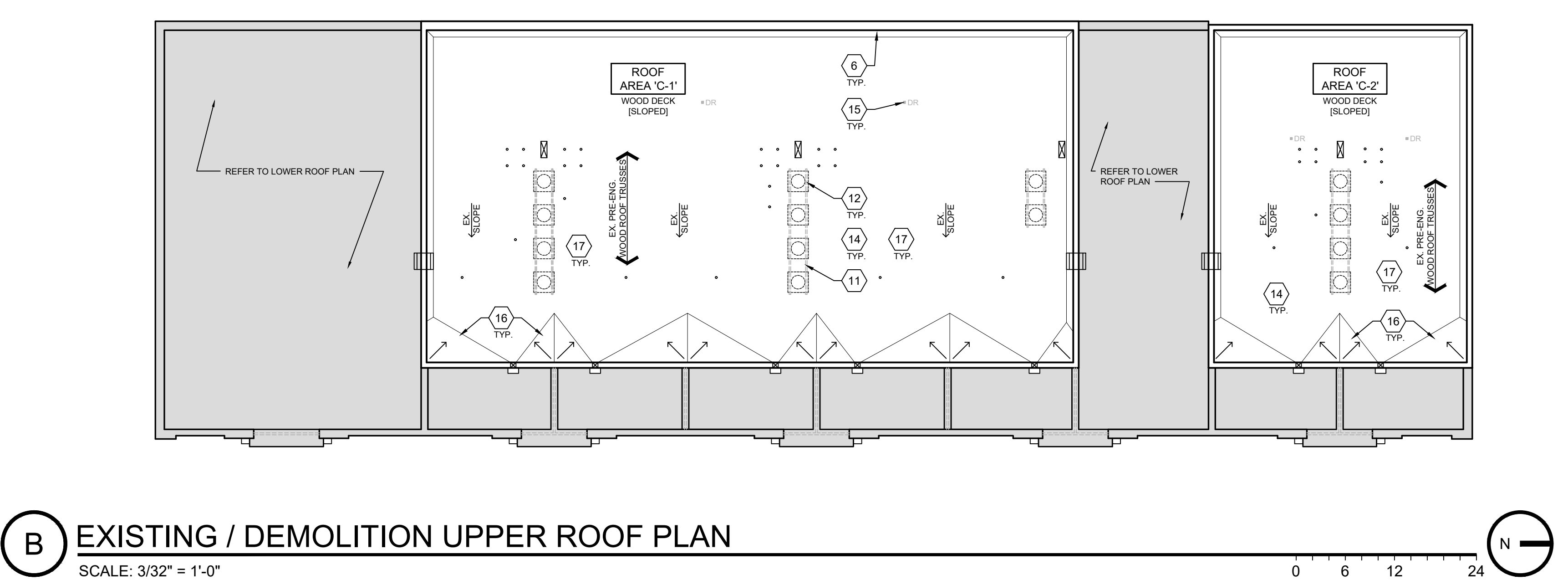
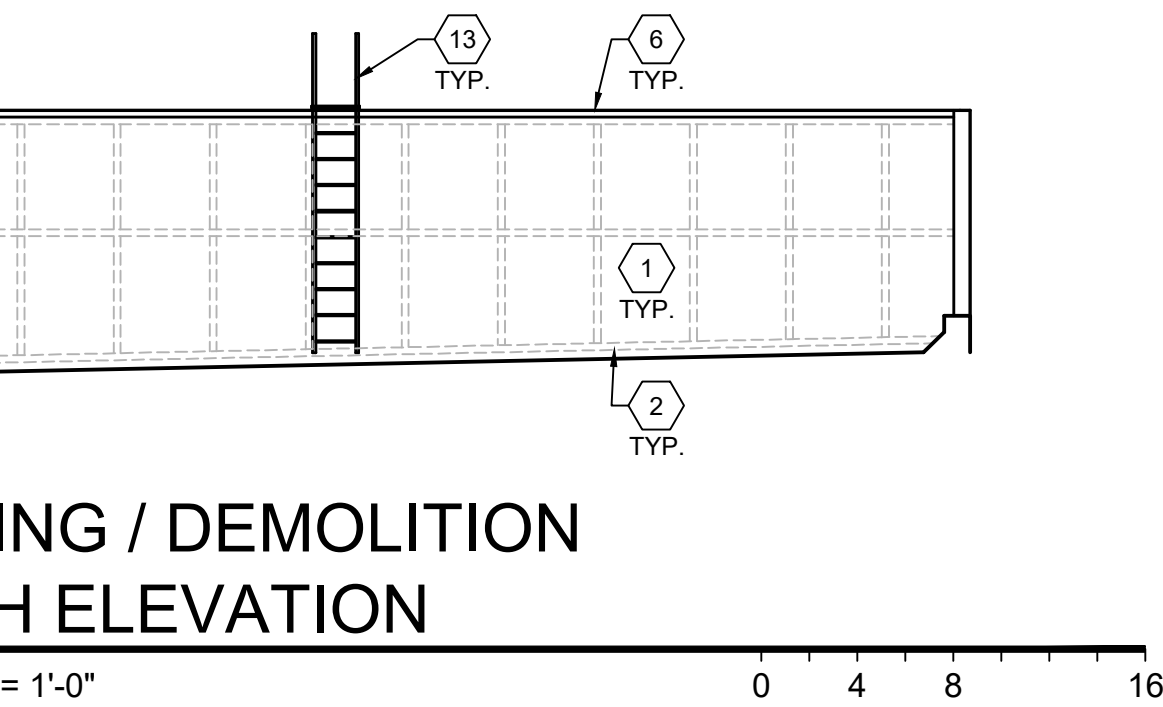
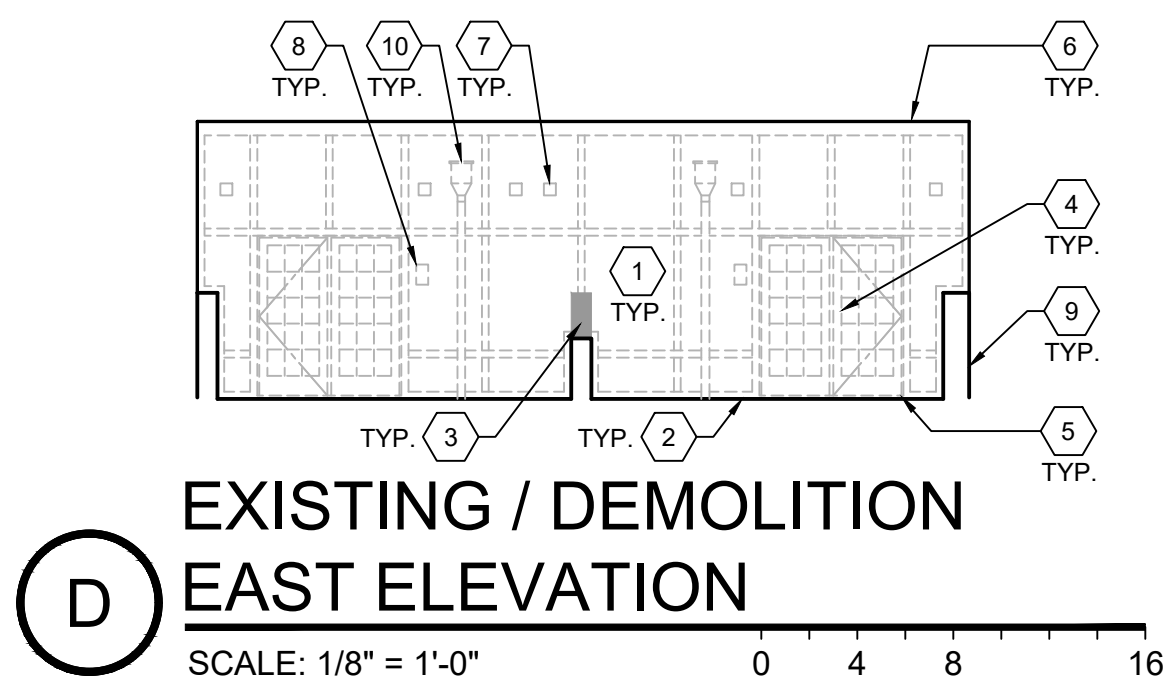
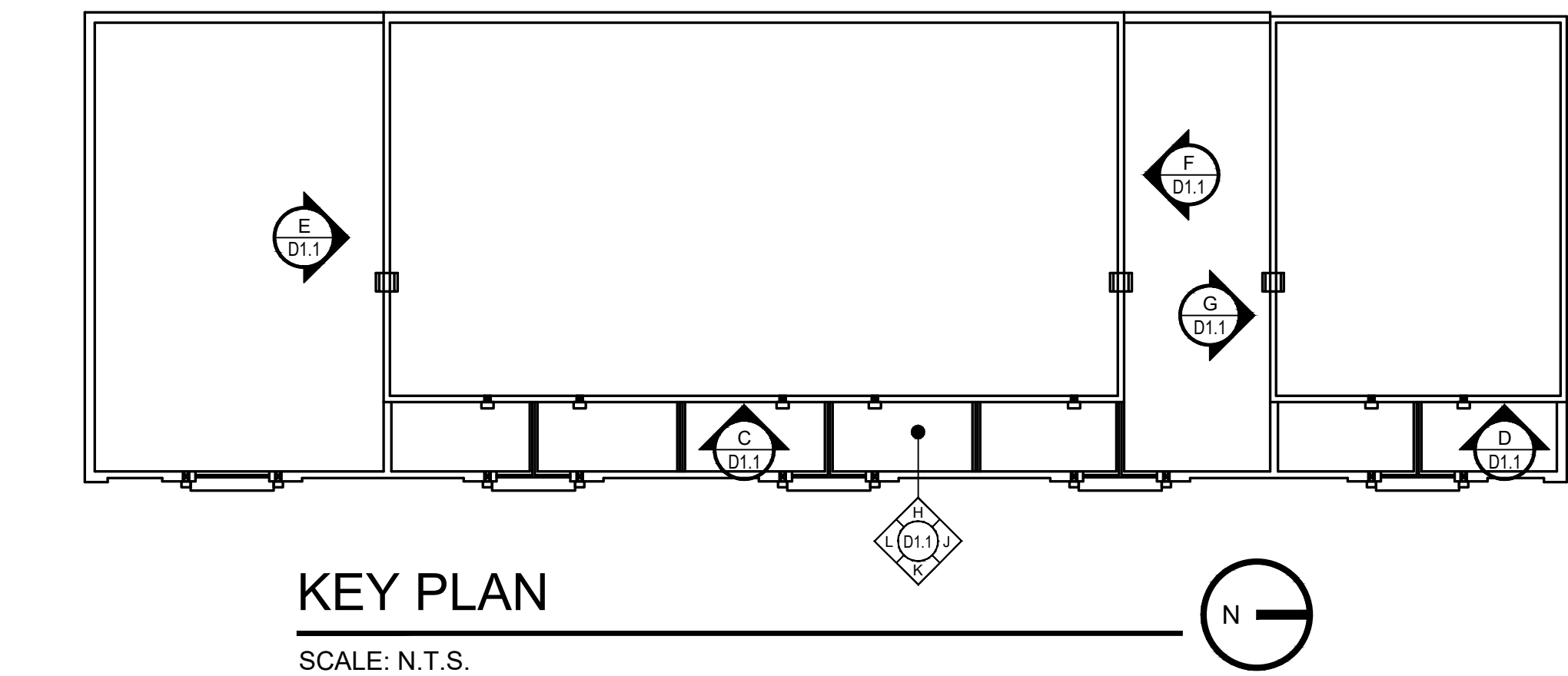
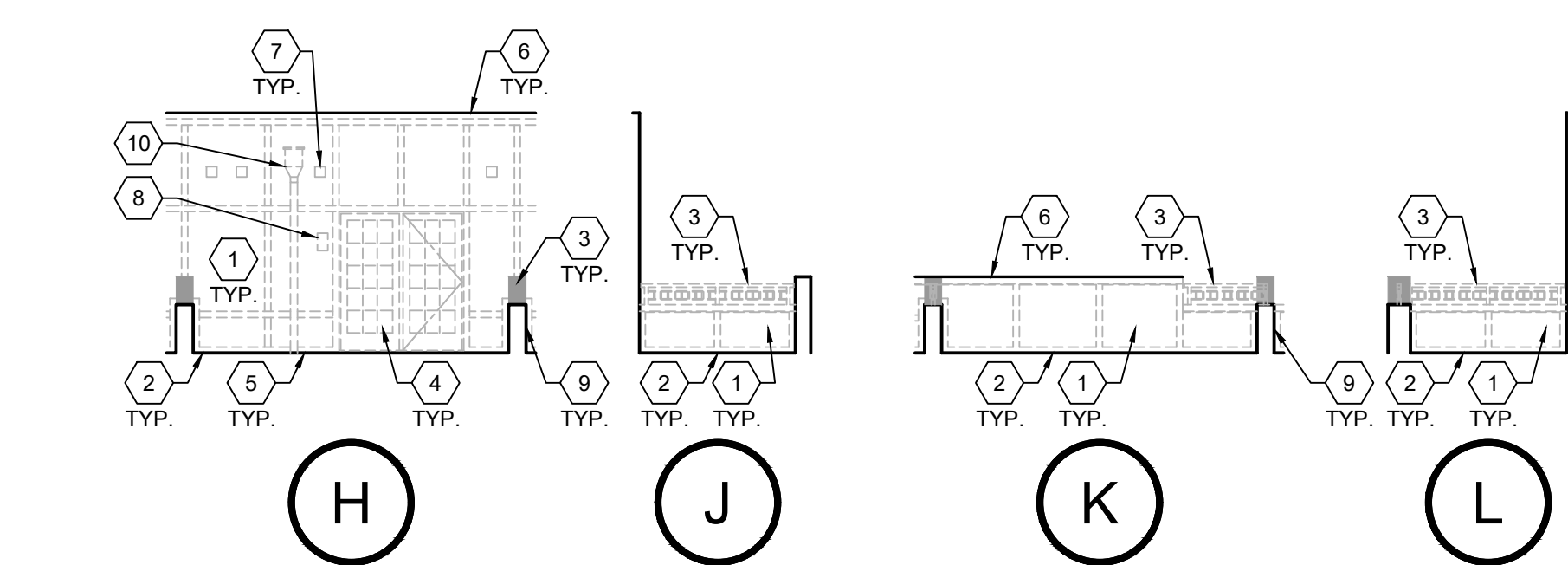
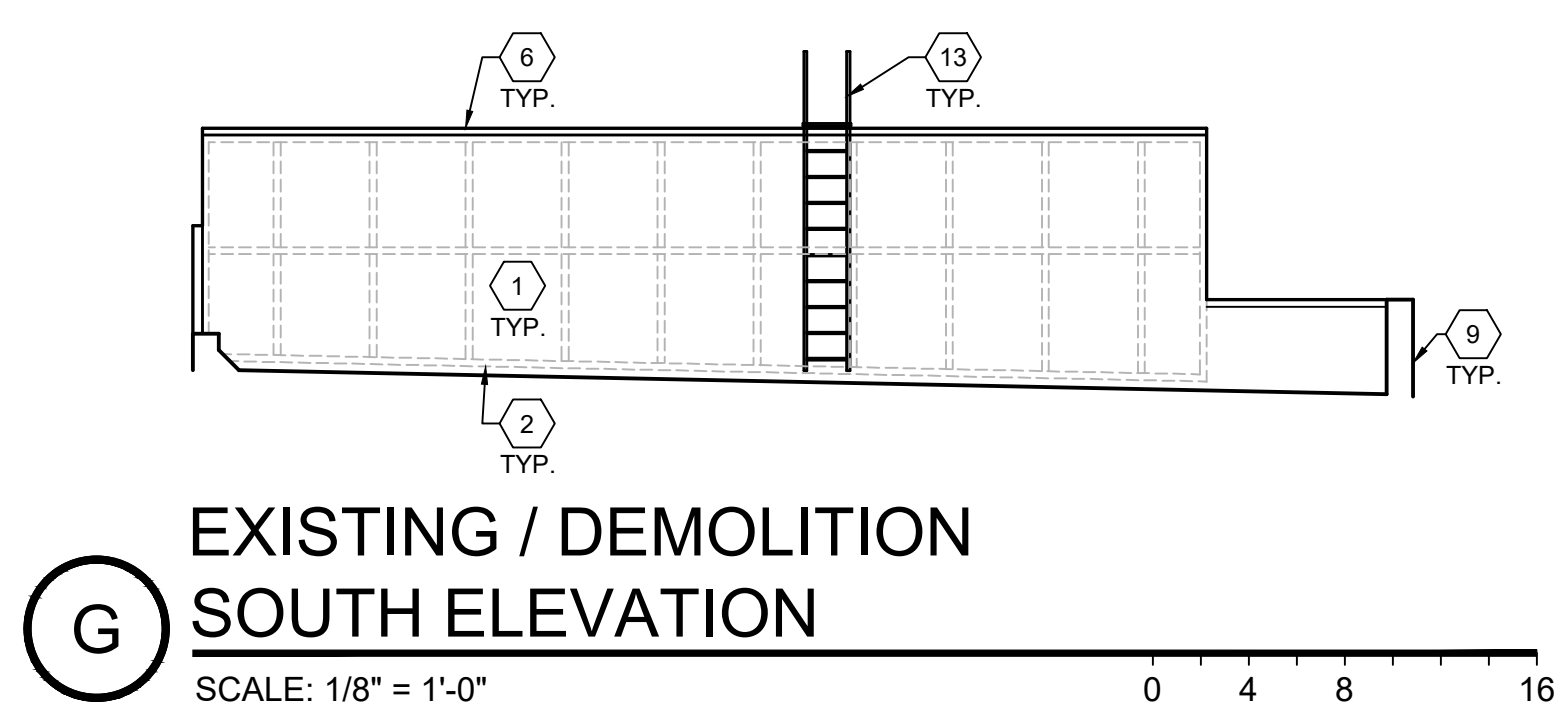
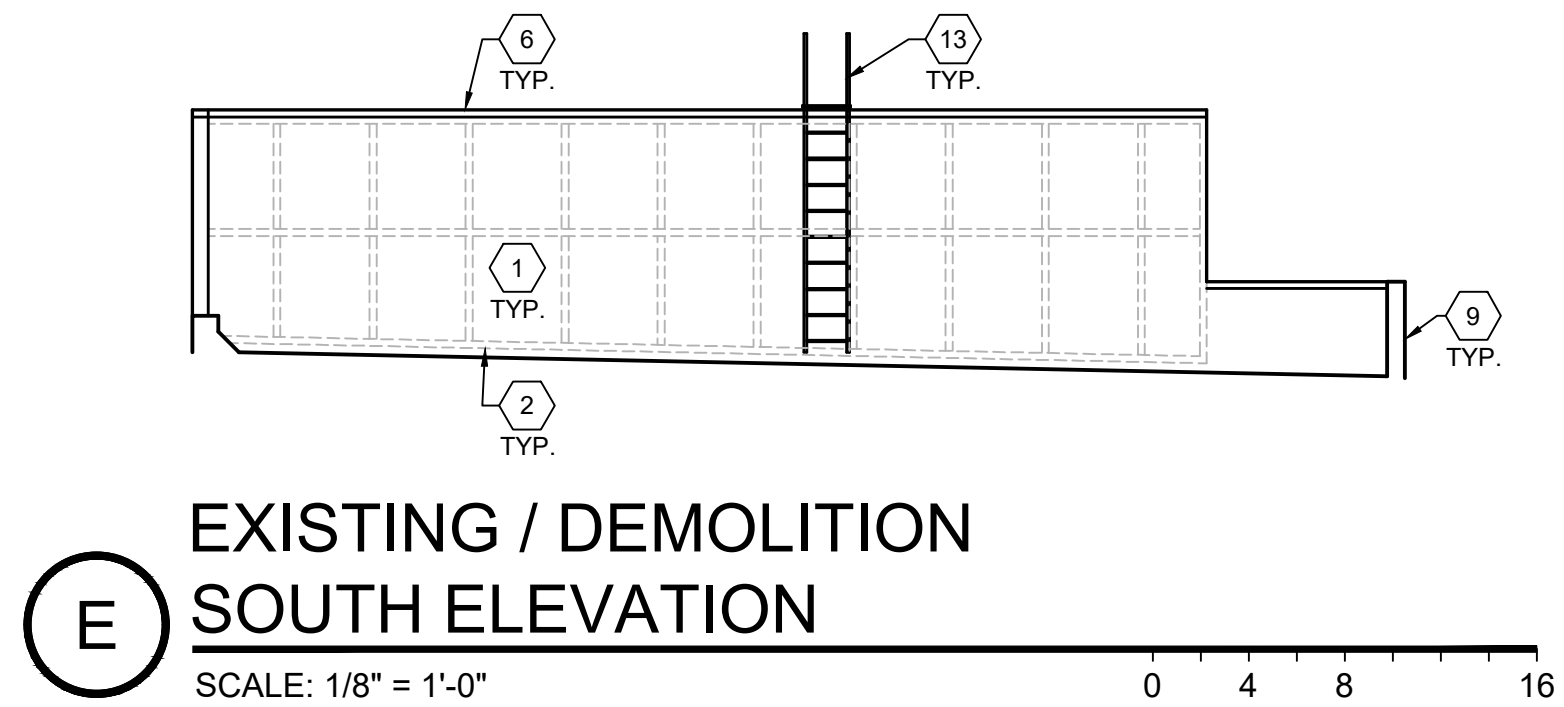
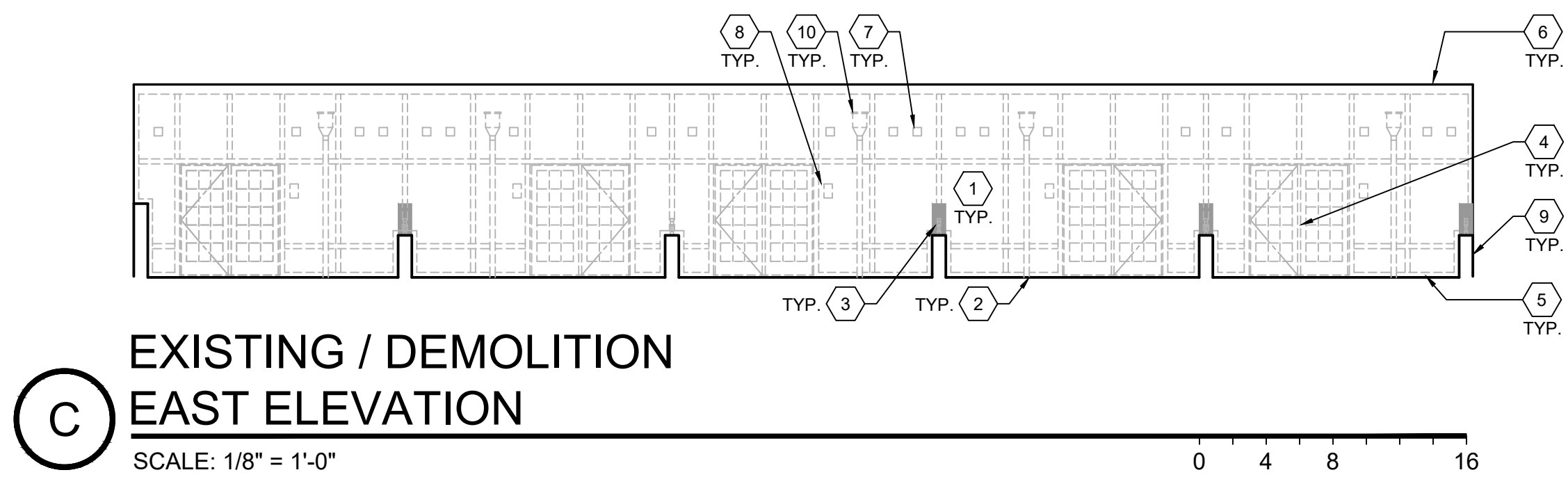
OBC CHAPTER 15: ROOFTOP ASSEMBLIES AND ROOFTOP STRUCTURES  
TABLE 1505.1: FIRE CLASSIFICATION: V-B CONSTRUCTION -  
MIN. CLASS C, ACTUAL CLASS A

