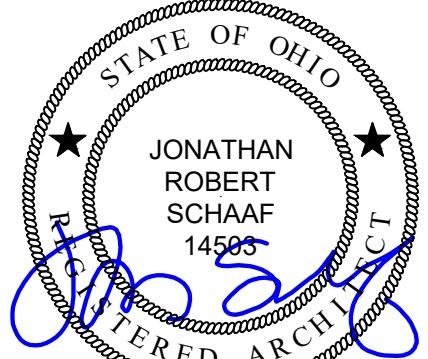


Roof Replacement & Building Enclosure Improvements at:

City West

1431 Linn Street
Cincinnati, Ohio 45214

CMHA Solicitation #2025-3026



Jonathan Robert Schaeaf
1459
TERRED ARCHITECTS
Expiration Date 12/31/2025

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OWNER



Cincinnati Metropolitan
Housing Authority

1635 WESTERN AVE.
CINCINNATI, OHIO 45214

PROPERTY MANAGER



3445 Newark Drive
Miamisburg, Ohio 45342

DESIGN TEAM

ARCHITECT:



CODE REVIEW

CONSTRUCTION TYPE: FIRST FLOOR - II B [PROTECTED]
UPPER LEVELS - VB [UNPROTECTED]

USE GROUP: FIRST FLOOR: M - MERCANTILE
UPPER LEVELS: R-2 - RESIDENTIAL

THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED
BUILDING ENCLOSURE IMPROVEMENTS.

NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY. NO CHANGE IN
HEIGHT OR BUILDING AREA.

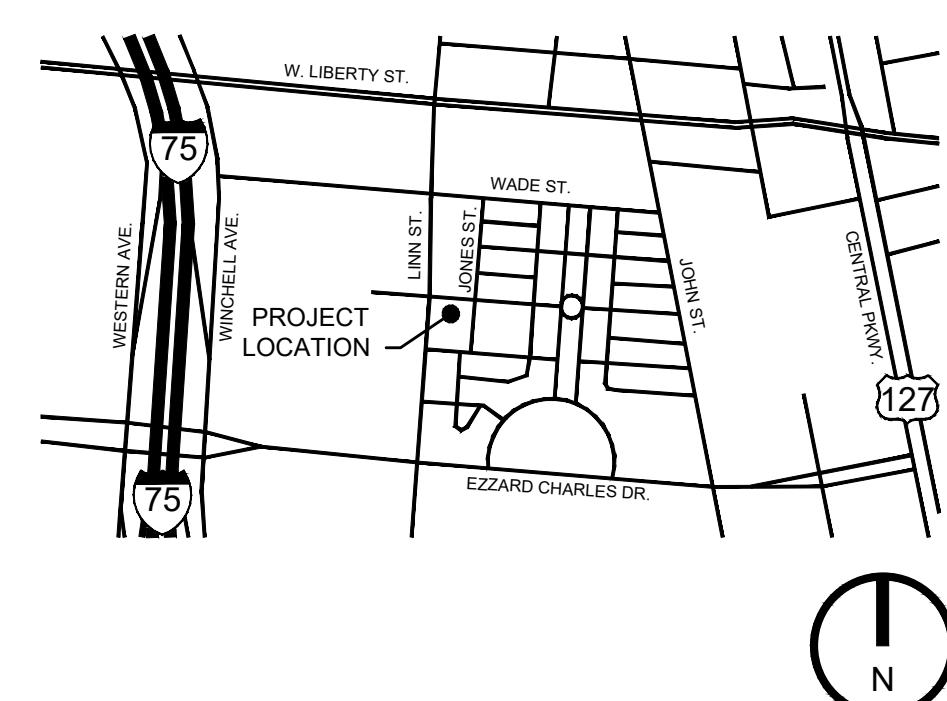
EXISTING BUILDING CONSTRUCTION

STRUCTURE: WOOD FRAME.
EXTERIOR WALLS: 2x6 WOOD FRAME WITH BRICK VENEER
ROOF DECK: WOOD TRUSS W/ WOOD SHEATHING

SHEET INDEX

G1.1	PROJECT TITLE SHEET
D1.1	EXISTING / DEMOLITION ROOF PLANS & ELEVATIONS
A1.1	PROPOSED ROOF PLANS
A1.2	ROOF MATRIX / ENLARGED PLAN / SCHEDULE
A2.1	EXTERIOR ELEVATIONS
A3.1	DETAILS
A3.2	DETAILS
A3.3	DETAILS - ALTERNATE DEDUCT #1

VICINITY MAP



CODE REVIEW

PROJECT DESCRIPTION:
THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED
IMPROVEMENTS TO ROOF-TOP BUILDING COMPONENTS. NO CHANGES TO EGRESS
COMPONENTS OR OCCUPANCY. NO CHANGE IN HEIGHT OR BUILDING AREA.

PRIMARY AND SECONDARY ROOF DRAINAGE IS ACCOMPLISHED BY THRU WALL
SCUPPERS.

AUTHORITY HAVING JURISDICTION:
ZONING PERMIT - CITY OF CINCINNATI
BUILDING PERMIT - CITY OF CINCINNATI

BUILDING CODE:
2024 OHIO EXISTING BUILDING CODE (OEB)
2024 OHIO BUILDING CODE (OBC)
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2021)
CINCINNATI BUILDING CODE (CBC)

OHIO EXISTING BUILDING CODE
301.3: WORK AREA COMPLIANCE METHOD (REFER TO 302-309 AND CH. 6-12)
602.2: ALTERATION - LEVEL 1 (REFER TO CH. 7)
705.1: REFER TO CHAPTER 15 OF OHIO BUILDING CODE

ROOF REPLACEMENT OR ROOF RECOVER OF EXISTING LOW SLOPE ROOF
COVERINGS SHALL NOT BE REQUIRED TO MEET MINIMUM DESIGN SLOPE OF
1/4" PER 12", FOR ROOFS WHICH PROVIDE POSITIVE DRAINAGE.

RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL NOT BE
REQUIRED TO MEET THE REQUIREMENT FOR SECONDARY (EMERGENCY
OVERFLOW) DRAINS OR SCUPPERS FOR ROOFS WHICH PROVIDE FOR
POSITIVE ROOF DRAINAGE. EXISTING SECONDARY DRAINS OR SCUPPERS
SHALL NOT BE REMOVED.

OHIO BUILDING CODE
OBC CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION
USE GROUP: B / M R-2 - MIXED USE - NO CHANGE

OHIC CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA
BUILDING AREA: EXISTING [NO CHANGE]
BUILDING HEIGHT: 4-STOREY EXISTING [NO CHANGE]

OHIC CHAPTER 6: TYPES OF CONSTRUCTION

CONSTRUCTION TYPE: VB

ROOF CONSTRUCTION = 0 HOUR RATED

EXISTING BUILDING CONSTRUCTION:
STRUCTURE: WOOD STRUCTURE
EXTERIOR WALLS: WOOD STUD / BRICK VENEER / FIBER CEMENT CLADDING
ROOF DECK: WOOD DECK OVER WOOD STRUCTURE

OHIC CHAPTER 15: ROOFTOP ASSEMBLIES AND ROOFTOP STRUCTURES

TABLE 1505.1: FIRE CLASSIFICATION: VB CONSTRUCTION -

MIN. CLASS C, ACTUAL CLASS A

INTERNATIONAL ENERGY CONSERVATION CODE

TABLE C402.1.3: THERMAL ENVELOPE INSULATION R-VALUE METHOD
EXISTING INSULATION IS BELOW DECK IN FRAMING CAVITY (R-30 PER ORIGINAL
BUILDING DRAWINGS). INSULATION ABOVE DECK IS FOR ROOF SYSTEM
INSTALLATION ONLY. NOT REQUIRED FOR FULL UPGRADE TO MEET CURRENT
R-VALUE REQUIREMENTS

EXISTING R-VALUE (ABOVE DECK)= R-5.7
PROPOSED R-VALUE (ABOVE DECK)= R-8.6

C402.1.1: TAPERED, ABOVE DECK INSULATION BASED ON THICKNESS: WHERE
USED AS A COMPONENT OF MAXIMUM ROOF ASSEMBLY U-FACTOR CALCULATION,
THE SLOPED ROOF INSULATION R-VALUE CONTRIBUTION TO THAT CALCULATION TO
USE THE AVERAGE THICKNESS IN INCHES ALONG WITH THE MATERIAL R-VALUE PER
INCH.

C402.1.2: MINIMUM THICKNESS: THE MINIMUM THICKNESS OF ABOVE DECK ROOF
INSULATION AT ITS LOWEST POINT, GUTTER EDGE, ROOF DRAIN, OR SCUPPER
SHALL NOT BE LESS THAN 1".

C503.2.1: ROOF REPLACEMENT: COMPLY WITH C402.1.3, C402.1.4 - C402.1.5, OR C407
WHERE THE EXISTING ROOF ASSEMBLY IS PART OF THE THERMAL ENVELOPE AND
CONTAINS INSULATION ENTIRELY ABOVE THE ROOF DECK. IN NO CASE SHALL THE
R-VALUE OF THE ROOF INSULATION BE REDUCED AS PART OF THE ROOF
REPLACEMENT. [NOT REQUIRED AS INSULATION IS BELOW DECK]

ROOF SYSTEM DESIGN WIND-LOAD ANALYSIS:
ENGINEERED DESIGN BASED UPON 2024 OHIO BUILDING CODE AND ASCE 7-16 WIND
DESIGN UPLIFT PRESSURES [ASD].

COMPONENTS AND CLADDING:

BUILDING HEIGHT: 50'

BASIC WIND SPEED: 105 MPH

BUILDING CONFIGURATION: ENCLOSED

EXPOSURE: 'B'

RISK CATEGORY: II

DESIGN WIND UPLIFT LOADS [ASD]

ZONE 1 [INTERIOR FIELD]: -12.7 PSF

ZONE 1 [EXTERIOR FIELD]: -22.0 PSF

ZONE 2 [PERIMETER]: -29.0 PSF

ZONE 3 [CORNERS]: -39.5 PSF

DESIGN UPLIFT-RESISTANCE CAPACITY

[FACTOR OF SAFETY 2, FROM [ASD] INDICATED ABOVE]

ZONE 1 [INTERIOR FIELD]: -25.3 PSF

ZONE 1 [EXTERIOR FIELD]: -44.0 PSF

ZONE 2 [PERIMETER]: -58.0 PSF

ZONE 3 [CORNERS]: -79.1 PSF

NAILER ATTACHMENT: ANS/SPRI/FM-4435/ES-1 SEE SPECIFICATIONS

SEE SPECIFICATIONS

METAL COPING / EDGE:

DESIGN WIND-RESISTANCE CAPACITY

ZONE 2 [PERIMETER, VERTICAL]: -58.0 PSF

ZONE 3 [CORNERS, VERTICAL]: -78.1 PSF

ZONE 4 [PERIMETER, HORIZONTAL]: -29.9 PSF

ZONE 5 [CORNERS, HORIZONTAL]: -37.0 PSF

SECTION 01 00 00: GENERAL REQUIREMENTS

1. INTENT: THE INTENT OF THESE DOCUMENTS IS TO ACCOMPLISH A ROOF
REPLACEMENT AND BUILDING ENCLOSURE PROJECT AT 1431 LINN STREET /
CITY WEST IN CINCINNATI.

2. PERMITS:

2.1. CONFORM TO THE 2024 OHIO EXISTING BUILDING CODE AND 2024
OHIO BUILDING CODE. AND ALL OTHER LOCAL GOVERNING CODES
AND ORDINANCES HAVING THE AUTHORITY BEARING ON THE
PERFORMANCE OF THE WORK.

2.2. VERIFY ALL PERMITS HAVE BEEN APPROVED BY APPROPRIATE
AGENCIES PRIOR TO START OF CONSTRUCTION. NO CONSTRUCTION
OR FABRICATION OR ANTECEDENTS SHALL BE MADE UNTIL THE
CONTRACTOR HAS RECEIVED ALL PLANS AND ANY DOCUMENTATION
FROM ALL OF THE PERMITTING AND REGULATORY AUTHORITIES.

2.3. PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL
ALL NECESSARY PERMITS ARE OBTAINED.

2.4. ARCHITECT IS NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS
RESULTING FROM DELAY IN OBTAINING ALL PERMITS
/ GOVERNMENT AGENCIES APPROVALS.

2.5. MAINTAIN A COPY OF APPROVED PERMIT DRAWINGS ON-SITE FOR
INSPECTION PURPOSES. COORDINATE WITH BUILDING DEPARTMENT.

2.6. NOTIFY THE BUILDING DEPARTMENT WHEN WORK IS READY FOR
INSPECTION. FOLLOW ALL REQUIREMENTS OF BUILDING
DEPARTMENT. PROVIDE ACCESS FOR ALL INSPECTORS.

2.7. MAINTAIN RECORDS OF INSPECTIONS ON THE JOBSITE IN
ACCORDANCE WITH REQUIREMENTS OF BUILDING DEPARTMENT.

2.8. PAY ALL FEES REQUIRED BY INSPECTIONS, EXCEPT FOR
INSPECTIONS MADE BY OWNER OR ITS AGENTS.

2.9. COMPLETE ALL WORK TO THE HIGHEST STANDARDS OF
CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.

3. TRASH / DUMPSTER: COORDINATE WITH TRASH DUMPSTER HAULING,
ETC. NEEDED FOR THE PROJECT. KEEP SITE CLEAN DURING
CONSTRUCTION. PROMPTLY REMOVE ALL DEBRIS ON A DAILY BASIS FROM
SITE IN A LEGAL MANNER. ENSURE THAT ALL DEBRIS AND MATERIALS
LOCATED ON THE ROOF ARE PROPERLY SECURED / STRAPPED DOWN. NO
DEBRIS SHALL BE LEFT ON THE GROUNDS AROUND THE BUILDING AT ANY
TIME.

4. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION
AND TURN OVER OF THE PROJECT.

5. CONSTRUCTION SAFETY: PROVIDE, MAINTAIN, AND COMPLY WITH ALL
APPLICABLE SAFETY REQUIREMENTS IN ACCORDANCE WITH ALL STATE,
FEDERAL, AND O.S.H.A. REGULATIONS.

5.1. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL
PHASES OF CONSTRUCTION IF APPLICABLE. MAINTAIN ALL REQUIRED
PATHS OF EGRESS DURING CONSTRUCTION. PROVIDE PROTECTIVE
BARRICADES AND BARRIERS AT BUILDING ENTRANCES AND PUBLIC
SQUARES. PROVIDE EGRESS ETC. AS NECESSARY. MAINTAIN SAFE
INGRESS/EGRESS. PROVIDE PROTECTION FROM DAMAGE TO WALLS /
WINDOW SYSTEMS, ETC. BELOW THE WORK AREAS.

5.2. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY
TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED
USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.

5.3. ERECT BARRICADES AT ENTRANCES AND AROUND ACCESS POINTS
INTO THE BUILDING INDICATING "MEN WORKING OVERHEAD" LIMIT
ACCESS WHERE THERE IS THE POTENTIAL FOR FALLING DEBRIS OR
OTHER HAZARDS. PROVIDE GROUND CREWS AS REQ'D TO
SUPPLEMENT SAFETY ON AN AS NEEDED BASIS.

5.4. PROVIDE AND MAINTAIN A COMPLETE SET OF SAFETY DATA SHEETS
(SDS) FOR ALL MATERIALS USED ON THE PROJECT ON THE
PROJECT SITE.

6. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING,
WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE
OF STARTING FIRES. CONFORM TO OWNER AND FIRE DEPARTMENT
REQUIREMENTS.

7. TEMPORARY UTILITIES:

7.1. UTILIZE EXISTING ELECTRIC SERVICE, WATER, AND HVAC IF
AVAILABLE.

7.2. PROVIDE TEMPORARY LIGHTING FOR CONSTRUCTION PURPOSES.

7.3. PROVIDE TEMPORARY VENTILATION, FILTRATION MEDIA, ETC. AS
REQ'D TO PROPERLY VENTILATE THE CONSTRUCTION AREA AS WELL
AS TO PREVENT DUST, DIRT, DEBRIS FROM ENTERING OTHER
PORTIONS OF THE FACILITY.

7.4. PROVIDE PORTABLE TOILET FACILITIES FOR CONSTRUCTION
PURPOSES.

8. PRODUCTS:

8.1. INSTALL ALL MATERIALS, EQUIPMENT, FLASHING, TERMINATIONS, ETC.
ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, INSTRUCTIONS,
RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE
SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION
SYSTEM. BY THE NATURE OF THE WORK, IT IS DIFFICULT TO IDENTIFY
ALL POSSIBLE DETAIL CONDITIONS, REQUIRED FLASHINGS, ETC.
COORDINATE ALL APPLICABLE DETAILS WITH THE MANUFACTURER
FOR ACCEPTANCE.

8.2. CLIENT / OWNER TO COORDINATE AND SELECT ALL FINAL FINISHES /
SELECTIONS. COORDINATE ALL REQUIREMENTS OF FINISH
COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS
APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.

8.3. ITEMS MAY BE REFERRED TO AS SINGULAR, OR PLURAL ON THE
DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO DETERMINE
QUANTITY OF EACH ITEM REQUIRED.

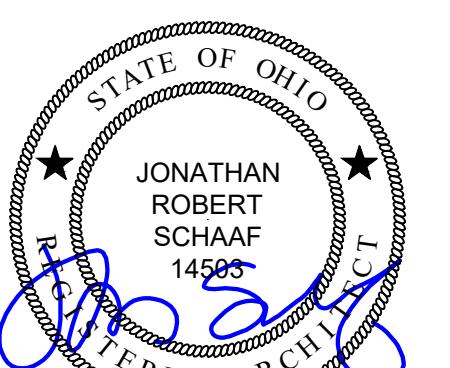
9. COORDINATION:

9.1. COORDINATE ALL SPECIFIC WORK / SCOPE ITEMS WITH CLIENT.
9.2. COORDINATE ALL WORK / SCOPE BETWEEN SUB-CONTRACTORS,
SUPPLIERS, AND VENDORS BASED ON THE ENTIRE SET OF
DOCUMENTS. PROVIDE ANY REQ'D ADAPTATIONS TO ACCOMMODATE
FIELD CONDITIONS PRIOR TO ORDERING, FABRICATION, OR
INSTALLATION.

9.3. PROVIDE FULL SET OF CONSTRUCTION DOCUMENTS TO ALL
SUB-CONTRACTORS.

9.4. NO ADDITIONAL COMPENSATION TO CONTRACTOR FOR ISSUES
RESULTING FROM THE USE OF AN INCOMPLETE SET OF
CONSTRUCTION DOCUMENTS.

9.5. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ERRORS,
OMISSIONS, INCONSISTENCIES, OR DISCREPANCIES BETWEEN
CONTRACT DOCUMENTS, DRAWINGS, SPECIFICATIONS, ETC. PRIOR
TO PROCEEDING WITH WORK. ANY SITE / JOB CONDITIONS THAT
ARISE AND CAUSE CONTRACTOR TO VARY FROM CONTRACT
DOCUMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR IF NOT
REPORTED TO ARCHITECT PRIOR TO PROCEEDING.



Jonathan Robert Schaa #14503
Expiration Date 12/31/2025

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7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440



Roof Replacement & Building
Enclosure Improvements at:
City West
1431 Linn Street
Cincinnati, Ohio 45214

CMHA Solicitation
#2025-3026

Project Number
2025-060

Date
September 8, 2025

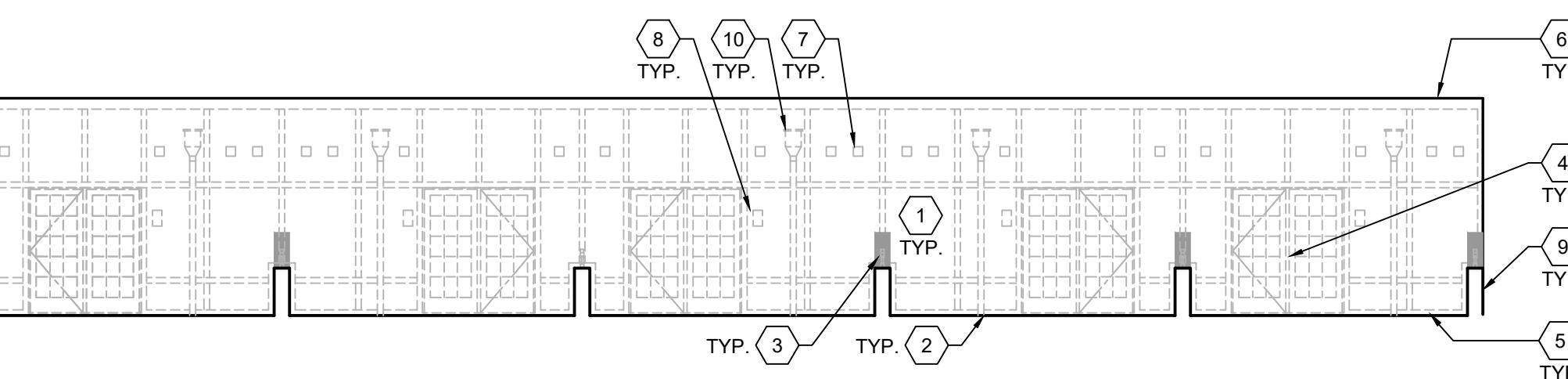
Date Issue
09.08.25 Bid Set

Sheet Title
Existing / Demolition Plans & Elevations

Sheet Number
D1.1

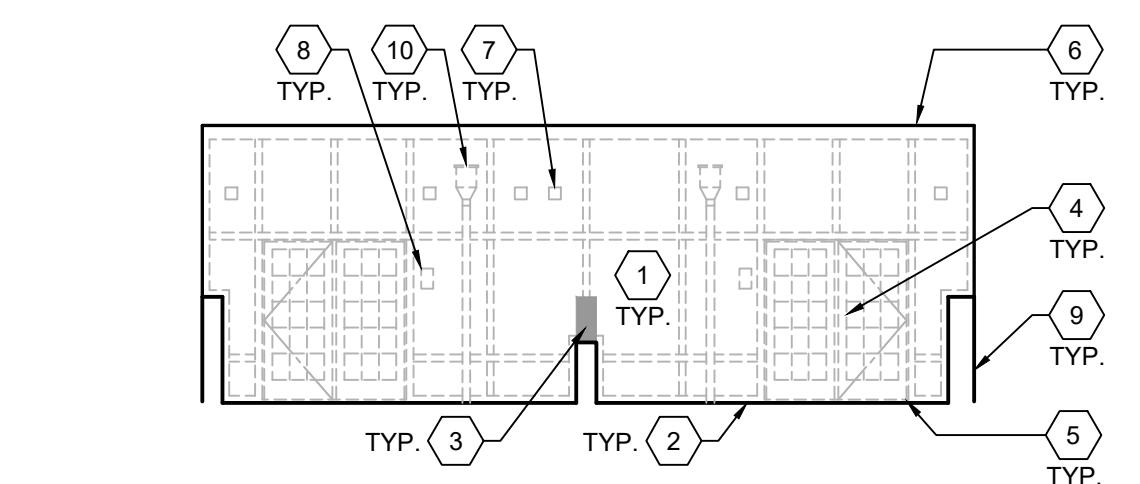
EXISTING / DEMOLITION KEY NOTES

1. REMOVE EX. FIBER CEMENT CLADDING, TRIM, & WRB COMPLETE TO SUB-SHEATHING - PREP FOR NEW WORK. REPAIR EXISTING SUB-SHEATHING AS REQUIRED TO ADDRESS ROTTED / DETERIORATED FRAMING [REFER TO ALLOWANCES]
2. REMOVE EX. EPDM BASE FLASHING - REFER TO ROOF PLAN
3. REMOVE EX. MTL RAIL SYSTEM COMPLETE.
4. REMOVE EX. PATIO DOOR COMPLETE. REPAIR EXISTING FRAMING AS REQUIRED TO ADDRESS ROTTED / DETERIORATED FRAMING. [REFER TO ALLOWANCES]
5. REMOVE EX. ROOF PAVERS AT ROOFTOP TERRACE.
6. REMOVE EX. METAL COPING.
7. REMOVE EX. VENT COVERS, SALVAGE FOR REINSTALLATION.
8. REMOVE EX. LIGHT FIXTURES, SALVAGE FOR REINSTALLATION.
9. EX. PARAPET WALL.
10. REMOVE EX. CONDUCTOR HEAD AND DOWNSPOUT COMPLETE.
11. REMOVE EX. WOOD RAIL UNDER A/C UNITS.
12. REMOVE EX. A/C UNITS, SALVAGE FOR REINSTALLATION AFTER COMPLETION OF NEW ROOF WORK.
13. REMOVE EX. LADDER, SALVAGE FOR REINSTALLATION AFTER COMPLETE OF NEW SIDING WORK.
14. REMOVE EX. ROOF SYSTEM COMPLETE TO ROOF DECK. REPAIR EXISTING ROOF DECK AS REQUIRED TO ADDRESS ROTTED / DETERIORATED FRAMING [REFER TO ALLOWANCES] [BASE BID SCOPE]
15. REMOVE EX. D-RING TIE OFF SUPPORT FROM ROOF DECK.
16. EXISTING WOOD FRAME SADDLES TO REMAIN.
17. ASSESS, REPAIR, & PREP EXISTING EPDM ROOF MEMBRANE FOR NEW SILICONE ROOF COATING SYSTEM. INCLUDE ALL REPAIRS / SECTIONAL REPLACEMENT TO ADDRESS DETERIORATED CONDITIONS. INCLUDE AN ALLOWANCE IN THE AMOUNT OF 20% OF THE ROOF AREA TO RECEIVE NEW INSULATION & EPDM REPAIR. [ALTERNATE DEDUCT #1 SCOPE]



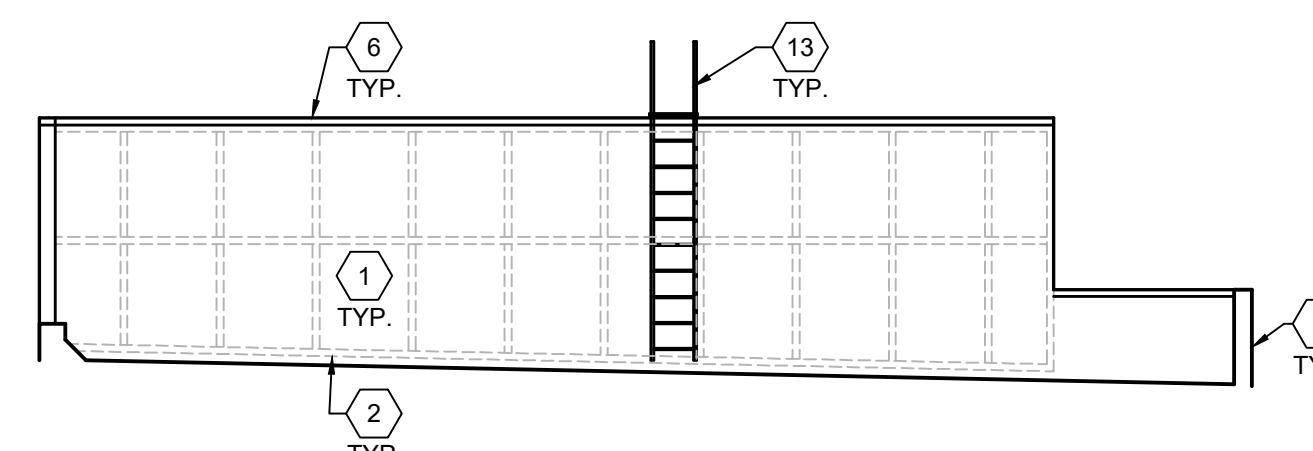
C EXISTING / DEMOLITION
EAST ELEVATION

SCALE: 1/8" = 1'-0"