INTERNATIONAL ENERGY CONSERVATION CODE  
TABLE C402.1.3: THERMAL ENVELOPE INSULATION R-VALUE METHOD  
EXISTING INSULATION IS BELOW DECK IN FRAMING CAVITY [R-30 PER ORIGINAL BUILDING DRAWINGS]. INSULATION ABOVE DECK IS FOR ROOF SYSTEM INSTALLATION ONLY. NOT REQUIRED FOR FULL UPGRADE TO MEET CURRENT R-VALUE REQUIREMENTS  
EXISTING R-VALUE [ABOVE DECK]= R-6.7  
PROPOSED R-VALUE [ABOVE DECK]= R-8.6

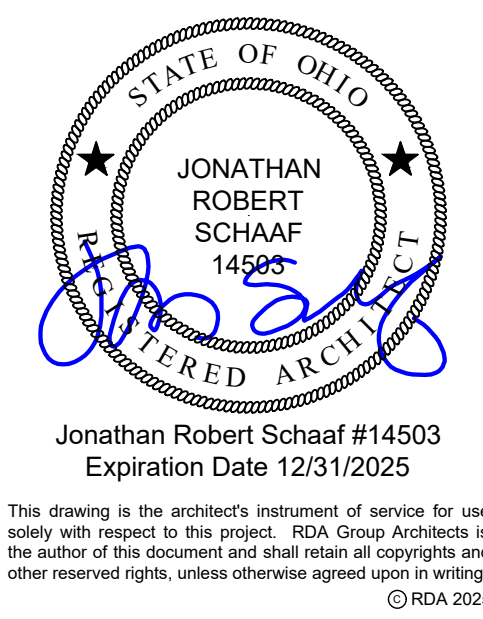
C402.1.4.1.1: TAPERED, ABOVE DECK INSULATION BASED ON THICKNESS: WHERE USED AS A COMPONENT OF MAXIMUM ROOF ASSEMBLY U-FACTOR CALCULATION THE SLOPED R-VALUE CONTRIBUTION TO THAT CALCULATION TO USE THE AVERAGE THICKNESS IN INCHES ALONG WITH THE MATERIAL R-VALUE PER INCH.  
C402.2.1.2: MINIMUM THICKNESS: THE MINIMUM THICKNESS OF ABOVE DECK ROOF INSULATION AT ITS LOWEST POINT, GUTTER EDGE, ROOF DRAIN, OR SCUPPER SHALL NOT BE LESS THAN 1".

C503.2.1: ROOF REPLACEMENT: COMPLY WITH C402.1.3, 6402-1.4, 6402-1.5, 6402-1.6, 6402-1.7, 6402-1.8, 6402-1.9, 6402-2.1, 6402-2.2, 6402-2.3, 6402-2.4, 6402-2.5, 6402-2.6, 6402-2.7, 6402-2.8, 6402-2.9, 6402-3.1, 6402-3.2, 6402-3.3, 6402-3.4, 6402-3.5, 6402-3.6, 6402-3.7, 6402-3.8, 6402-3.9, 6402-4.1, 6402-4.2, 6402-4.3, 6402-4.4, 6402-4.5, 6402-4.6, 6402-4.7, 6402-4.8, 6402-4.9, 6402-5.1, 6402-5.2, 6402-5.3, 6402-5.4, 6402-5.5, 6402-5.6, 6402-5.7, 6402-5.8, 6402-5.9, 6402-6.1, 6402-6.2, 6402-6.3, 6402-6.4, 6402-6.5, 6402-6.6, 6402-6.7, 6402-6.8, 6402-6.9, 6402-7.1, 6402-7.2, 6402-7.3, 6402-7.4, 6402-7.5, 6402-7.6, 6402-7.7, 6402-7.8, 6402-7.9, 6402-8.1, 6402-8.2, 6402-8.3, 6402-8.4, 6402-8.5, 6402-8.6, 6402-8.7, 6402-8.8, 6402-8.9, 6402-9.1, 6402-9.2, 6402-9.3, 6402-9.4, 6402-9.5, 6402-9.6, 6402-9.7, 6402-9.8, 6402-9.9, 6402-10.1, 6402-10.2, 6402-10.3, 6402-10.4, 6402-10.5, 6402-10.6, 6402-10.7, 6402-10.8, 6402-10.9, 6402-11.1, 6402-11.2, 6402-11.3, 6402-11.4, 6402-11.5, 6402-11.6, 6402-11.7, 6402-11.8, 6402-11.9, 6402-12.1, 6402-12.2, 6402-12.3, 6402-12.4, 6402-12.5, 6402-12.6, 6402-12.7, 6402-12.8, 6402-12.9, 6402-13.1, 6402-13.2, 6402-13.3, 6402-13.4, 6402-13.5, 6402-13.6, 6402-13.7, 6402-13.8, 6402-13.9, 6402-14.1, 6402-14.2, 6402-14.3, 6402-14.4, 6402-14.5, 6402-14.6, 6402-14.7, 6402-14.8, 6402-14.9, 6402-15.1, 6402-15.2, 6402-15.3, 6402-15.4, 6402-15.5, 6402-15.6, 6402-15.7, 6402-15.8, 6402-15.9, 6402-16.1, 6402-16.2, 6402-16.3, 6402-16.4, 6402-16.5, 6402-16.6, 6402-16.7, 6402-16.8, 6402-16.9, 6402-17.1, 6402-17.2, 6402-17.3, 6402-17.4, 6402-17.5, 6402-17.6, 6402-17.7, 6402-17.8, 6402-17.9, 6402-18.1, 6402-18.2, 6402-18.3, 6402-18.4, 6402-18.5, 6402-18.6, 6402-18.7, 6402-18.8, 6402-18.9, 6402-19.1, 6402-19.2, 6402-19.3, 6402-19.4, 6402-19.5, 6402-19.6, 6402-19.7, 6402-19.8, 6402-19.9, 6402-20.1, 6402-20.2, 6402-20.3, 6402-20.4, 6402-20.5, 6402-20.6, 6402-20.7, 6402-20.8, 6402-20.9, 6402-21.1, 6402-21.2, 6402-21.3, 6402-21.4, 6402-21.5, 6402-21.6, 6402-21.7, 6402-21.8, 6402-21.9, 6402-22.1, 6402-22.2, 6402-22.3, 6402-22.4, 6402-22.5, 6402-22.6, 6402-22.7, 6402-22.8, 6402-22.9, 6402-23.1, 6402-23.2, 6402-23.3, 6402-23.4, 6402-23.5, 6402-23.6, 6402-23.7, 6402-23.8, 6402-23.9, 6402-24.1, 6402-24.2, 6402-24.3, 6402-24.4, 6402-24.5, 6402-24.6, 6402-24.7, 6402-24.8, 6402-24.9, 6402-25.1, 6402-25.2, 6402-25.3, 6402-25.4, 6402-25.5, 6402-25.6, 6402-25.7, 6402-25.8, 6402-25.9, 6402-26.1, 6402-26.2, 6402-26.3, 6402-26.4, 6402-26.5, 6402-26.6, 6402-26.7, 6402-26.8, 6402-26.9, 6402-27.1, 6402-27.2, 6402-27.3, 6402-27.4, 6402-27.5, 6402-27.6, 6402-27.7, 6402-27.8, 6402-27.9, 6402-28.1, 6402-28.2, 6402-28.3, 6402-28.4, 6402-28.5, 6402-28.6, 6402-28.7, 6402-28.8, 6402-28.9, 6402-29.1, 6402-29.2, 6402-29.3, 6402-29.4, 6402-29.5, 6402-29.6, 6402-29.7, 6402-29.8, 6402-29.9, 6402-30.1, 6402-30.2, 6402-30.3, 6402-30.4, 6402-30.5, 6402-30.6, 6402-30.7, 6402-30.8, 6402-30.9, 6402-31.1, 6402-31.2, 6402-31.3, 6402-31.4, 6402-31.5, 6402-31.6, 6402-31.7, 6402-31.8, 6402-31.9, 6402-32.1, 6402-32.2, 6402-32.3, 6402-32.4, 6402-32.5, 6402-32.6, 6402-32.7, 6402-32.8, 6402-32.9, 6402-33.1, 6402-33.2, 6402-33.3, 6402-33.4, 6402-33.5, 6402-33.6, 6402-33.7, 6402-33.8, 6402-33.9, 6402-34.1, 6402-34.2, 6402-34.3, 6402-34.4, 6402-34.5, 6402-34.6, 6402-34.7, 6402-34.8, 6402-34.9, 6402-35.1, 6402-35.2, 6402-35.3, 6402-35.4, 6402-35.5, 6402-35.6, 6402-35.7, 6402-35.8, 6402-35.9, 6402-36.1, 6402-36.2, 6402-36.3, 6402-36.4, 6402-36.5, 6402-36.6, 6402-36.7, 6402-36.8, 6402-36.9, 6402-37.1, 6402-37.2, 6402-37.3, 6402-37.4, 6402-37.5, 6402-37.6, 6402-37.7, 6402-37.8, 6402-37.9, 6402-38.1, 6402-38.2, 6402-38.3, 6402-38.4, 6402-38.5, 6402-38.6, 6402-38.7, 6402-38.8, 6402-38.9, 6402-39.1, 6402-39.2, 6402-39.3, 6402-39.4, 6402-39.5, 6402-39.6, 6402-39.7, 6402-39.8, 6402-39.9, 6402-40.1, 6402-40.2, 6402-40.3, 6402-40.4, 6402-40.5, 6402-40.6, 6402-40.7, 6402-40.8, 6402-40.9, 6402-41.1, 6402-41.2, 6402-41.3, 6402-41.4, 6402-41.5, 6402-41.6, 6402-41.7, 6402-41.8, 6402-41.9, 6402-42.1, 6402-42.2, 6402-42.3, 6402-42.4, 6402-42.5, 6402-42.6, 6402-42.7, 6402-42.8, 6402-42.9, 6402-43.1, 6402-43.2, 6402-43.3, 6402-43.4, 6402-43.5, 6402-43.6, 6402-43.7, 6402-43.8, 6402-43.9, 6402-44.1, 6402-44.2, 6402-44.3, 6402-44.4, 6402-44.5, 6402-44.6, 6402-44.7, 6402-44.8, 6402-44.9, 6402-45.1, 6402-45.2, 6402-45.3, 6402-45.4, 6402-45.5, 6402-45.6, 6402-45.7, 6402-45.8, 6402-45.9, 6402-46.1, 6402-46.2, 6402-46.3, 6402-46.4, 6402-46.5, 6402-46.6, 6402-46.7, 6402-46.8, 6402-46.9, 6402-47.1, 6402-47.2, 6402-47.3, 6402-47.4, 6402-47.5, 6402-47.6, 6402-47.7, 6402-47.8, 6402-47.9, 6402-48.1, 6402-48.2, 6402-48.3, 6402-48.4, 6402-48.5, 6402-48.6, 6402-48.7, 6402-48.8, 6402-48.9, 6402-49.1, 6402-49.2, 6402-49.3, 6402-49.4, 6402-49.5, 6402-49.6, 6402-49.7, 6402-49.8, 6402-49.9, 6402-50.1, 6402-50.2, 6402-50.3, 6402-50.4, 6402-50.5, 6402-50.6, 6402-50.7, 6402-50.8, 6402-50.9, 6402-51.1, 6402-51.2, 6402-51.3, 6402-51.4, 6402-51.5, 6402-51.6, 6402-51.7, 6402-51.8, 6402-51.9, 6402-52.1, 6402-52.2, 6402-52.3, 6402-52.4, 6402-52.5, 6402-52.6, 6402-52.7, 6402-52.8, 6402-52.9, 6402-53.1, 6402-53.2, 6402-53.3, 6402-53.4, 6402-53.5, 6402-53.6, 6402-53.7, 6402-53.8, 6402-53.9, 6402-54.1, 6402-54.2, 6402-54.3, 6402-54.4, 6402-54.5, 6402-54.6, 6402-54.7, 6402-54.8, 6402-54.9, 6402-55.1, 6402-55.2, 6402-55.3, 6402-55.4, 6402-55.5, 6402-55.6, 6402-55.7, 6402-55.8, 6402-55.9, 6402-56.1, 6402-56.2, 6402-56.3, 6402-56.4, 6402-56.5, 6402-56.6, 6402-56.7, 6402-56.8, 6402-56.9, 6402-57.1, 6402-57.2, 6402-57.3, 6402-57.4, 6402-57.5, 6402-57.6, 6402-57.7, 6402-57.8, 6402-57.9, 6402-58.1, 6402-58.2, 6402-58.3, 6402-58.4, 6402-58.5, 6402-58.6, 6402-58.7, 6402-58.8, 6402-58.9, 6402-59.1, 6402-59.2, 6402-59.3, 6402-59.4, 6402-59.5, 6402-59.6, 6402-59.7, 6402-59.8, 6402-59.9, 6402-60.1, 6402-60.2, 6402-60.3, 6402-60.4, 6402-60.5, 6402-60.6, 6402-60.7, 6402-60.8, 6402-60.9, 6402-61.1, 6402-61.2, 6402-61.3, 6402-61.4, 6402-61.5, 6402-61.6, 6402-61.7, 6402-61.8, 6402-61.9, 6402-62.1, 6402-62.2, 6402-62.3, 6402-62.4, 6402-62.5, 6402-62.6, 6402-62.7, 6402-62.8, 6402-62.9, 6402-63.1, 6402-63.2, 6402-63.3, 6402-63.4, 6402-63.5, 6402-63.6, 6402-63.7, 6402-63.8, 6402-63.9, 6402-64.1, 6402-64.2, 6402-64.3, 6402-64.4, 6402-64.5, 6402-64.6, 6402-64.7, 6402-64.8, 6402-64.9, 6402-65.1, 6402-65.2, 6402-65.3, 6402-65.4, 6402-65.5, 6402-65.6, 6402-65.7, 6402-65.8, 6402-65.9, 6402-66.1, 6402-66.2, 6402-66.3, 6402-66.4, 6402-66.5, 6402-66.6, 6402-66.7, 6402-66.8, 6402-66.9, 6402-67.1, 6402-67.2, 6402-67.3, 6402-67.4, 6402-67.5, 6402-67.6, 6402-67.7, 6402-67.8, 6402-67.9, 6402-68.1, 6402-68.2, 6402-68.3, 6402-68.4, 6402-68.5, 6402-68.6, 6402-68.7, 6402-68.8, 6402-68.9, 6402-69.1, 6402-69.2, 6402-69.3, 6402-69.4, 6402-69.5, 6402-69.6, 6402-69.7, 6402-69.8, 6402-69.9, 6402-70.1, 6402-70.2, 6402-70.3, 6402-70.4, 6402-70.5, 6402-70.6, 6402-70.7, 6402-70.8, 6402-70.9, 6402-71.1, 6402-71.2, 6402-71.3, 6402-71.4, 6402-71.5, 6402-71.6, 6402-71.7, 6402-71.8, 6402-71.9, 6402-72.1, 6402-72.2, 6402-72.3, 6402-72.4, 6402-72.5, 6402-72.6, 6402-72.7, 6402-72.8, 6402-72.9, 6402-73.1, 6402-73.2, 6402-73.3, 6402-73.4, 6402-73.5, 6402-73.6, 6402-73.7, 6402-73.8, 6402-73.9, 6402-74.1, 6402-74.2, 6402-74.3, 6402-74.4, 6402-74.5, 6402-74.6, 6402-74.7, 6402-74.8, 6402-74.9, 6402-75.1, 6402-75.2, 6402-75.3, 6402-75.4, 6402-75.5, 6402-75.6, 6402-75.7, 6402-75.8, 6402-75.9, 6402-76.1, 6402-76.2, 6402-76.3, 6402-76.4, 6402-76.5, 6402-76.6, 6402-76.7, 6402-76.8, 6402-76.9, 6402-77.1, 6402-77.2, 6402-77.3, 6402-77.4, 6402-77.5, 6402-77.6, 6402-77.7, 6402-77.8, 6402-77.9, 6402-78.1, 6402-78.2, 6402-78.3, 6402-78.4, 6402-78.5, 6402-78.6, 6402-78.7, 6402-78.8, 6402-78.9, 6402-79.1, 6402-79.2, 6402-79.3, 6402-79.4, 6402-79.5, 6402-79.6, 6402-79.7, 6402-79.8, 6402-79.9, 6402-80.1, 6402-80.2, 6402-80.3, 6402-80.4, 6402-80.5, 6402-80.6, 6402-80.7, 6402-80.8, 6402-80.9, 6402-81.1, 6402-81.2, 6402-81.3, 6402-81.4, 6402-81.5, 6402-81.6, 6402-81.7, 6402-81.8, 6402-81.9, 6402-82.1, 6402-82.2, 6402-82.3, 6402-82.4, 6402-82.5, 6402-82.6, 6402-82.7, 6402-82.8, 6402-82.9, 6402-83.1, 6402-83.2, 6402-83.3, 6402-83.4, 6402-83.5, 6402-83.6, 6402-83.7, 6402-83.8, 6402-83.9, 6402-84.1, 6402-84.2, 6402-84.3, 6402-84.4, 6402-84.5, 6402-84.6, 6402-84.7, 6402-84.8, 6402-84.9, 6402-85.1, 6402-85.2, 6402-85.3, 6402-85.4, 6402-85.5, 6402-85.6, 6402-85.7, 6402-85.8, 6402-85.9, 6402-86.1, 6402-86.2, 6402-86.3, 6402-86.4, 6402-86.5, 6402-86.6, 6402-86.7, 6402-86.8, 6402-86.9, 6402-87.1, 6402-87.2, 6402-87.3, 6402-87.4, 6402-87.5, 6402-87.6, 6402-87.7, 6402-87.8, 6402-87.9, 6402-88.1, 6402-88.2, 6402-88.3, 6402-88.4, 6402-88.5, 6402-88.6, 6402-88.7, 6402-88.8, 6402-88.9, 6402-89.1, 6402-89.2, 6402-89.3, 6402-89.4, 6402-89.5, 6402-89.6, 6402-89.7, 6402-89.8, 6402-89.9, 6402-90.1, 6402-90.2, 6402-90.3, 6402-90.4, 6402-90.5, 6402-90.6, 6402-90.7, 6402-90.8, 6402-90.9, 6402-91.1, 6402-91.2, 6402-91.3, 6402-91.4, 6402-91.5, 6402-91.6, 6402-91.7, 6402-91.8, 6402-91.9, 6402-92.1, 6402-92.2, 6402-92.3, 6402-92.4, 6402-92.5, 6402-92.6, 6402-92.7, 6402-92.8, 6402-92.9, 6402-93.1, 6402-93.2, 6402-93.3, 6402-93.4, 6402-93.5, 6402-93.6, 6402-93.7, 6402-93.8, 6402-93.9, 6402-94.1, 6402-94.2, 6402-94.3, 6402-94.4, 6402-94.5, 6402-94.6, 6402-94.7, 6402-94.8, 6402-94.9, 6402-95.1, 6402-95.2, 6402-95.3, 6402-95.4, 6402-95.5, 6402-95.6, 6402-95.7, 6402-95.8, 6402-95.9, 6402-96.1, 6402-96.2, 6402-96.3, 6402-96.4, 6402-96.5, 6402-96.6, 6402-96.7, 6402-96.8, 6402-96.9, 6402-97.1, 6





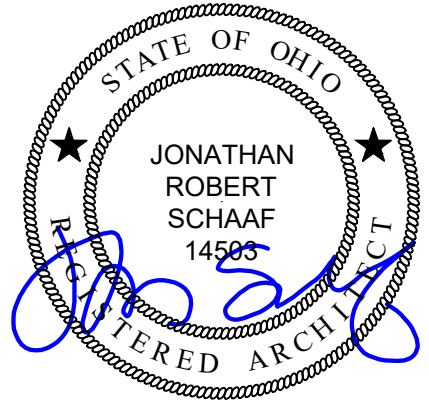
- # EXISTING / DEMOLITION KEY NOTES
1. REMOVE EX. FIBER CEMENT CLADDING, TRIM, & WRB COMPLETE TO SUB-SHEATHING - PREP FOR NEW WORK. REPAIR EXISTING SUB-SHEATHING AS REQUIRED TO ADDRESS ROTTED / DETERIORATED FRAMING [REFER TO ALLOWANCES]
  2. REMOVE EX. EPDM BASE FLASHING - REFER TO ROOF PLAN
  3. REMOVE EX. MTL RAIL SYSTEM COMPLETE.
  4. REMOVE EX. PATIO DOOR COMPLETE. REPAIR EXISTING FRAMING AS REQD TO ADDRESS ROTTED / DETERIORATED FRAMING. [REFER TO ALLOWANCES]
  5. REMOVE EX. ROOF PAVERS AT ROOFTOP TERRACE.
  6. REMOVE EX. METAL COPING.
  7. REMOVE EX. VENT COVERS, SALVAGE FOR REINSTALLATION.
  8. REMOVE EX. LIGHT FIXTURES, SALVAGE FOR REINSTALLATION.
  9. EX. PARAPET WALL.
  10. REMOVE EX. CONDUCTOR HEAD AND DOWNSPOUT COMPLETE.
  11. REMOVE EX. WOOD RAIL UNDER A/C UNITS.
  12. REMOVE EX. A/C UNITS, SALVAGE FOR REINSTALLATION AFTER COMPLETION OF NEW ROOF WORK
  13. REMOVE EX. LADDER, SALVAGE FOR REINSTALLATION AFTER COMPLETE OF NEW SIDING WORK.
  14. REMOVE EX. ROOF SYSTEM COMPLETE TO ROOF DECK. REPAIR EXISTING ROOF DECK AS REQUIRED TO ADDRESS ROTTED / DETERIORATED FRAMING. [REFER TO ALLOWANCES] [BASE BID SCOPE]
  15. REMOVE EX. D-RING TIE OFF SUPPORT FROM ROOF DECK.
  16. EXISTING WOOD FRAME SADDLES TO REMAIN.
  17. ASSESS, REPAIR, & PREP EXISTING EPDM ROOF MEMBRANE FOR NEW SILICONE ROOF COATING SYSTEM. INCLUDE ALL REPAIRS / SECTIONAL REPLACEMENT TO ADDRESS DETERIORATED CONDITIONS. INCLUDE AN ALLOWANCE IN THE AMOUNT OF 20% OF THE ROOF AREA TO RECEIVE NEW INSULATION & EPDM REPAIR. [ALTERNATE DEDUCT #1 SCOPE]



Roof Replacement & Building  
Enclosure Improvements at:  
**City West**  
1431 Linn Street  
Cincinnati, Ohio 45214

CMHA Solicitation #2025-3026	
Project Number	2025-060
Date	September 8, 2025
Date	Issue
09.08.25	Bid Set
Sheet Title	
Existing / Demolition Plans & Elevations	
Sheet Number	
D1.1	





Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2025

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing.  
© RDA 2025



Roof Replacement & Building  
Enclosure Improvements at:  
**City West**  
1431 Linn Street  
Cincinnati, Ohio 45214

CMHA Solicitation  
#2025-3026

Project Number  
2025-060

Date  
September 8, 2025

Date Issue  
09.08.25 Bid Set

Sheet Title  
Proposed Roof Plans

Sheet Number

A1.1

## # KEY NOTES

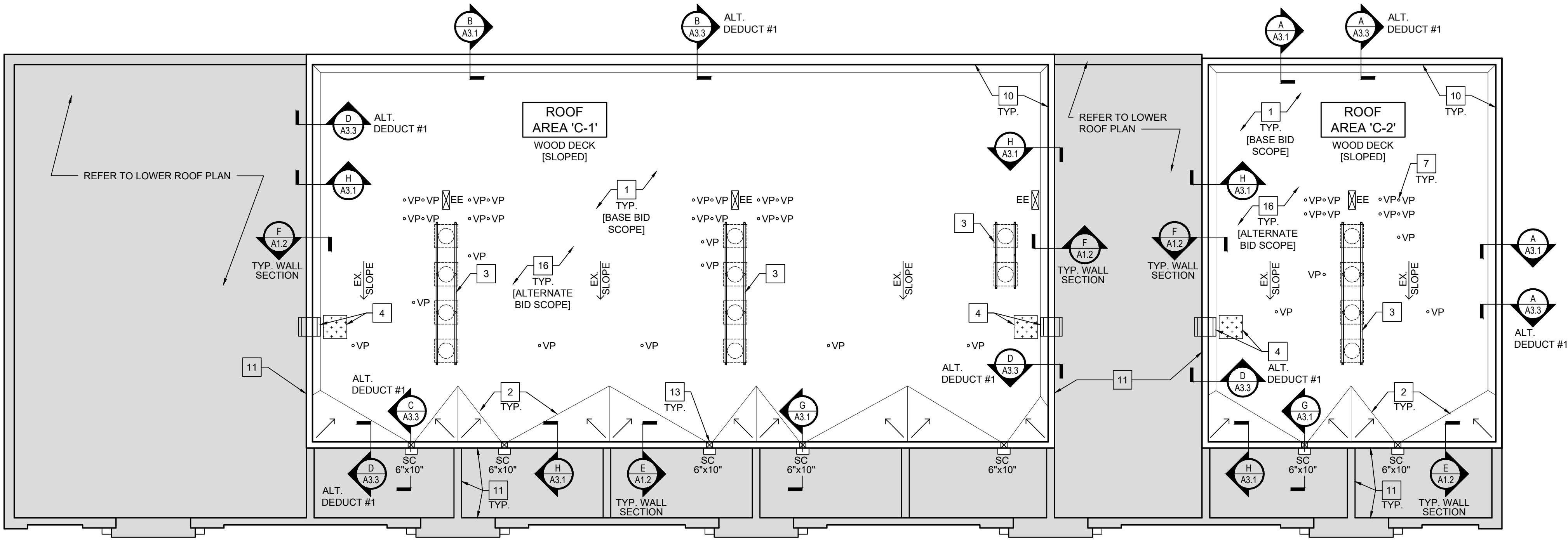
1. NEW EPDM ROOF SYSTEM. REFER TO ROOF MATRIX.
2. EXISTING WOOD FRAMED CRICKETS / SADDLES TO REMAIN. ENSURE POSITIVE DRAINAGE TO THE SCUPPERS.
3. NEW WIND RATED A/C STANDS. FLASH INTO NEW ROOF SYSTEM. REFER TO DETAILS. REINSTALL SALVAGED A/C UNITS. ANCHOR IN PLACE TO NEW STANDS. MODIFY / REPAIR / RECONNECT LINESETS AND ELECTRICAL FEEDS.
4. REINSTALL EXISTING ROOF ACCESS LADDER. PREP AND PAINT. RE-ANCHOR / SEAL SUPPORTS AT STRUCTURE. INSTALL WALK PADS AT TOP AND BOTTOM OF EACH LADDER.
5. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x8 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING EACH SIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. INSTALL NEW 24 GA. PRE-FIN. WIND RATED COPING.
6. NEW PATIO DOOR INTO ORIGINAL ROUGH OPENING. REPAIR EXISTING FRAMING AS REQ'D TO ADDRESS ROTTED / DETERIORATED FRAMING.
7. NEW FLASHING / BOOTS AT EX. ROOF PENETRATIONS - SEE SYMBOL LEGEND.
8. EXISTING DRAINAGE TROUGH. REFER TO DETAILS. REMOVE EXISTING, INSTALL NEW PERFORATED METAL FRAME / COVER.
9. NEW ROOF PAVERS AT ROOFTOP TERRACE. REFER TO DETAILS.
10. NEW PRE-FINISHED METAL COPING, REFER TO DETAILS.
11. REFER TO BUILDING ELEVATIONS FOR REMOVAL AND REPLACEMENT OF WALL CLADDING COMPONENTS.
12. AREA OF ANTICIPATED 3/4" T&G OSB SUBFLOOR REPLACEMENT. REMOVE EX. FINISH FLOOR (CARPET) AS REQ'D. NO NEW FINISH FLOOR AS PART OF THIS SCOPE. PROVIDE SUPPLEMENTAL BLOCKING AS REQUIRED TO SUPPORT NEW OSB.
13. REMOVE EXISTING, INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL CONDUCTOR HEAD AT EXTERIOR FACE OF WALL AND RELATED FLASHINGS PER MFG. INSTALL NEW 24 GA. PRE-FINISHED METAL 3"x4" DOWNSPOUT.
14. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x4 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING. WRB. & 7" EXPOSURE F.C. LAP SIDING ON INSIDE. & [2] 1x12 F.C. FRIEZE TRIM ON OUTSIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. ALIGN INTERIOR FACE OF PONY WALL W/ INTERIOR FACE OF EX. ADJACENT PARAPET WALL. INSTALL NEW 22 GA. PRE-FIN. WIND RATED COPING.
15. REMOVE EXISTING, INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL FACE PLATE. EXISTING CONDUCTOR HEAD & DOWNSPOUT TO REMAIN.
16. INSTALL SILICONE ROOF COATING SYSTEM OVER PREPPED EPDM ROOF. [ALTERNATE DEDUCT #1 SCOPE]

## SYMBOL LEGEND

	COORDINATE WITH CONDITIONS AND KEY NOTES ON DRAWINGS
	EXISTING ROOF SLOPE [STRUCTURAL DECK SLOPE]
	ROOF SLOPE DIRECTION - SEE DRAWING FOR SLOPE [TAPERED INSULATION SLOPE]
	EXISTING SPLIT SYSTEM CONDENSING / AC UNIT MOUNTED ON NEW WIND RATED STANDS [SINGLE OR MULTIPLE UNITS] - FIELD FLASH / EPDM FLASHING BOOT AT STAND SUPPORTS.
	EXISTING VENT PIPE, INSTALL NEW FLASHING BOOT PER MFG. RAISE / EXTEND VENT AS REQ'D TO INSTALL FLASHING.
	FLUE / HOT STACK PENETRATION, INSTALL NEW FIELD FLASHING PER MFG.
	PRIMARY SCUPPER - REMOVE EXISTING, INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL CONDUCTOR HEAD AT EXTERIOR FACE OF WALL AND RELATED FLASHINGS PER MFG. SIZED AS NOTED. MODIFY EXISTING OPENING IF REQ'D TO MEET DIMENSIONS / NEW ROOF SYSTEM THICKNESS. REMOVE EX. INSTALL NEW 24 GA. PRE-FINISHED METAL DOWNSPOUT. PROVIDE ALL ELBOWS & OFFSETS AS REQUIRED. DOWNSPOUTS SIZED AT 3"x4" UNLESS OTHERWISE NOTED. DISCHARGE ONTO LOWER ROOF / DRAINAGE TROUGH.
	EXISTING SCUPPER - REMOVE EXISTING, INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL FACE PLATE. EXISTING CONDUCTOR HEAD & DOWNSPOUT TO REMAIN. DISCHARGE INTO EXISTING UNDERGROUND STORM.
	REMOVE EXISTING, INSTALL NEW EQUIPMENT ENCLOSURE - 24 GA. GALVANIZED SHEET METAL WITH SLOPED, REMOVABLE TOP TO ACCESS ENCLOSURE. SEAL ALL PENETRATIONS THRU ENCLOSURE. DISCONNECT / RECONNECT - REFER TO DETAIL DIA3.2
	NEW WALK PADS
	EXISTING TIE OFF POINT - REMOVE FROM ROOF

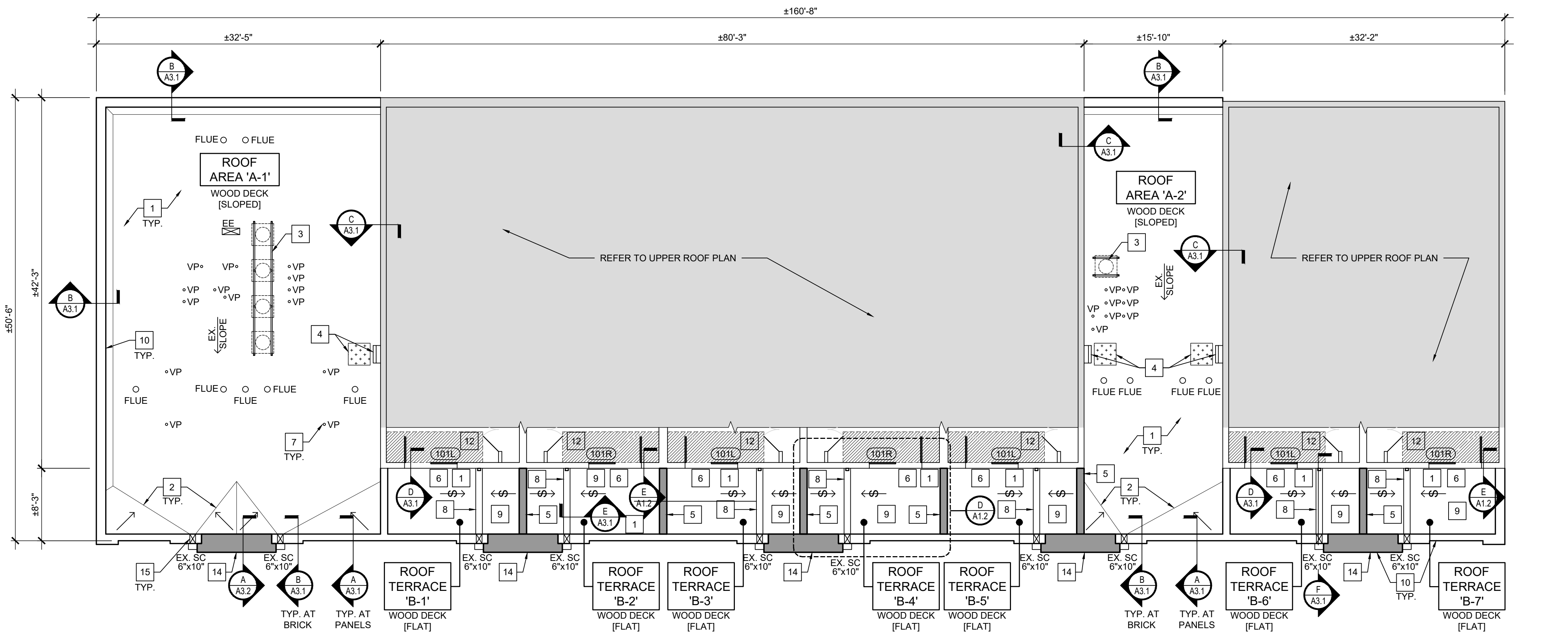
## GENERAL NOTES

1. VERIFY BELOW DECK CONFLICTS, COMMUNICATION WIRING, ELECTRICAL CONDUITS, ETC. THAT MAY BE ATTACHED JUST BELOW THE ROOF DECK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO BELOW DECK ITEMS AND SUBSEQUENT REPAIRS.
2. INSTALL MISCELLANEOUS BLOCKING / FURRING AS REQ'D FOR FILLERS, ETC. TO ALLOW PROPER ALIGNMENT OF NEW / EXISTING CONDITIONS.
3. VERIFY ALL DIMENSIONS FOR METAL EDGE, FASCIA, COPING, ETC. TO ENSURE NEW METAL ADEQUATELY COVERS AND OVERLAPS EXISTING JOINTS, MASONRY, EIFS, ETC. AND WILL NOT LEAVE UNFINISHED EDGES, PROFILES, SHADOWS, ETC.
4. REMOVE / REINSTALL EXISTING ELECTRICAL DEVICES, SENSORS, ETC. AS REQ'D TO INSTALL NEW METAL COPING / METAL EDGE, TYP. ALL AREAS
5. ALL EXPOSED TO VIEW JOINT SEALANT SHALL BE INSTALLED BY A QUALIFIED APPLICATOR. QUALITY OF SEALANT JOINTS WILL BE REVIEWED DURING CONSTRUCTION INCLUDING PROPER WIDTH / DEPTH RATIO, BACKER ROD, PRIMER, AND AESTHETICS - COORDINATE AS REQ'D.
6. INCLUDE ALL NECESSARY 2x BLOCKING / NAILERS AS REQ'D TO INSTALL NEW / REPLACEMENT SHEATHING / DECKING. ENSURE THAT ALL PANEL EDGES ARE SUPPORTED BY FRAMING.
7. VERIFY SHEATHING / DECKING IS PROPERLY ATTACHED TO THE UNDERLYING WOOD STRUCTURE.
  - 7.1. 1/2" OSB ROOF / WALL SHEATHING: MIN. OF 8d RING SHANK NAILS AT 6" OC AT EDGES / PERIMETER OF PANELS AND 8d NAILS AT 12" OC AT FIELD OF PANELS.
  - 7.2. 3/4" OSB FLOOR SHEATHING: BED IN CONSTRUCTION ADHESIVE AND MIN. OF 6d RING SHANK NAILS AT 6" OC AT EDGES / PERIMETER OF PANELS AND 6d NAILS AT 12" OC AT FIELD OF PANELS.
8. PROJECT ALLOWANCES:
  - 8.1. REMOVAL / REPLACEMENT OF 70 SHEETS [2,240 SF] OF 1/2" OSB ROOF DECK [MIN. 4"x4" SECTIONS FOR REPLACEMENT]
  - 8.2. REMOVAL / REPLACEMENT OF 40 SHEETS [1,280 SF] OF 1/2" OSB WALL SHEATHING
  - 8.3. REMOVAL / REPLACEMENT OF 14 SHEETS [448 SF] OF 3/4" T&G OSB SUBFLOOR