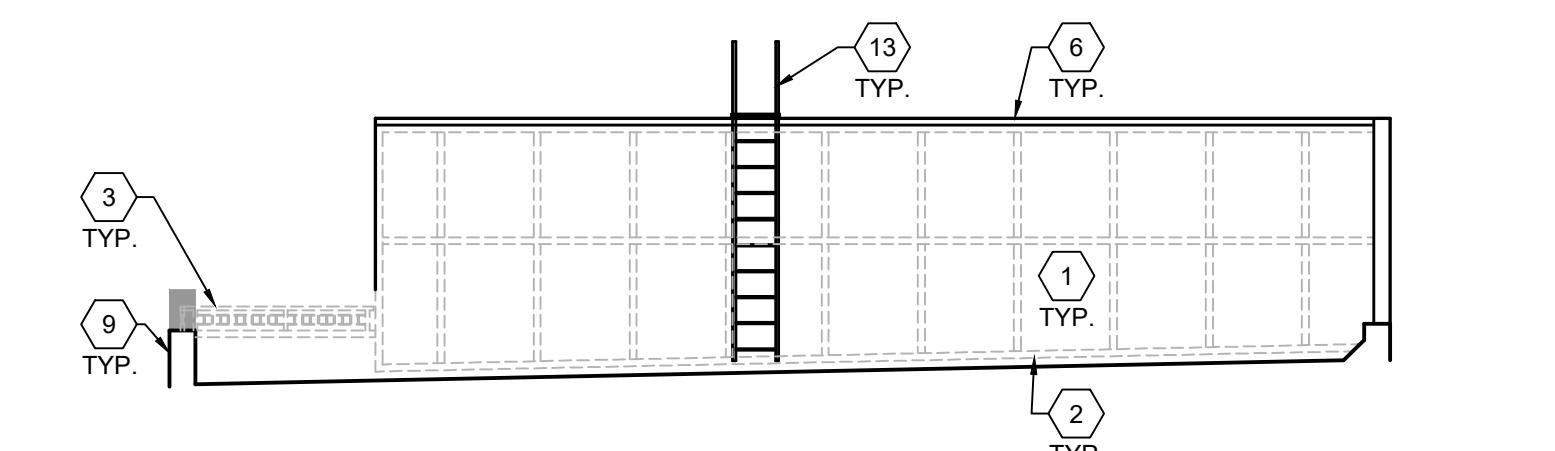
D EXISTING / DEMOLITION
EAST ELEVATION

SCALE: 1/8" = 1'-0"



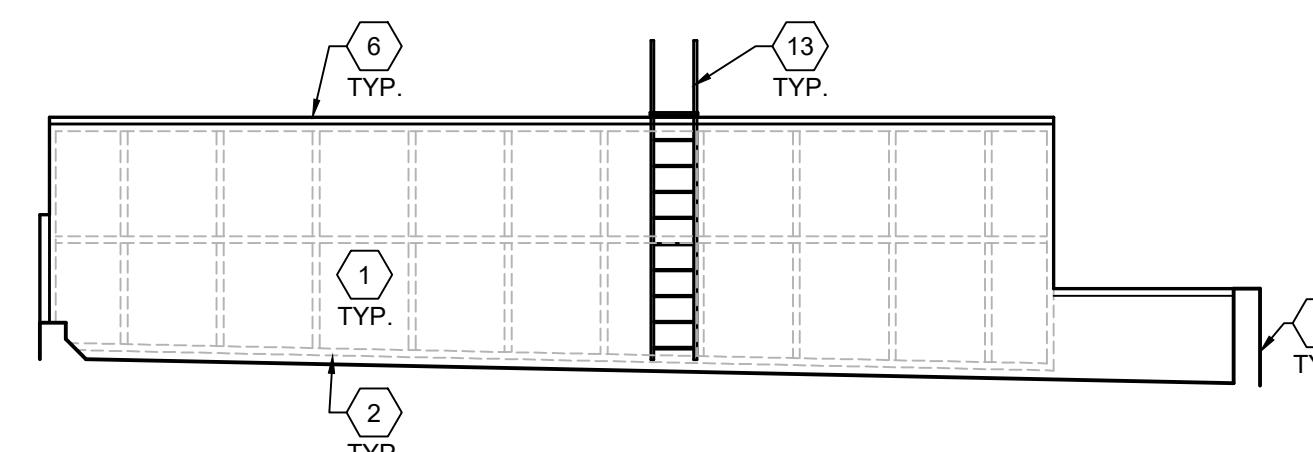
E EXISTING / DEMOLITION
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



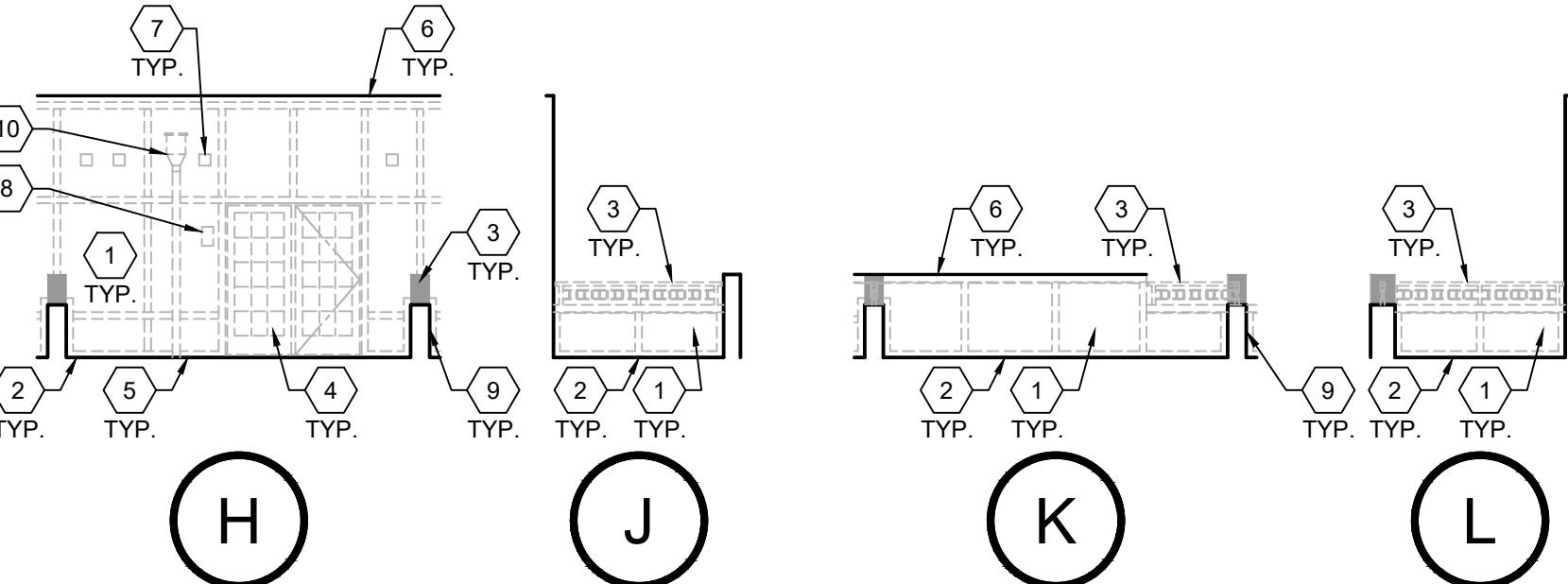
F EXISTING / DEMOLITION
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



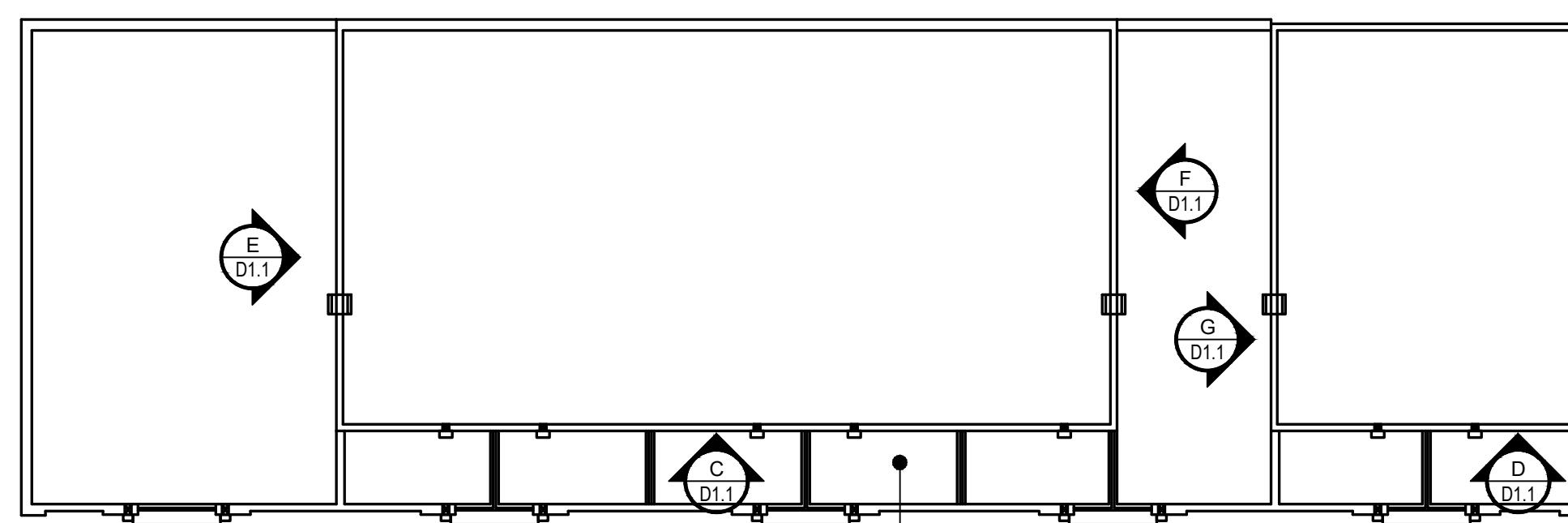
G EXISTING / DEMOLITION
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



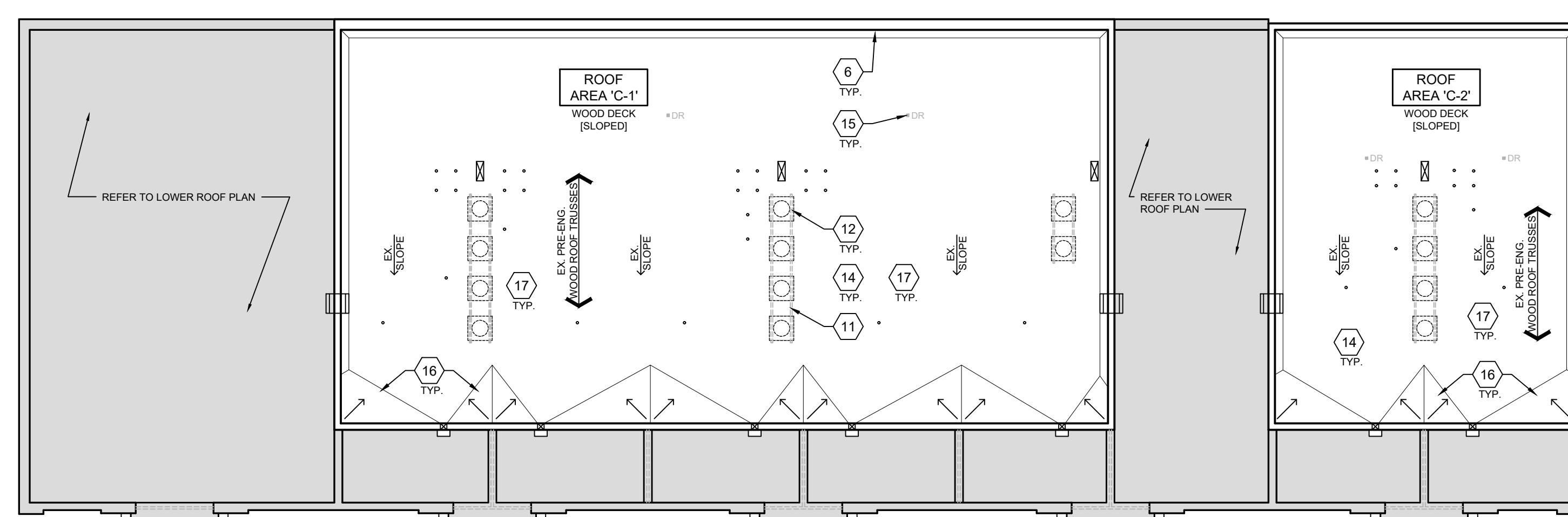
H EXISTING / DEMOLITION
TYPICAL TERRACE EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