## B UPPER ROOF PLAN

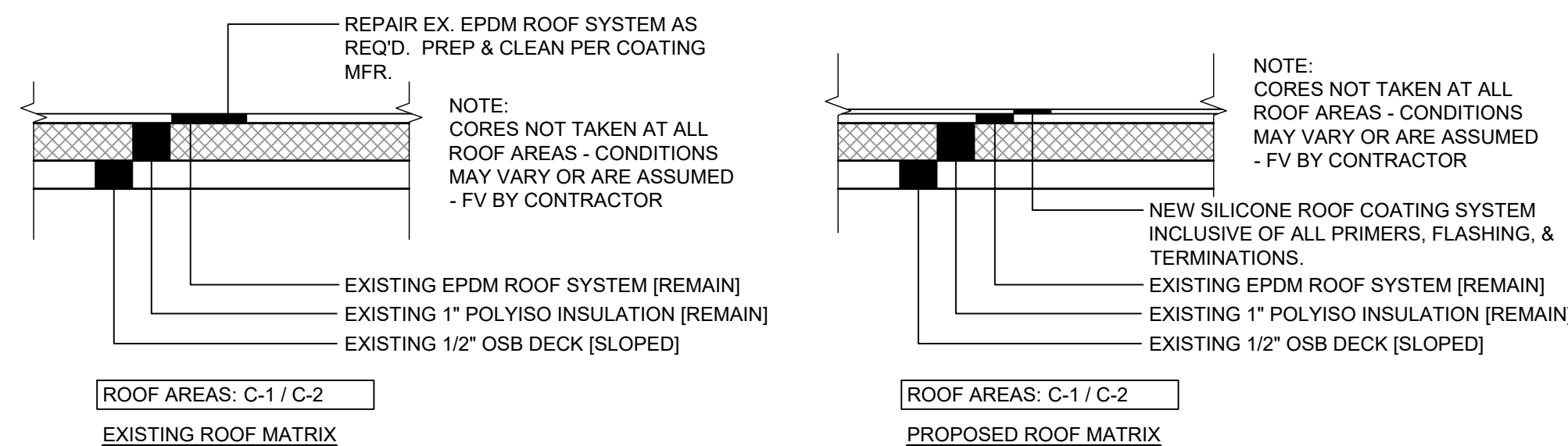
SCALE: 1/8" = 1'-0"



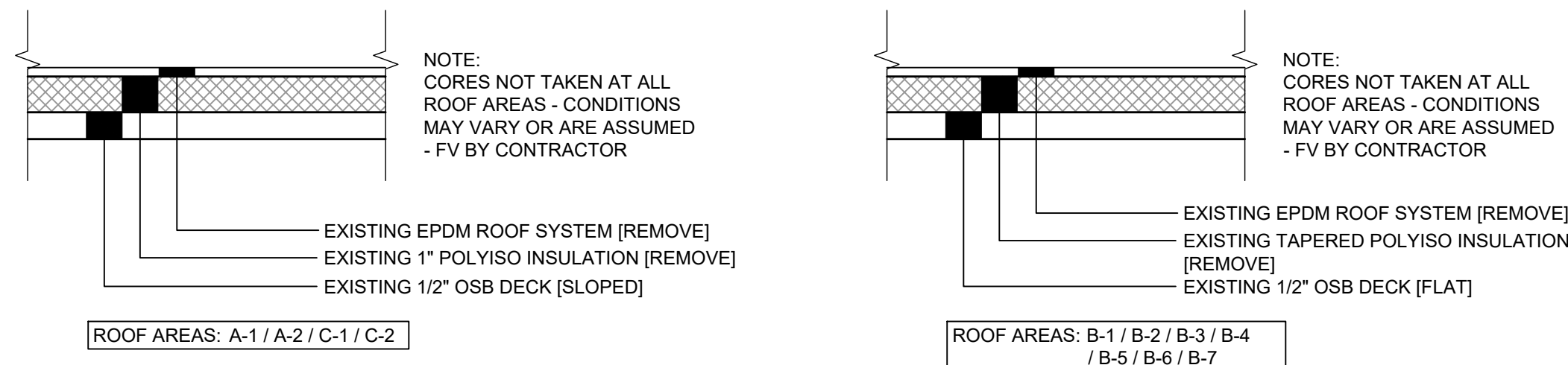
## A LOWER ROOF PLAN

SCALE: 1/8" = 1'-0"

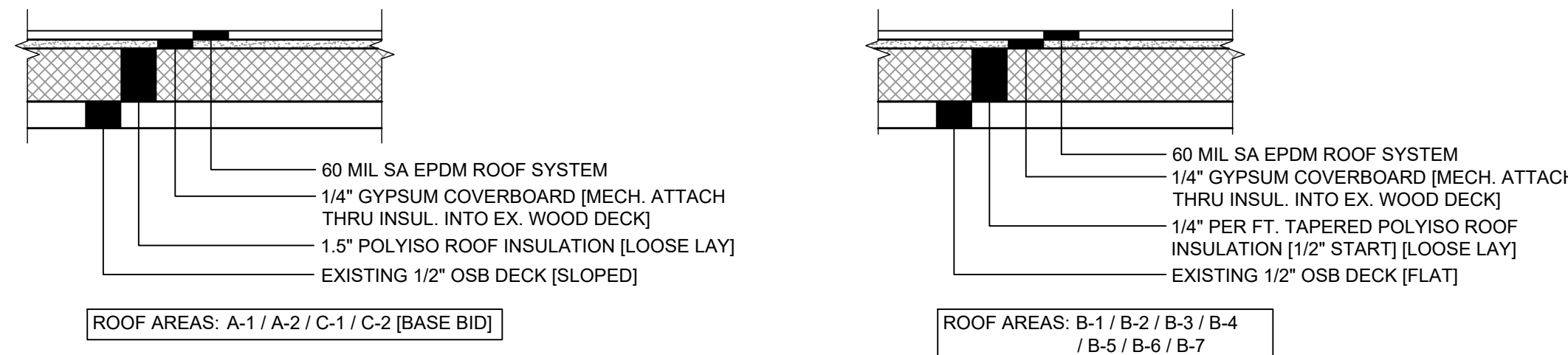




**G** ALTERNATE DEDUCT #1 ROOF MATRIX  
SCALE: N.T.S.



**A** EXISTING ROOF MATRIX  
SCALE: N.T.S.

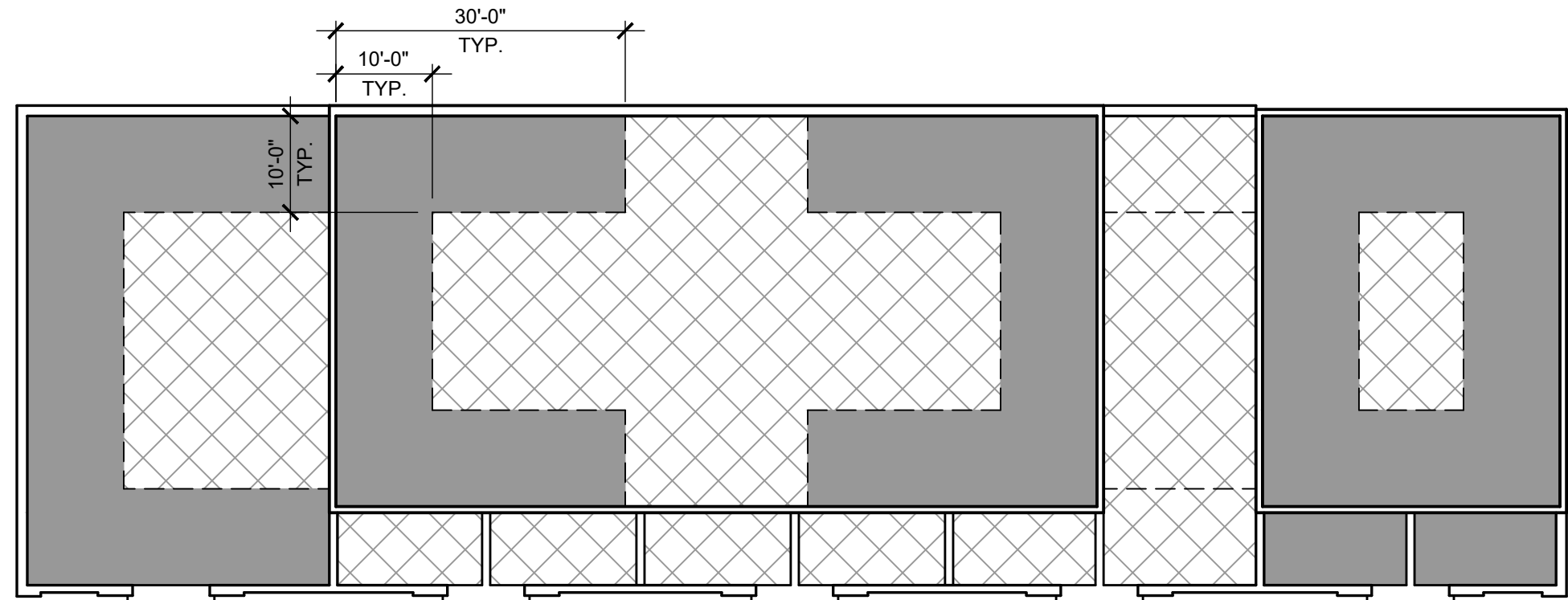


**B** PROPOSED ROOF MATRIX  
SCALE: N.T.S.

MECHANICAL ATTACHMENT REQUIREMENTS		
ZONE 1:	INTERIOR FIELD	12 FASTENERS / 4' x 8' BOARD
ZONE 1:	EXTERIOR FIELD	12 FASTENERS / 4' x 8' BOARD
ZONE 2:	PERIMETER	16 FASTENERS / 4' x 8' BOARD
ZONE 3:	CORNERS	32 FASTENERS / 4' x 8' BOARD

NOTE:  
CONTRACTOR TO CONDUCT MECHANICAL PULLOUT TESTING OF THE EXISTING OSB ROOF DECK. THE MINIMUM PULL OUT VALUE FOR THE ABOVE FASTENING RATES IS 300 LB. IF LOWER VALUES ARE FOUND THROUGH TESTING, ADJUST THE FASTENING RATES PER MANUFACTURER'S REQUIREMENTS. THE INDICATED MECHANICAL ATTACHMENT RATES ARE THE MINIMUM REQUIREMENTS PER MANUFACTURER TESTING RESULTS. THE CONTRACTOR SHALL CONFIRM WITH THE MANUFACTURER AND FACTORY MUTUAL GLOBAL SYSTEM ASSEMBLY (IF APPLICABLE) TO ENSURE THE ACTUAL SYSTEM BEING INSTALLED PER THEIR REQUIREMENTS TO MEET THE SPECIFIED WARRANTY (INCLUDING WIND) REQUIREMENTS. THIS SHALL BE ACCOMPLISHED PRIOR TO SUBMITTING FOR BIDS AND ANY DEVIATION SHALL BE INCLUDED IN THE BID AMOUNT.

KEY FOR ROOF ZONES:	
[Pattern]	ZONE 1' - INTERIOR FIELD
[Pattern]	ZONE 1 - EXTERIOR FIELD
[Pattern]	ZONE 2 - PERIMETER
[Pattern]	ZONE 3 - CORNER



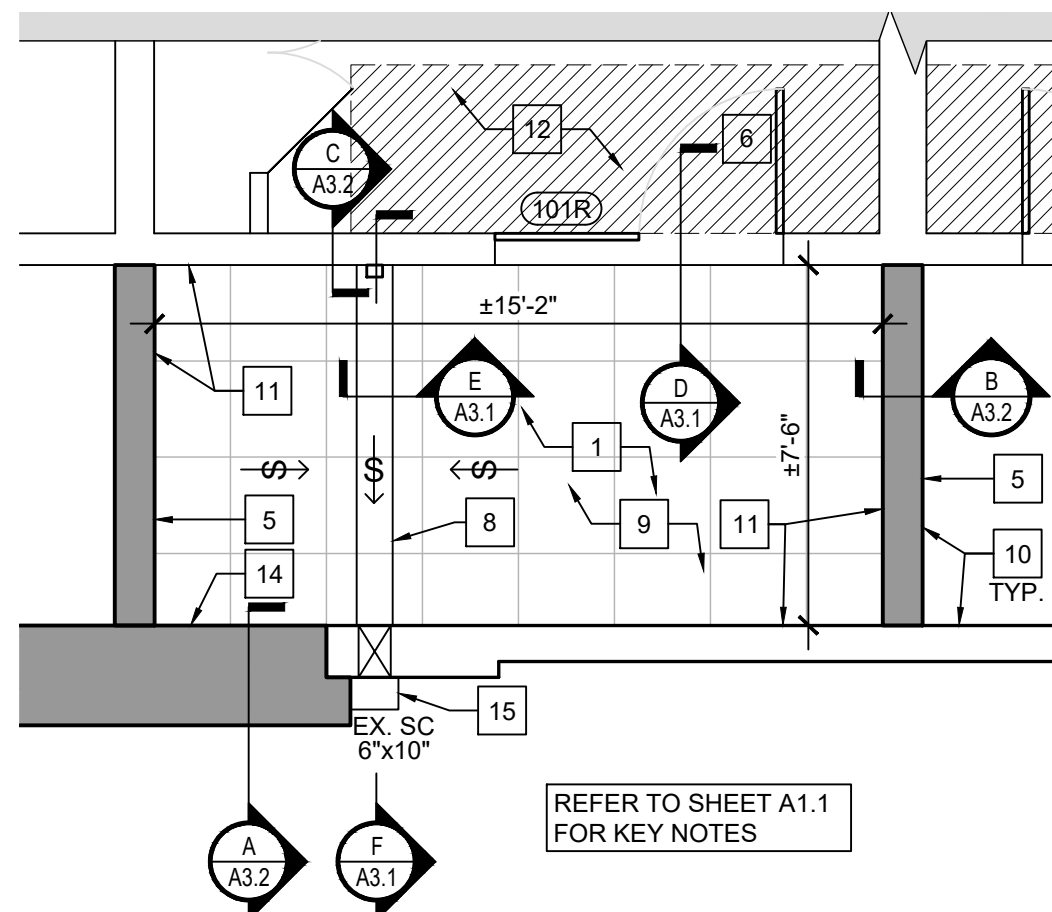
**C** ROOF PLAN INDICATING ROOF SECUREMENT ZONES  
SCALE: 1/16" = 1'-0"

# DOOR SCHEDULE							
#	SIZE	NEW	EXISTING	FRAME TYPE	DOOR TYPE	HWDR SET #	FIRE RAT'G
101L	6'-0" X 6'-8"	●	●	F-1	D-1	H-1	-
101R	6'-0" X 6'-8"	●	●	F-1	D-1	H-1	-

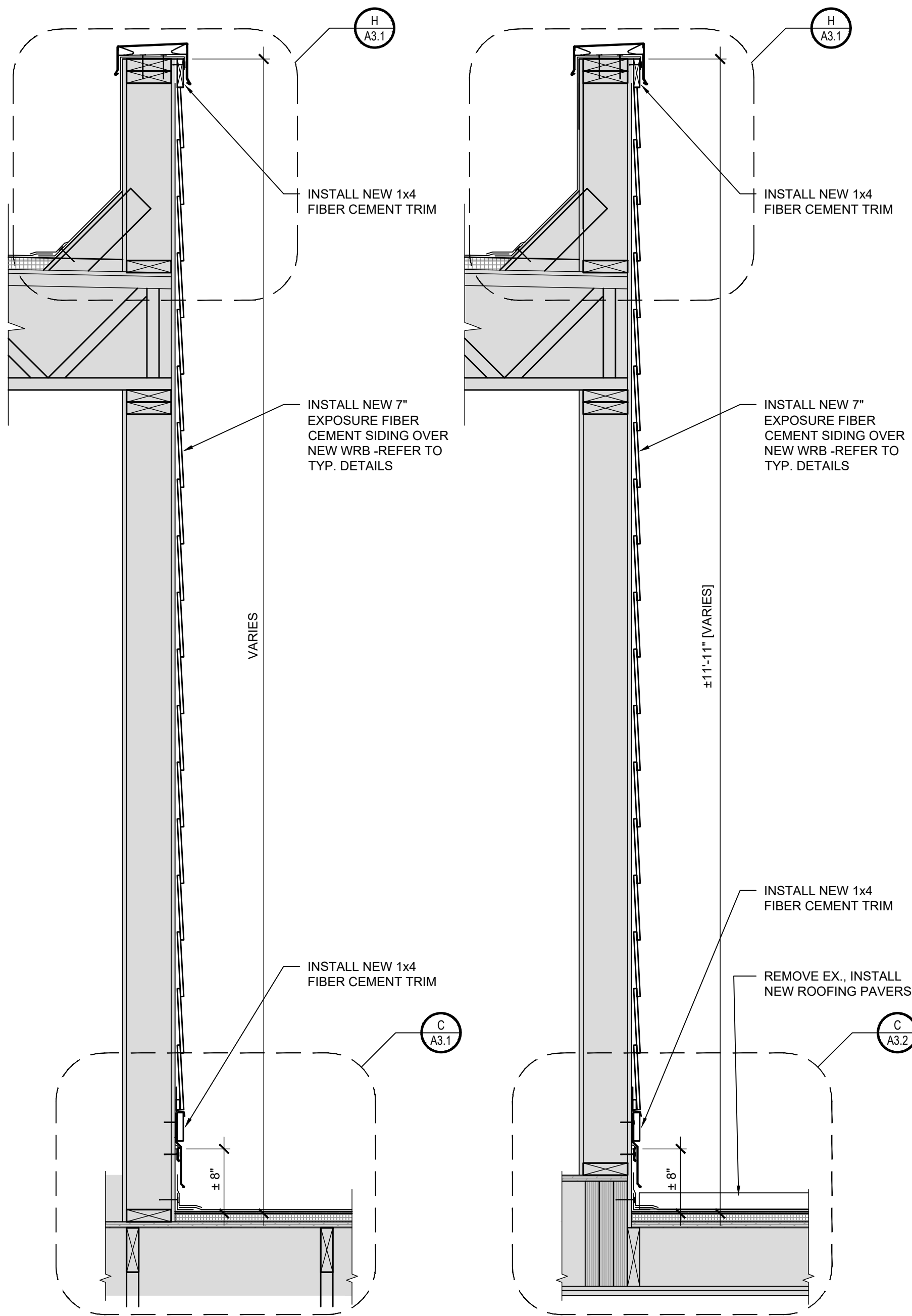
FRAME TYPES	
(F-1)	WOOD FRAME W/ FIBER CEMENT TRIM AT EXTERIOR

DOOR TYPES	HARDWARE TYPES
	H-1 - TERRACE ENTRY [EXTERIOR]  HINGES: 1 1/2 PR. BUTT LOCKSET: ENTRY LEVER W/ DEADBOLT THRESHOLD: HIGH DAM  [COORDINATE WITH SPECIFICATIONS]

DOOR / FRAME / GLAZING NOTES	
1. EXTERIOR DOOR FRAMES: WOOD, PAINT FINISH PER OWNER, [EXTERIOR ONLY] 2. EXTERIOR DOORS SHALL BE INSULATED METAL, FULL LITE 15 PANEL, PAINT FINISH PER OWNER, [EXTERIOR ONLY] 3. COORDINATE DOOR/FRAME TYPES, STYLE, FINISH WITH OWNER. 4. ALL HARDWARE SHALL MATCH OWNER STANDARD. 5. ALL HARDWARE TO COMPLY WITH THE LATEST REQUIREMENTS OF THE OHIO BUILDING CODE, ADAAG, NFPA, NEC AND OTHER APPLICABLE REGULATORY AGENCIES. THE HARDWARE SUPPLIER SHALL COORDINATE STYLE, FINISH, AND OPERATION REQUIREMENTS WITH THE OWNER. 6. COORDINATE THE KEYING REQUIREMENTS WITH THE OWNER.	



**D** ENLARGED TYPICAL ROOF TERRACE PLAN  
SCALE: 1/4" = 1'-0"



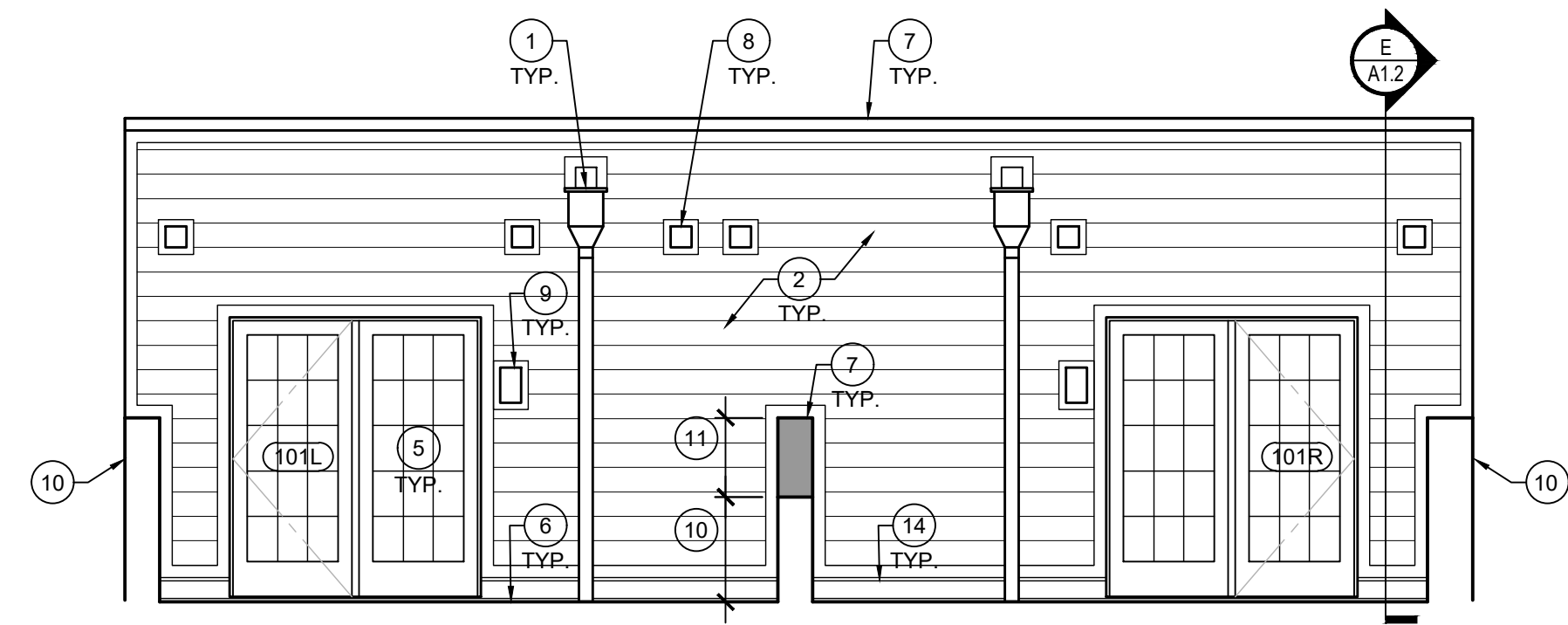
**F** SECTION  
SCALE: 1" = 1'-0"

**E** SECTION  
SCALE: 1" = 1'-0"

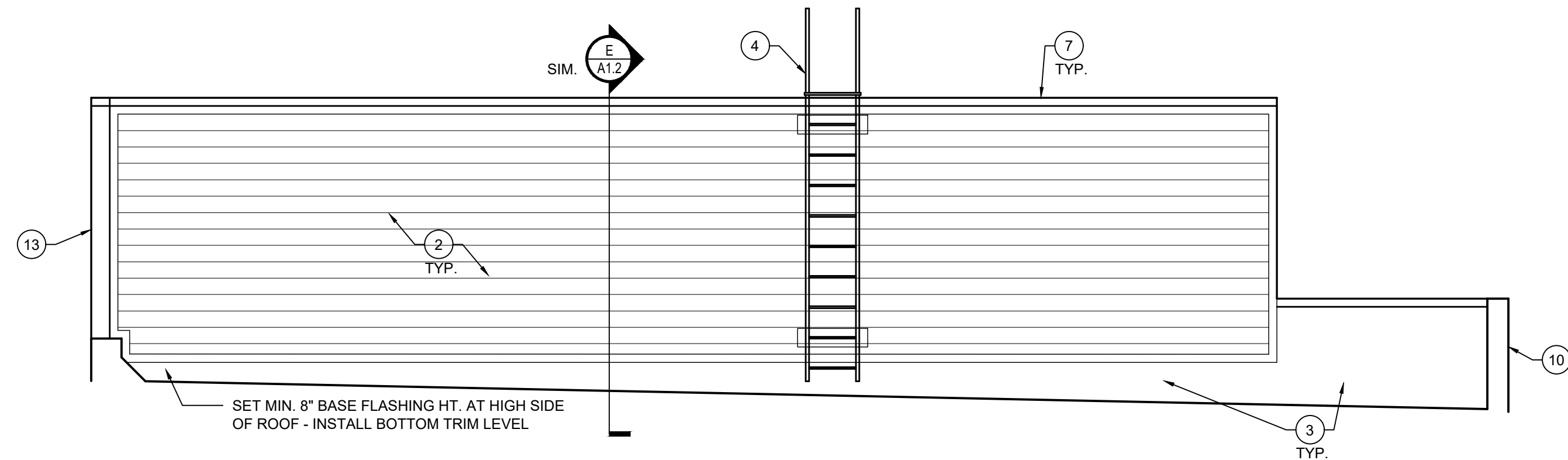




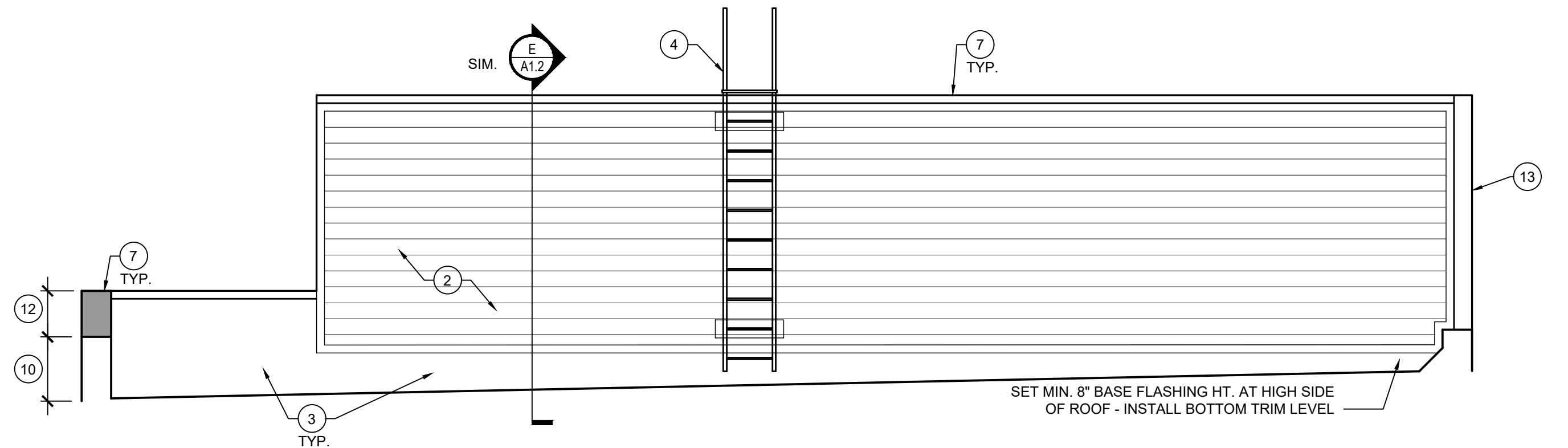
**A** EAST ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



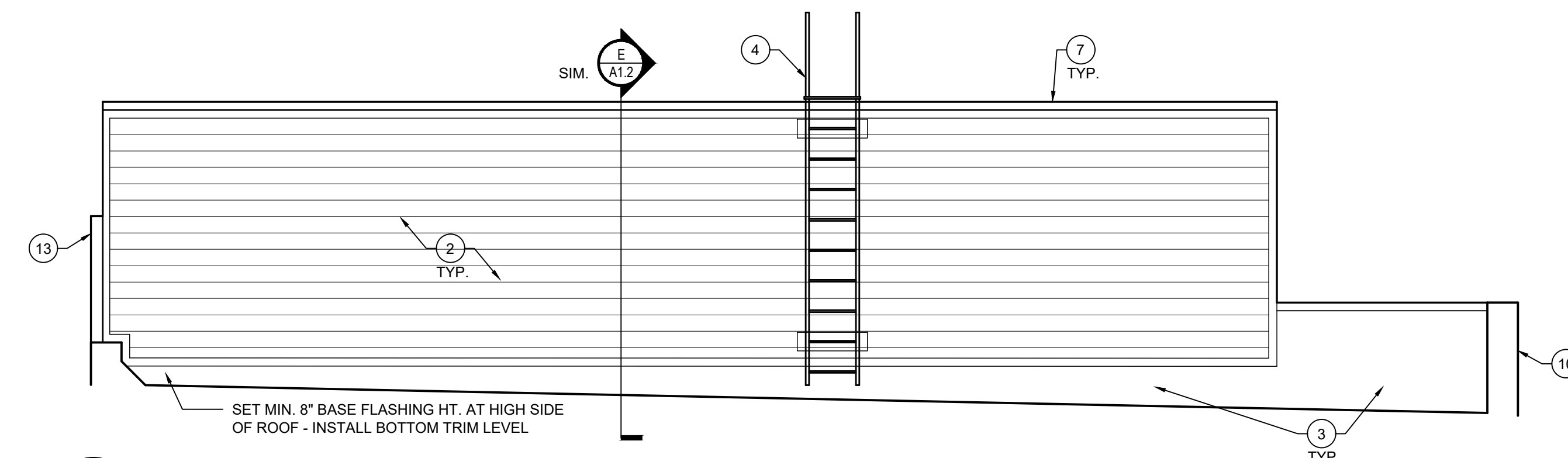
**B** EAST ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"



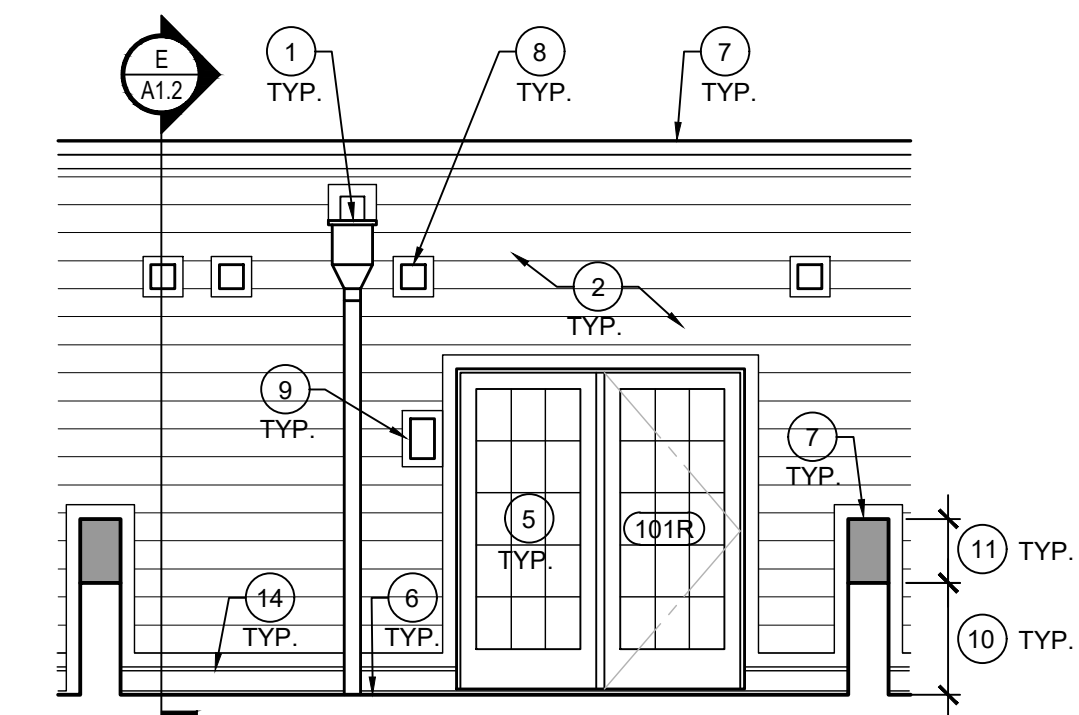
**C** SOUTH ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



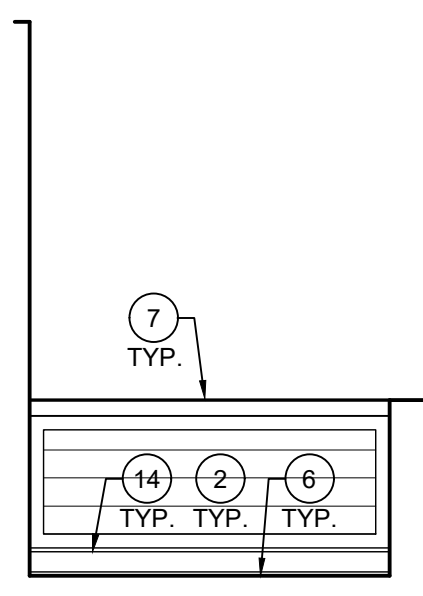
**D** NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



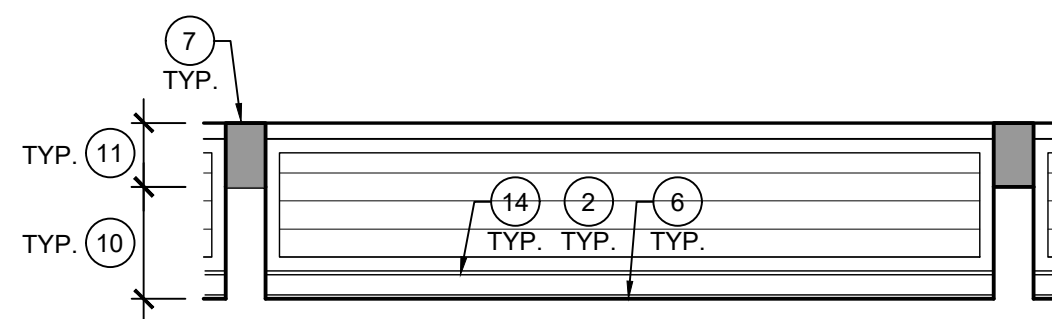
**E** SOUTH ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"



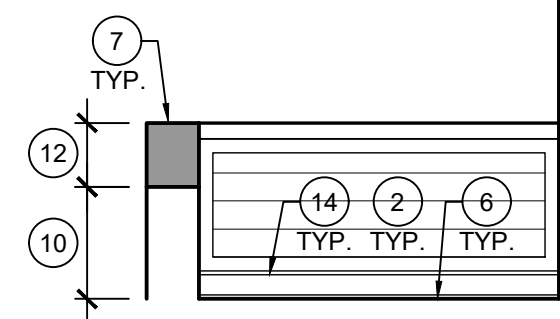
**F**



**G**

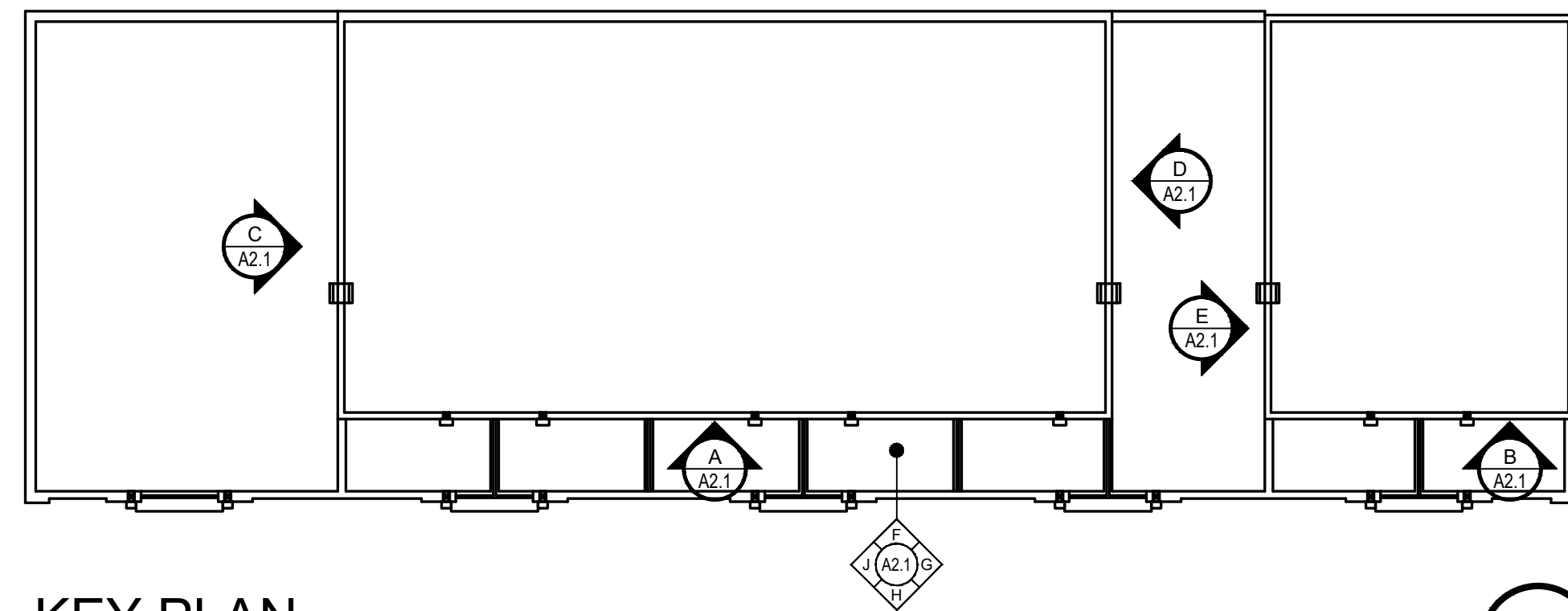


**H**



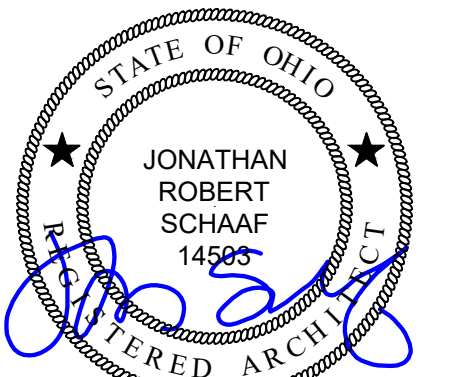
**J**

**TYPICAL TERRACE EXTERIOR ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**KEY PLAN**  
SCALE: N.T.S.

- # PROPOSED KEY NOTES**
1. INSTALL NEW 24 GA. PRE-FINISHED METAL CONDUCTOR HEAD & DOWNSPOUT.
  2. INSTALL NEW WRB & 7" EXPOSURE FIBER CEMENT LAP SIDING, 1x4 F.C. TRIM, & APPLICABLE FLASHING. PREP & PAINT.
  3. INSTALL NEW EPDM BASE FLASHING - REFER TO ROOF PLAN
  4. REMOVE AND REINSTALL EXISTING ROOF ACCESS LADDER. PREP AND PAINT. RE-ANCHOR / SEAL SUPPORTS AT STRUCTURE. INSTALL WALK PADS AT TOP AND BOTTOM OF EACH LADDER.
  5. INSTALL NEW PATIO DOOR INTO ORIGINAL OPENING. REPAIR EXISTING FRAMING AS REQ'D TO ADDRESS ROTTED / DETERIORATED FRAMING - REFER TO DOOR SCHEDULE & DETAILS.
  6. INSTALL NEW ROOF PAVERS AT ROOFTOP TERRACE. REFER TO DETAILS.
  7. INSTALL NEW PRE-FINISHED METAL COPING, REFER TO DETAILS.
  8. INSTALL SALVAGED VENT COVERS OVER NEW FIBER CEMENT TRIM BLOCK AROUND THRU WALL PENETRATION.
  9. INSTALL SALVAGED LIGHT FIXTURE OVER NEW FIBER CEMENT TRIM.
  10. EXISTING PARAPET WALL.
  11. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x8 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING EACH SIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. INSTALL NEW 24 GA. PRE-FIN. WIND RATED COPING.
  12. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x4 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING, WRB, & 7" EXPOSURE F.C. LAP SIDING ON INSIDE, & [2] 1x12 F.C. FRIEZE TRIM ON OUTSIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. ALIGN INTERIOR FACE OF PONY WALL W/ INTERIOR FACE OF EX. ADJACENT PARAPET WALL. INSTALL NEW 22 GA. PRE-FIN. WIND RATED COPING.
  13. EXISTING BRICK WALL TO REMAIN.
  14. INSTALL NEW METAL COUNTER FLASHING



Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2025  
This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing. © RDA 2025



Roof Replacement & Building  
Enclosure Improvements at:  
**City West**  
1431 Linn Street  
Cincinnati, Ohio 45214

CMHA Solicitation  
#2025-3026

Project Number  
2025-060

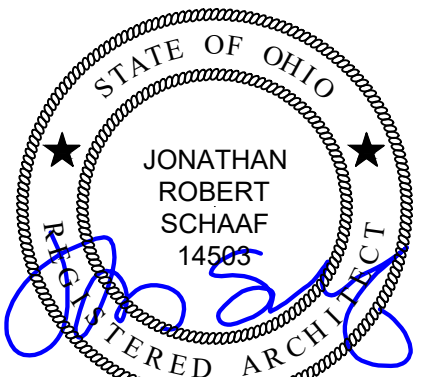
Date  
September 8, 2025

Date Issue  
09.08.25 Bid Set

Sheet Title  
Exterior Elevations

Sheet Number  
**A2.1**





Jonathan Robert Schaaf #14503  
Expiration Date 12/31/2025

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing.  
© RDA 2025

Roof Replacement & Building  
Enclosure Improvements at:  
**City West**  
1431 Linn Street  
Cincinnati, Ohio 45214

CMHA Solicitation  
#2025-3026

Project Number  
2025-060

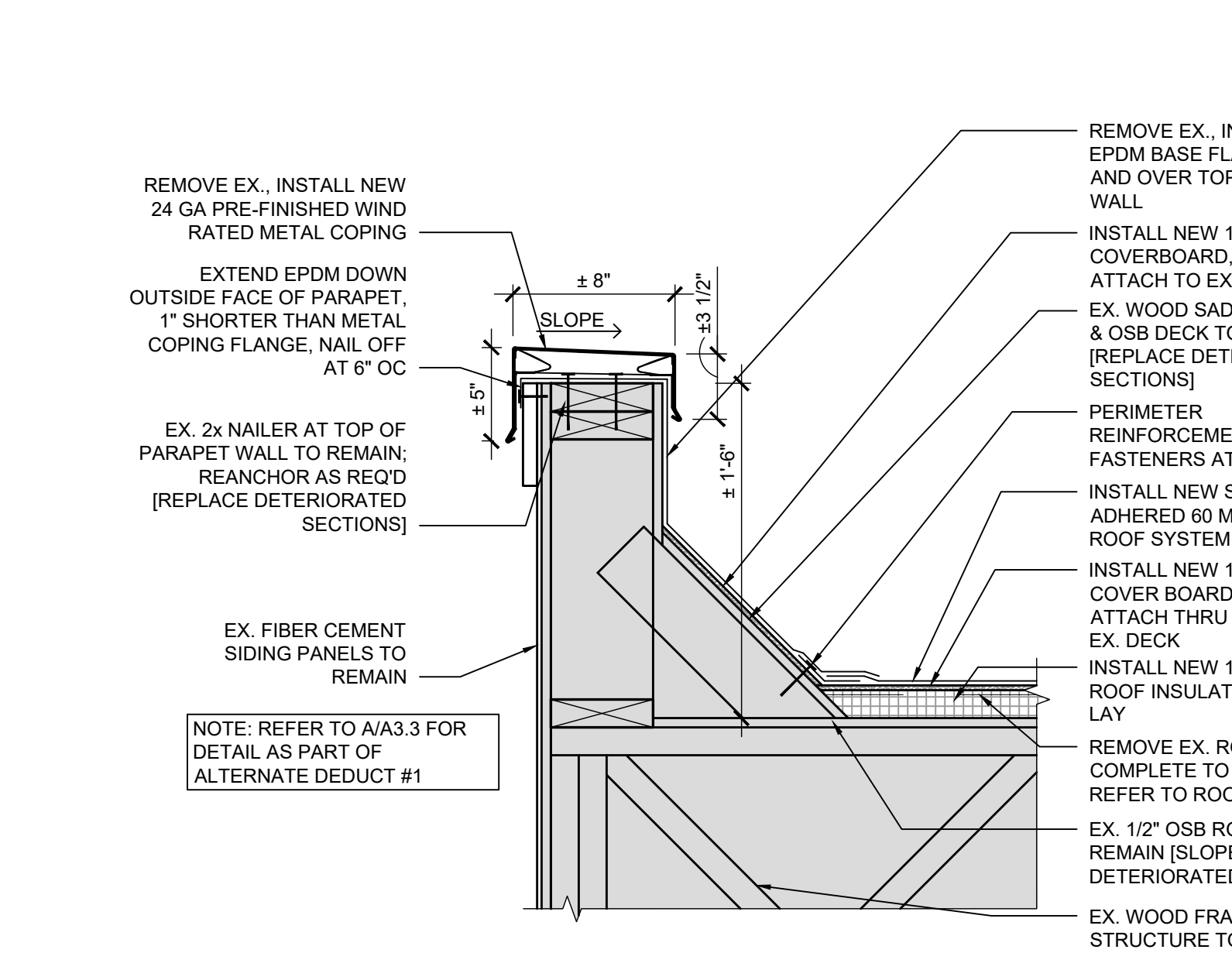
Date  
September 8, 2025

Date Issue  
09.08.25 Bid Set

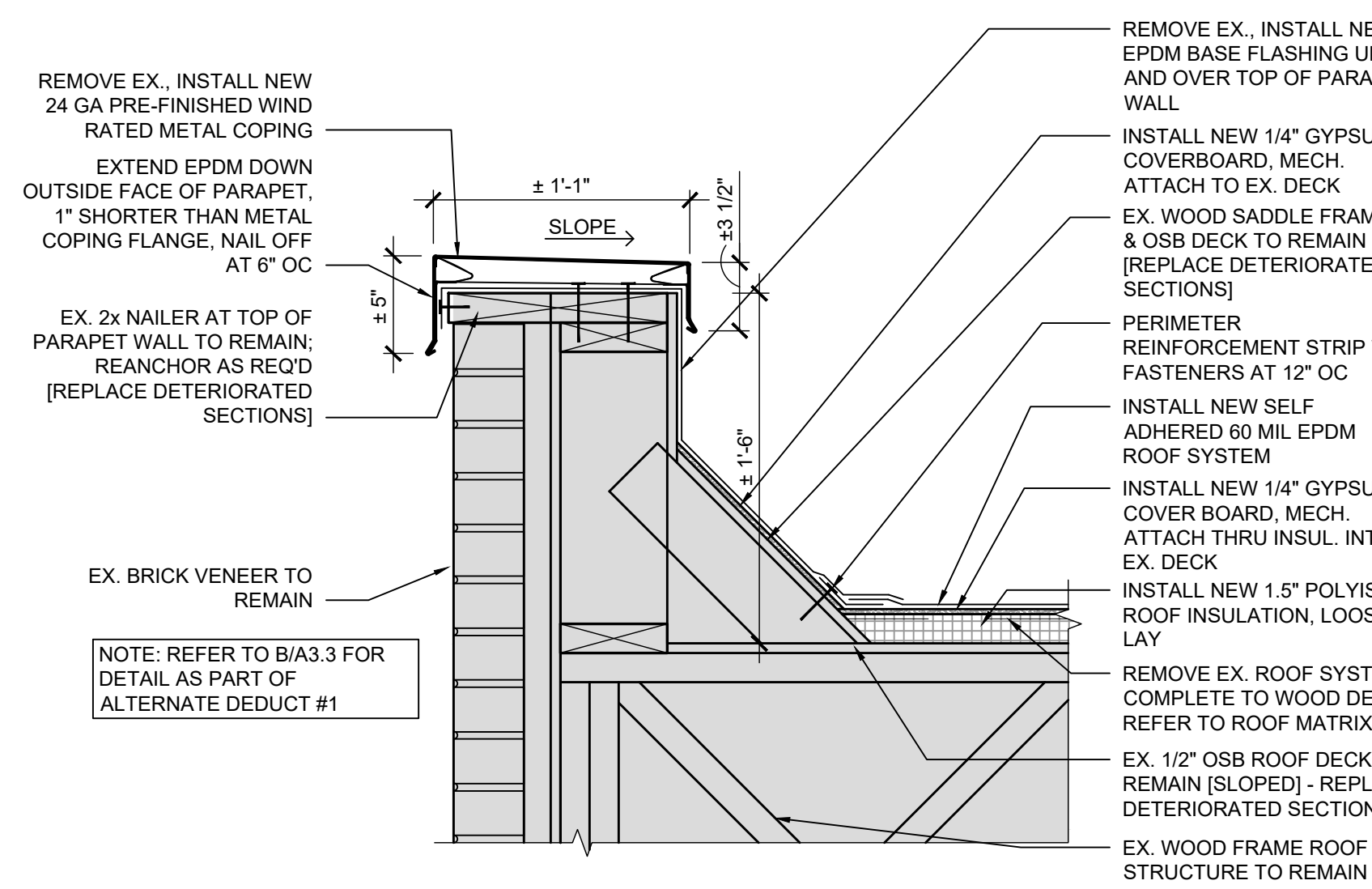
Sheet Title  
Details

Sheet Number

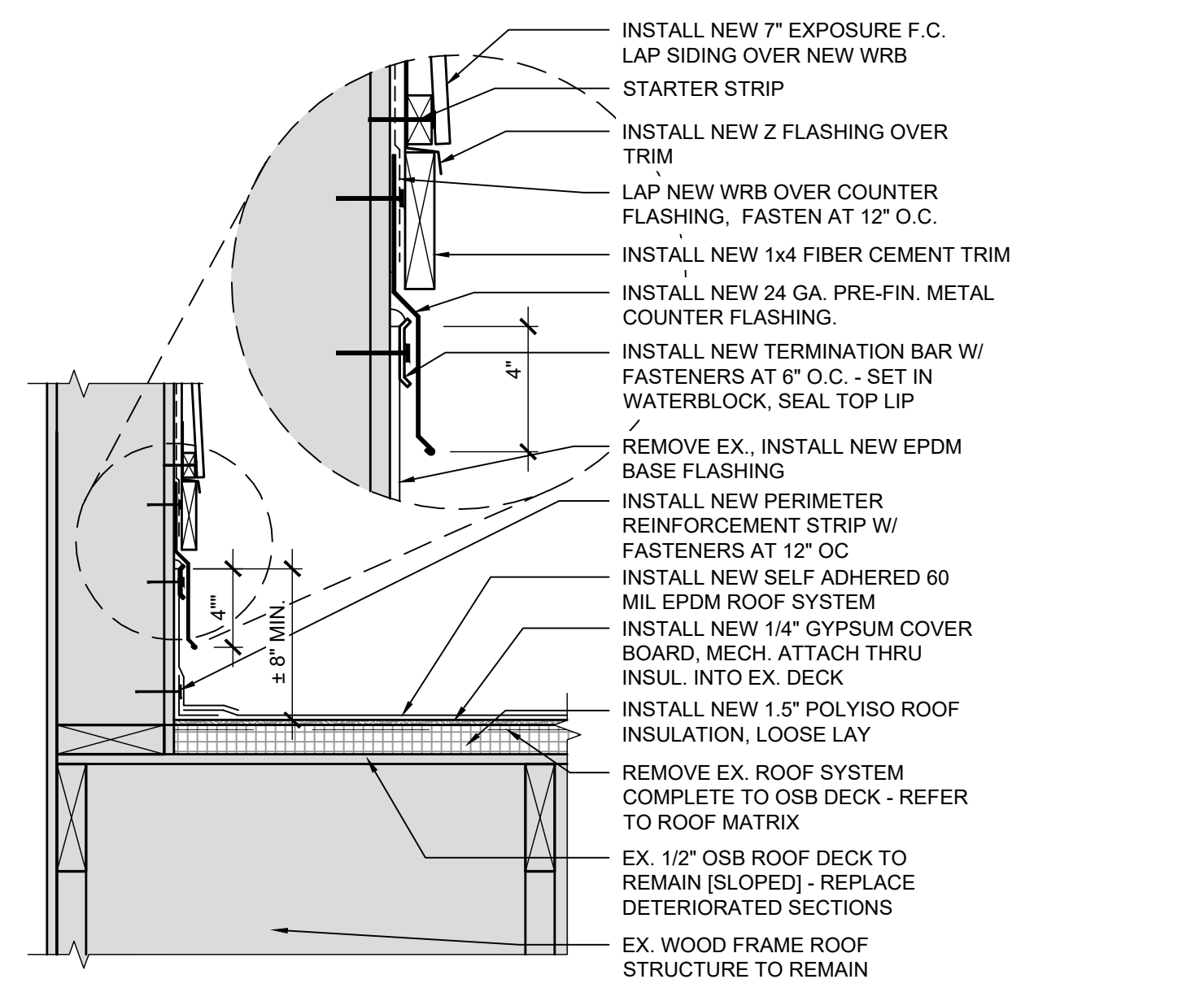
**A3.1**



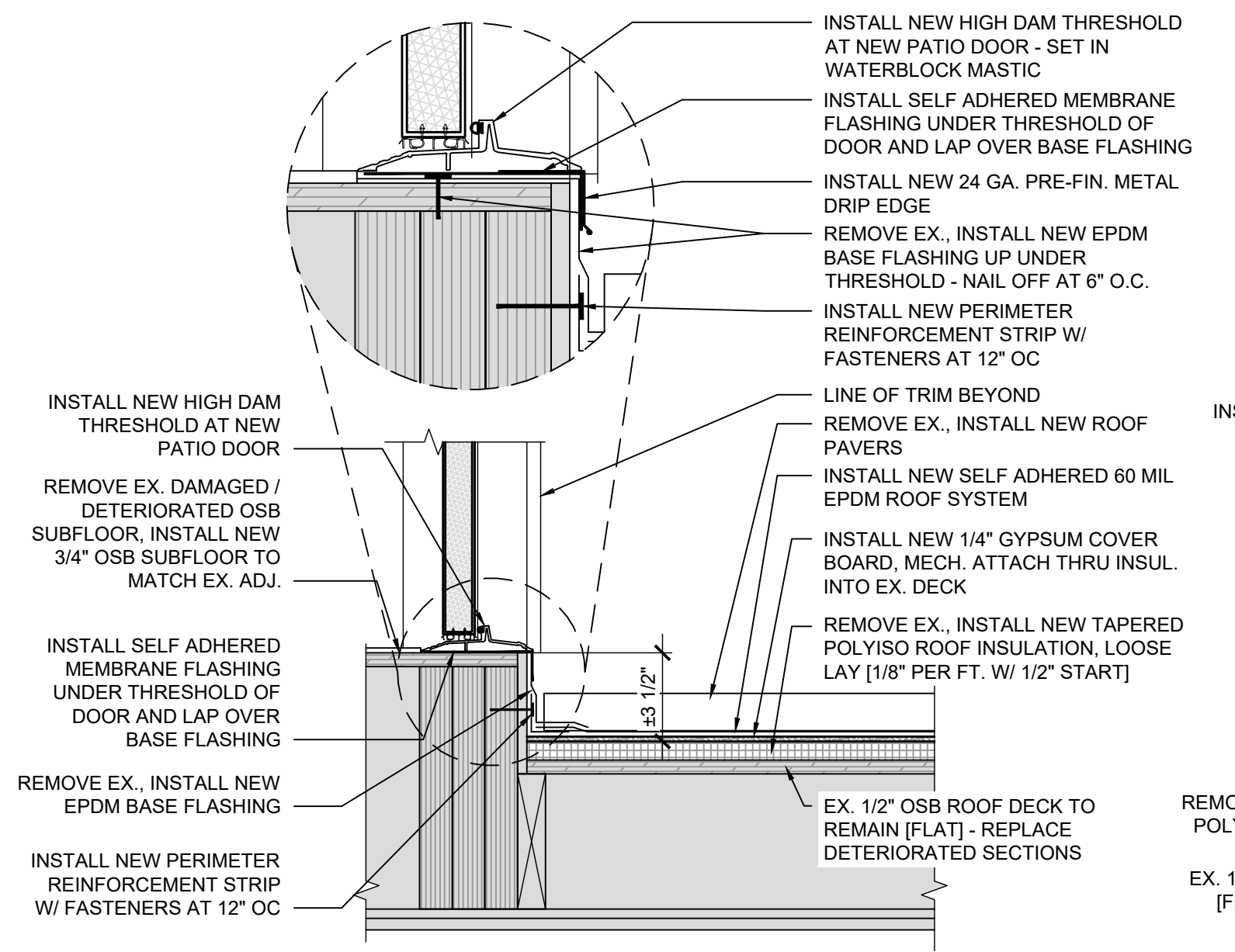
**A** DETAIL  
SCALE: 1 1/2" = 1'-0"