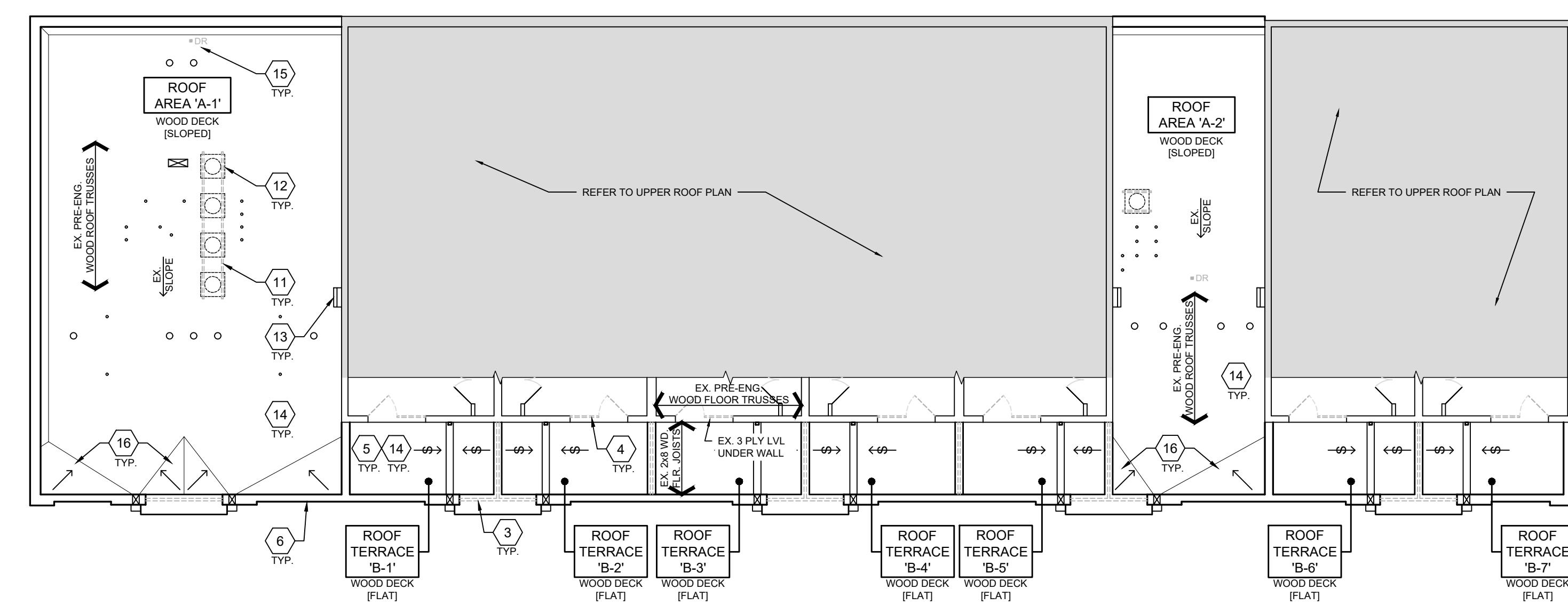
KEY PLAN

SCALE: N.T.S.



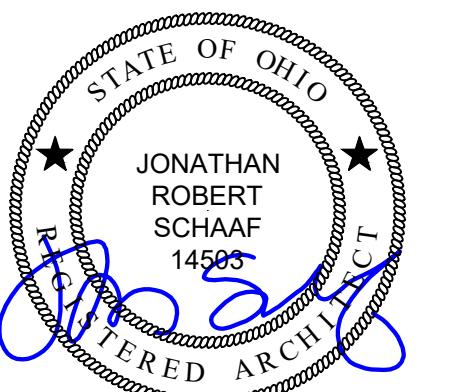
B EXISTING / DEMOLITION UPPER ROOF PLAN

SCALE: 3/32" = 1'-0"



A EXISTING / DEMOLITION LOWER ROOF PLAN

SCALE: 3/32" = 1'-0"



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Date September 8, 2025

Date Issue 09.08.25

Sheet Title Proposed Roof Plans

Sheet Number A1.1

KEY NOTES

1. NEW EPDM ROOF SYSTEM. REFER TO ROOF MATRIX.
2. EXISTING WOOD FRAMED CRICKETS / SADDLES TO REMAIN. ENSURE POSITIVE DRAINAGE TO THE SCUPPERS.
3. NEW WIND RATED A/C STANDS. FLASH INTO NEW ROOF SYSTEM. REFER TO DETAILS. REINSTALL SALVAGED A/C UNITS. ANCHOR IN PLACE TO NEW STANDS. MODIFY / REPAIR / RECONNECT LINESETS AND ELECTRICAL FEEDS.
4. REINSTALL EXISTING ROOF ACCESS LADDER. PREP AND PAINT. RE-ANCHOR / SEAL SUPPORTS AT STRUCTURE. INSTALL WALL PADS AT TOP AND BOTTOM OF EACH LADDER.
5. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x8 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING EACH SIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. INSTALL NEW 24 GA. PRE-FIN. WIND RATED COPING.
6. NEW PATIO DOOR INTO ORIGINAL ROUGH OPENING. REPAIR EXISTING FRAMING AS REQ'D TO ADDRESS ROTTED / DETERIORATED FRAMING.
7. NEW FLASHING / BOOTS AT EX. ROOF PENETRATIONS - SEE SYMBOL LEGEND.
8. EXISTING DRAINAGE TROUGH. REFER TO DETAILS. REMOVE EXISTING, INSTALL NEW PERFORATED METAL FRAME / COVER.
9. NEW ROOF PAVERS AT ROOFTOP TERRACE. REFER TO DETAILS.
10. NEW PRE-FINISHED METAL COPING. REFER TO DETAILS.
11. REFER TO BUILDING ELEVATIONS FOR REMOVAL AND REPLACEMENT OF WALL CLADDING COMPONENTS.
12. AREA OF ANTIPLICATED 3/4" T&G OSB SUBFLOOR REPLACEMENT. REMOVE EX. FINISH FLOOR (CARPET) AS REQ'D. NO NEW FINISH FLOOR AS PART OF THIS SCOPE. PROVIDE SUPPLEMENTAL BLOCKING AS REQUIRED TO SUPPORT NEW OSB.
13. REMOVE EXISTING. INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL CONDUCTOR HEAD AT EXTERIOR FACE OF WALL AND RELATED FLASHINGS PER MFG. INSTALL NEW 24 GA. PRE-FIN. WIND RATED COPING.
14. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x4 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING, WRB & 7" EXPOSURE F.G. LAP SIDING ON INSIDE. 8 [2] 1x12 F.C. FRIEZE TRIM ON OUTSIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. ALIGN INTERIOR FACE OF PONY WALL W/ INTERIOR FACE OF EX. ADJACENT PARAPET WALL. INSTALL NEW 24 GA. PRE-FIN. WIND RATED COPING.
15. REMOVE EXISTING. INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL FACE PLATE. EXISTING CONDUCTOR HEAD & DOWNSPOUT TO REMAIN.
16. INSTALL SILICONE ROOF COATING SYSTEM OVER PREPARED EPDM ROOF. [ALTERNATE DEDUCT #1 SCOPE]

SYMBOL LEGEND

EXISTING SLOPE EXISTING ROOF SLOPE (STRUCTURAL DECK SLOPE)

ROOF SLOPE DIRECTION - SEE DRAWING FOR SLOPE (TAPERED INSULATION SLOPE)

EXISTING SPLIT SYSTEM CONDENSING / AC UNIT MOUNTED ON NEW WIND RATED STANDS (SINGLE OR MULTIPLE UNITS) - FIELD FLASH / EPDM FLASHING BOOT AT STAND SUPPORTS.

VP EXISTING VENT PIPE. INSTALL NEW FLASHING BOOT PER MFG. RAISE / EXTEND VENT AS REQ'D TO INSTALL FLASHING.

OFLUE FLUE / HOT STACK PENETRATION. INSTALL NEW FIELD FLASHING PER MFG.

SC 6" x 10" PRIMARY SCUPPER - REMOVE EXISTING. INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL CONDUCTOR HEAD AT EXTERIOR FACE OF WALL AND RELATED FLASHINGS PER MFG. SIZED AS NOTED. MODIFY EXISTING OPENING IF REQ'D. TO MEET DIMENSIONS / NEW ROOF SYSTEM THICKNESS. REMOVE EX. INSTALL NEW 24 GA. PRE-FINISHED METAL DOWNSPOUT. PROVIDE ALL ELBOWS & OFFSETS AS REQUIRED. DOWNSPOUTS SIZED AT 3" x 4" UNLESS OTHERWISE NOTED. DISCHARGE ONTO LOWER ROOF / DRAINAGE TROUGH.

EX SC 6" x 10" EXISTING SCUPPER - REMOVE EXISTING. INSTALL NEW 24 GA. STAINLESS STEEL SCUPPER LINING. INSTALL NEW 24 GA. PRE-FINISHED METAL FACE PLATE. EXISTING CONDUCTOR HEAD & DOWNSPOUT TO REMAIN. DISCHARGE INTO EXISTING UNDERGROUND STORM.

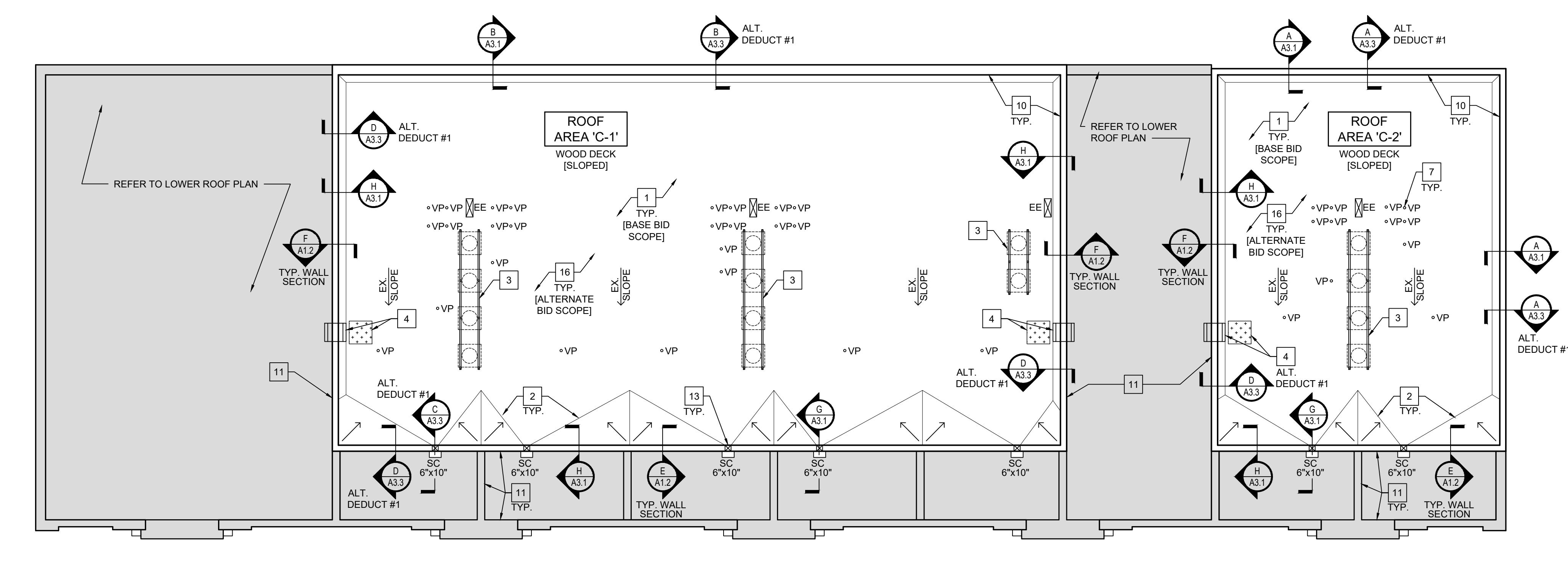
EE REMOVE EXISTING. INSTALL NEW EQUIPMENT ENCLOSURE - 24 GA. GALVANIZED SHEET METAL WITH SLOPED, REMOVABLE TOP TO ACCESS ENCLOSURE. SEAL ALL PENETRATIONS THRU ENCLOSURE. DISCONNECT / RECONNECT - REFER TO DETAIL DIA.3.2

NEW WALK PADS

DR EXISTING TIE OFF POINT - REMOVE FROM ROOF

GENERAL NOTES

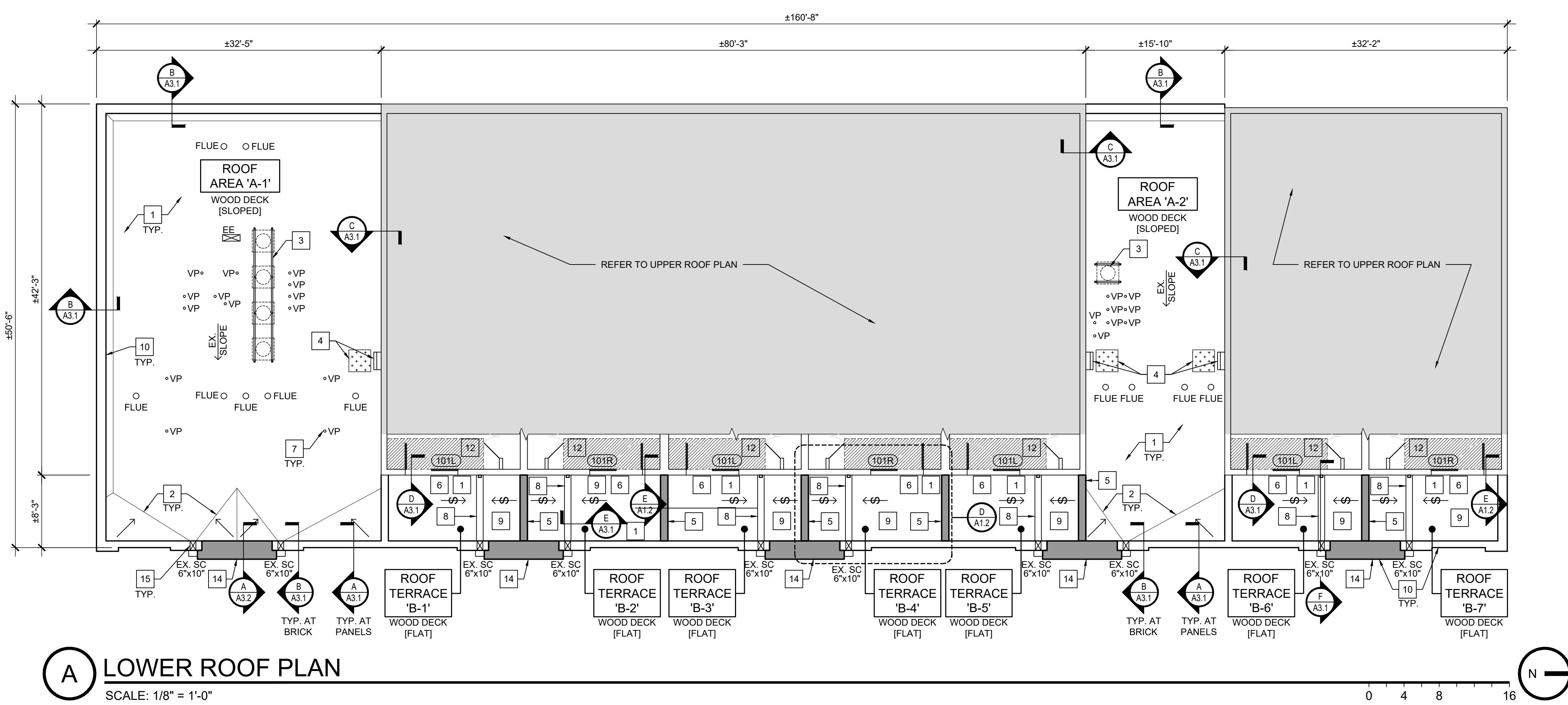
1. VERIFY BELOW DECK CONFLICTS. COMMUNICATION WIRING, ELECTRICAL CONDUITS, ETC. THAT MAY BE ATTACHED JUST BELOW THE ROOF DECK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO BELOW DECK ITEMS AND SUBSEQUENT REPAIRS.
2. INSTALL MISCELLANEOUS BLOCKING / FURRING AS REQ'D FOR FILLERS, ETC. TO ALLOW PROPER ALIGNMENT OF NEW / EXISTING CONDITIONS.
3. VERIFY SHEATHING FOR METAL EDGE, FASCIA, COPING, ETC. TO ENSURE NEW METAL ADEQUATELY COVERS AND OVERLAPS EXISTING JOINTS. MASONRY, EIFS, ETC. AND WILL NOT LEAVE UNFINISHED EDGES, PROFILES, SHADOWS, ETC.
4. REMOVE / REINSTALL EXISTING ELECTRICAL DEVICES, SENSORS, ETC. AS REQ'D TO INSTALL NEW METAL COPING / METAL EDGE TYP. ALL AREAS.
5. ALL EXPOSED TO VIEW JOINT SEALANT SHALL BE INSTALLED BY A QUALIFIED APPLICATOR. QUALITY OF SEALANT JOINTS WILL BE REVIEWED DURING CONSTRUCTION INCLUDING PROPER WIDTH / DEPTH RATIO, BACKER ROOD, PRIMER, AND AESTHETICS - COORDINATES AS REQ'D.
6. INCLUDE ALL NECESSARY BLOCKING / NAILERS AS REQ'D TO INSTALL NEW / REPLACEMENT SHEATHING / DECKING. ENSURE THAT ALL PANEL EDGES ARE SUPPORTED BY FRAMING.
7. VERIFY SHEATHING / DECKING IS PROPERLY ATTACHED TO THE UNDERLYING WOOD STRUCTURE.
- 7.1. 1/2" OSB ROOF / WALL SHEATHING. MIN. OF 8d RING SHANK NAILS 6" OC AT EDGES / PERIMETER OF PANELS. MAX. 8d RING SHANK NAILS AT 12" OC AT FIELD OF PANELS.
- 7.2. 3/4" OSB FLOOR SHEATHING. BED IN CONSTRUCTION ADHESIVE AND MIN. OF 8d RING SHANK NAILS AT 6" OC AT EDGES / PERIMETER OF PANELS AND 6d NAILS AT 12" OC AT FIELD OF PANELS.
8. PROJECT ALLOWANCES.
 - 8.1. REMOVAL / REPLACEMENT OF 70 SHEETS [2,240 SF] OF 1/2" OSB ROOF DECK [MIN. 4x4' SECTIONS FOR REPLACEMENT]
 - 8.2. REMOVAL / REPLACEMENT OF 40 SHEETS [1,280 SF] OF 1/2" OSB WALL SHEATHING
 - 8.3. REMOVAL / REPLACEMENT OF 14 SHEETS [448 SF] OF 3/4" T&G OSB SUBFLOOR



B-1 UPPER ROOF PLAN

SCALE: 1/8" = 1'-0"

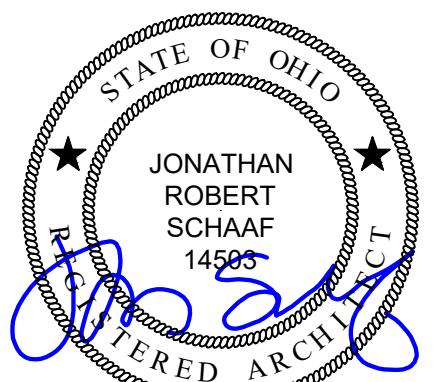
0 4 8 16



A-1 LOWER ROOF PLAN

SCALE: 1/8" = 1'-0"

0 4 8 16



Jonathan Robert SchAAF #14503
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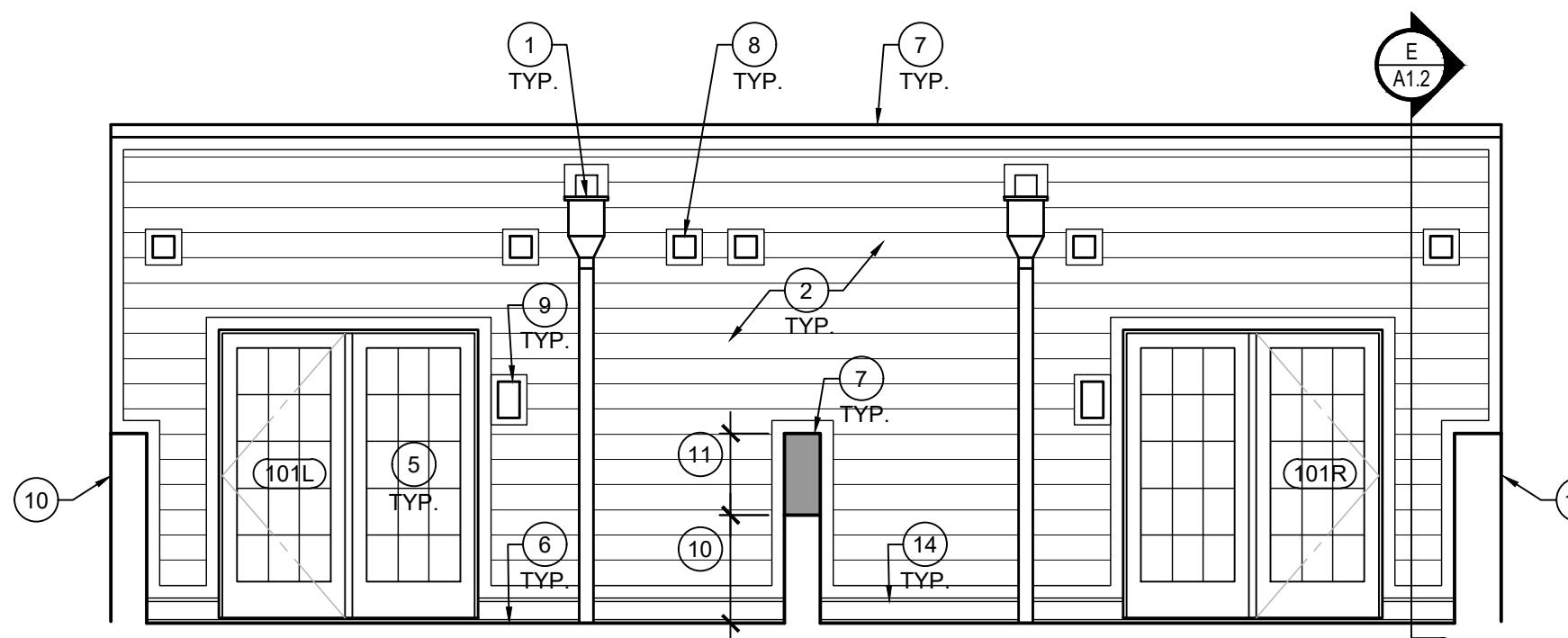
Sheet Title
Exterior Elevations

Sheet Number
A2.1



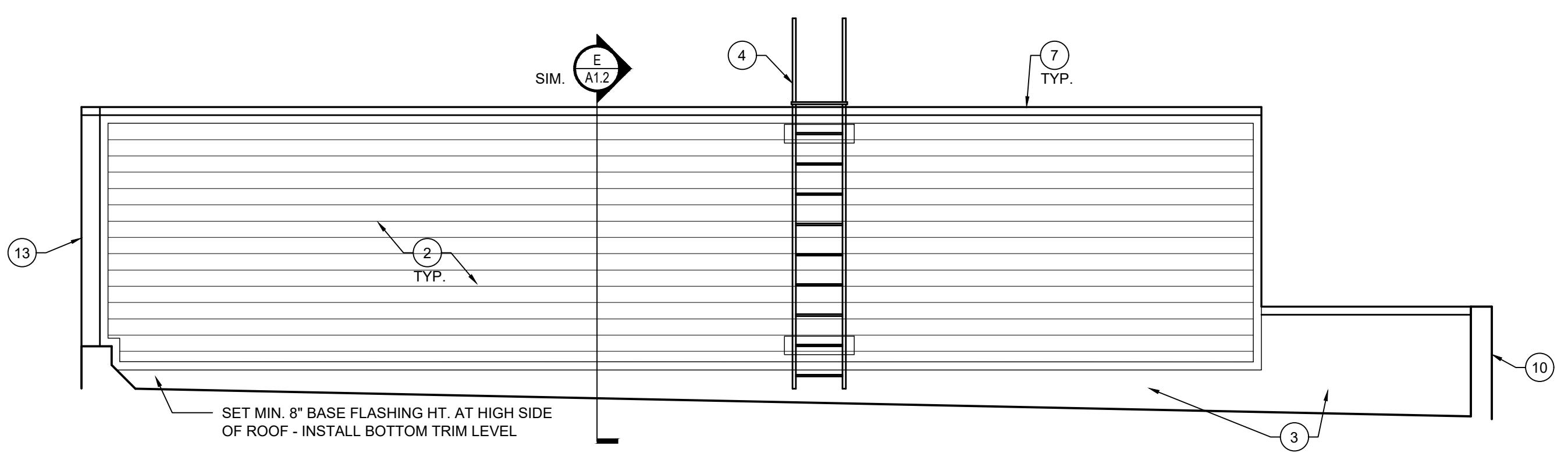
A EAST ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"



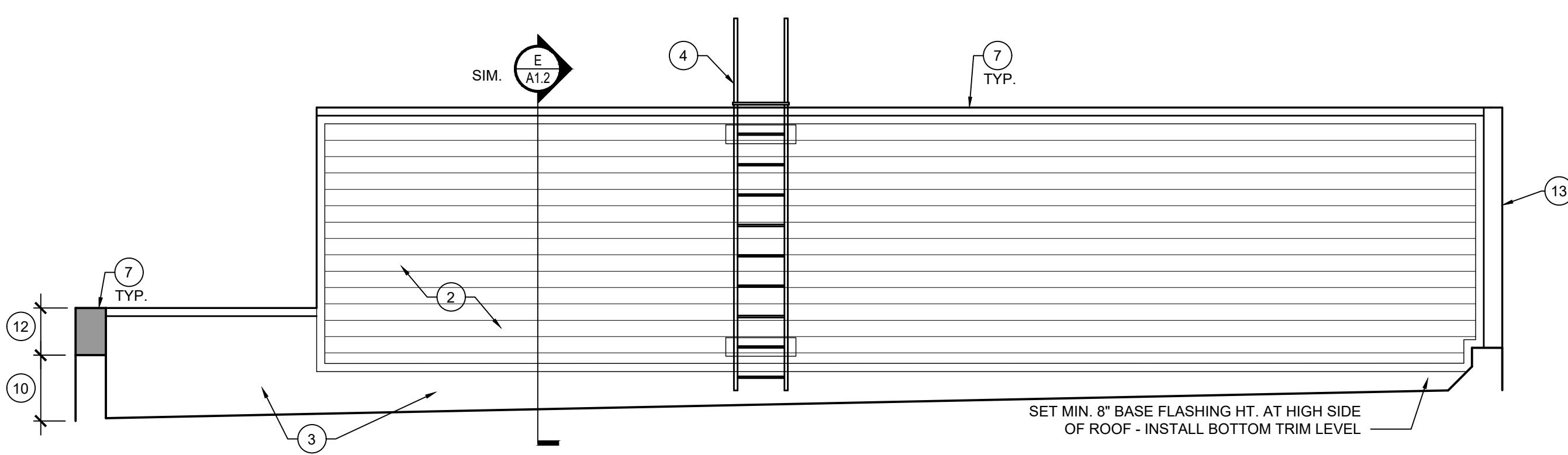
B EAST ELEVATION - NORTH

SCALE: 1/4" = 1'-0"