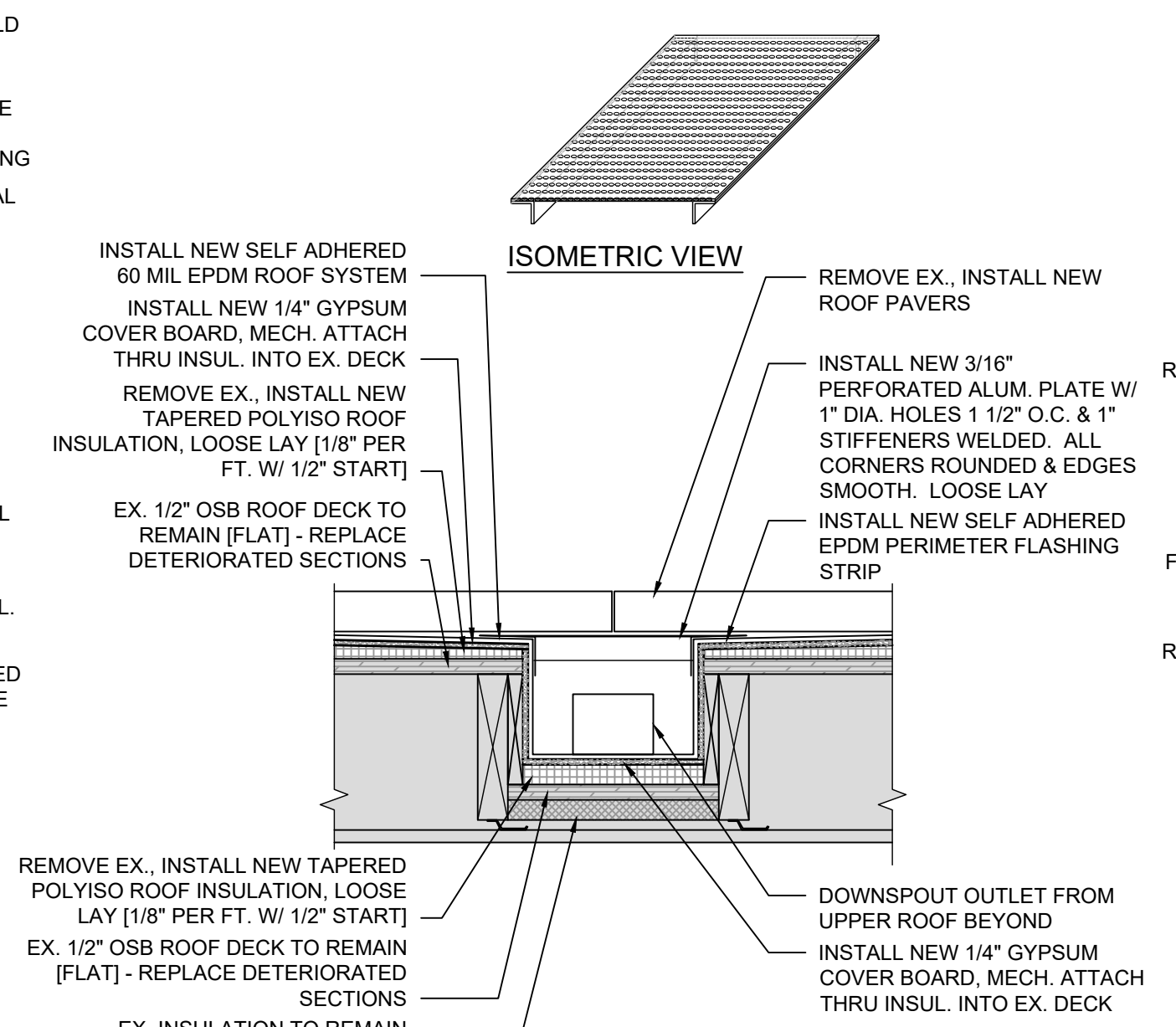
**B** DETAIL  
SCALE: 1 1/2" = 1'-0"



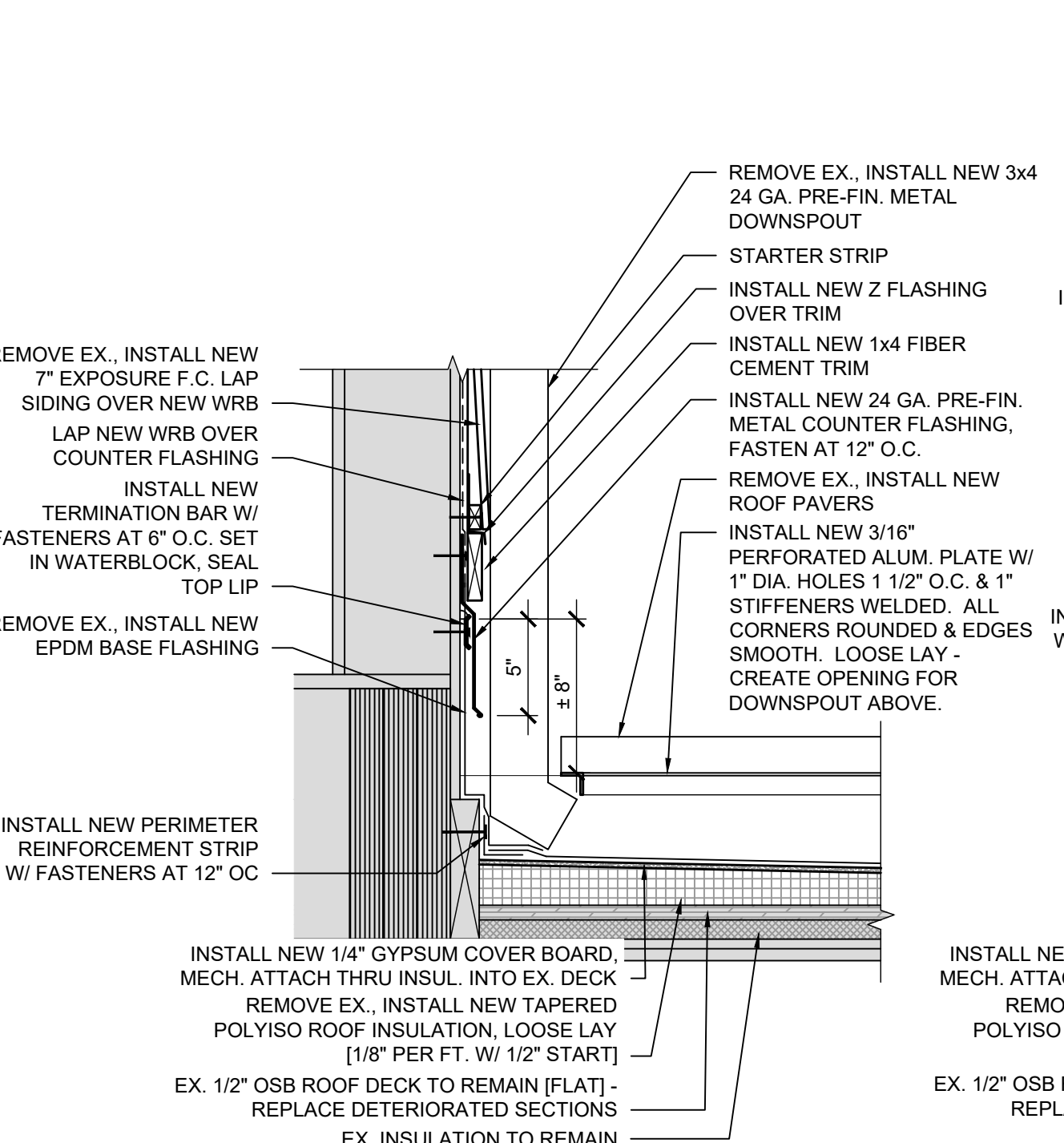
**C** DETAIL  
SCALE: 1 1/2" = 1'-0"



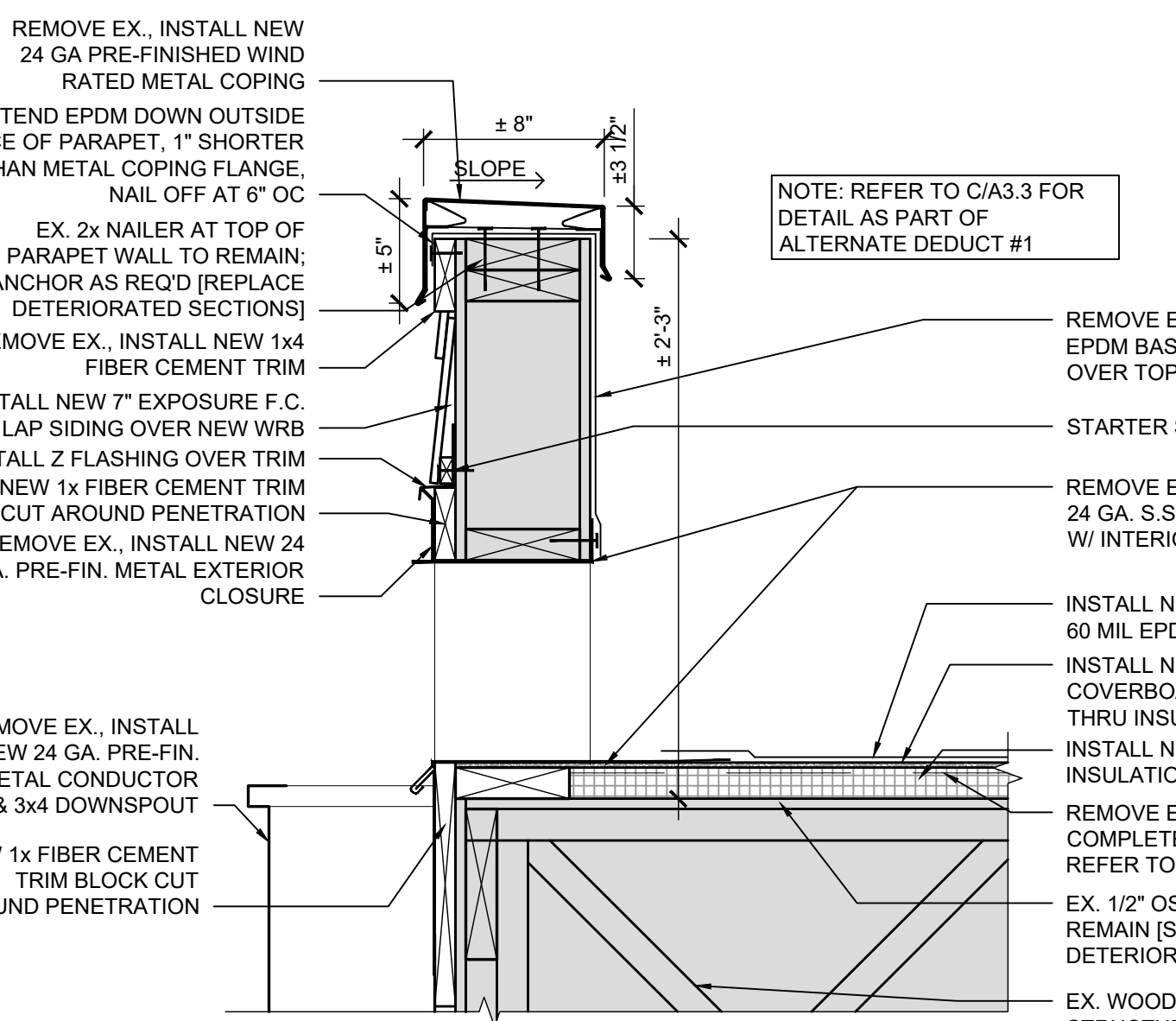
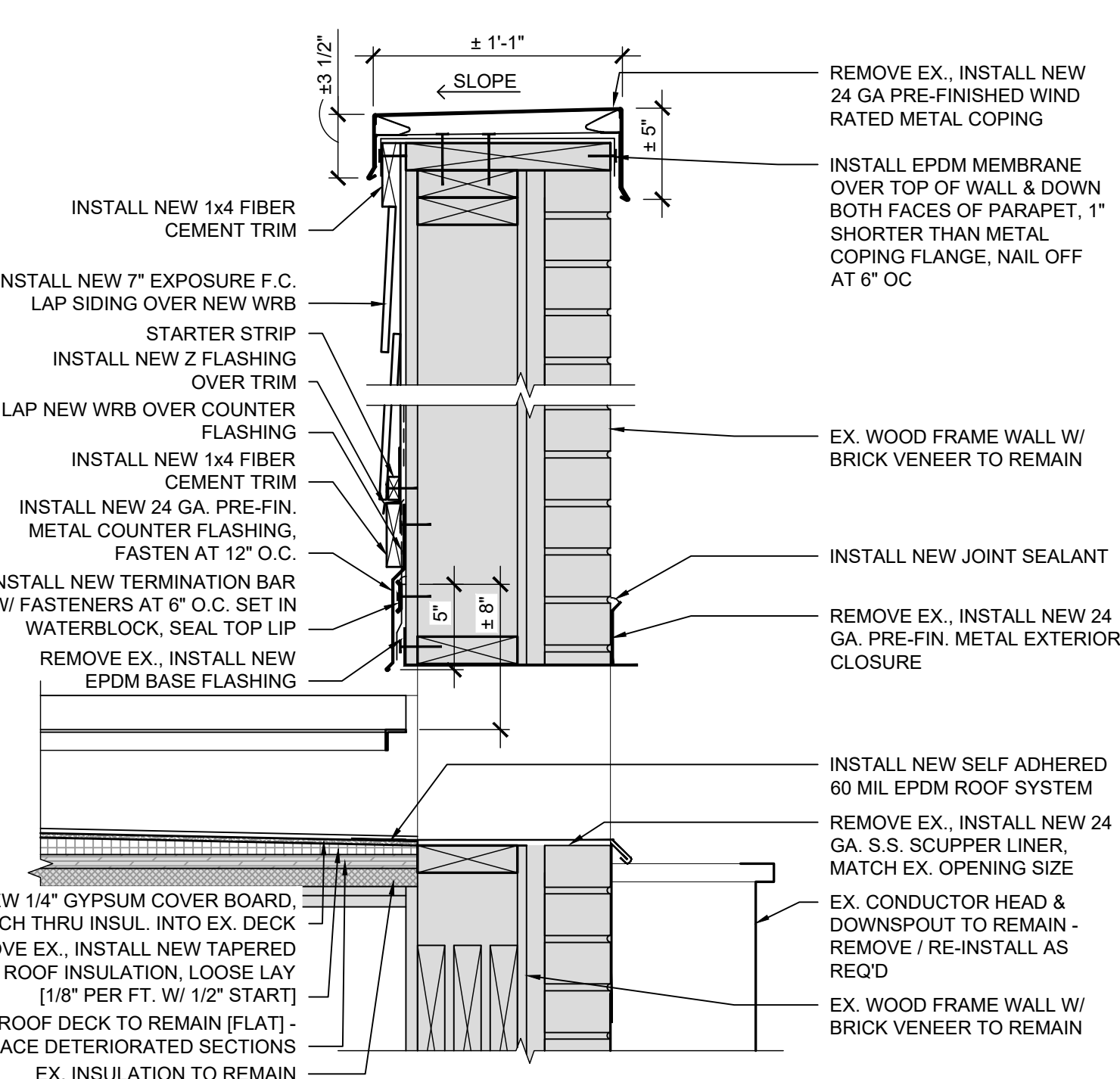
**D** DETAIL  
SCALE: 1 1/2" = 1'-0"



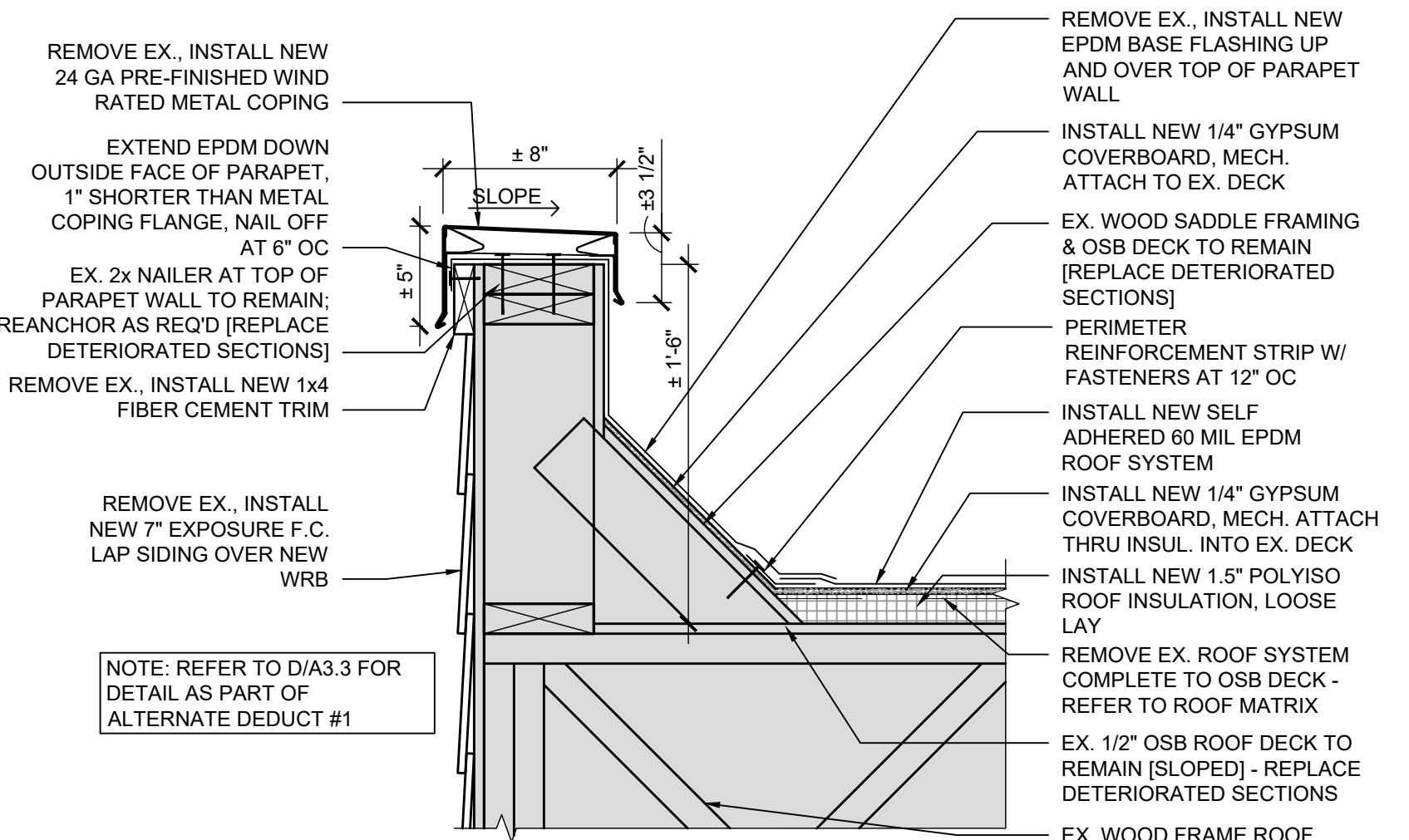
**E** DETAIL  
SCALE: 1 1/2" = 1'-0"