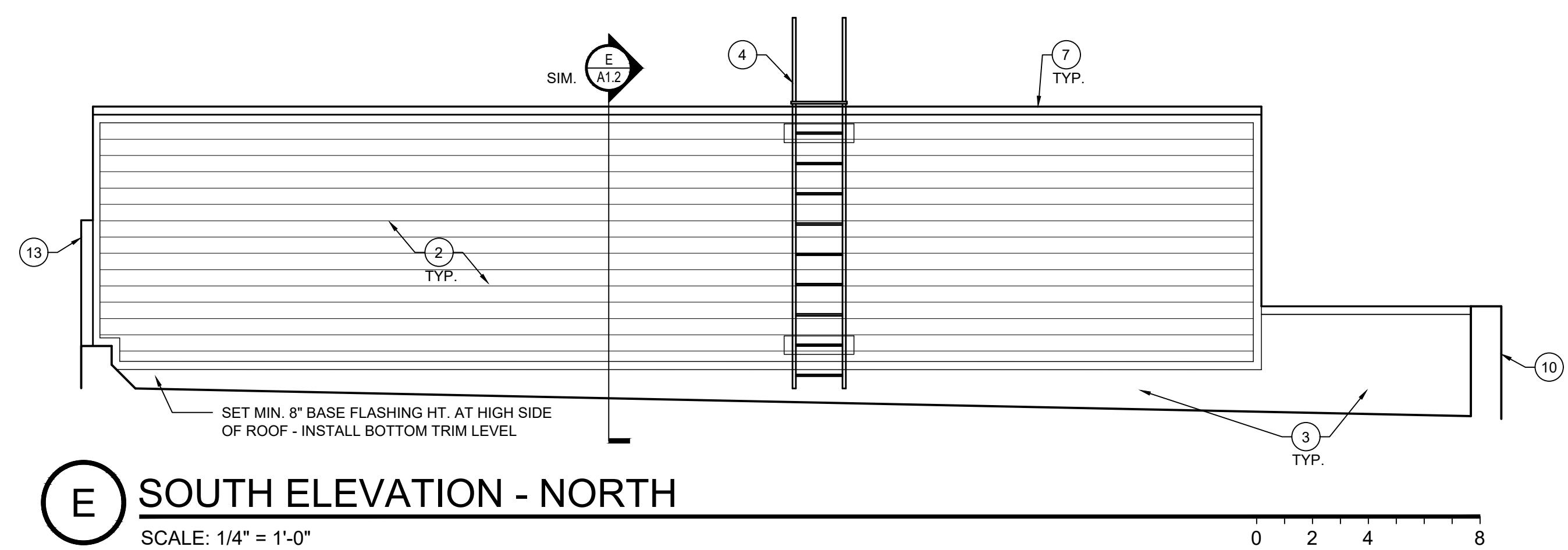
C SOUTH ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"



D NORTH ELEVATION

SCALE: 1/4" = 1'-0"

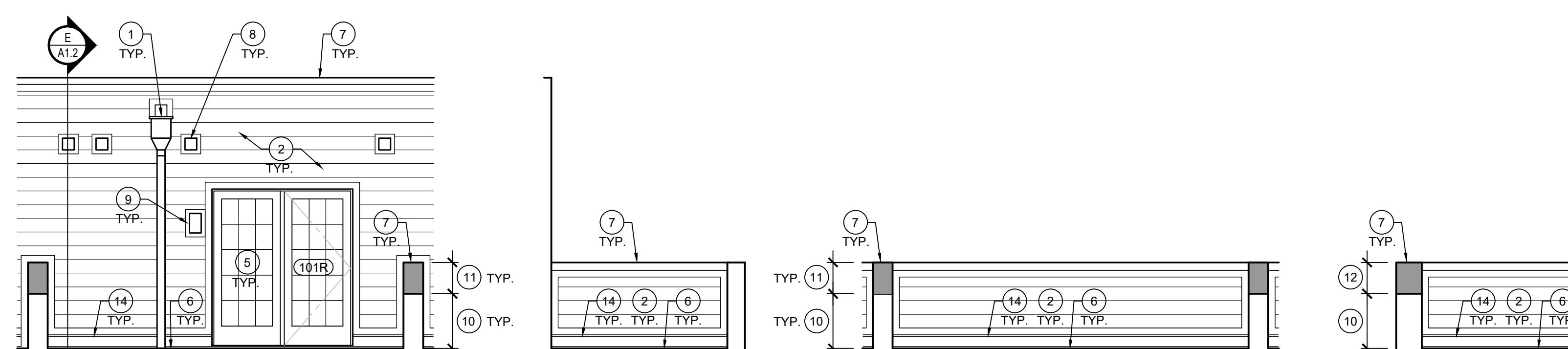


E SOUTH ELEVATION - NORTH

SCALE: 1/4" = 1'-0"

PROPOSED KEY NOTES

1. INSTALL NEW 24 GA. PRE-FINISHED METAL CONDUCTOR HEAD & DOWNSPOUT.
2. INSTALL NEW WRB & 7" EXPOSURE FIBER CEMENT LAP SIDING, 1x4 F.C. TRIM, & APPLICABLE FLASHING. PREP & PAINT.
3. INSTALL NEW EPDM BASE FLASHING - REFER TO ROOF PLAN
4. REMOVE AND REINSTALL EXISTING ROOF ACCESS LADDER. PREP AND PAINT. RE-ANCHOR / SEAL SUPPORTS AT STRUCTURE. INSTALL WALK PADS AT TOP AND BOTTOM OF EACH LADDER.
5. INSTALL NEW PATIO DOOR INTO ORIGINAL OPENING. REPAIR EXISTING FRAMING AS REQ'D TO ADDRESS ROTTED / DETERIORATED FRAMING - REFER TO DOOR SCHEDULE & DETAILS.
6. INSTALL NEW ROOF PAVERS AT ROOFTOP TERRACE. REFER TO DETAILS.
7. INSTALL NEW PRE-FINISHED METAL COPING. REFER TO DETAILS.
8. INSTALL SALVAGED VENT COVERS OVER NEW FIBER CEMENT TRIM BLOCK AROUND THRU WALL PENETRATION.
9. INSTALL SALVAGED LIGHT FIXTURE OVER NEW FIBER CEMENT TRIM.
10. EXISTING PARAPET WALL.
11. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x8 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING EACH SIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. INSTALL NEW 24 GA. PRE-FIN. WIND RATED COPING.
12. FRAME NEW PONY WALL ON TOP OF EX. PARAPET WALL W/ 2x8 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING, WRB, & 7" EXPOSURE F.C. LAP SIDING ON INSIDE, & [2] 1x12 F.C. FRIEZE TRIM ON OUTSIDE. ALIGN TOP OF WALL WITH ADJACENT PARAPET WALL. ALIGN INTERIOR FACE OF PONY WALL W/ INTERIOR FACE OF EX. ADJACENT PARAPET WALL. INSTALL NEW 22 GA. PRE-FIN. WIND RATED COPING.
13. EXISTING BRICK WALL TO REMAIN.
14. INSTALL NEW METAL COUNTER FLASHING



F

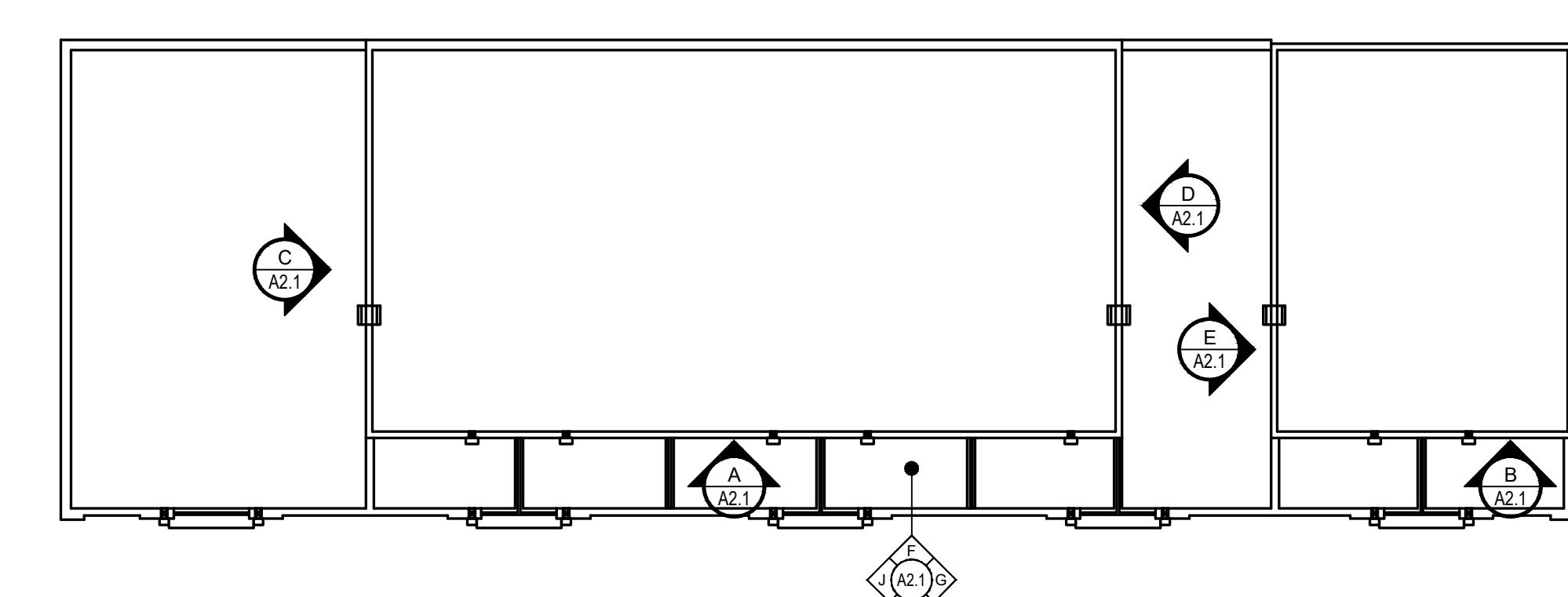
G

H

J

TYPICAL TERRACE EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

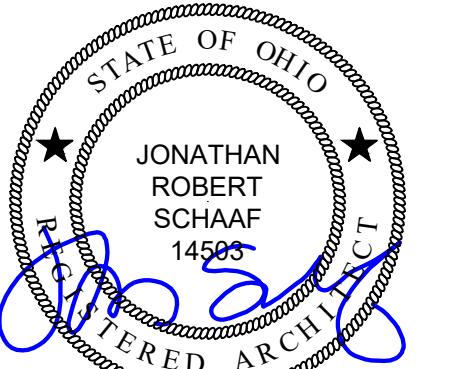


KEY PLAN

SCALE: N.T.S.

N

A2.1



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ROBERT
SCHAAF
145459
SERIALIZED ARCHITECT

Jonathan Robert Schaf #145459
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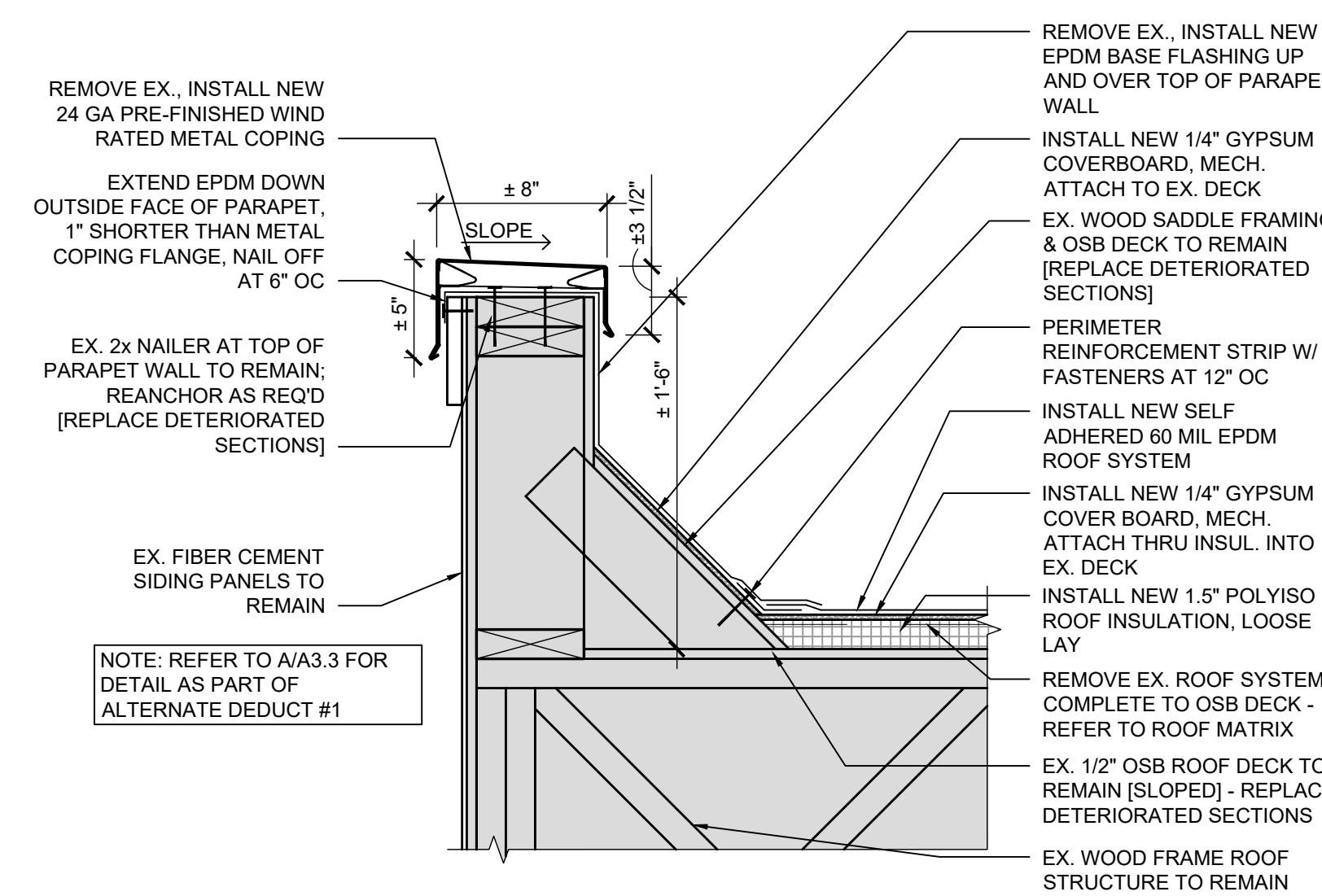
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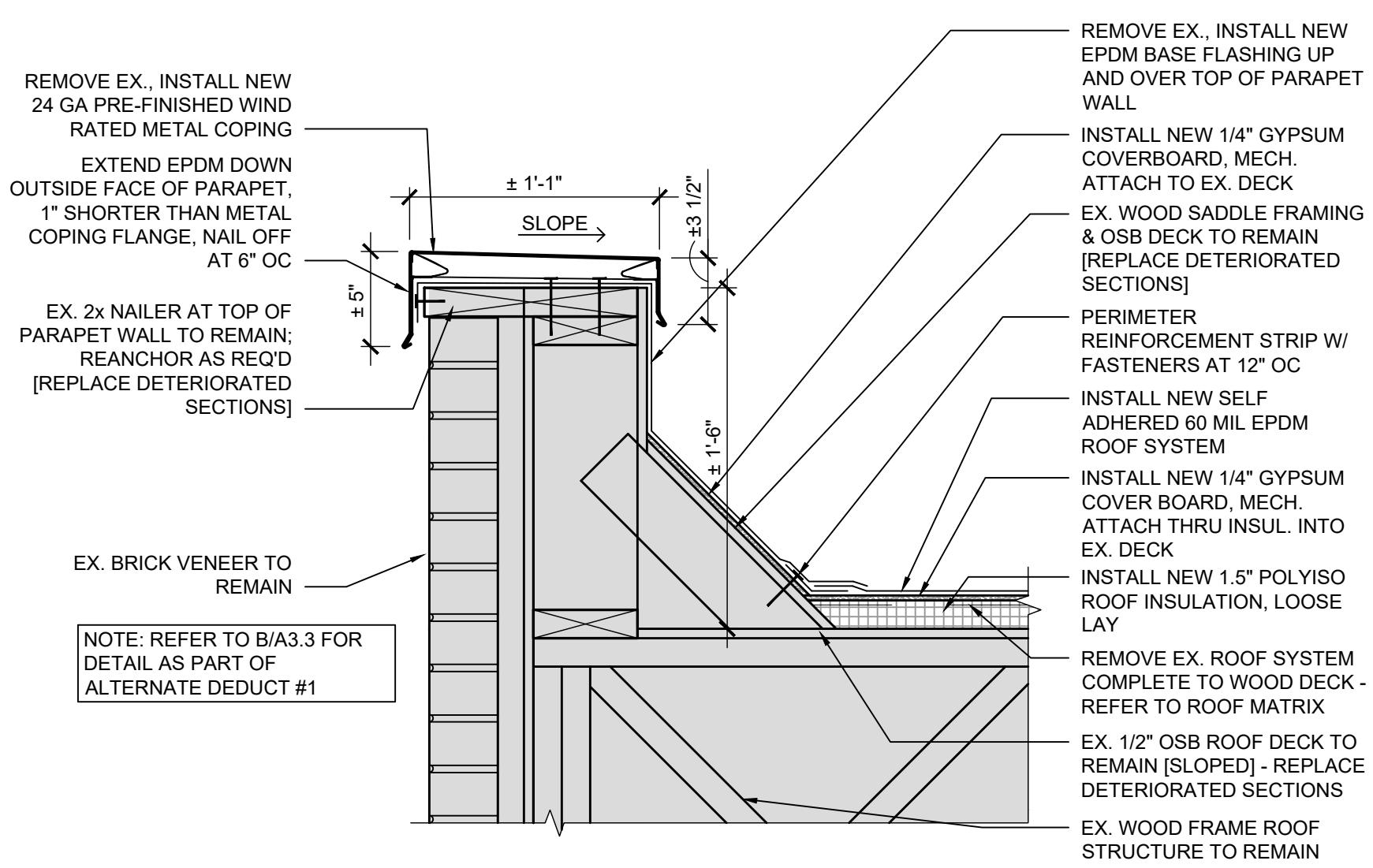
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Details

Sheet Number
A3.1



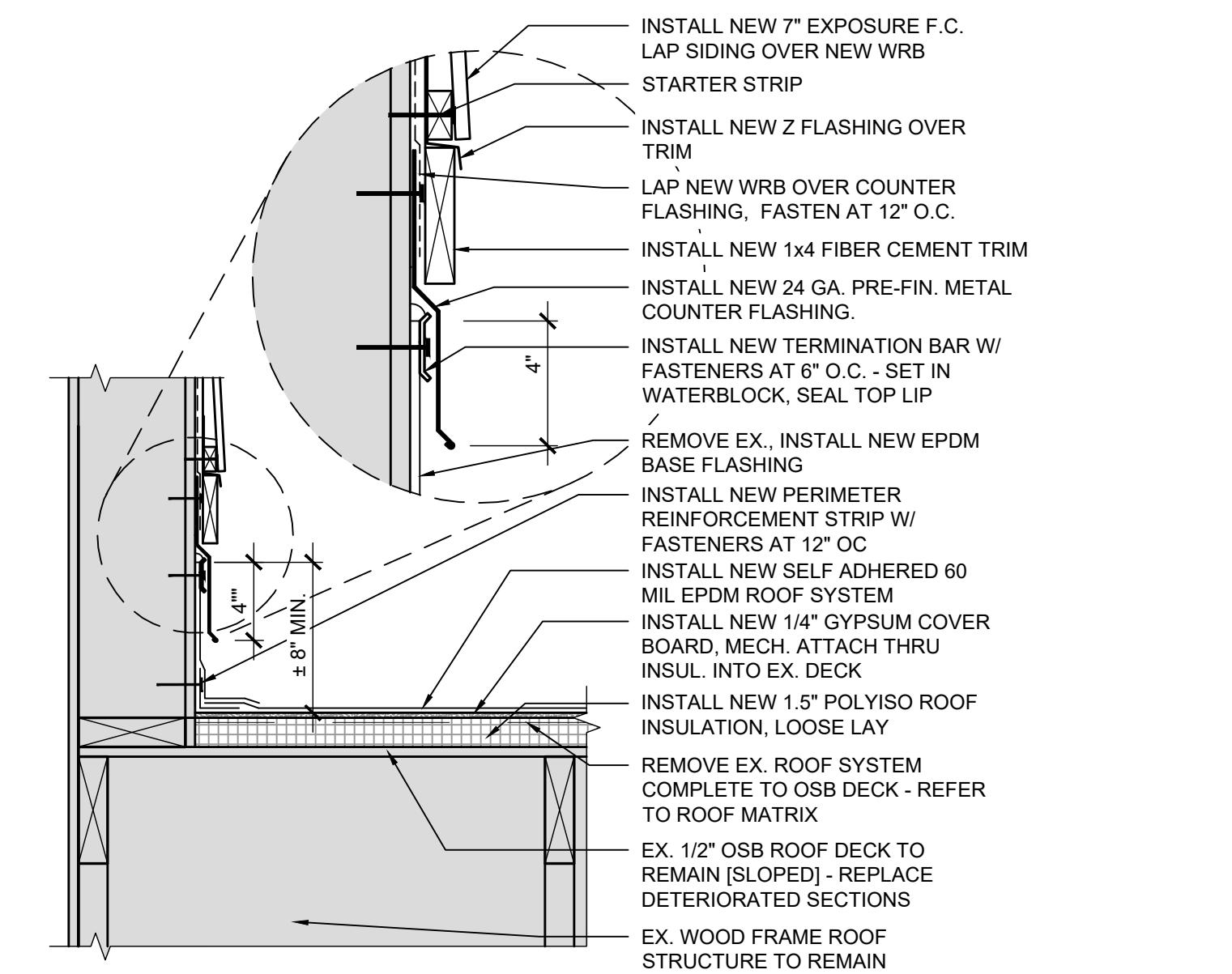
A DETAIL

SCALE: 1 1/2" = 1'-0"



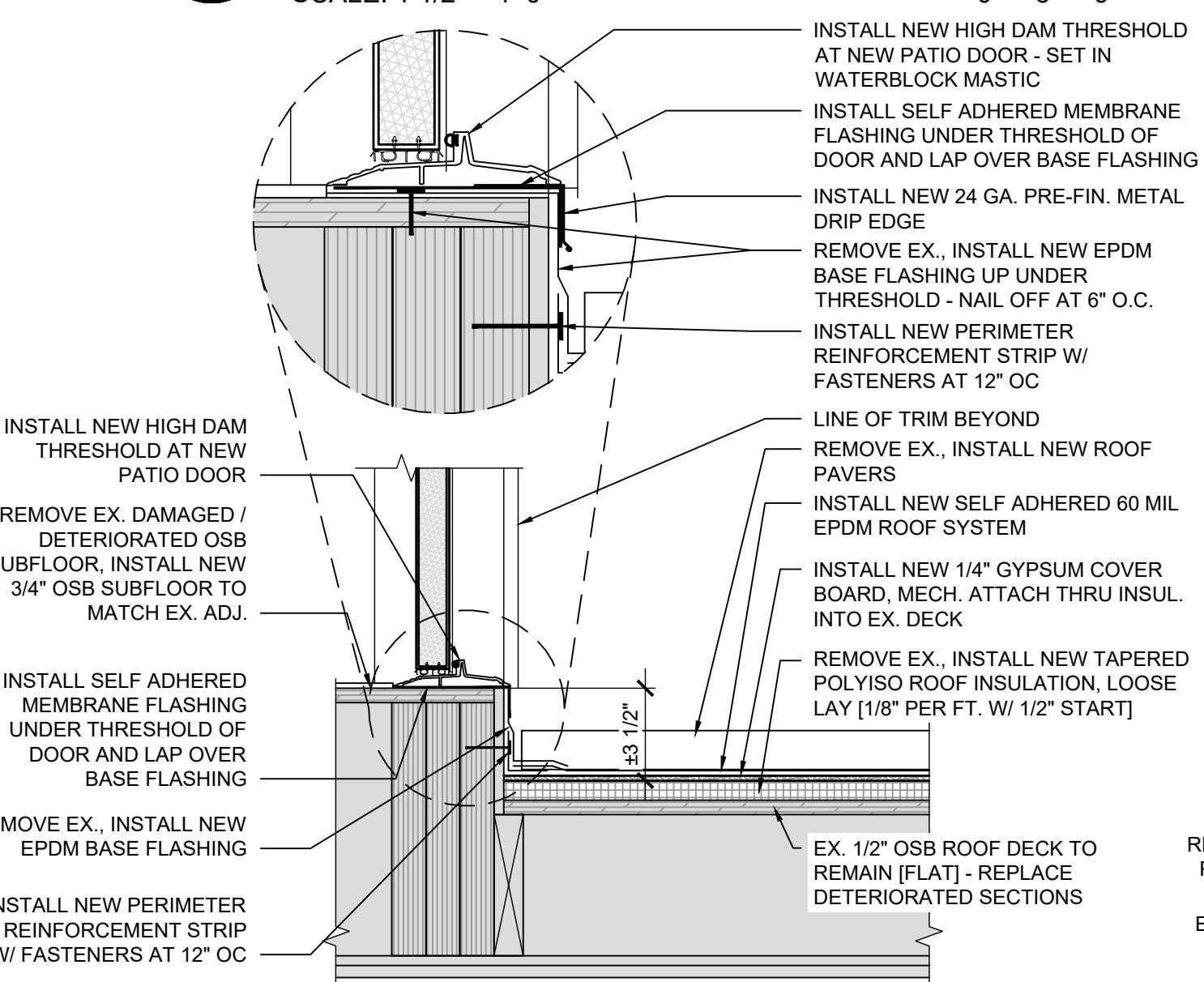
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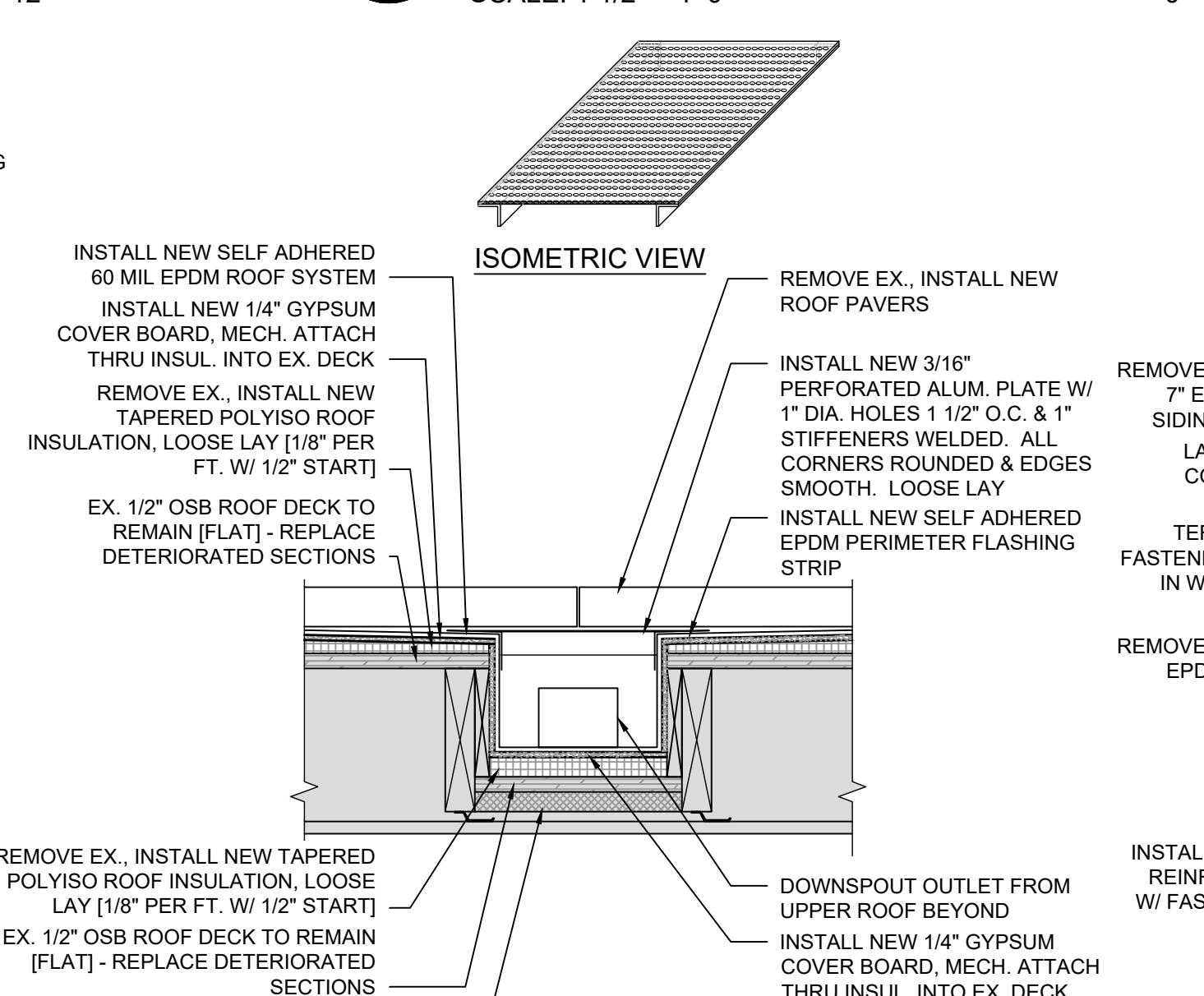
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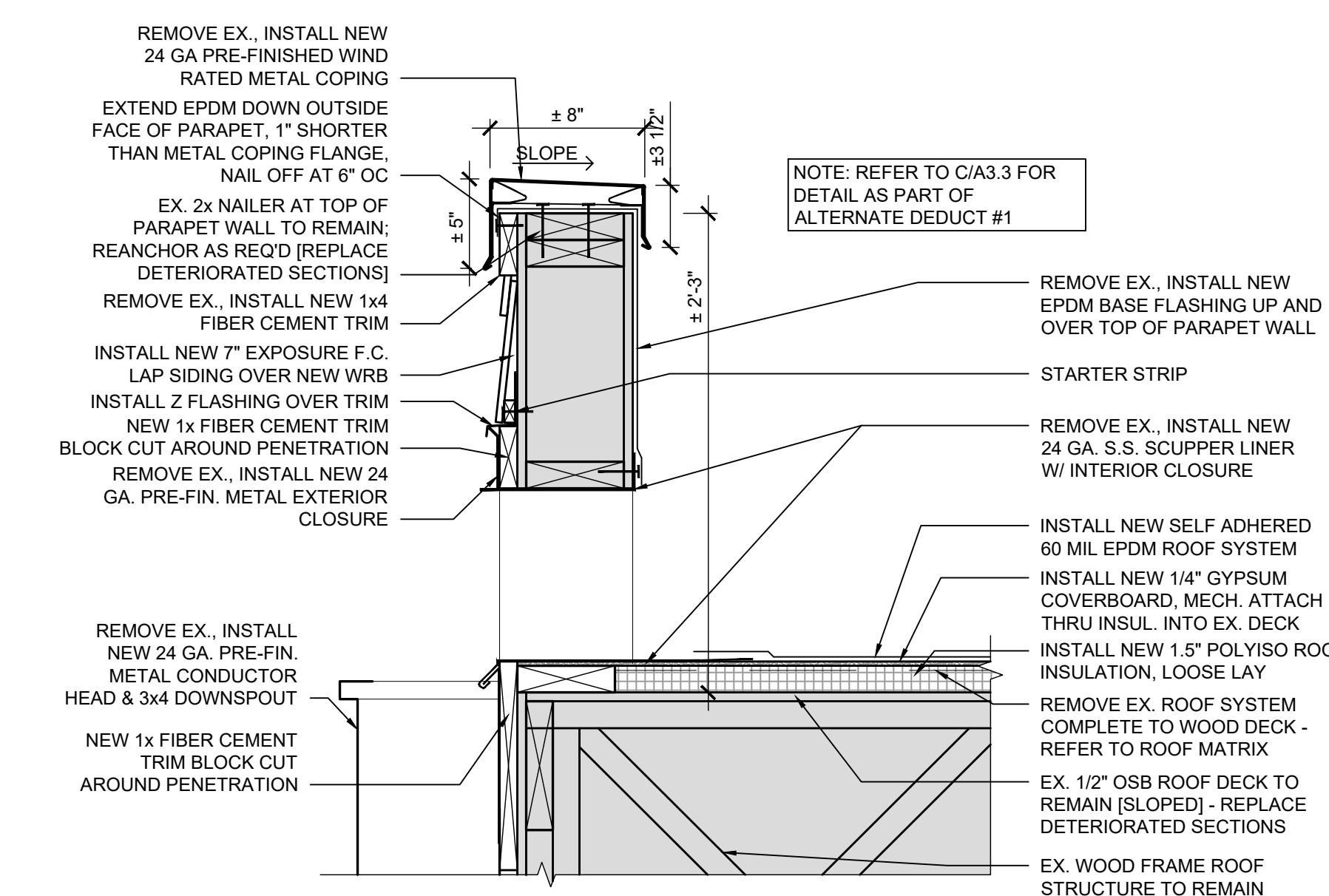
D DETAIL