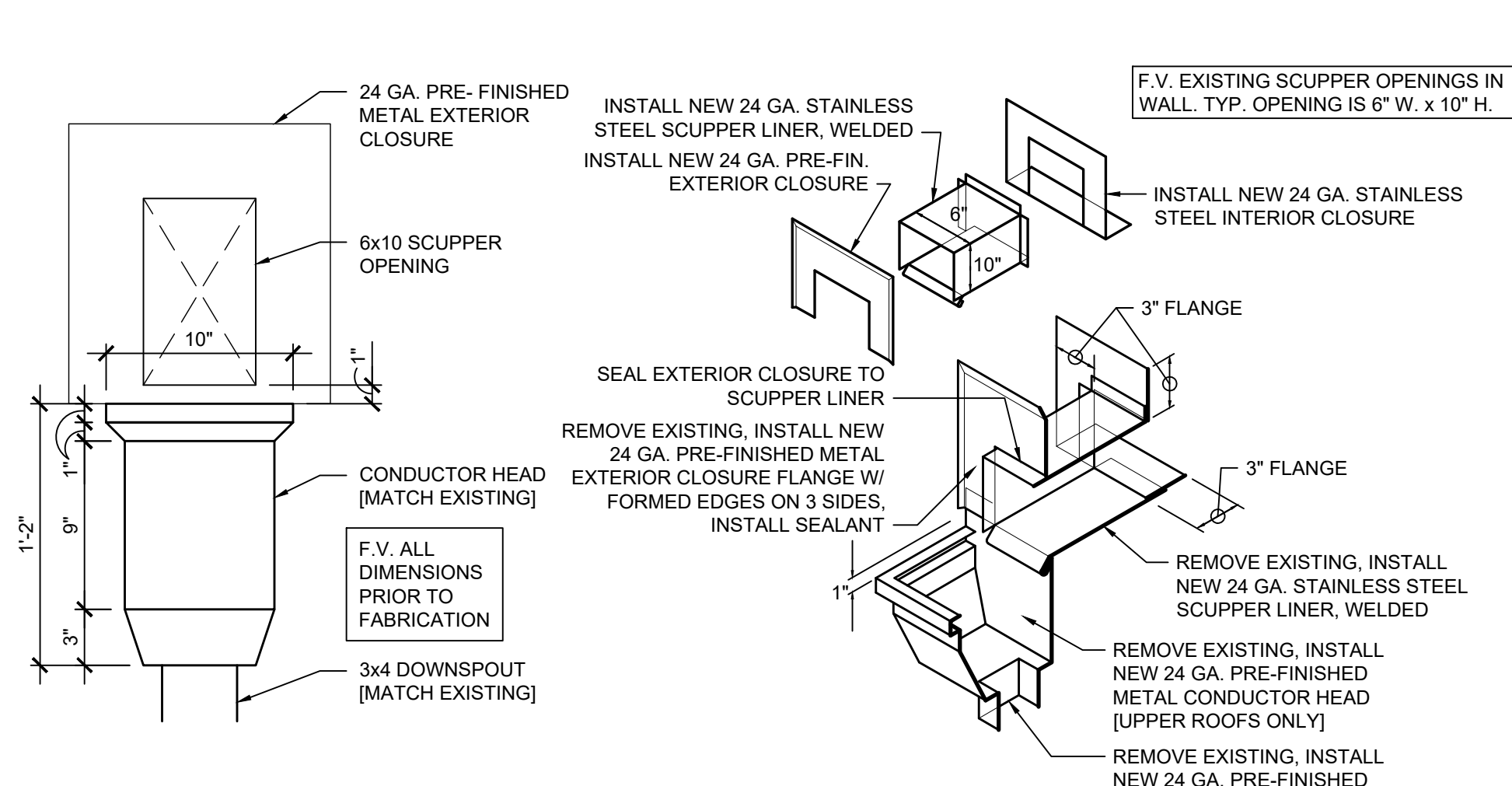
**F** DETAIL  
SCALE: 1 1/2" = 1'-0"



**G** DETAIL  
SCALE: 1 1/2" = 1'-0"

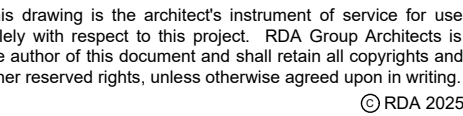


**H** DETAIL  
SCALE: 1 1/2" = 1'-0"



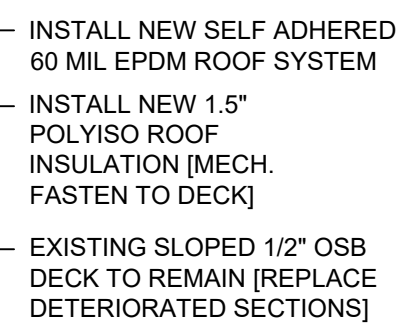
**J** SCUPPER / CONDUCTOR DETAIL  
SCALE: 1 1/2" = 1'-0"



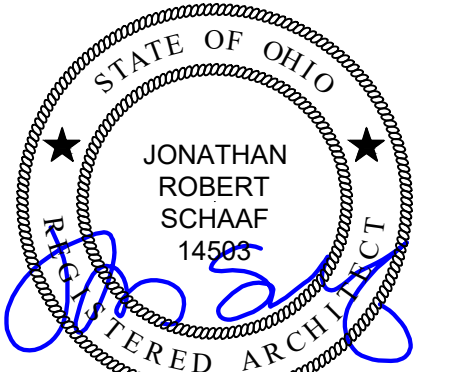
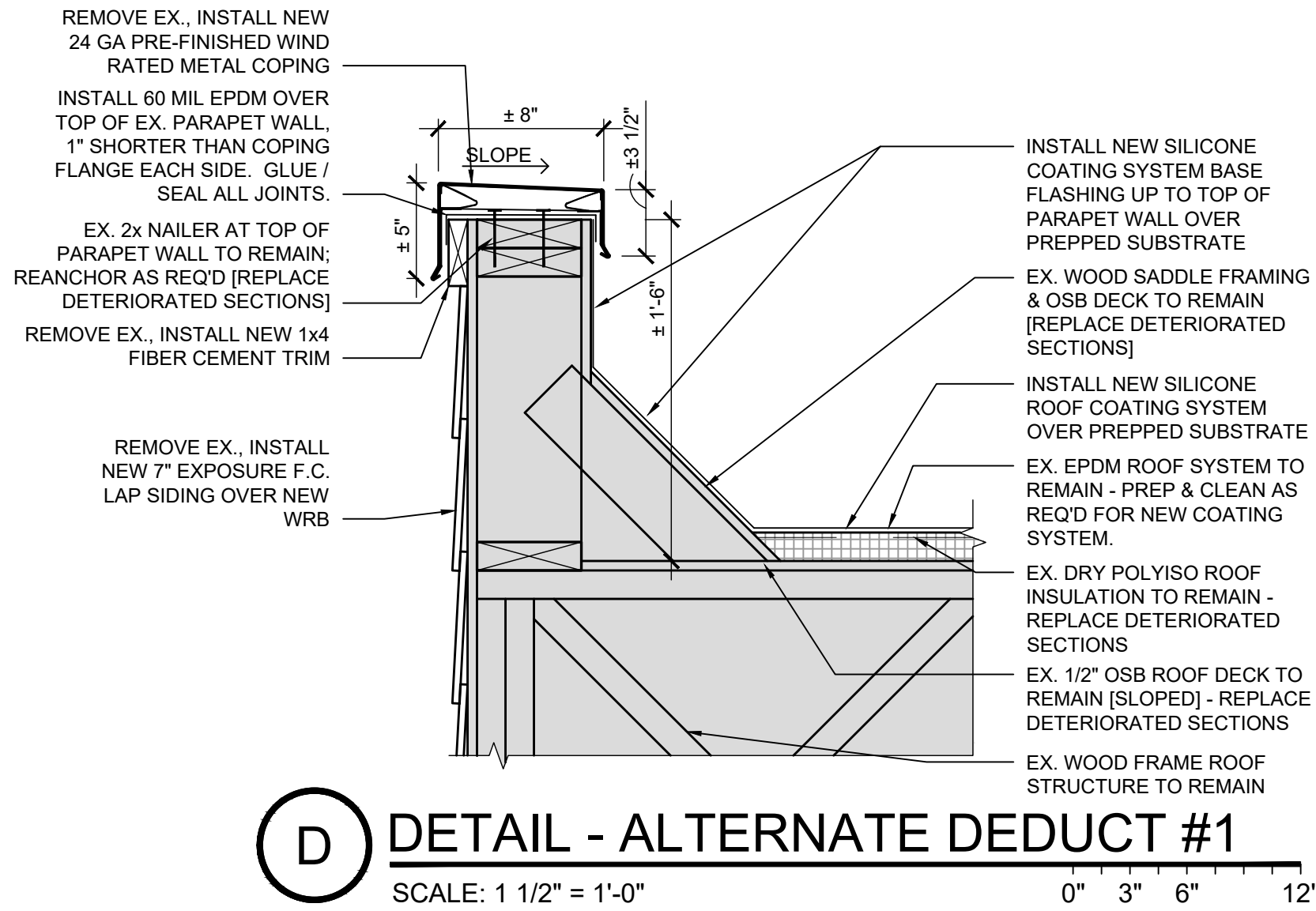
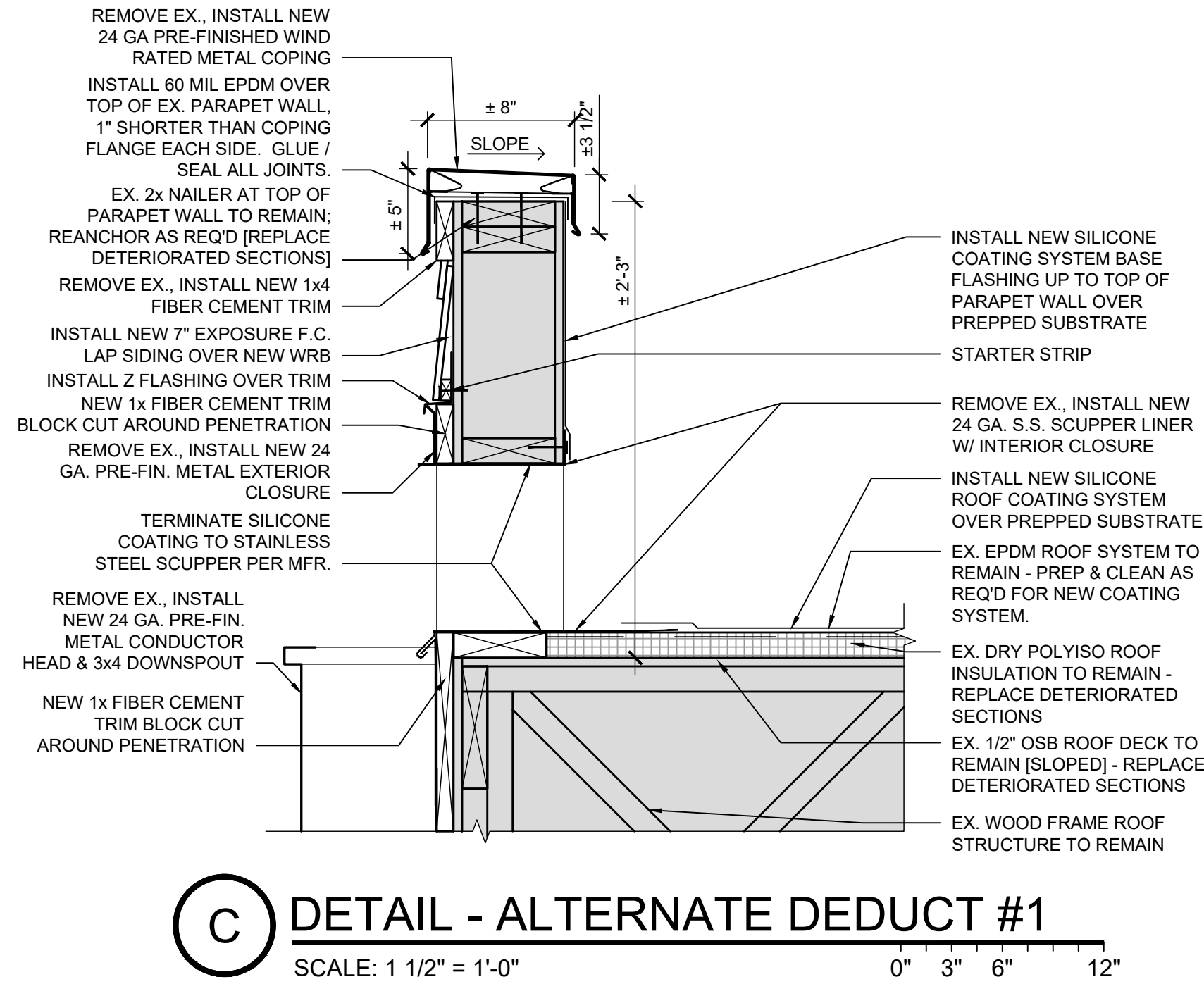
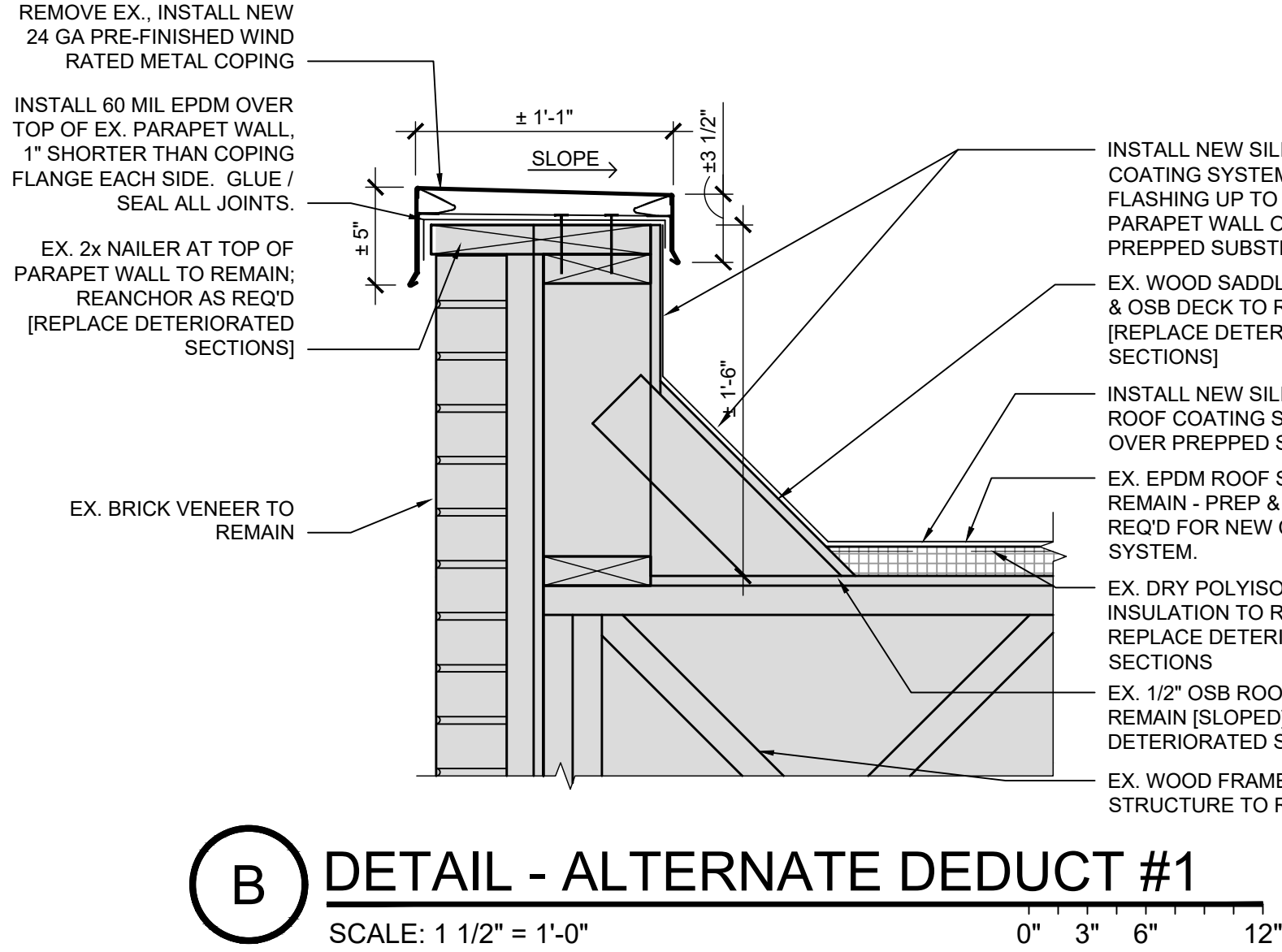
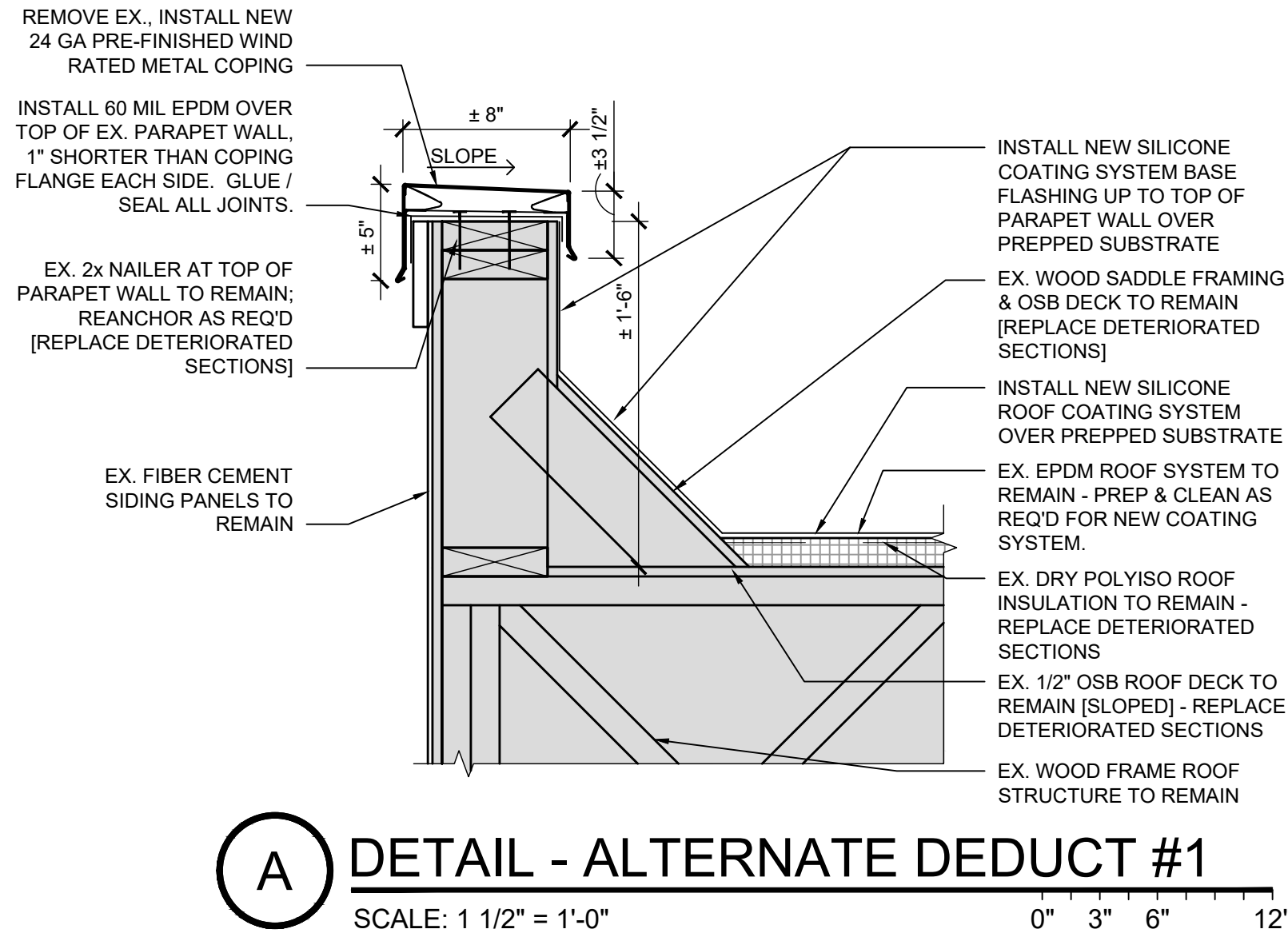


CMHA Solicitation  
#2025-3026

### A3.2







Jonathan Robert Schaaf #14503  
Expiration Date 12/31/2025

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing.  
© RDA 2025

**RDA GROUP ARCHITECTS**  
7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440



Roof Replacement & Building  
Enclosure Improvements at:  
**City West**  
1431 Linn Street  
Cincinnati, Ohio 45214

CMHA Solicitation  
#2025-3026

Project Number  
2025-060  
Date  
September 8, 2025

Date	Issue
09.08.25	Bid Set

Sheet Title  
Details -  
Alternate Deduct #1

Sheet Number

A3.3