SCALE: 1 1/2" = 1'-0"



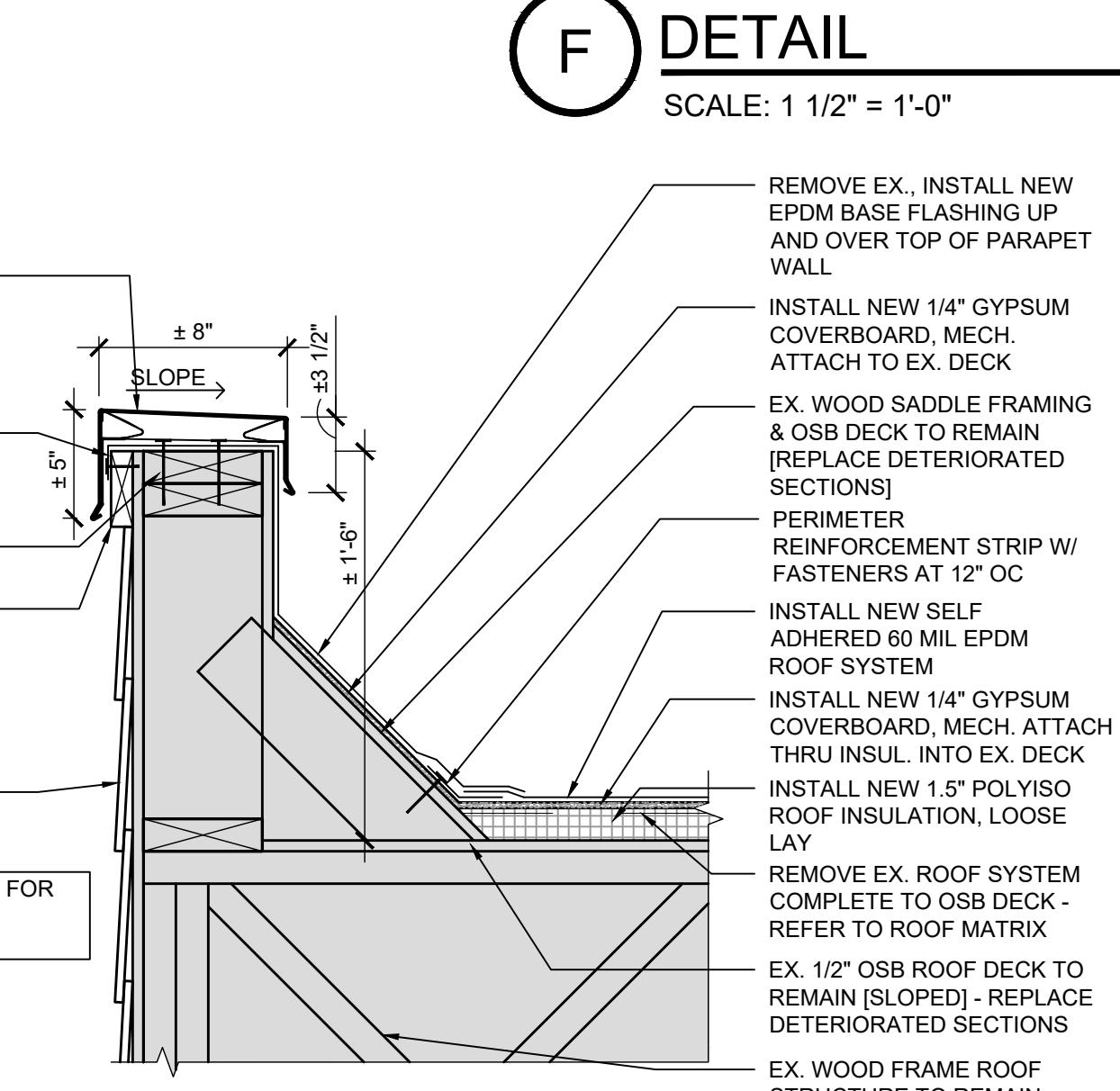
E DETAIL

SCALE: 1 1/2" = 1'-0"



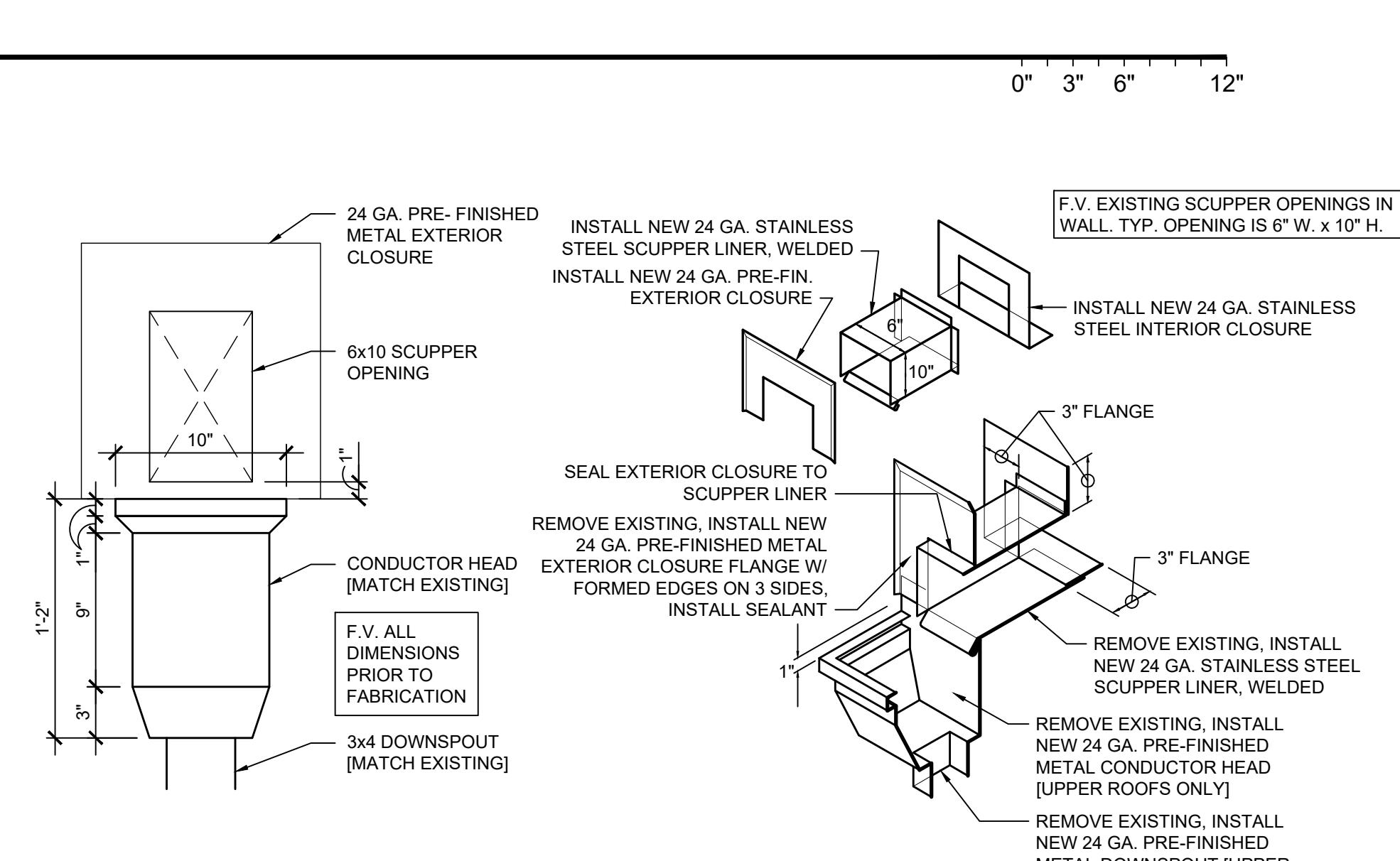
G DETAIL

SCALE: 1 1/2" = 1'-0"



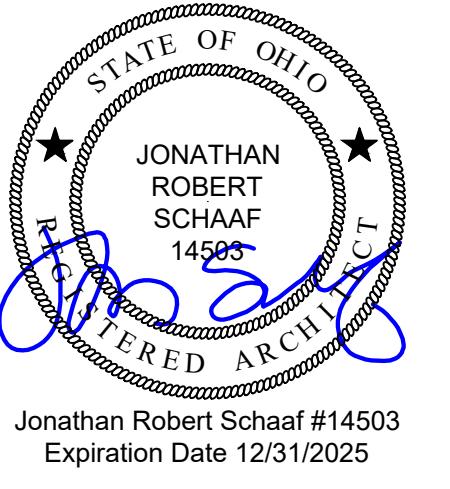
H DETAIL

SCALE: 1 1/2" = 1'-0"



J SCUPPER / CONDUCTOR DETAIL

SCALE: 1 1/2" = 1'-0"



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A3.2

